

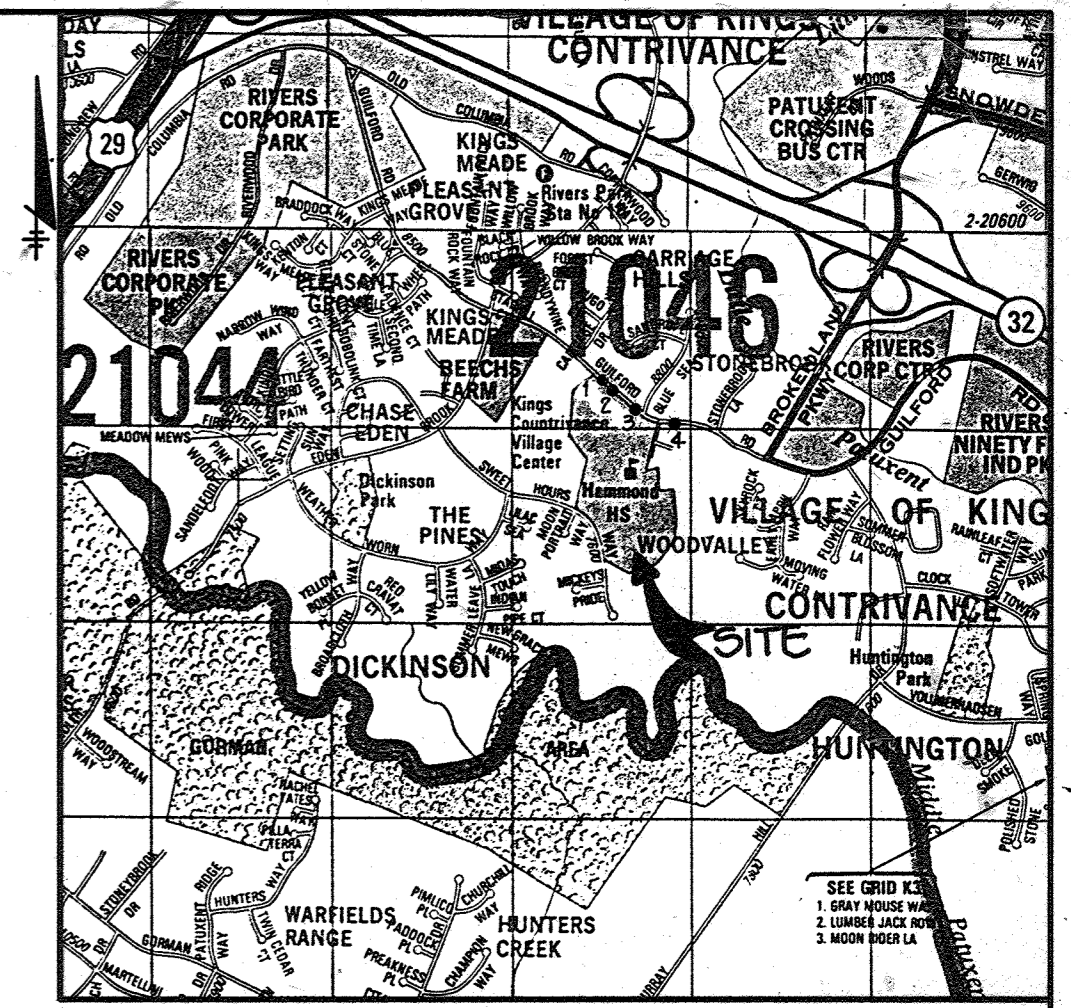
SITE DEVELOPMENT PLAN

HAMMOND HIGH SCHOOL

BUILDING ADDITIONS

6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1" = 200'

- HOWARD COUNTY CONTROL STATIONS
- 1 - 2240003
 - 2 - 2240012
 - 3 - 2240022
 - 4 - 2240031

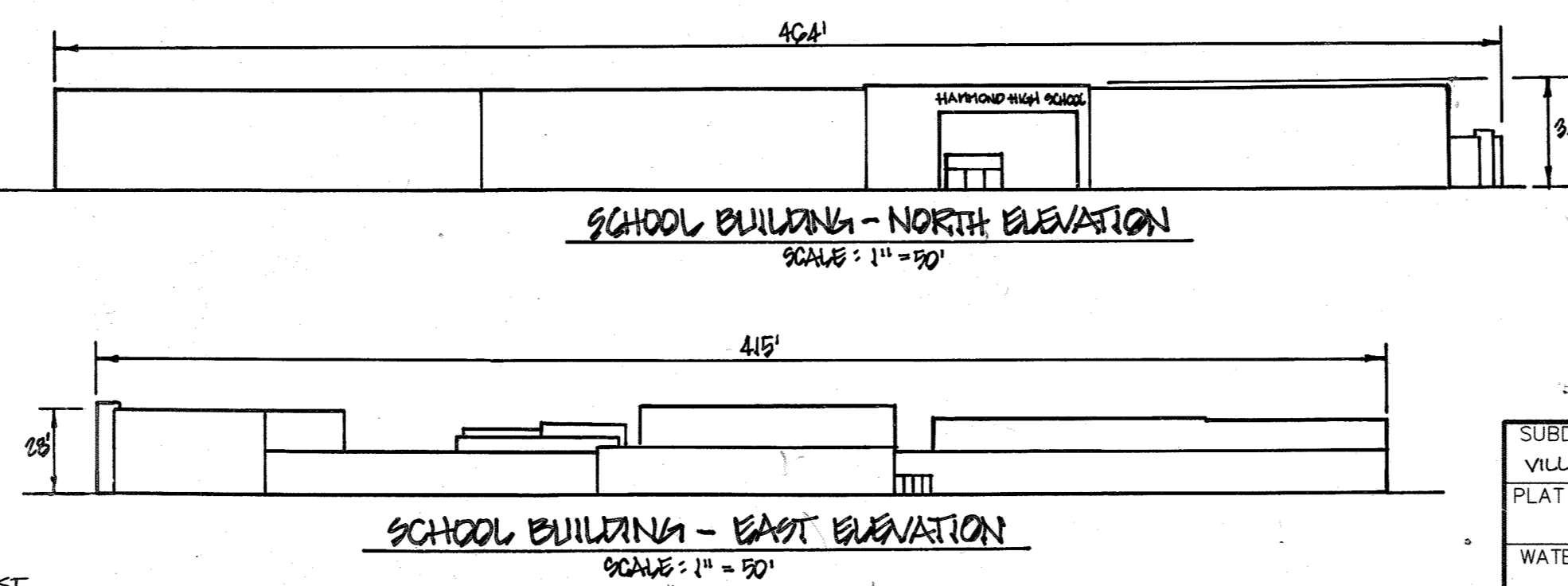
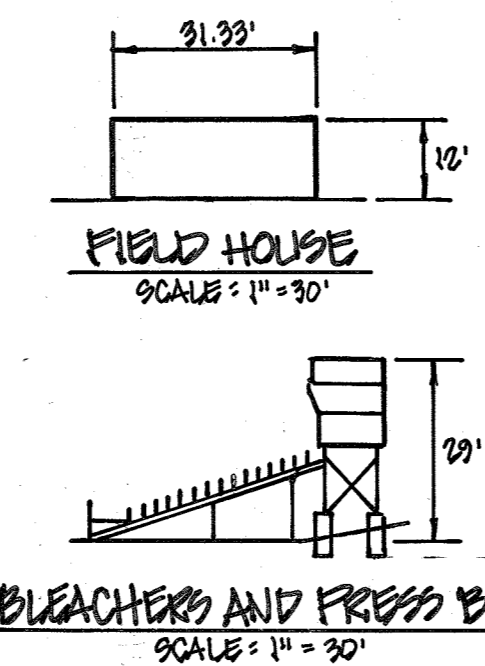
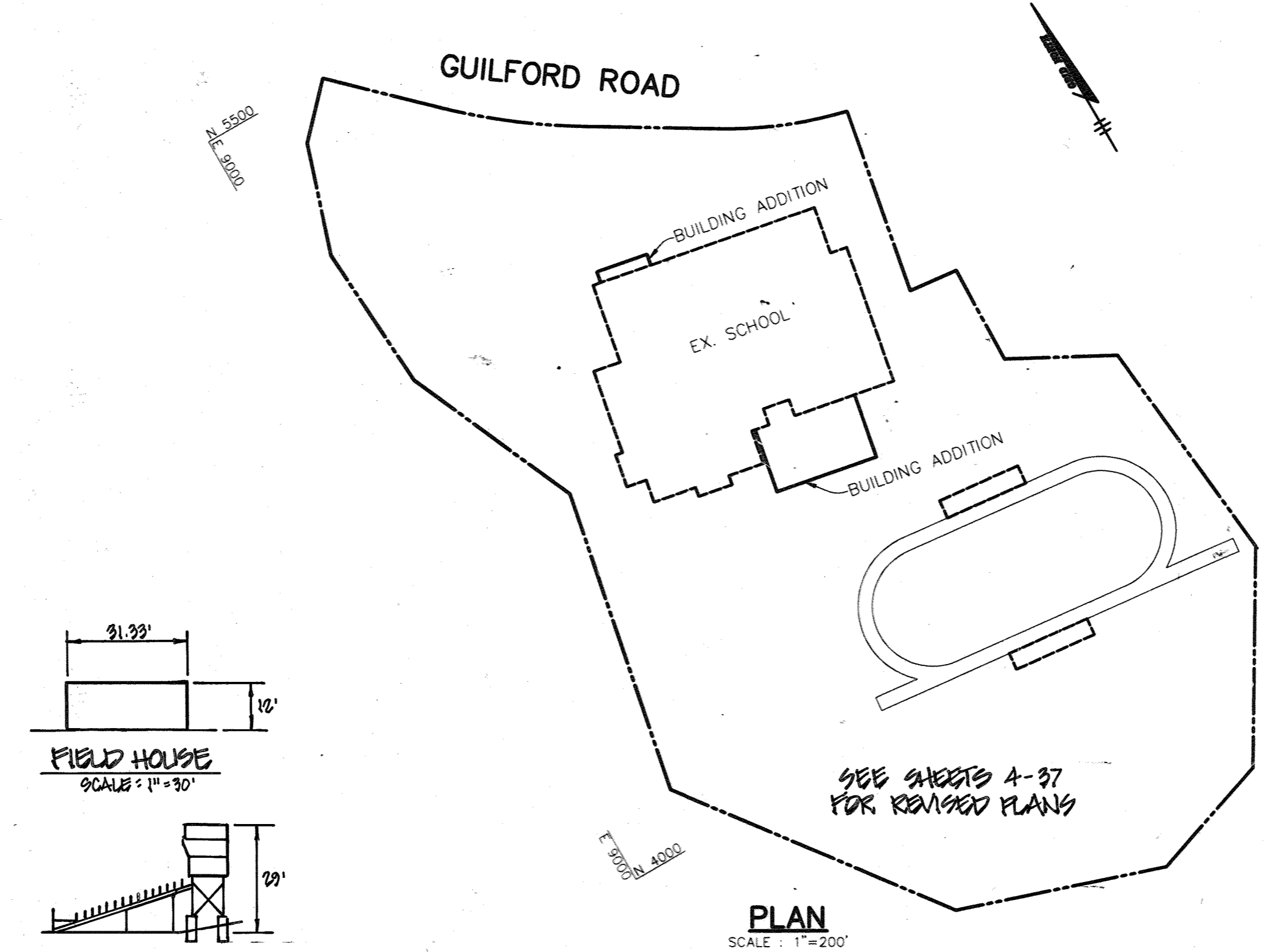
SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN, GRADING AND SEDIMENT CONTROL PLAN
3	DETAIL SHEET
4-C	DEMOLITION PLAN
7-9	SITE DEVELOPMENT PLAN
10-12	GEOMETRY PLAN
13-15	SEDIMENT AND EROSION CONTROL PLAN
16-18	SOILS AND DRAINAGE AREA MAP
19-20	DETAIL SHEET
21	DETAIL SHEET AND FILTERED PLAN AND NOTES
22	RETAINMENT & EROSION CONTROL NOTES & SEQUENCE OF CONSTRUCTION
23	RETAINMENT AND EROSION CONTROL DETAILS
24	RETAINING WALL PLAN AND SPECIFICATIONS
25	RETAINING WALL ELEVATION AND DETAILS
26-27	HANDICAP ACCESS PLAN
28	SWM PLAN, PROFILES, NOTES AND DETAILS
29	SWM PROFILES AND NOTES
30	STORM DRAIN PROFILES
31	WATER, SEWER, STORM DRAIN PROFILES & STRUCTURE SCHEDULE
32-33	PHOTOMETRIC PLAN
34	LANDSCAPING PLAN, NOTES AND DETAILS
35	TRAFFIC CONTROL PLAN AND DETAILS
36	IRRIGATION PLAN
37	WATER AND SEWER PROFILES

29. ON JULY 2, 2020, THE HOWARD COUNTY PLANNING BOARD VOTED TO APPROVE A PLAN MODIFICATION TO SDP-96-018 FOR BUILDING ADDITIONS AND RELATED SITE IMPROVEMENTS TO HAMMOND HIGH SCHOOL. THE BOARD ALSO APPROVED AN ADJUSTMENT TO THE COVERAGE REQUIREMENT (FORM FDR-158-A AND IN ACCORDANCE WITH SECTION 125.0.6.4, OF THE ZONING REGULATIONS) FOR AN INCREASED LOT COVERAGE RELATED TO THIS PLAN MODIFICATION FROM AN EXISTING COVERAGE OF 14.5% TO A NEW COVERAGE OF 17.4%. THE BOARD DID NOT IMPOSE ANY CONDITIONS TO THIS APPROVAL BUT DID RECOMMEND THAT THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM COORDINATE A STUDY WITH THE DEPT OF PUBLIC WORKS TO INVESTIGATE FUTURE OPPORTUNITIES FOR ADDING SIDEWALKS ON THE NORTH SIDE OF GUILFORD ROAD.

GENERAL NOTES

1. ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
3. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAY BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
5. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

BELL ATLANTIC TELEPHONE COMPANY	725-9976
HOWARD COUNTY BUREAU OF UTILITIES	313-4900
AT&T CABLE LOCATION DIVISION	393-3553
BALTIMORE GAS & ELECTRIC COMPANY	695-0123
STATE HIGHWAY ADMINISTRATION	531-5333
HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK)	313-1880
6. THE CONTRACTOR TO NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
7. EX. TOPO IS PROPOSED GRADING TAKEN FROM SDP-75-13 AND FIELD RUN TOPO BY RIEMER MUEGGE & ASSOCIATES PERFORMED JULY 1995 AND IS AT 2 FOOT INTERVALS.
8. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
9. THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
10. SEE DEPARTMENT OF PLANNING AND ZONING FILE NO.'S SDP-75-13, SDP-87-147, F-20-080
11. A FEE-IN-LIEU OF QUANTITY STORMWATER MANAGEMENT WAS APPROVED BY THE DEVELOPMENT ENGINEERING DIVISION ON AUGUST 6, 2009. WATER QUALITY IS PROVIDED BY OVERLAND FLOW AND A DRYWELL.
12. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
13. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
14. THE COORDINATES SHOWN HEREON ARE BASED ON AN ASSUMED GRID.
15. THERE IS NO 100 YEAR FLOODPLAIN WITHIN THE AREA OF DISTURBANCE.
16. THERE ARE NO WETLANDS WITHIN AREA OF DISTURBANCE.
17. THERE IS NO TRAFFIC STUDY REQUIRED FOR THIS SITE.
18. THE HOWARD COUNTY PLANNING BOARD ON JULY 11, 2019 APPROVED AN AMENDMENT TO THE FINAL DEVELOPMENT PLAN PHASE 1B-A. THE PURPOSE OF THIS AMENDMENT WAS TO REVISE THE CREATED AND NON-CREATED OPEN SPACE LAND USE COVERAGE. THE FINAL DEVELOPMENT PLANS WERE RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AS PLAN NO. 25150, 25151 & 25152. THIS REQUEST IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.10.02 OF THE HOWARD CODE FOR PERMIT CONVEYANCE BECAUSE IT IS A PLANNED UNIT DEVELOPMENT WHICH HAS PRELIMINARY DEVELOPMENT PLAN APPROVAL AND 50% OR MORE OF THE LAND RECORDED AND SUBSTANTIALLY DEVELOPED BEFORE DECEMBER 31, 1992 PER SECTION 16.10.02 (b)(1)(i) OF THE COUNTY CODE.
19. MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC RIGHT-OF-WAY LINES TO BE IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
 SWM FACILITIES: THE SCHOOL SITE CONTAINS NO ENVIRONMENTAL IMPACT BECAUSE THERE ARE NO WETLANDS, FLOODPLAIN, FORESTS AND ASSOCIATED BUFFER. THE 500' SETBACK WAS TAKEN FROM MD'S TABLE 533. THE SETBACK WAS ENHANCED TO ACCOUNT FOR THE DIFFERENT HYDROLOGIC SOILS GROUPS. THE PROTECTION BMP DRAINAGE AREAS WERE DIVIDED SO AS TO BE AS SMALL AS PRACTICABLE. HOWEVER, GIVEN THE PHYSICAL CONSTRAINTS OF THE SITE, AS WELL AS A GOAL OF MAINTAINING THE BOARD OF EDUCATION'S SCHOOL PROGRAM, FOUR (4) FILTERED FACILITIES WITH SEDIMENTATION CHAMBERS AND TWO (2) ADDITIONAL STORMS WERE DESIGNED AS "P-C" FACILITIES BECAUSE THE DRAINAGE AREAS EXCEEDED THE "500" MAXIMUM LIMIT. THIS WILL MEET MD'S CRITERIA OF 500' TO THE MAXIMUM EXTENT PRACTICABLE. SEE THE SWM REPORT FOR ADDITIONAL DETAILED INFORMATION.
 LIGHTING: FOR THE PROPOSED BUILDING COMPLIANT WITH SUBDIVISION AND LAND DEVELOPMENT REGULATIONS SECTION 16.10.14, LANDSCAPING IS PROPOSED IN ACCORDANCE WITH THE LANDSCAPE MANUAL AT TITLE 11 OF THE HOWARD COUNTY DESIGN MANUAL. TREES AND 15' SHRUBS SHALL BE PROVIDED ALONG THE SITE'S FRONTAGE AT GUILFORD ROAD AND A 5' FOOT PRIVACY FENCE WILL BUFFER THE NEW SERVICE ENTRANCE FROM THE ADJOINING PROPERTY TO THE EAST.
- 20.
- 21.
- 22.
- 23.



SITE ANALYSIS

AREA OF PARCEL	32,8002 AC. (1,420,021 SF)
PROPOSED ZONING	NEW TOWN
PROPOSED USE	HIGH SCHOOL ADDITION
NO. OF EX. PARKING SPACES	262
TOTAL NO. OF PARKING SPACES PROPOSED	374 (INCLUDING 12 HANDICAP)
NO. OF HANDICAP PARKING SPACES PROVIDED	12
NOTE: THIS PROPERTY IS INCLUDED IN FINAL DEVELOPMENT PLAN PHASE 1B-A.	
NO. OF HANDICAP PARKING SPACES REQUIRED IS BASED ON PARKING SPACES PROVIDED FROM 301 TO 400.	
NO. OF HANDICAP PARKING SPACES PROVIDED IS 12.	

TOTAL SCHOOL BUILDING/LOT COVERAGE: 235,173 SF.
 EXISTING TOTAL FLOOR SPACE: 197,023 SF.
 FLOOR SPACE TO BE DEMOLISHED: 69,555 SF (TO BE REPLACED)
 PROPOSED ADDITIONAL FLOOR SPACE: 21,437 SF (NOT INCLUDING DEMOLISHED SPACE)
 TOTAL FLOOR SPACE AFTER IMPROVEMENTS: 236,400 SF (INCLUDES SECOND FLOOR)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
DIRECTOR	10/13/95 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/6/95 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH	10/13/95 DATE

DATE	10/13/95
REVISION	
OWNER / DEVELOPER	BOARD OF EDUCATION OF HOWARD COUNTY, 10910 ROUTE 108, ELLICOTT CITY, MARYLAND 21042

PROJECT	HAMMOND HIGH SCHOOL BUILDING ADDITIONS
AREA	TAX MAP 42 PARCEL 405 ZONE NEW TOWN VILLAGE OF KINGS CONTRIVANCE, SECTION 2, AREA 1 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
TITLE	TITLE SHEET

RIEMER MUEGGE & ASSOCIATES, INC.
 Planners • Engineers • Surveyors
 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045
 410-997-8900 FAX: 410-997-9282

DATE	10-2-95
DESIGNED BY	C.J.R.
DRAWN BY	DAM
PROJECT NO	HOCO 104600 SDP1.DWG
DATE	OCTOBER 2, 1995
SCALE	AS SHOWN
DRAWING NO.	1 OF 37

NOTE: THE PURPOSE OF THIS PLAN MODIFICATION IS TO SHOW IMPROVEMENTS TO THE EXISTING SCHOOL WHICH INCLUDES THE DEMOLITION AND REPLACEMENT OF 69,555 SF OF THE BUILDING. THE ADDITION OF 21,437 SF OF BUILDING AREA. A NEW BUS DRIVEWAY LOOP, SEWER DROP-OFF LANE AND PARKING LOT AND ADD SWM'S ALONG WITH THEIR UTILITIES AS SHOWN 4-37.

PLAN MODIFICATION APPROVED-HOWARD COUNTY PLANNING BOARD DATE: JULY 2, 2020

ADDRESS CHART	
PARCEL	STREET ADDRESS
405	8800 GUILFORD ROAD

SUBDIVISION NAME	VILLAGE OF KINGS CONTRIVANCE
SECT./AREA	2/1
PARCEL	405
PLAT #	
BLOCK #	14
ZONE	NT
TAX MAP NO.	42
ELECT. DIST.	0TH
CENSUS TRACT	60025.01
WATER CODE	E16
SEWER CODE	5240000

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: 13 Sept. 95

NOTE: PLANT LOCATIONS ARE APPROXIMATE

- SEQUENCE OF CONSTRUCTION
1. OBTAIN GRADING PERMIT.
 2. INSTALL SCE, SILT FENCE AND INLET PROTECTION. (1 DAY)
 3. ROUGH GRADE AREA FOR BUILDING CONSTRUCTION. (3 DAYS)
 4. PROCEED WITH BUILDING CONSTRUCTION AND POWER INSTALLATION.
 5. RESEAL EXISTING PAVING AND RESTRIPE AS PER PLANS. REMOVE EXISTING CURB AND GUTTER AND PROVIDE ADDITIONAL CURB AND GUTTER AS SHOWN. (5 DAYS)
 6. COMPLETE BUILDING CONSTRUCTION INCLUDING FIRE LANE AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES.
 7. UPON APPROVAL OF HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES. (1 DAY)

PROPERTY OF HOWARD RESEARCH DEVELOPMENT CORP.
L. 406 F. 506

PROPERTY OF ELBERT C. REITZEL
L. 383 F. 241

- NOTE: THE SCOPE OF WORK FOR THE RENOVATION/ADDITION TO HAMMOND HIGH SCHOOL INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
1. EXISTING PARKING LOT TO BE REGRADED AND RESTRIPED AS SHOWN. ROAD LOT TO NOT TO BE REGRADED OR RESTRIPE.
 2. REMOVAL OF EX. FOOT AND EX. FENCE.
 3. RELOCATION OF EX. LIGHT POLES.

NOTE: FIRE ACCESS TO BE OBTAINED BETWEEN EXISTING FIRE TREES. LIMBS TO BE TRIMMED AS NECESSARY TO PROVIDE ACCURATE CLEARANCE.

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Cathleen Conley Young 10.2.95
DEVELOPER DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

J. Farrell 10.2.95
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Patricia Engler 10/3/95
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Blanton 10/3/95
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

August Smith 10/3/95
DIRECTOR DATE

Chris Deussen 10/6/95
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Jim Trummans 10/13/95
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

5/20/96 REFER TO REVISED PLANS AND REVISE TOTAL SHEET #
DATE NO. REVISION

OWNER / DEVELOPER
BOARD OF EDUCATION OF HOWARD COUNTY
10910 ROUTE 108
ELLCOTT CITY, MARYLAND 21042

PROJECT HAMMOND HIGH SCHOOL BUILDING ADDITIONS

AREA TAX MAP 42 PARCEL 405 ZONE NEW TOWN VILLAGE OF KINGS CONTRIVANCE SECTION 2 AREA 1 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE SITE DEVELOPMENT PLAN, GRADING AND SEDIMENT CONTROL PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
Planners • Engineers • Surveyors
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045
410-997-8900 FAX: 410-997-9282

10.2.95 DATE

DESIGNED BY: C.J.R.

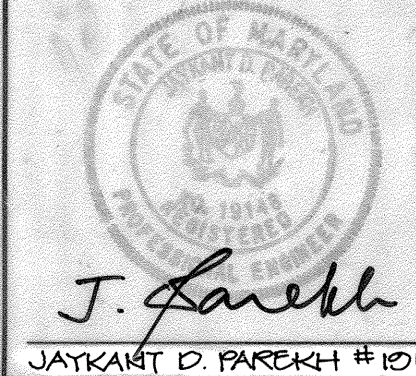
DRAWN BY: DAM

PROJECT NO: HOCO\104600 SDP2.DWG

DATE: OCTOBER 2, 1995

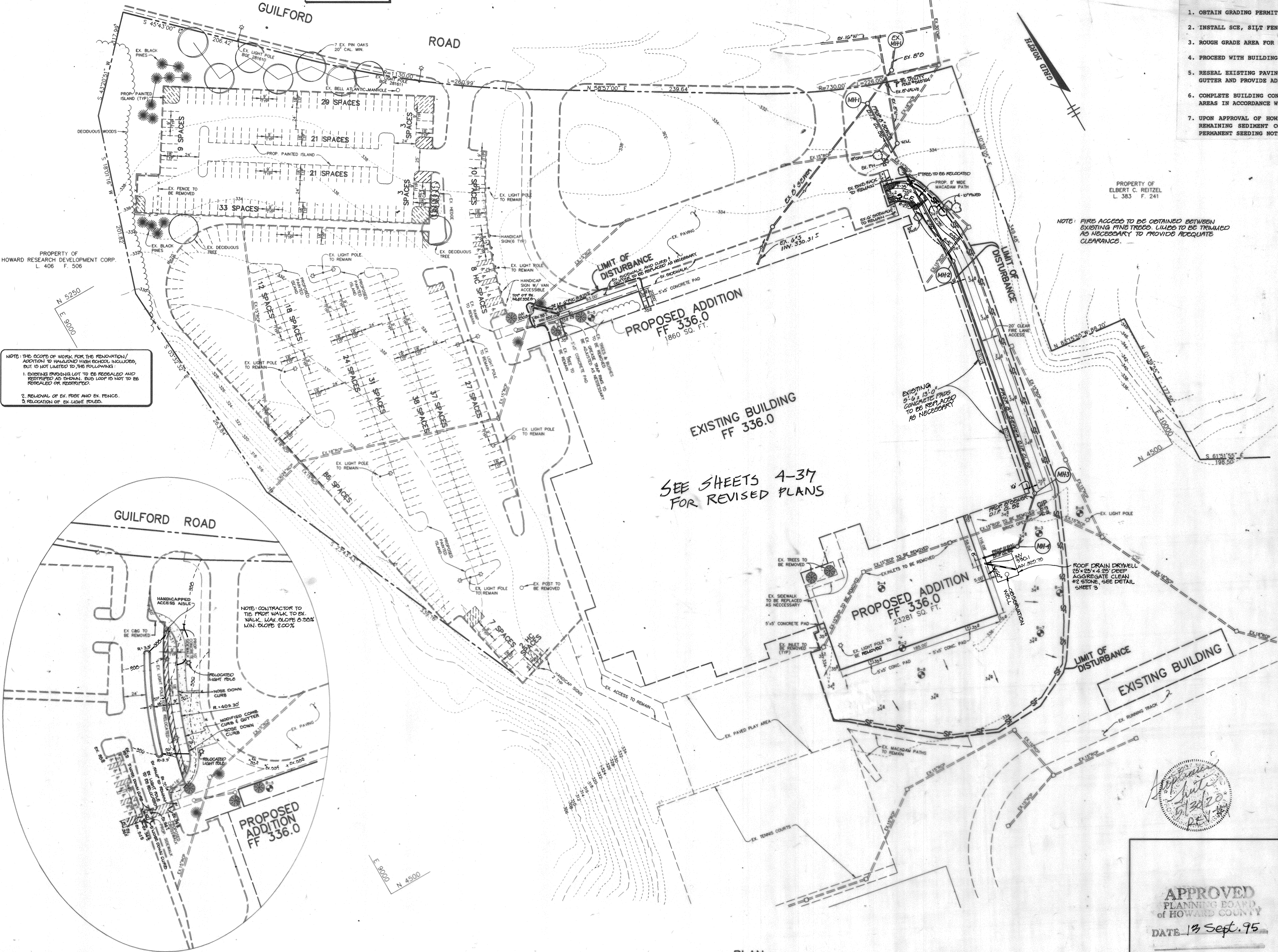
SCALE: 1" = 50'
DRAWING NO. 2 OF 3/7

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 13 Sept. 95



J. Farrell
JAYKAIT D. PAREKH #10143

SDP-00-13



SEE SHEETS 4-37 FOR REVISED PLANS

BID ALTERNATIVE - PARENT DROP-OFF
SCALE: 1" = 50'

PLAN
SCALE: 1" = 50'

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed or a short-term vegetative cover is needed.

Seeding Preparation: Loosen upper three inches of soil by rototilling or other acceptable means before seeding. If not previously loosened.

Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.).

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-7/2 bushels per acre of annual ryegrass (3.2 lbs. per 1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq.ft.). For the period November 15 thru February 28, protect site by applying 2 tons per acre of well-anchored mulch and seed as soon as possible in the spring, or use other acceptable means.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR rates and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeding Preparation: Loosen upper three inches of soil by rototilling or other acceptable means before seeding. If not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureamorph fertilizer (9 lbs. per 1000 sq.ft.).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the period March 1 thru April 30 and from August 1 thru October 15, seed with 2-7/2 bushels per acre of annual ryegrass (3.2 lbs. per 1000 sq.ft.). For the period May 1 thru July 31, seed with 80 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq.ft.) of weeping lovegrass. During the period October 15 thru February 28, protect site by one of the following options:

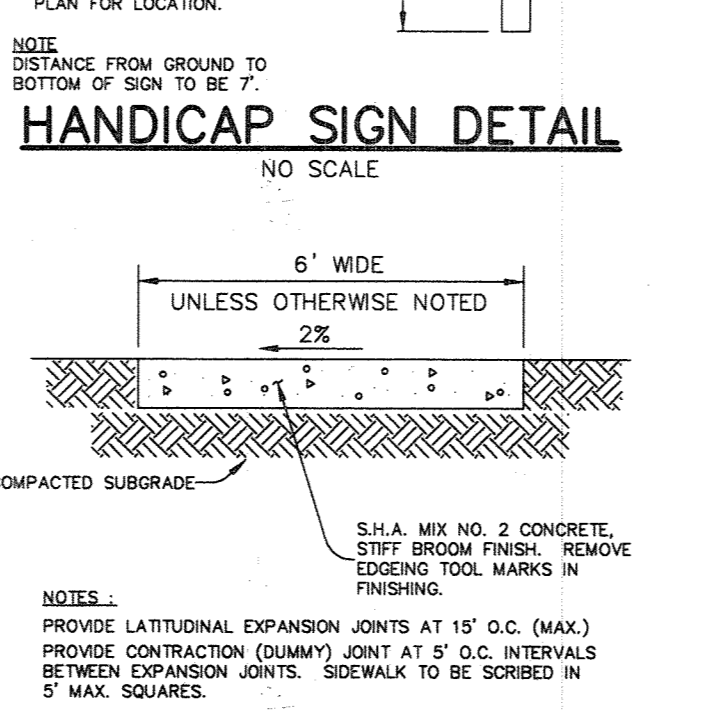
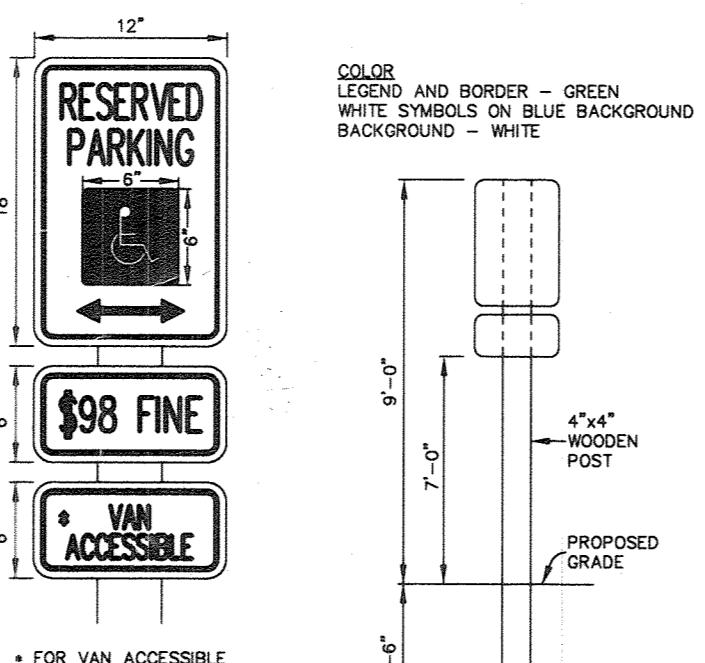
- 2 tons per acre of well-anchored mulch and seed as soon as possible in the spring.
- Use sod.
- Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well-anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

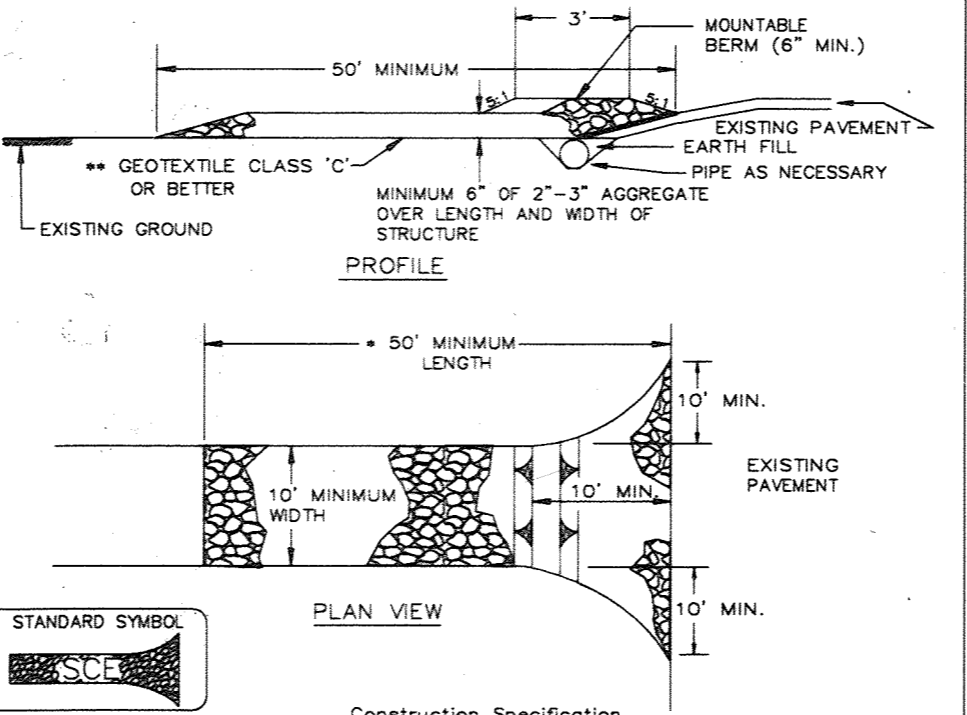
Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeding.

SEDIMENT CONTROL NOTES

- A MINIMUM 48 HOUR NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, AND REVISIONS THEREIN.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTRIBUTION, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A)7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; B) 14 DAYS AS TO OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1981 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOIL (SEC. 54), TEMPORARY SEEDING (SEC. 52) AND MULCHING (SEC. 53). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
TOTAL AREA OF SITE: 32.60 ACRES
AREA TO BE DESTROYED: 1.78 ACRES
AREA TO BE REEDED OR PAVED: 0.57 ACRES
AREA TO BE VEGETATIVELY STABILIZED: 1.19 ACRES
TOTAL CUT: 100 CU YDS.
TOTAL FILL: 1200 CU YDS.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE GRADING WILL BEGIN ONLY AFTER ALL PERMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDISCOVERED OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 AC., APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITH ONE WORKING DAY, WHICHEVER IS SHORTER.

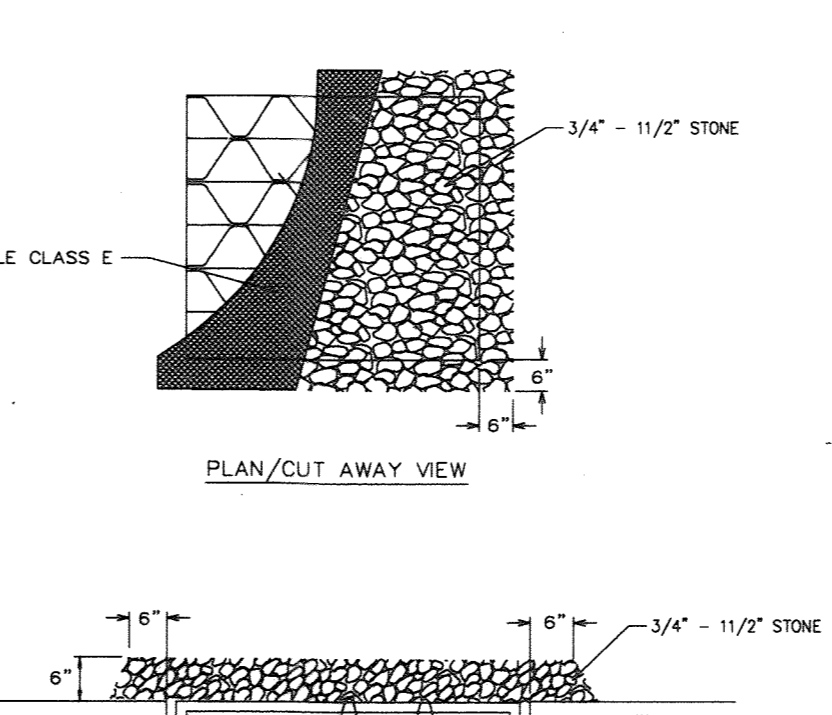


DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



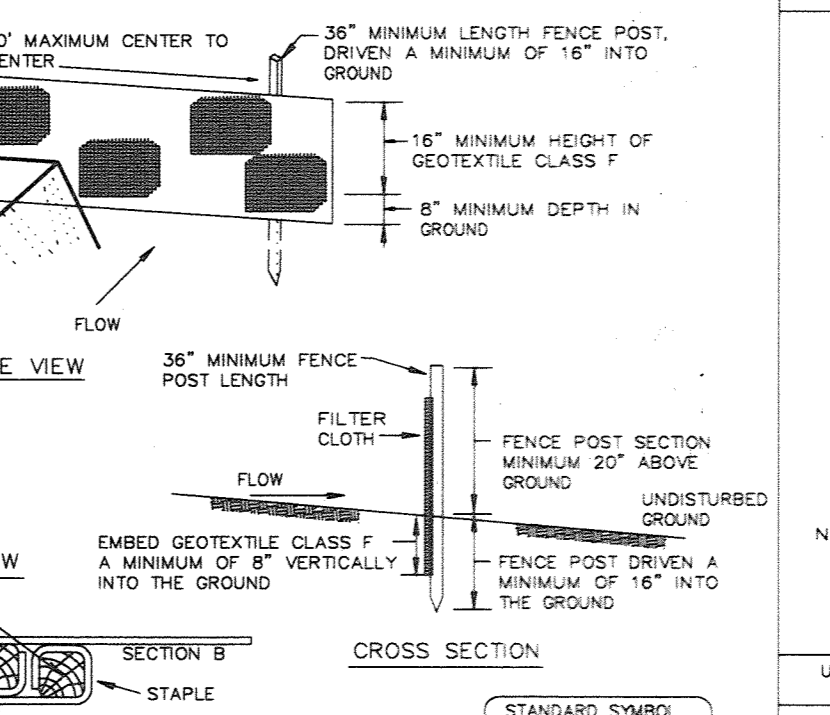
- Length - minimum of 50' (*30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. *The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 8" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mounding berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

DETAIL 23B - AT GRADE INLET PROTECTION



- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
- Place 3/4" to 1 1/2" stone, 4" to 6" thick on the grate to secure the fabric and provide additional filtration.

DETAIL 22 - SILT FENCE



- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at the top and mid-section and shall meet the following requirements for Geotextile Class F:
Tensile Strength: 50 lbs/in. (min.)
Tensile Modulus: 20 lbs/in. (min.)
Flow Rate: 0.3 gal ft² /minute (max.)
Filtering Efficiency: 75% (min.)
Tests: MSMT 509, MSMT 509, MSMT 322, MSMT 322.
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height.

SILT FENCE

Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Cathleen Conroy Young 10-2-95
DEVELOPER DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

J. Laekel 10-2-95
ENGINEER DATE

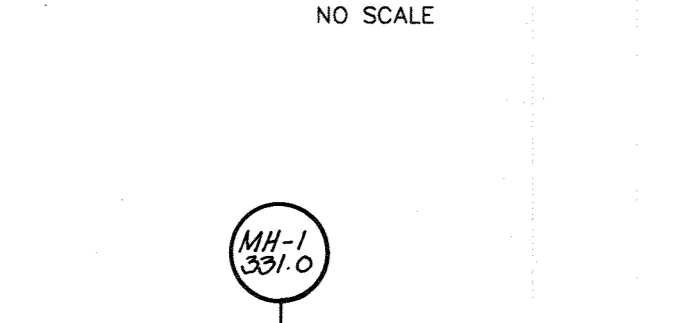
THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Patricia Engler 10-3-95
NATURAL RESOURCES CONSERVATION SERVICE DATE

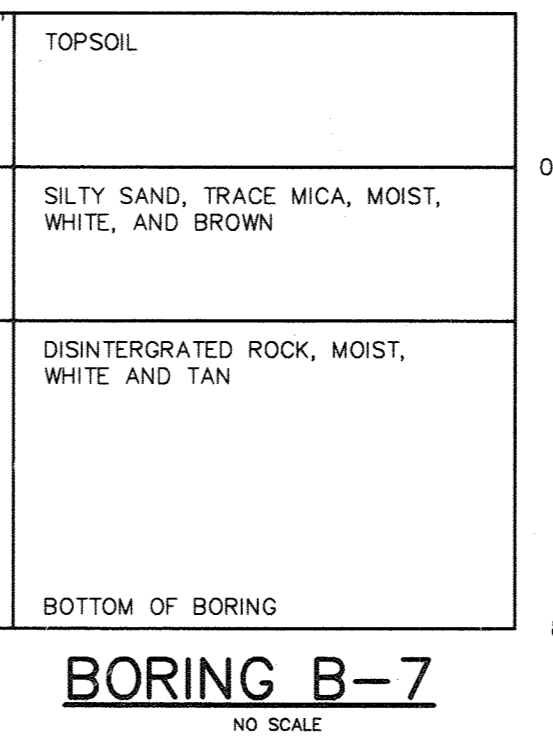
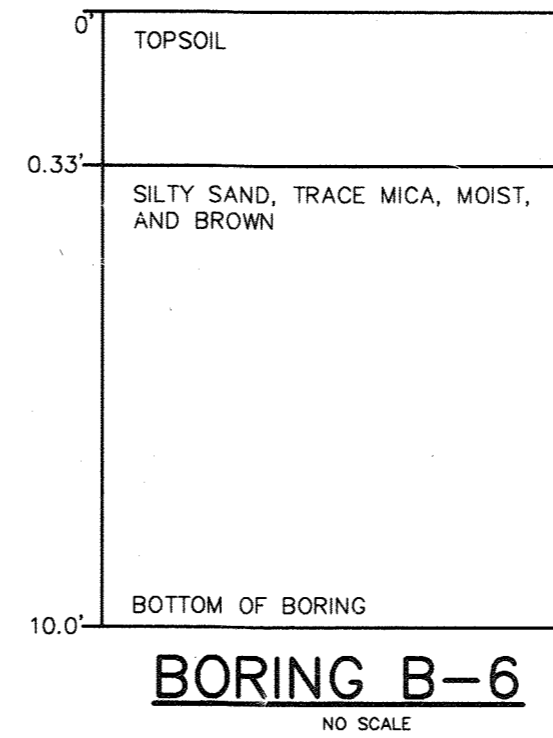
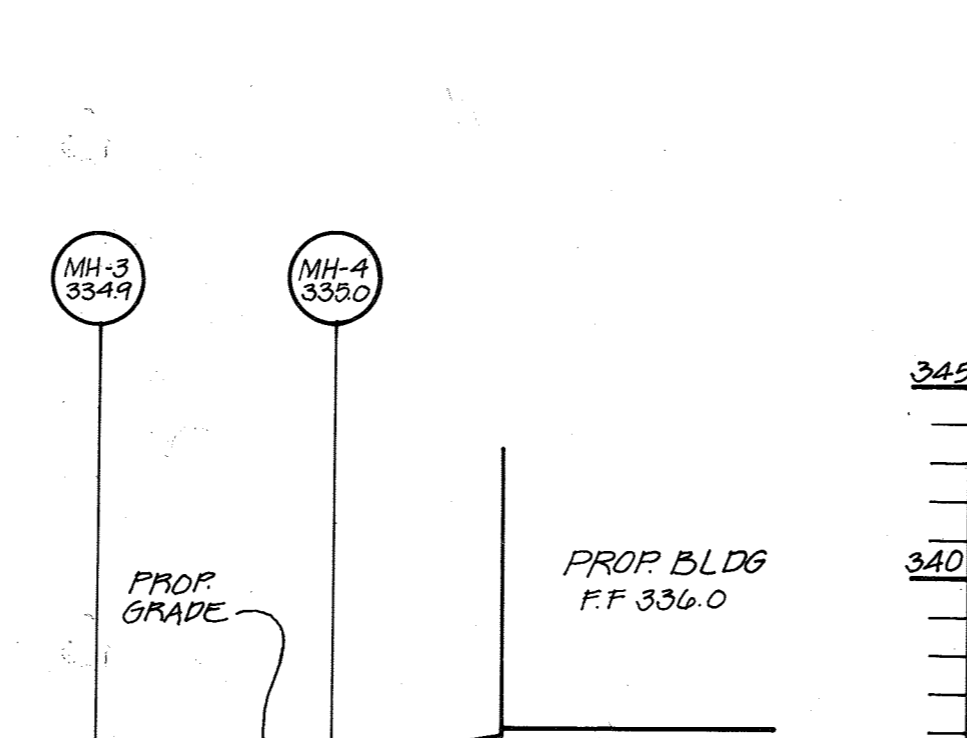
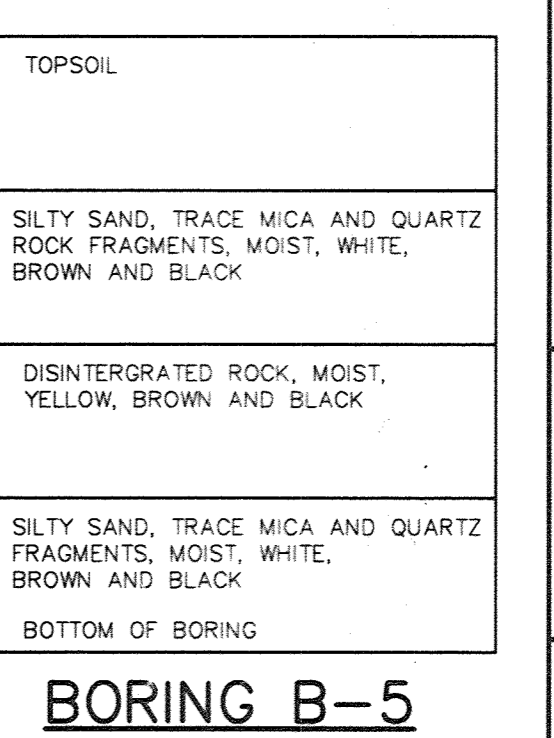
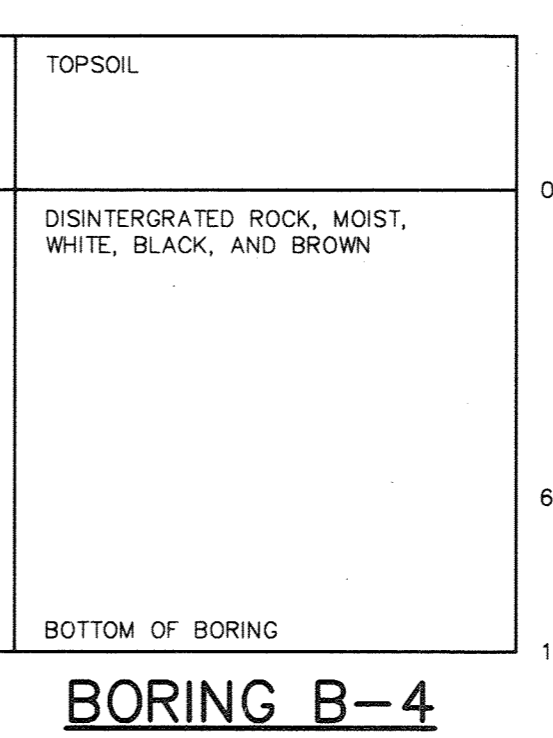
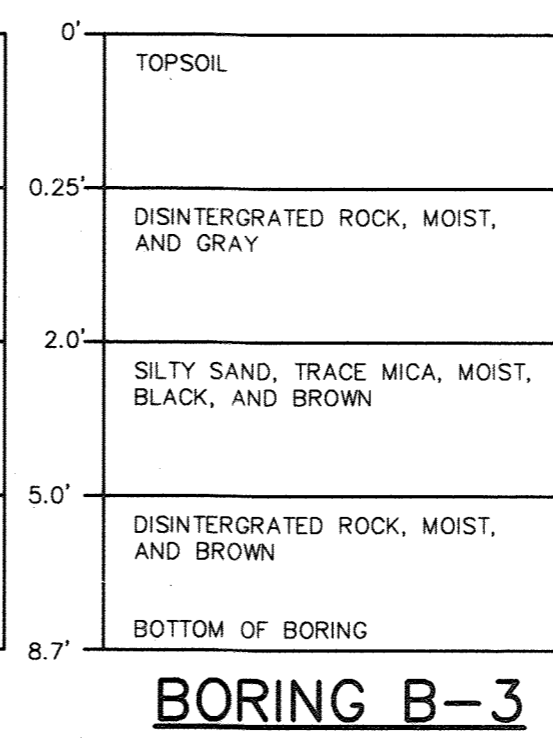
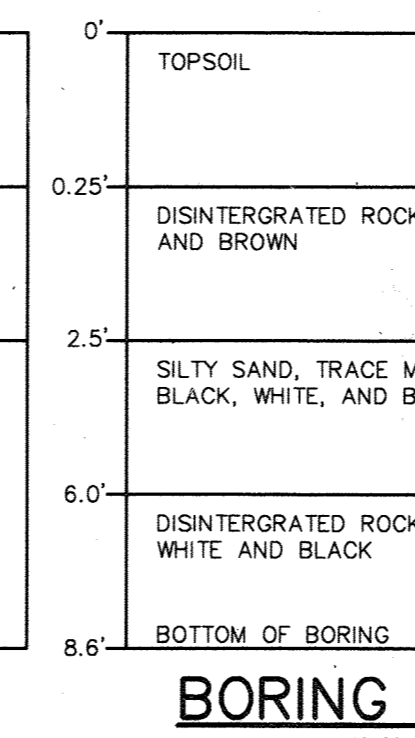
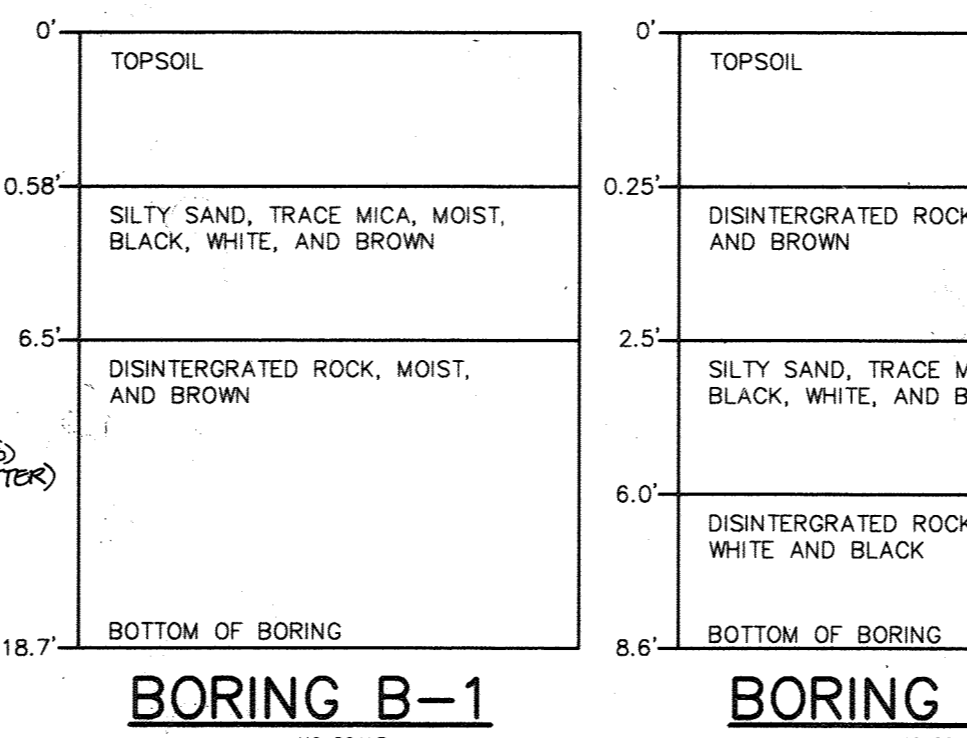
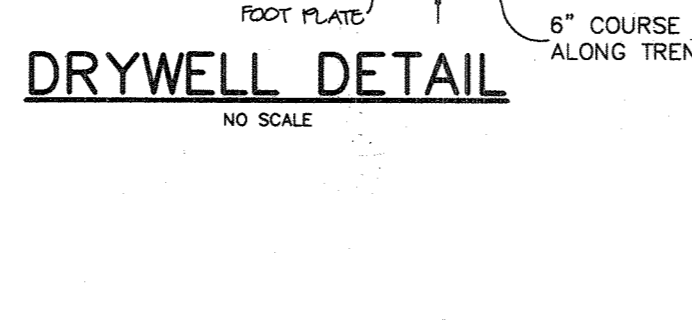
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Peltan
HOWARD SOIL CONSERVATION DISTRICT DATE

REVERSE 7" COMBINATION CURB AND GUTTER

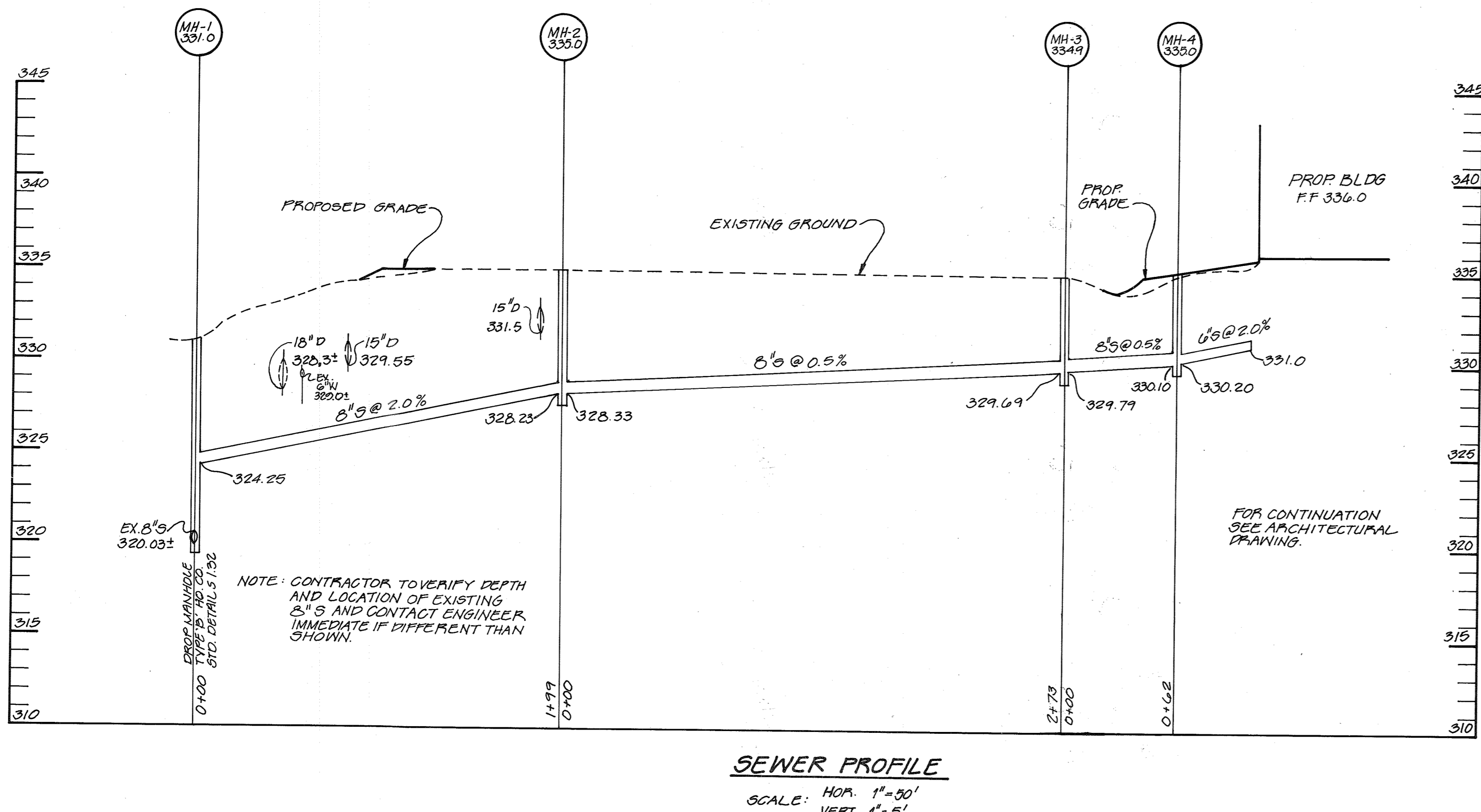


DRYWELL DETAIL



DRYWELL CONSTRUCTION SPECIFICATIONS

- The dry well shall not be constructed or placed in service until all of the surrounding drainage area has been stabilized and approved by the responsible inspector.
- The filter fabric shall be placed in 10'ft and compacted using plate compactor. As a rule of thumb, a minimum loose fill thickness of 12 inches is recommended. The construction process ensure fabric continuity to the excavation sides, thereby reducing the potential for soil piping and fabric clogging.
- Following aggregate placement, the fabric previously weighed by stones should be folded over the aggregate to form a 12" minimum longitudinal lap. The desired fill will be placed over the lap at sufficient intervals to secure the top during subsequent backfilling.
- Care shall be exercised to prevent natural or fill soils from intruding with the drainage aggregate. All contaminated aggregate shall be removed and replaced with uncontaminated aggregate.
- Wells can be treated between the fabric and excavation sides and should be avoided. Excavation sides or other obstructions from the well shall be removed. Natural soils should be placed in these voids at the source of such voids.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James S. Smith 10/13/95
DIRECTOR DATE

Chris Pannunzio 10/16/95
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Amy Sammons 10/13/95
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

5/30/95 REVISED TOTAL SHEET #

OWNER / DEVELOPER: BOARD OF EDUCATION OF HOWARD COUNTY, 10910 ROUTE 108, ELLICOTT CITY, MARYLAND 21042

PROJECT: **HAMMOND HIGH SCHOOL BUILDING ADDITIONS**

AREA: TAX MAP 42, PARCEL 405, ZONE NEW TOWN, VILLAGES OF KINGO CONTRAVANCE SECTION 2, AREA 1, GTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

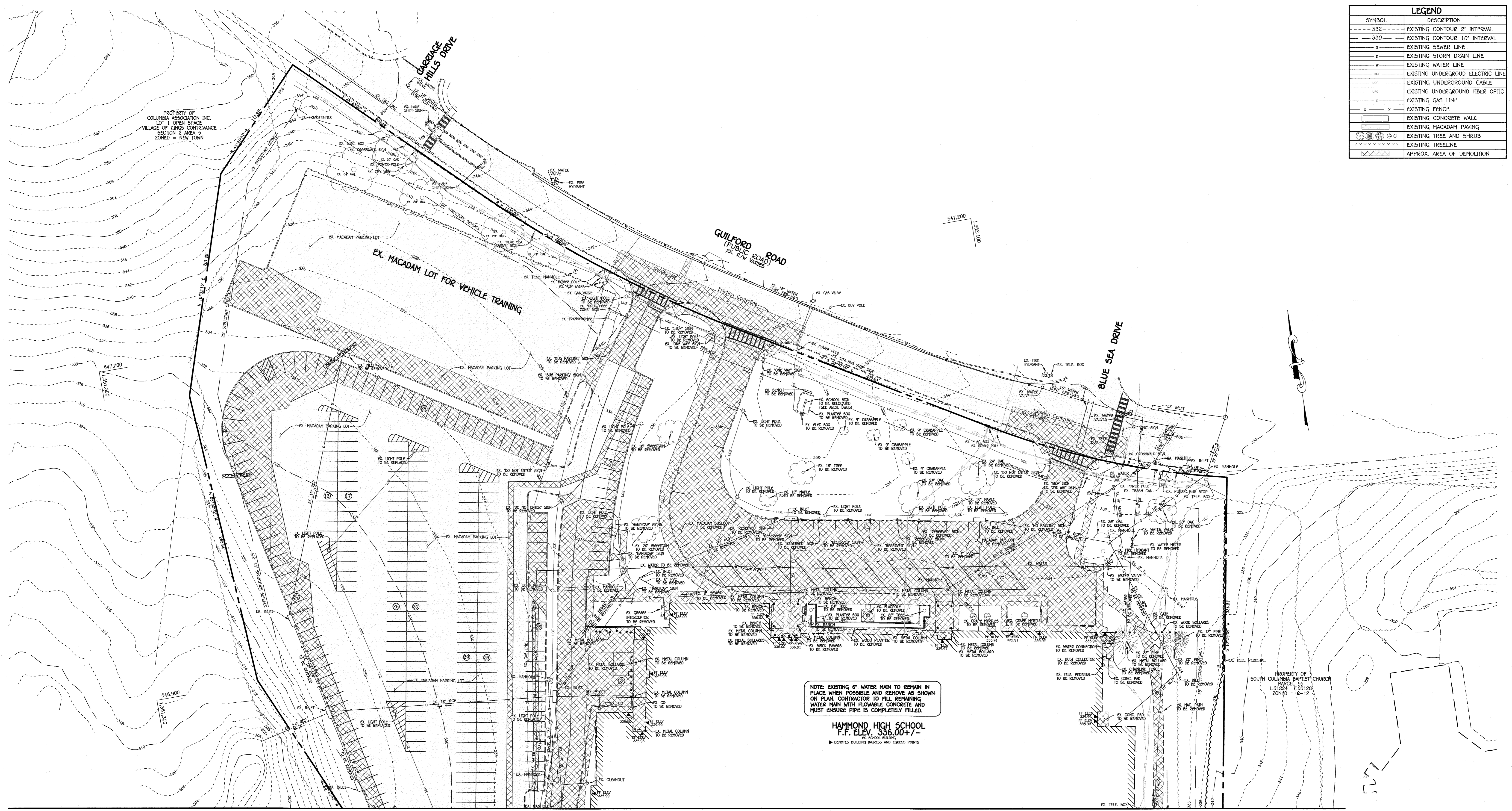
TITLE: **DETAIL SHEET**

RIBEMER MUEGGE & ASSOCIATES, INC.
Planners • Engineers • Surveyors
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045
410-997-8900 FAX: 410-997-9282

9.2.95 DATE
DESIGNED BY: C.J.R.
DRAWN BY: DAM
PROJECT NO.: HOCV 104600 SDP3.DWG
DATE: OCTOBER 2, 1995
SCALE: AS SHOWN
DRAWING NO. 3 OF 37

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: 19 Sept. 95

J. Laekel
JAYKANT D PAREKH #10108



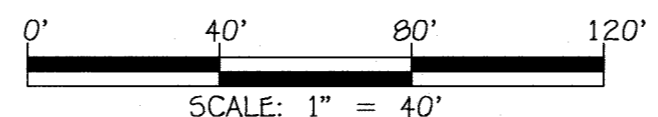
LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING GAS LINE
X	EXISTING FENCE
---	EXISTING CONCRETE WALK
---	EXISTING MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	APPROX. AREA OF DEMOLITION

NOTE: EXISTING 6" WATER MAIN TO REMAIN IN PLACE WHEN POSSIBLE AND REMOVE AS SHOWN ON PLAN. CONTRACTOR TO FILL REMAINING WATER MAIN WITH FLOWABLE CONCRETE AND MUST ENSURE PIPE IS COMPLETELY FILLED.

HAMMOND HIGH SCHOOL
F.F. ELEV. 336.00+/-
▲ DENOTES BUILDING INGRESS AND EGRESS POINTS

FOR CONTINUATION SEE SHEET 5

PLAN
SCALE: 1" = 40'



NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE DEMOLITION AREAS EFFECTED BY BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PLACE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2899

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Suite 5/20/20
STEPHANIE J. SUITE, P.E. DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	7-9-2020 Date
Director, Department of Planning and Zoning	
<i>[Signature]</i>	7/8/2020 Date
Chief, Development Engineering Division	
<i>[Signature]</i>	7-7-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

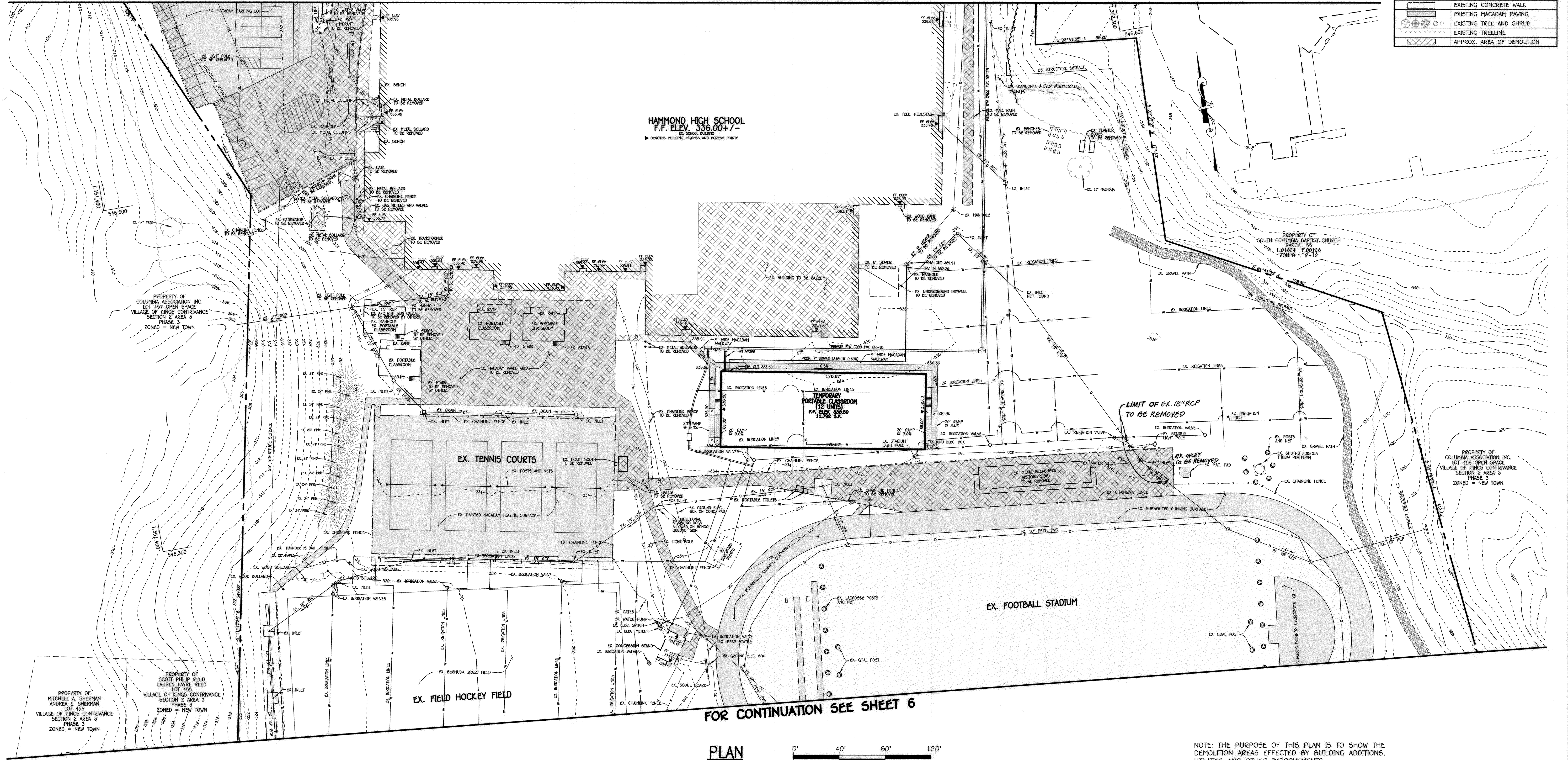


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT		SECTION/AREA	PARCEL		
HAMMOND HIGH SCHOOL		2/1	405		
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

DEMOLITION PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 4 OF 37

FOR CONTINUATION SEE SHEET 4

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
- - - -	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING GAS LINE
X - X	EXISTING FENCE
---	EXISTING CONCRETE WALK
---	EXISTING MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	APPROX. AREA OF DEMOLITION



HAMMOND HIGH SCHOOL
F.F. ELEV. 336.00 +/-
EX. SCHOOL BUILDING
GENOTES BUILDING INGRESS AND EGRESS POINTS

FOR CONTINUATION SEE SHEET 6

PLAN
SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE DEMOLITION AREAS EFFECTED BY BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

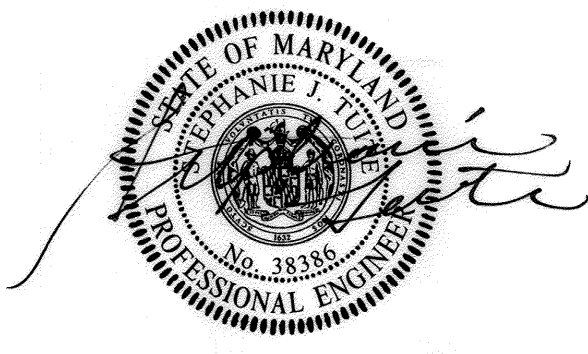
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
410.741.2295

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Stephanie A. Tuttle
STEPHANIE A. TUTTLE, P.E.
5/26/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
5-11-21	REVISED STORM DRAINS UNDER BLEACHERS	
7-9-2020		
7/8/2020		
7.7.20		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: [Signature] Date: 7-9-2020
Chief, Division of Land Development: [Signature] Date: 7.7.20
Chief, Development Engineering Division: [Signature] Date: 7.7.20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 101
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



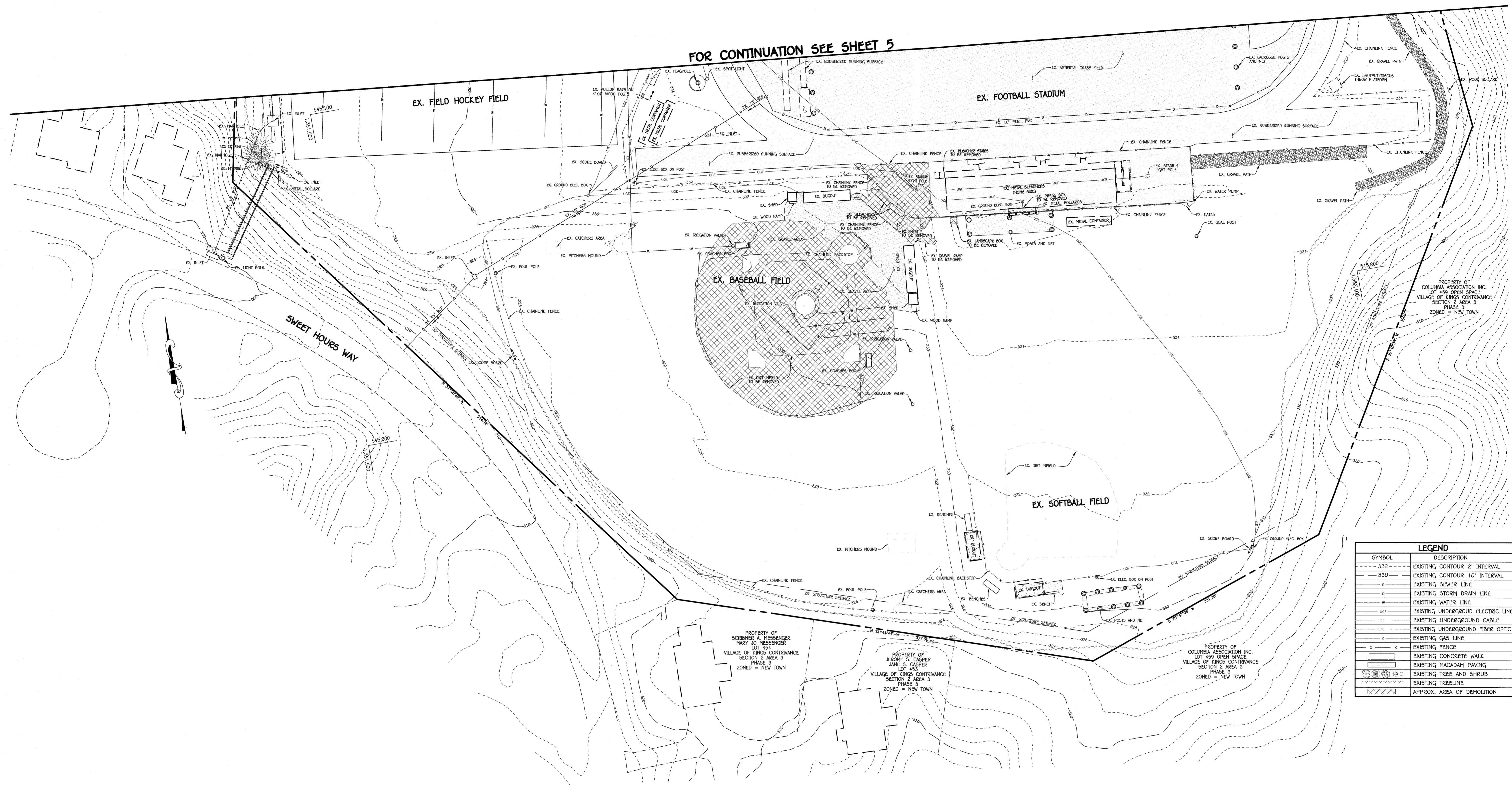
ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046

PROJECT	SECTION/AREA	PARCEL
HAMMOND HIGH SCHOOL	2/1	405

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

DEMOLITION PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 5 OF 37

FOR CONTINUATION SEE SHEET 5



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
-S-	EXISTING SEWER LINE
-D-	EXISTING STORM DRAIN LINE
-W-	EXISTING WATER LINE
-E-	EXISTING UNDERGROUND ELECTRIC LINE
-C-	EXISTING UNDERGROUND CABLE
-F-	EXISTING UNDERGROUND FIBER OPTIC
-G-	EXISTING GAS LINE
X	EXISTING FENCE
▭	EXISTING CONCRETE WALK
▭	EXISTING MACADAM PAVING
○	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
▨	APPROX. AREA OF DEMOLITION

PLAN
SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE DEMOLITION AREAS EFFECTED BY BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SERVICE OFFICE: PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

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Stephanie J. Tuite 5/26/20
STEPHANIE J. TUITE, P.E. DATE

DATE	DESCRIPTION	REVISION BLOCK
7-9-2020	Director, Department of Planning and Zoning	
7/8/2020	Chief, Division of Land Development	
9.7.20	Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

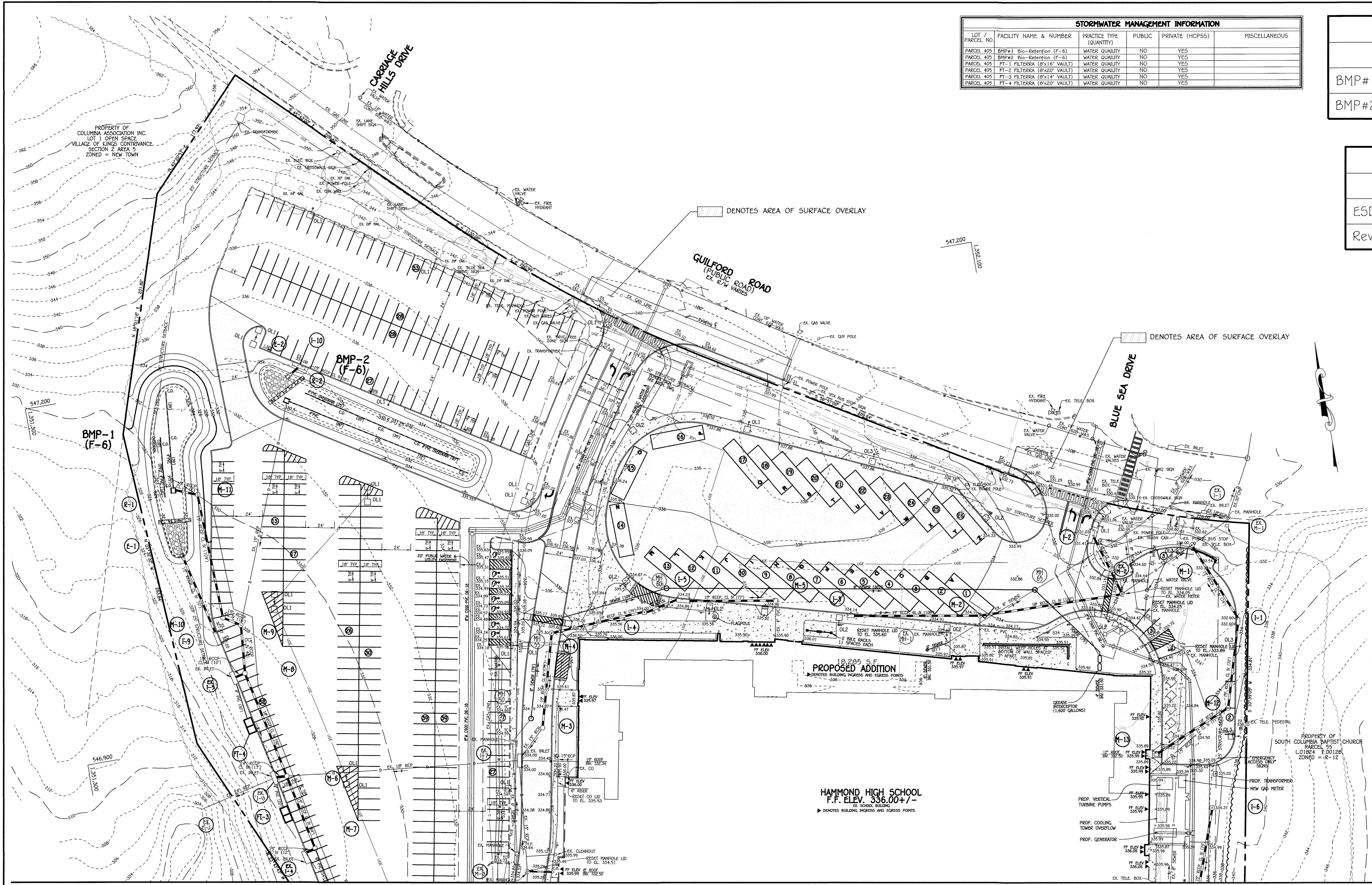


ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
405	8800 QUILLFORD ROAD COLUMBIA, MARYLAND 21046

PROJECT	SECTION/AREA	PARCEL
HAMMOND HIGH SCHOOL	2/1	405

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

DEMOLITION PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 6 OF 37



STORMWATER MANAGEMENT INFORMATION					
LOT / PARCEL NO.	FACILITY NAME & NUMBER	PRACTICE TYPE (QUANTITY)	PUBLIC	PRIVATE (HCPSS)	MISCELLANEOUS
PARCEL 405	BMP#1 Bio-Retention (F-6)	WATER QUALITY	NO	YES	
PARCEL 405	BMP#2 Bio-Retention (F-6)	WATER QUALITY	NO	YES	
PARCEL 405	FT-1 FILTERRA (8'x16' VAULT)	WATER QUALITY	NO	YES	
PARCEL 405	FT-2 FILTERRA (8'x20' VAULT)	WATER QUALITY	NO	YES	
PARCEL 405	FT-3 FILTERRA (8'x14' VAULT)	WATER QUALITY	NO	YES	
PARCEL 405	FT-4 FILTERRA (8'x20' VAULT)	WATER QUALITY	NO </td <td>YES</td> <td></td>	YES	

BMP SUMMARY TABLE						
	ESDv WSEL	ESDv (CF)	10YR WSEL	10YR Q (CFS)	100YR WSEL	100YR Q (CFS)
BMP#1	323.75	2,997	324.18	6.77	324.35	11.28
BMP#2	331.25	3,703	331.69	7.01	331.82	10.55

SWM SUMMARY TABLE			
	REQUIRED	PROVIDED	PRACTICE
ESDv	10,188	10,600	BIO-RETENTION BMPs AND FILTERRAS
Rev	964	975	AGGREGATE TRENCH BENEATH F-6 UNDERDRAINS

LEGEND	
SYMBOL	DESCRIPTION
--- 332 ---	EXISTING CONTOUR 2' INTERVAL
--- 330 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
--- 332 ---	PROPOSED CONTOUR 2' INTERVAL
--- 330 ---	PROPOSED CONTOUR 10' INTERVAL
+ 333.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	PROPOSED GRASS PAVERS
---	PROPOSED TURNED DOWN CONC. SLAB

FOR CONTINUATION SEE SHEET B

PLAN
SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2999

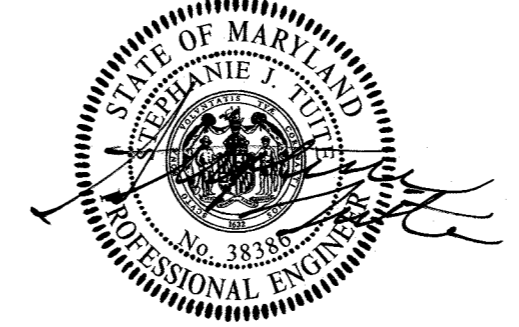
"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie A. Tuite 5/26/20
STEPHANIE A. TUITE, P.E. DATE

DATE	DESCRIPTION	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director, Department of Planning and Zoning 7-9-2020
Date
7/6/2020
Date
9-9-20
Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				

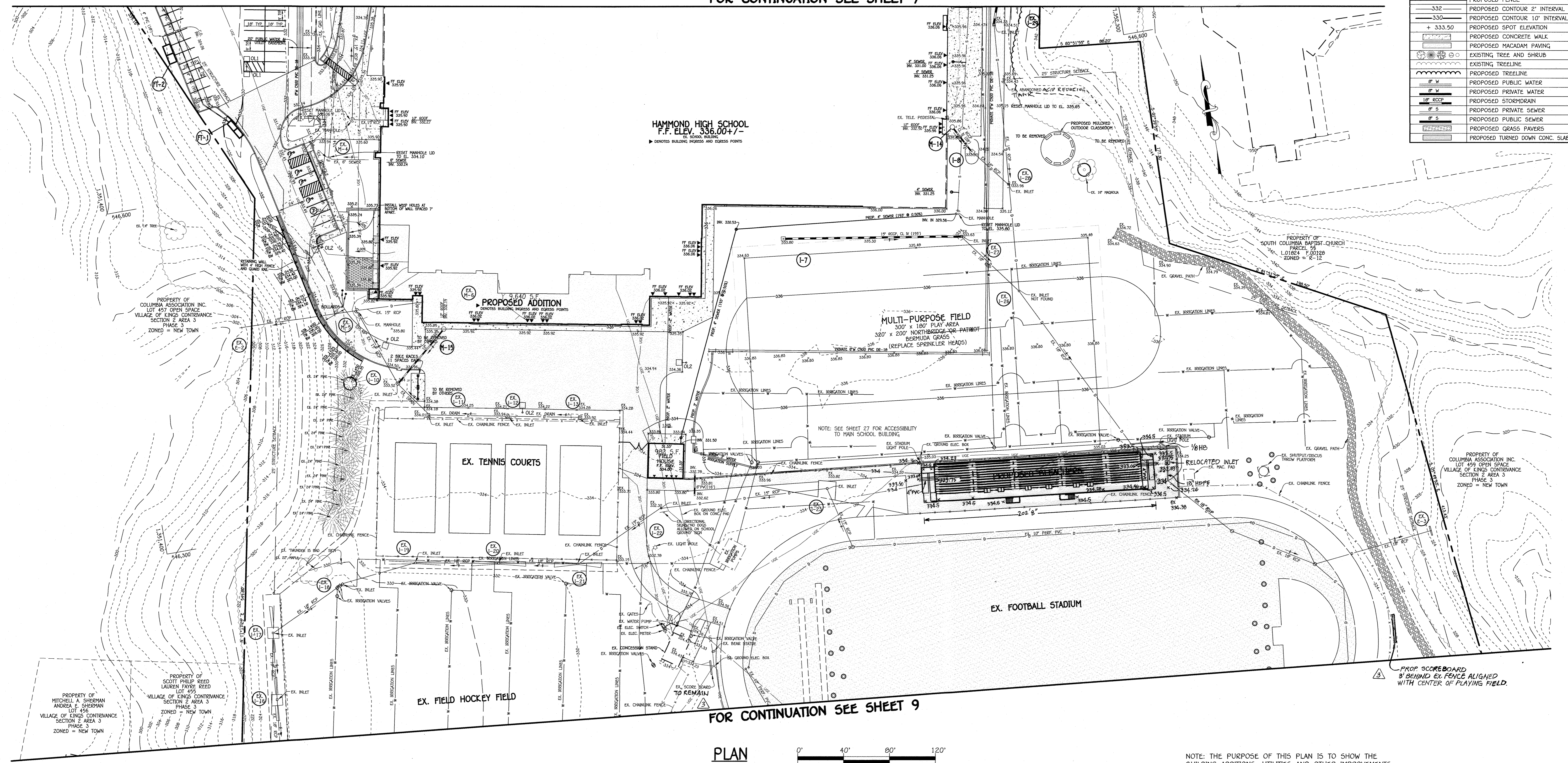
PROJECT	SECTION/AREA	PARCEL
HAMMOND HIGH SCHOOL	2/1	405

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	B, 14	NEW TOWN (NT)	42	SIXTH	6051.02

SITE DEVELOPMENT PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
**HAMMOND HIGH SCHOOL
BUILDING ADDITIONS**
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: B & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 7 OF 37

FOR CONTINUATION SEE SHEET 7

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	PROPOSED GRASS PAVERS
---	PROPOSED TURNED DOWN CONC. SLAB



HAMMOND HIGH SCHOOL
F.F. ELEV. 336.00+/-
 ▶ DENOTES BUILDING INGRESS AND EGRESS POINTS

FOR CONTINUATION SEE SHEET 9

PLAN
 SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 SALTPORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 481-2899

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie Tuitt
 STEPHANIE TUITT, P.E.
 5/24/20
 DATE

DATE	DESCRIPTION	REVISION BLOCK
8/12/21	ADDED SCOREBOARD TO STADIUM	3
5/12/21	REVISED GRADING AND STORM DRAINS UNDER BLEACHERS	
3/11/21	REVISED BLEACHERY LAYOUT	

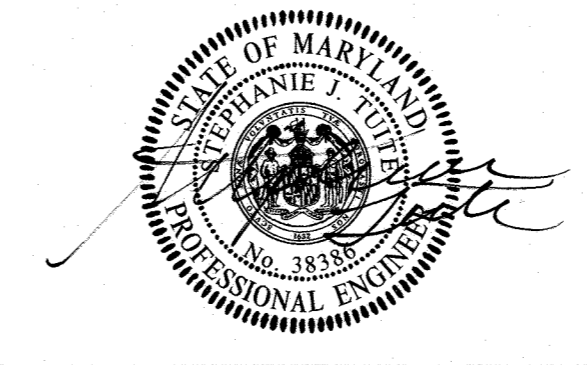
APPROVED: DEPARTMENT OF PLANNING AND ZONING

John Conner 7-9-2020
 Director, Department of Planning and Zoning

David Blum 7/8/2020
 Chief, Division of Land Development

David Blum 7.7.20
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE "C"
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046		

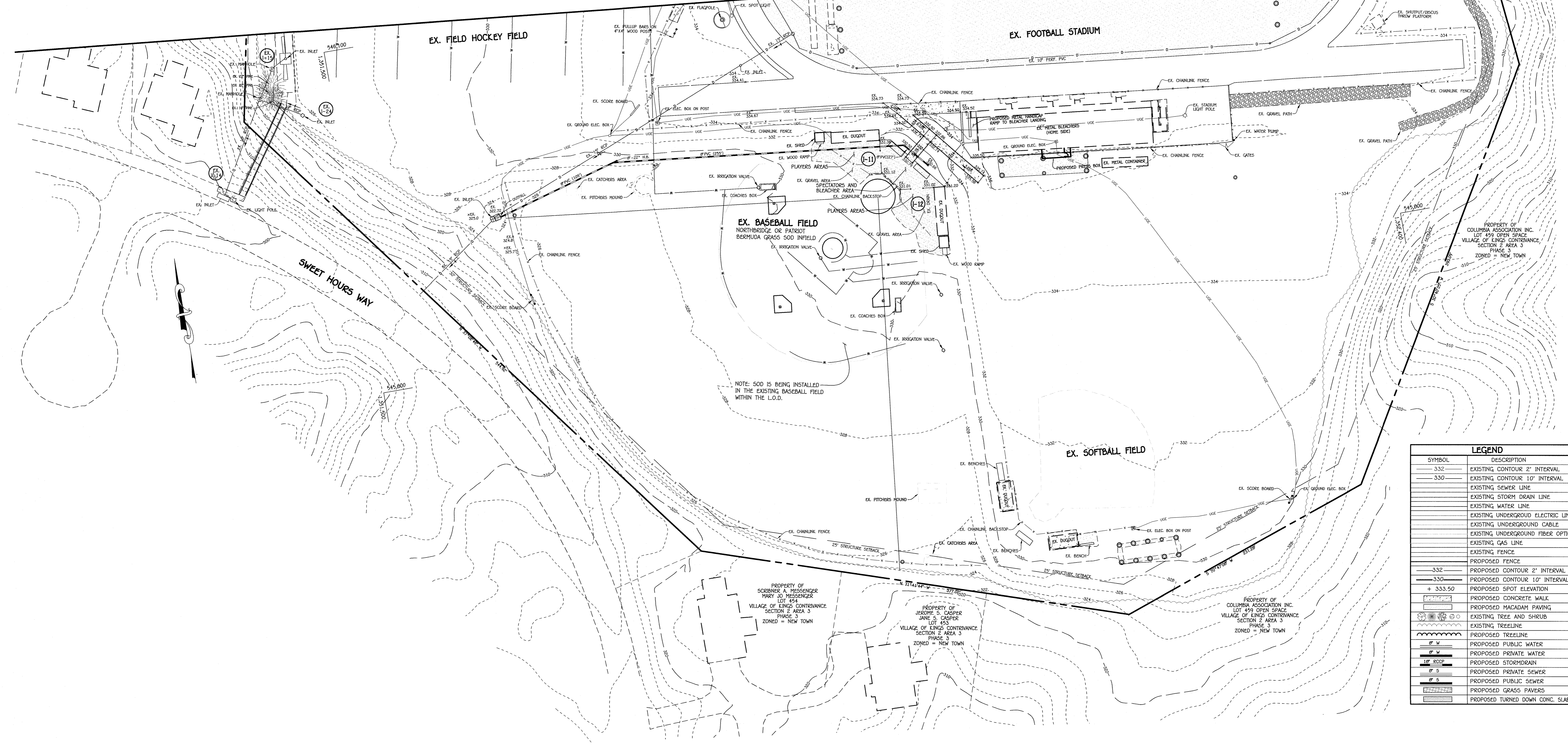
PROJECT	SECTION/AREA	PARCEL
HAMMOND HIGH SCHOOL	2/1	405

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

SITE DEVELOPMENT PLAN

"REVISED SITE DEVELOPMENT PLAN"
 VILLAGE OF KINGS CONTRIVANCE
 SECTION 2 AREA 1
 SCHOOL SITE
HAMMOND HIGH SCHOOL
 BUILDING ADDITIONS
 ZONED: NEW TOWN (NT)
 PARCEL No.: 405
 TAX MAP No.: 42 GRID No.: 8 & 14
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40' DATE: MAY 11, 2020
 SHEET 8 OF 37

FOR CONTINUATION SEE SHEET 8



PLAN
SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

LEGEND	
SYMBOL	DESCRIPTION
--- 332	EXISTING CONTOUR 2' INTERVAL
--- 330	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
--- 332	PROPOSED CONTOUR 2' INTERVAL
--- 330	PROPOSED CONTOUR 10' INTERVAL
+ 333.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
8" W	PROPOSED PUBLIC WATER
8" W	PROPOSED PRIVATE WATER
18" RCP	PROPOSED STORMDRAIN
8" S	PROPOSED PRIVATE SEWER
8" S	PROPOSED PUBLIC SEWER
---	PROPOSED GRASS PAVERS
---	PROPOSED TURNED DOWN CONC. SLAB

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
REGIONAL SURVEY OFFICE, PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie Tuite 5/26/20
STEPHANIE T. TUIE, P.E. DATE

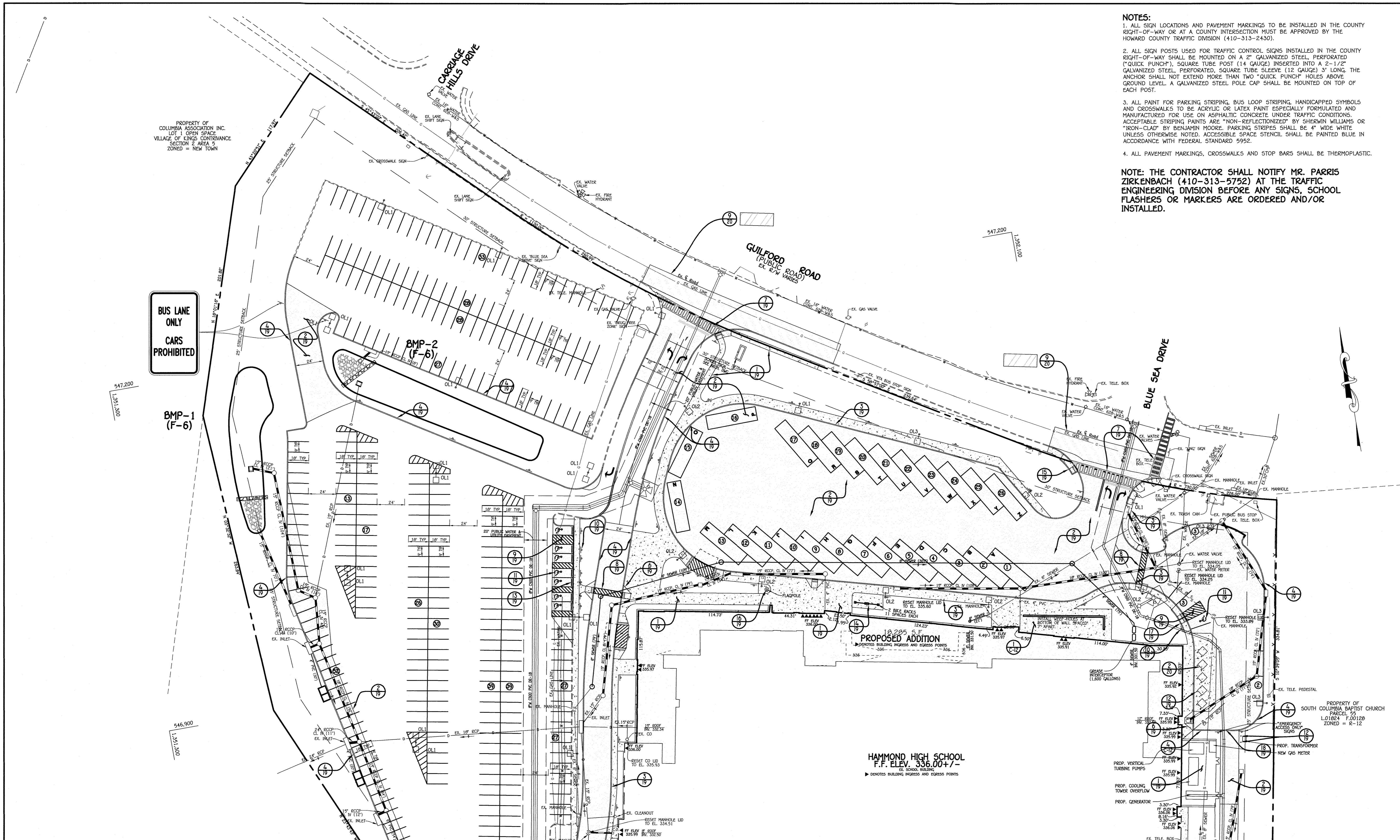
DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	7-9-2020 Date
Director, Department of Planning and Zoning	
<i>[Signature]</i>	7/8/2020 Date
Chief, Division of Land Development	
<i>[Signature]</i>	7-7-20 Date
Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	2800 QUILLFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT		SECTION/AREA	PARCEL		
HAMMOND HIGH SCHOOL		2/1	405		
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

SITE DEVELOPMENT PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 9 OF 37



- NOTES:**
1. ALL SIGN LOCATIONS AND PAVEMENT MARKINGS TO BE INSTALLED IN THE COUNTY RIGHT-OF-WAY OR AT A COUNTY INTERSECTION MUST BE APPROVED BY THE HOWARD COUNTY TRAFFIC DIVISION (410-313-2430).
 2. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH") SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 3. ALL PAINT FOR PARKING STRIPING, BUS LOOP STRIPING, HANDICAPPED SYMBOLS AND CROSSWALKS TO BE ACRYLIC OR LATEX PAINT ESPECIALLY FORMULATED AND MANUFACTURED FOR USE ON ASPHALTIC CONCRETE UNDER TRAFFIC CONDITIONS. ACCEPTABLE STRIPING PAINTS ARE "NON-REFLECTIONIZED" BY SHERWIN WILLIAMS OR "IRON-CLAD" BY BENJAMIN MOORE. PARKING STRIPES SHALL BE 4" WIDE WHITE UNLESS OTHERWISE NOTED. ACCESSIBLE SPACE STENCIL SHALL BE PAINTED BLUE IN ACCORDANCE WITH FEDERAL STANDARD 5952.
 4. ALL PAVEMENT MARKINGS, CROSSWALKS AND STOP BARS SHALL BE THERMOPLASTIC.

NOTE: THE CONTRACTOR SHALL NOTIFY MR. PARRIS ZIRKENBACH (410-313-5752) AT THE TRAFFIC ENGINEERING DIVISION BEFORE ANY SIGNS, SCHOOL FLASHERS OR MARKERS ARE ORDERED AND/OR INSTALLED.

LEGEND	
SYMBOL	DESCRIPTION
—S—	EXISTING SEWER LINE
—D—	EXISTING STORM DRAIN LINE
—W—	EXISTING WATER LINE
—U—	EXISTING UNDERGROUND ELECTRIC LINE
—C—	EXISTING UNDERGROUND CABLE
—F—	EXISTING UNDERGROUND FIBER OPTIC
—G—	EXISTING GAS LINE
—X—	EXISTING FENCE
—X—X—	PROPOSED FENCE
—C—C—	PROPOSED CONCRETE WALK
—P—P—	PROPOSED MACADAM PAVING
—P—W—	PROPOSED PUBLIC WATER
—P—W—	PROPOSED PRIVATE WATER
—P—S—	PROPOSED STORMDRAIN
—P—S—	PROPOSED PRIVATE SEWER
—P—S—	PROPOSED PUBLIC SEWER
—P—G—	PROPOSED GRASS PAVERS
—P—G—	PROPOSED TURNED DOWN CONC. SLAB

FOR CONTINUATION SEE SHEET 10

PLAN
SCALE: 1" = 40'



NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite 5/20/20
STEPHANIE J. TUITE, P.E. DATE

DATE	DESCRIPTION	REVISION BLOCK
7-9-2010	DATE	
7/8/2020	DATE	
7-7-20	DATE	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director of Department of Planning and Zoning

Chief, Division of Land Development

Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046

PROJECT	SECTION/AREA	PARCEL
HAMMOND HIGH SCHOOL	2/1	405

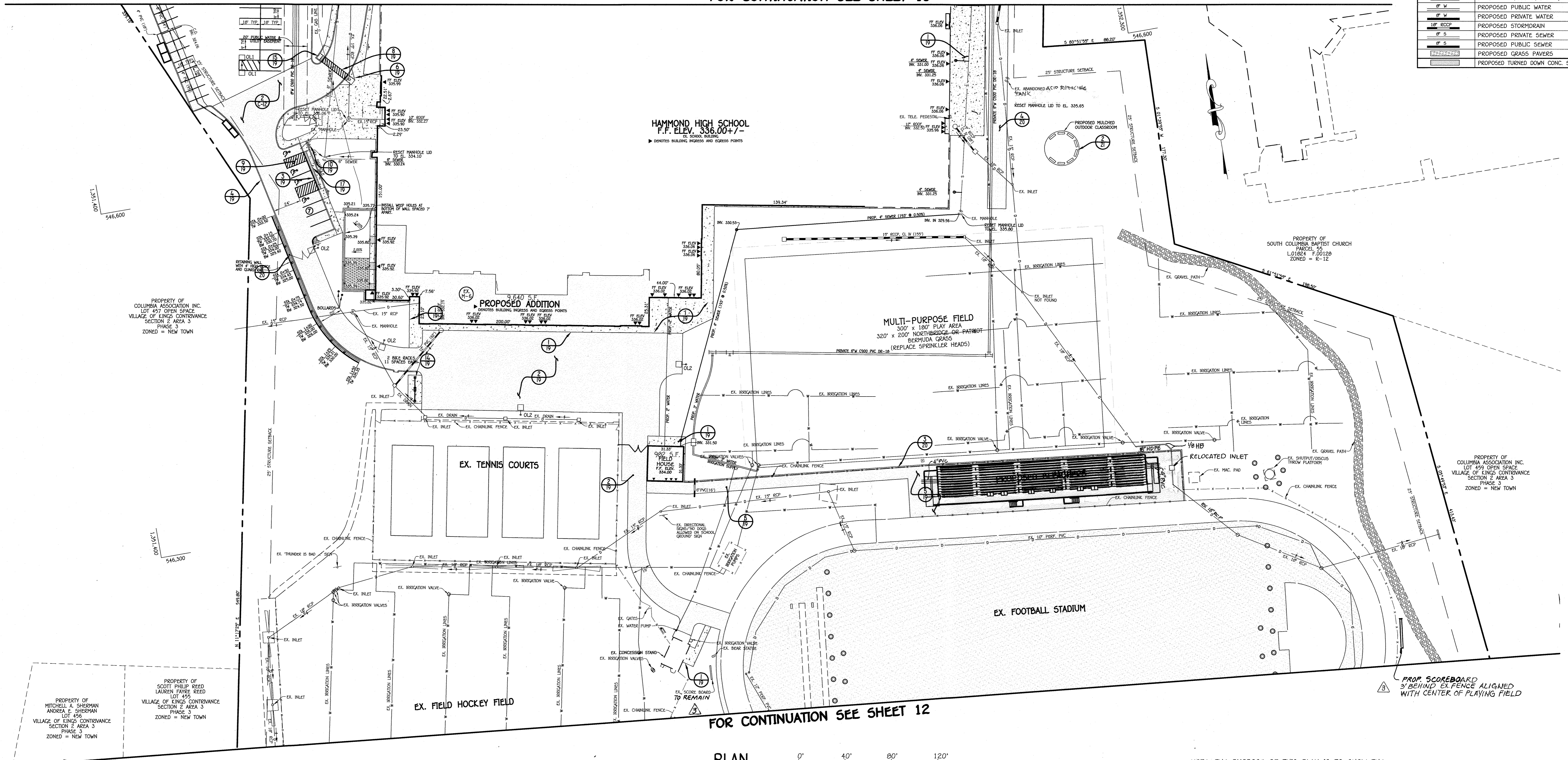
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

GEOMETRY PLAN

"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
**HAMMOND HIGH SCHOOL
BUILDING ADDITIONS**
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 10 OF 37

FOR CONTINUATION SEE SHEET 10

LEGEND	
SYMBOL	DESCRIPTION
-s-	EXISTING SEWER LINE
-d-	EXISTING STORM DRAIN LINE
-w-	EXISTING WATER LINE
-u-	EXISTING UNDERGROUND ELECTRIC LINE
-c-	EXISTING UNDERGROUND CABLE
-f-	EXISTING UNDERGROUND FIBER OPTIC
-g-	EXISTING GAS LINE
-x-	EXISTING FENCE
-x-x-	PROPOSED FENCE
-x-x-x-	PROPOSED CONCRETE WALK
-x-x-x-x-	PROPOSED MACADAM PAVING
-x-w-	PROPOSED PUBLIC WATER
-x-w-w-	PROPOSED PRIVATE WATER
-x-w-w-w-	PROPOSED STORMDRAIN
-x-s-	PROPOSED PRIVATE SEWER
-x-s-s-	PROPOSED PUBLIC SEWER
-x-s-s-s-	PROPOSED GRASS PAVERS
-x-s-s-s-s-	PROPOSED TURNED DOWN CONC. SLAB



HAMMOND HIGH SCHOOL
F.F. ELEV. 336.00+/-
EX. SCHOOL BUILDING
DENOTES BUILDING INGRESS AND EGRESS POINTS

MULTI-PURPOSE FIELD
300' x 150' PLAY AREA
320' x 200' NORTHBRIDGE OR PATRIOT
BERMUDA GRASS
REPLACE EX. 200' P.C. DR-1A (REPLACE SPRINKLER HEADS)

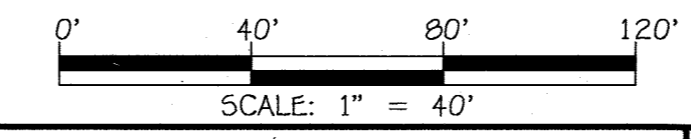
EX. TENNIS COURTS

EX. FOOTBALL STADIUM

EX. FIELD HOCKEY FIELD

FOR CONTINUATION SEE SHEET 12

PLAN
SCALE: 1" = 40'



NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

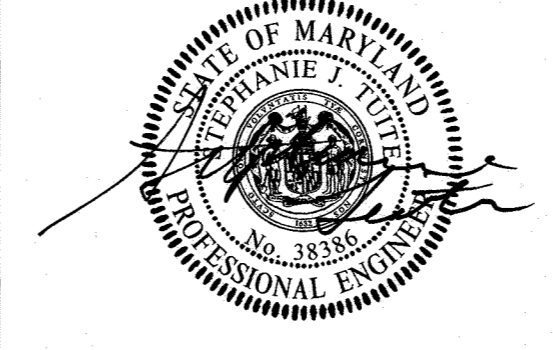
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21142
(410) 461-2895

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Juite 5/26/20
STEPHANIE J. JUITE, P.E. DATE

DATE	DESCRIPTION	REVISION BLOCK
8/19/21	ADDED SCOREBOARD TO STADIUM	3
5/12/21	REVISED STORM DRAINS UNDER BLEACHERS	
3/11/21	REMOVED BLEACHERS LAYOUT	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director of Department of Planning and Zoning 7/9/2020 Date
Chief of Land Development 7/8/2020 Date
Chief, Development Engineering Division 7.7.20 Date

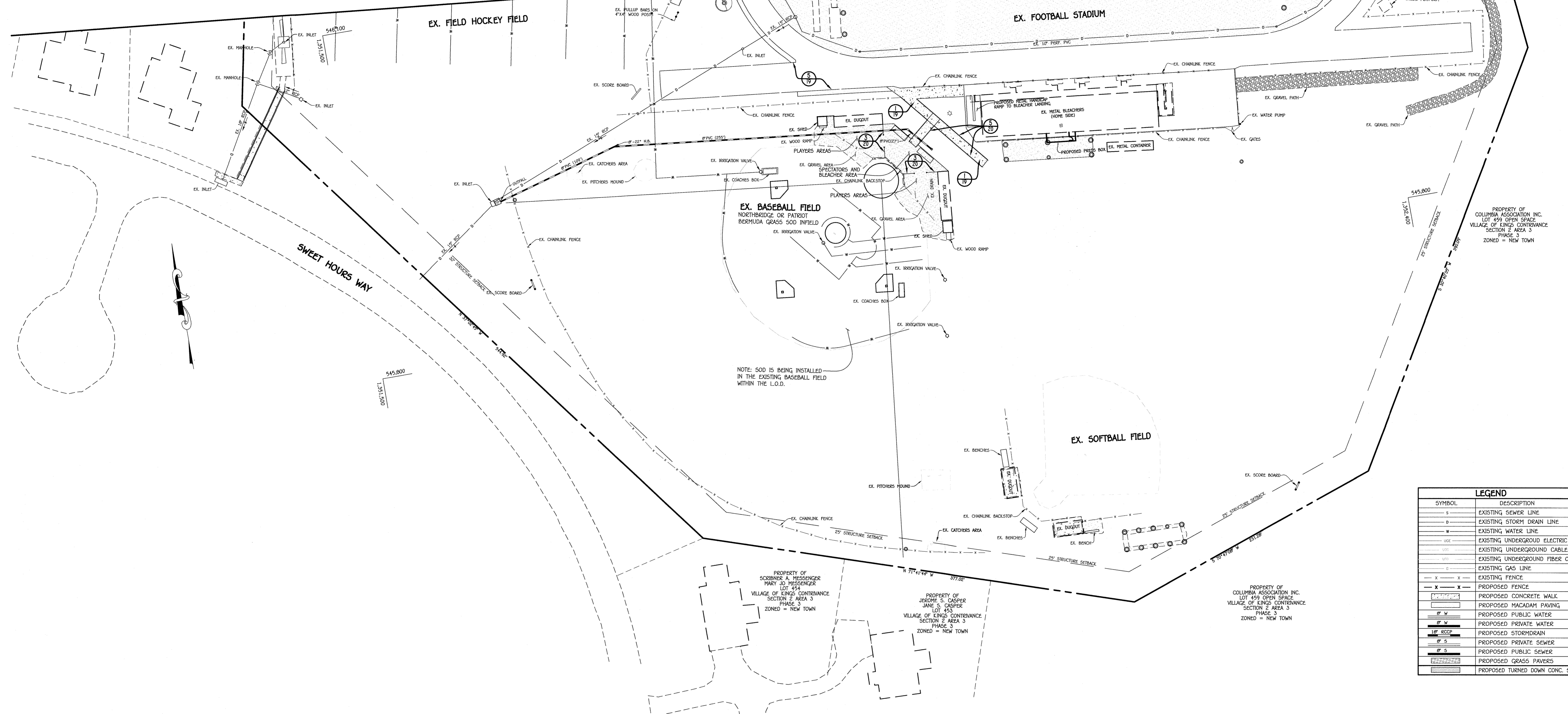
PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT		SECTION/AREA	PARCEL		
HAMMOND HIGH SCHOOL		2/1	405		
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

GEOMETRY PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 11 OF 37

FOR CONTINUATION SEE SHEET 11

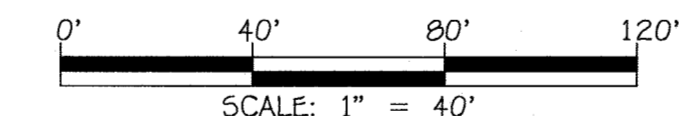


PROPERTY OF COLUMBIA ASSOCIATION INC. LOT 459 OPEN SPACE VILLAGE OF KINGS CONTRIVANCE SECTION 2 AREA 3 PHASE 3 ZONED = NEW TOWN

NOTE: SOD IS BEING INSTALLED IN THE EXISTING BASEBALL FIELD WITHIN THE L.O.D.

LEGEND	
SYMBOL	DESCRIPTION
-s-	EXISTING SEWER LINE
-d-	EXISTING STORM DRAIN LINE
-w-	EXISTING WATER LINE
-u-c-	EXISTING UNDERGROUND ELECTRIC LINE
-u-c-	EXISTING UNDERGROUND CABLE
-g-	EXISTING UNDERGROUND FIBER OPTIC
-g-	EXISTING GAS LINE
-x-x-	EXISTING FENCE
-x-x-	PROPOSED FENCE
[Symbol]	PROPOSED CONCRETE WALK
[Symbol]	PROPOSED MACADAM PAVING
[Symbol]	PROPOSED PUBLIC WATER
[Symbol]	PROPOSED PRIVATE WATER
[Symbol]	PROPOSED STORMDRAIN
[Symbol]	PROPOSED PRIVATE SEWER
[Symbol]	PROPOSED PUBLIC SEWER
[Symbol]	PROPOSED GRASS PAVERS
[Symbol]	PROPOSED TURNED DOWN CONC. SLAB

PLAN
SCALE: 1" = 40'



NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2899

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite 5/26/20
STEPHANIE J. TUITE, P.E. DATE

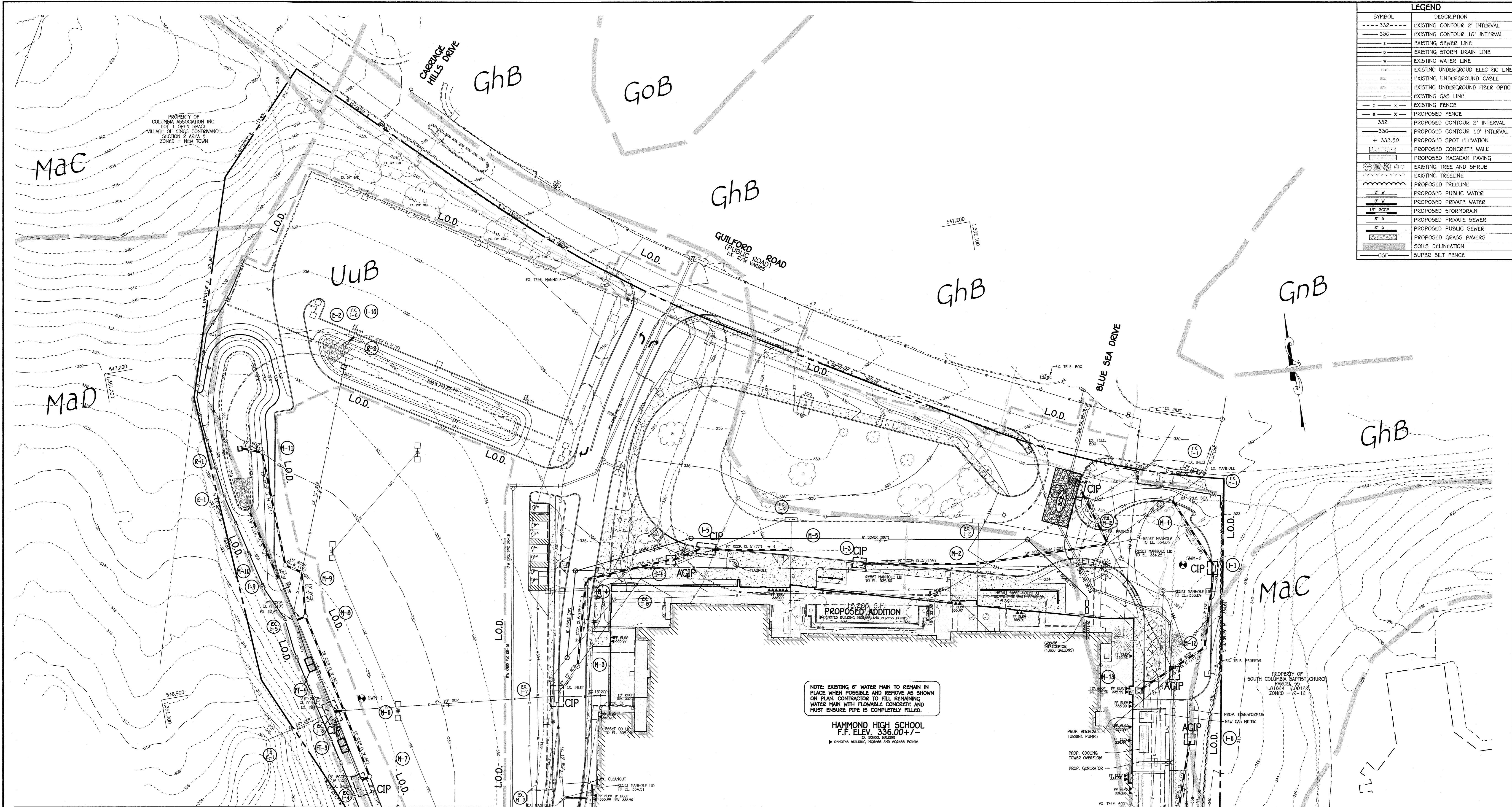
DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> 7-9-2020 Director - Department of Planning and Zoning Date	
<i>[Signature]</i> 7/6/2020 Chief, Division of Land Development Date	
<i>[Signature]</i> 7-7-20 Chief, Development Engineering Division Date	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT		SECTION/AREA	PARCEL		
HAMMOND HIGH SCHOOL		2/1	405		
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

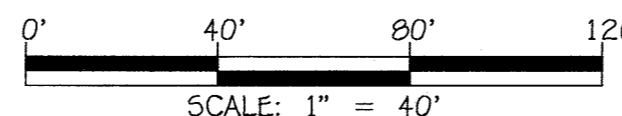
GEOMETRY PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 12 OF 37



LEGEND	
SYMBOL	DESCRIPTION
--- 332 ---	EXISTING CONTOUR 2' INTERVAL
--- 330 ---	EXISTING CONTOUR 10' INTERVAL
S	EXISTING SEWER LINE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
UOE	EXISTING UNDERGROUND ELECTRIC LINE
UCB	EXISTING UNDERGROUND CABLE
UFO	EXISTING UNDERGROUND FIBER OPTIC
G	EXISTING GAS LINE
X-X	EXISTING FENCE
X-X	PROPOSED FENCE
--- 332 ---	PROPOSED CONTOUR 2' INTERVAL
--- 330 ---	PROPOSED CONTOUR 10' INTERVAL
+ 333.50	PROPOSED SPOT ELEVATION
CONCRETE	PROPOSED CONCRETE WALK
MAC	PROPOSED MACADAM PAVING
TREE	EXISTING TREE AND SHRUB
TREELINE	EXISTING TREELINE
TREELINE	PROPOSED TREELINE
P.W.	PROPOSED PUBLIC WATER
P.W.	PROPOSED PRIVATE WATER
S.D.	PROPOSED STORM DRAIN
P.S.	PROPOSED PRIVATE SEWER
P.S.	PROPOSED PUBLIC SEWER
PAVERS	PROPOSED GRASS PAVERS
SOILS	SOILS DELINEATION
S.F.	SUPER SILT FENCE

FOR CONTINUATION SEE SHEET 14

PLAN
SCALE: 1" = 40'



NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE SEDIMENT AND EROSION CONTROL IN AREAS AFFECTED BY BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2899

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Stephanie J. Tuite 5/26/20
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
James J. Miller 5/27/2020
SIGNATURE OF DEVELOPER DATE

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite 5/26/20
STEPHANIE J. TUITE, P.E. DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
James J. Miller 5/27/20
HOWARD SOIL CONSERVATION DISTRICT DATE

DATE DESCRIPTION REVISION BLOCK

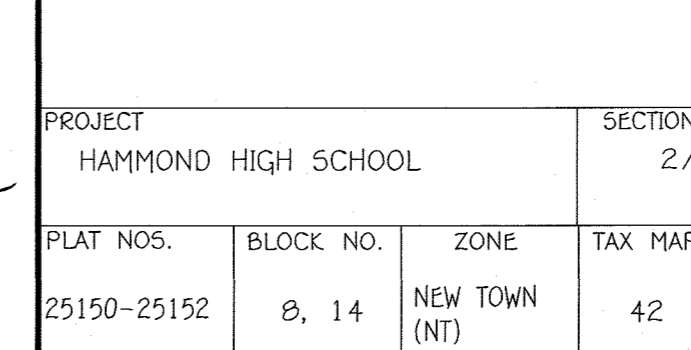
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director, Department of Planning and Zoning 7-9-2020 Date
Chief, Division of Land Development 7/8/2020 Date
Chief, Development Engineering Division 7-7-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046

PROJECT	SECTION/AREA	PARCEL
HAMMOND HIGH SCHOOL	2/1	405

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

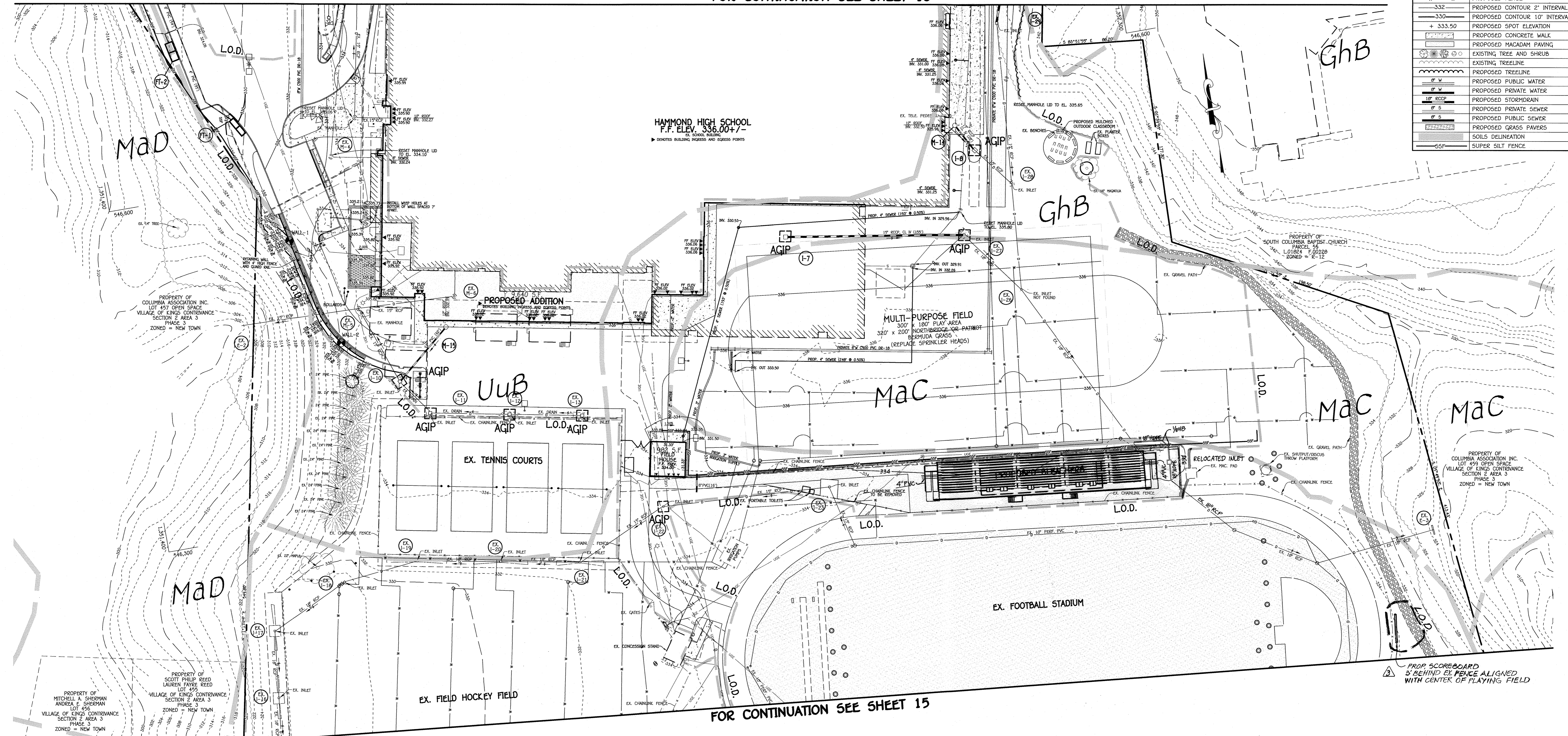


SEDIMENT AND EROSION CONTROL PLAN

"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 13 OF 37

FOR CONTINUATION SEE SHEET 13

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
S	EXISTING SEWER LINE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
G	EXISTING GAS LINE
X-X	EXISTING FENCE
-X-X-	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+ 333.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
P.W.	PROPOSED PUBLIC WATER
P.W.	PROPOSED PRIVATE WATER
---	PROPOSED STORM DRAIN
P.S.	PROPOSED PRIVATE SEWER
P.S.	PROPOSED PUBLIC SEWER
---	PROPOSED GRASS PAVERS
---	SOILS DELINEATION
---	SUPER SILT FENCE



FOR CONTINUATION SEE SHEET 15

PLAN
SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE SEDIMENT AND EROSION CONTROL IN AREAS AFFECTED BY BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PARK
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2995

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Stephanie J. Suite 5/26/20
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
John R. Robertson 5-27-2020
SIGNATURE OF DEVELOPER DATE

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Suite 5/26/20
STEPHANIE J. SUITE, P.E. DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Robertson 5/27/20
HOWARD SOIL CONSERVATION DISTRICT DATE

DATE	DESCRIPTION	REVISION BLOCK
8-12-21	ADDED SCOREBOARD TO STADIUM	3
5-13-21	REVISED GRADING AND STORM DRAINS UNDER BLEACHERS	
3/11/21	REVISED BLEACHERS LAYOUT	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning 7-9-2020
Chief, Development Engineering Division 7/8/2020
7-7-20

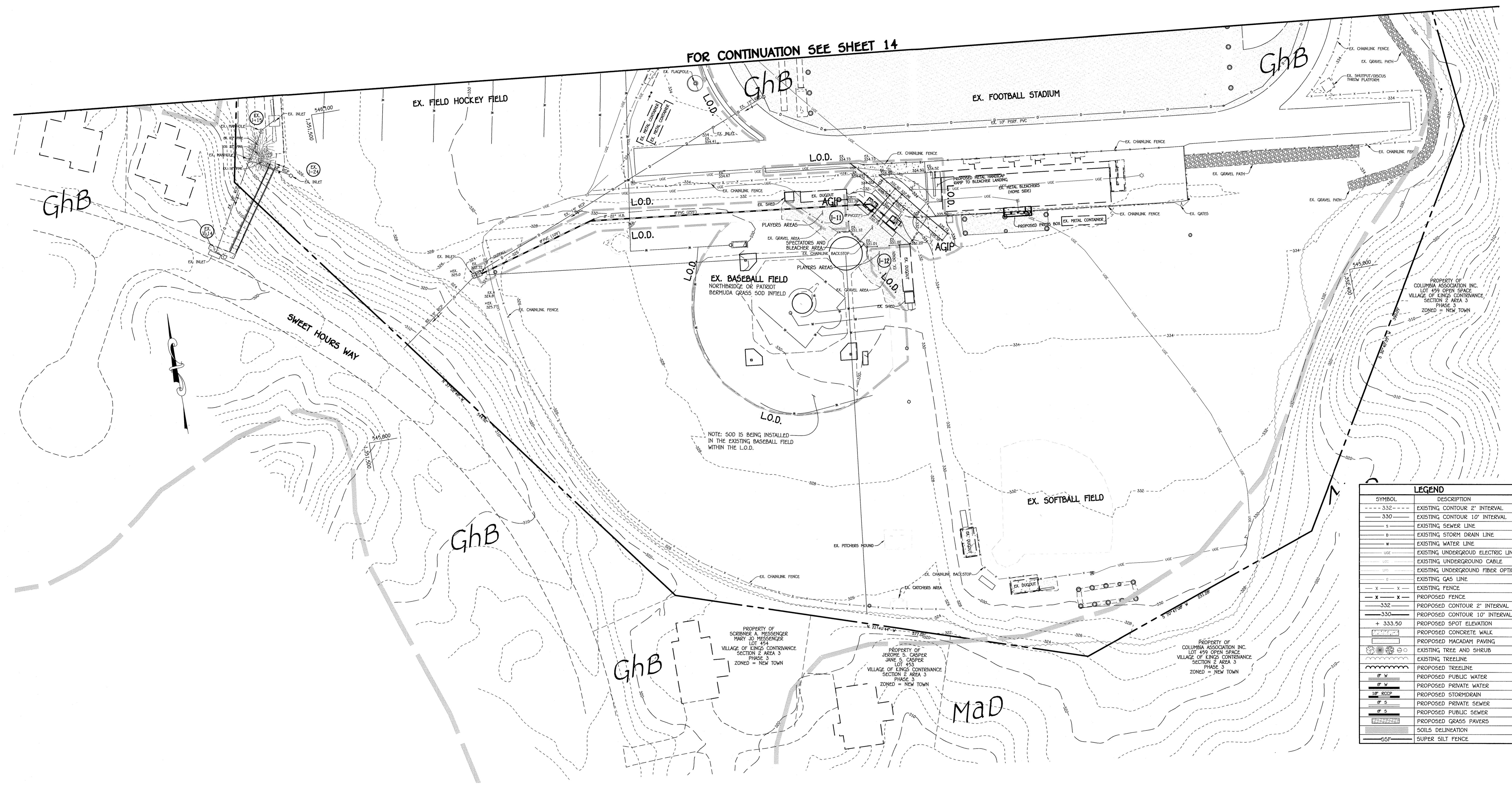
PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

[Professional Engineer Seal]

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT	SECTION/AREA	PARCEL			
HAMMOND HIGH SCHOOL	2/1	405			
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

SEDIMENT AND EROSION CONTROL PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 14 OF 37

FOR CONTINUATION SEE SHEET 14



SYMBOL	DESCRIPTION
--- 332 ---	EXISTING CONTOUR 2' INTERVAL
--- 330 ---	EXISTING CONTOUR 10' INTERVAL
s	EXISTING SEWER LINE
d	EXISTING STORM DRAIN LINE
w	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
o	EXISTING GAS LINE
-x-x-	EXISTING FENCE
-x-x-	PROPOSED FENCE
--- 332 ---	PROPOSED CONTOUR 2' INTERVAL
--- 330 ---	PROPOSED CONTOUR 10' INTERVAL
+ 333.50	PROPOSED SPOT ELEVATION
▭	PROPOSED CONCRETE PAVING
▭	PROPOSED MACADAM PAVING
○	EXISTING TREE AND SHRUB
○	EXISTING TREELINE
○	PROPOSED TREELINE
▭	PROPOSED PUBLIC WATER
▭	PROPOSED PRIVATE WATER
▭	PROPOSED STORM DRAIN
▭	PROPOSED PRIVATE SEWER
▭	PROPOSED PUBLIC SEWER
▭	PROPOSED GRASS PAVERS
▭	SOILS DELINEATION
▭	SUPER SILT FENCE

PLAN
SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE SEDIMENT AND EROSION CONTROL IN AREAS AFFECTED BY BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALDORRE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2995

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Stephanie J. Tuite 5/26/20
SIGNATURE OF ENGINEER DATE

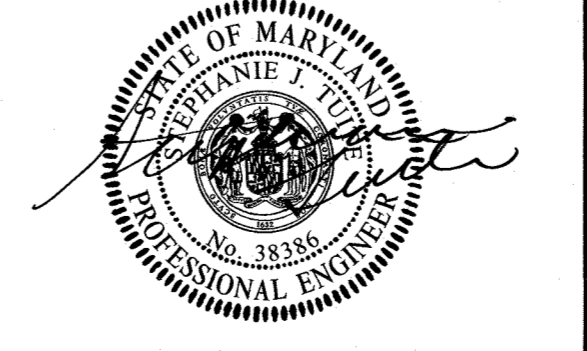
"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite 5/26/20
STEPHANIE J. TUITE, P.E. DATE

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
James D. Hally 5/27/2020
SIGNATURE OF DEVELOPER DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
John K. Roberts 5/27/20
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director, Department of Planning and Zoning 7-9-2020
Date
Chief, Division of Land Development 7/8/2020
Date
Chief, Development Engineering Division 7/20
Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

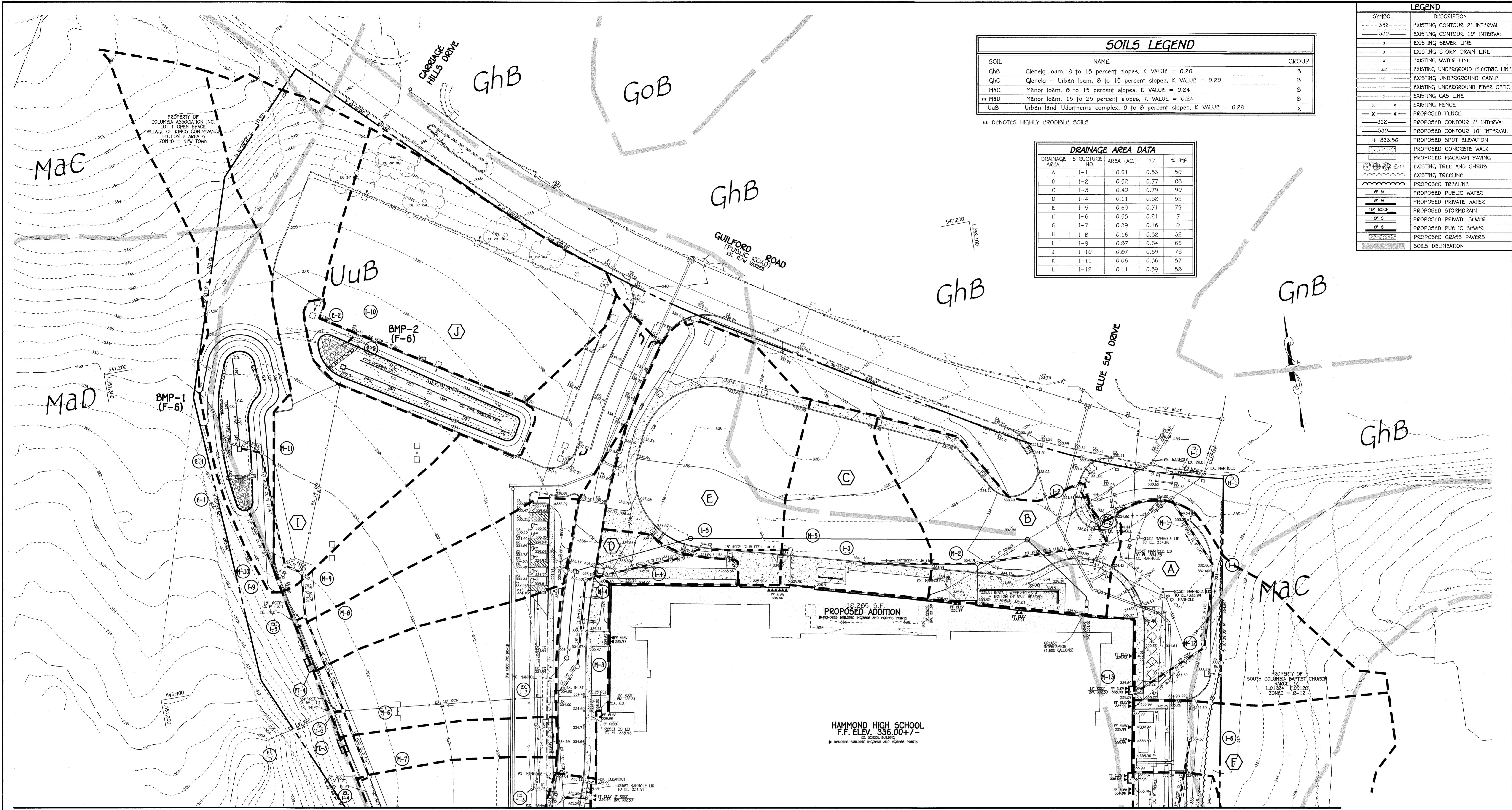


ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046

PROJECT	SECTION/AREA	PARCEL
HAMMOND HIGH SCHOOL	2/1	405

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

SEDIMENT AND EROSION CONTROL PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 15 OF 37



SOILS LEGEND		
SOIL	NAME	GROUP
GhB	Glenelg loam, 0 to 15 percent slopes, K VALUE = 0.20	B
GhC	Glenelg - Urban loam, 0 to 15 percent slopes, K VALUE = 0.20	B
MaC	Manor loam, 0 to 15 percent slopes, K VALUE = 0.24	B
MaD	Manor loam, 15 to 25 percent slopes, K VALUE = 0.24	B
UuB	Urban land-Udorthents complex, 0 to 0 percent slopes, K VALUE = 0.20	X

** DENOTES HIGHLY ERODIBLE SOILS

DRAINAGE AREA DATA				
DRAINAGE AREA	STRUCTURE NO.	AREA (AC.)	'C'	% IMP.
A	1-1	0.61	0.53	50
B	1-2	0.52	0.77	80
C	1-3	0.40	0.79	90
D	1-4	0.11	0.52	52
E	1-5	0.69	0.71	79
F	1-6	0.55	0.21	7
G	1-7	0.39	0.16	0
H	1-8	0.16	0.32	32
I	1-9	0.87	0.64	66
J	1-10	0.87	0.69	76
K	1-11	0.06	0.56	57
L	1-12	0.11	0.59	58

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	PROPOSED GRASS PAVERS
---	SOILS DELINEATION

FOR CONTINUATION SEE SHEET 17

PLAN
SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE SOILS AND DRAINAGE AREAS FOR THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SOURCE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite 5/26/20
STEPHANIE J. TUITE, P.E. DATE

DATE	DESCRIPTION
7-9-2020	Director, Department of Planning and Zoning
7/8/2020	Chief, Department of Land Development
7/7/20	Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT	SECTION/AREA	PARCEL			
HAMMOND HIGH SCHOOL	2/1	405			
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	0, 14	NEW TOWN (NT)	42	SIXTH	6051.02

SOILS AND DRAINAGE AREA MAP

"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS

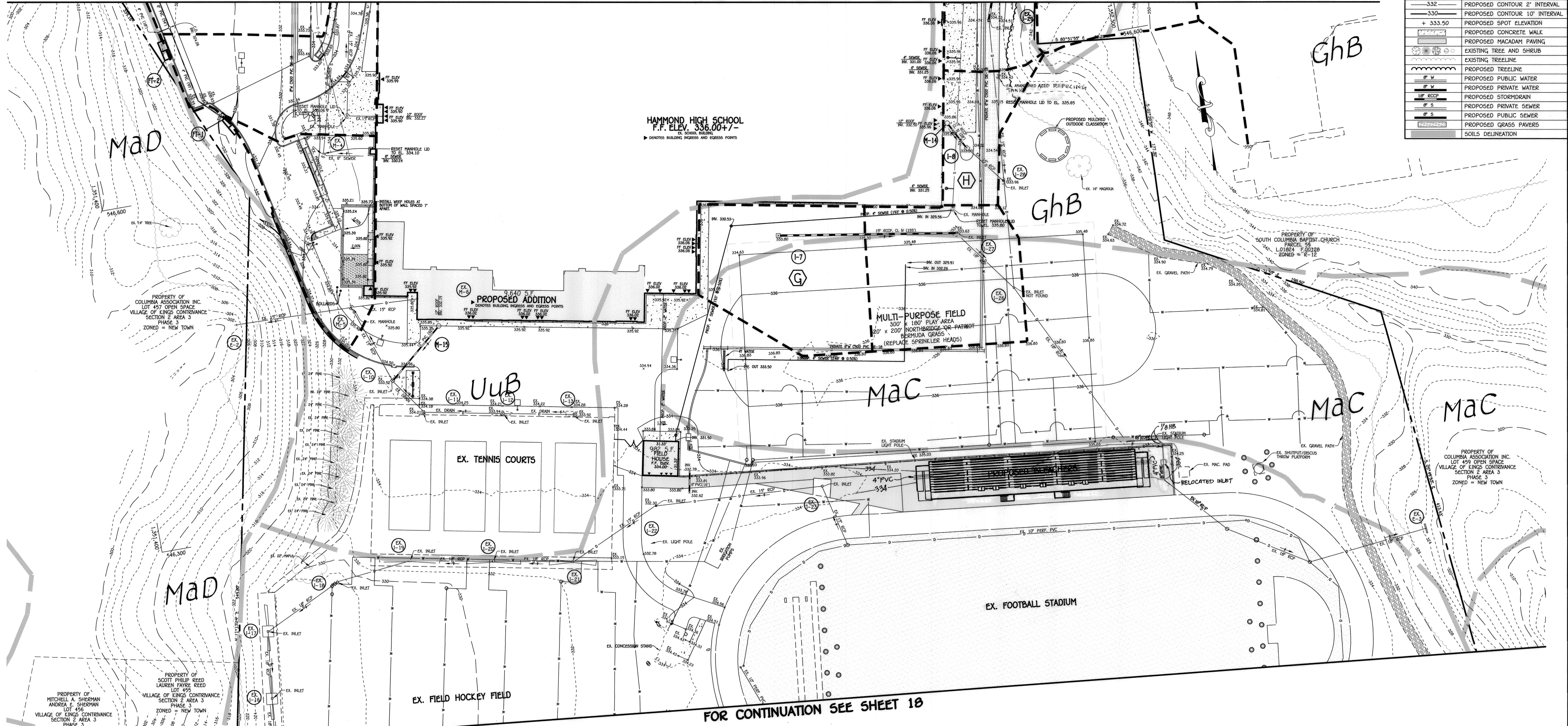
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 0 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 16 OF 37

SOIL	NAME	GROUP
GhB	Glenn loam, 0 to 15 percent slopes, K VALUE = 0.20	B
GhC	Glenn - Urban loam, 0 to 15 percent slopes, K VALUE = 0.20	B
MaC	Manor loam, 0 to 15 percent slopes, K VALUE = 0.24	B
**MaD	Manor loam, 15 to 25 percent slopes, K VALUE = 0.24	B
UuB	Urban land-Udortheris complex, 0 to 0 percent slopes, K VALUE = 0.20	X

** DENOTES HIGHLY ERODIBLE SOILS

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
s	EXISTING SEWER LINE
d	EXISTING STORM DRAIN LINE
w	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
g	EXISTING GAS LINE
x	EXISTING FENCE
x	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORM DRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	PROPOSED GRASS PAVERS
---	SOILS DELINEATION

FOR CONTINUATION SEE SHEET 16



FOR CONTINUATION SEE SHEET 18

PLAN
SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE SOILS AND DRAINAGE AREAS FOR THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDORNE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-3995

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30306, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite
STEPHANIE J. TUITE, P.E.
5/26/20
DATE

5-13-21	REVISED GRADING AND STORM DRAINS UNDER BLEACHERS
5-11-21	REVISED BLEACHERS LIGHTING
DATE	DESCRIPTION
APPROVED: DEPARTMENT OF PLANNING AND ZONING	REVISION BLOCK
<i>[Signature]</i> Director, Department of Planning and Zoning	7-9-2020 Date
<i>[Signature]</i> Chief, Division of Land Development	7/8/2020 Date
<i>[Signature]</i> Chief, Development Engineering Division	7-7-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 101
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT	SECTION/AREA				
HAMMOND HIGH SCHOOL	2/1				
PARCEL					
405					
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	B, 14	NEW TOWN (NT)	42	SIXTH	6051.02

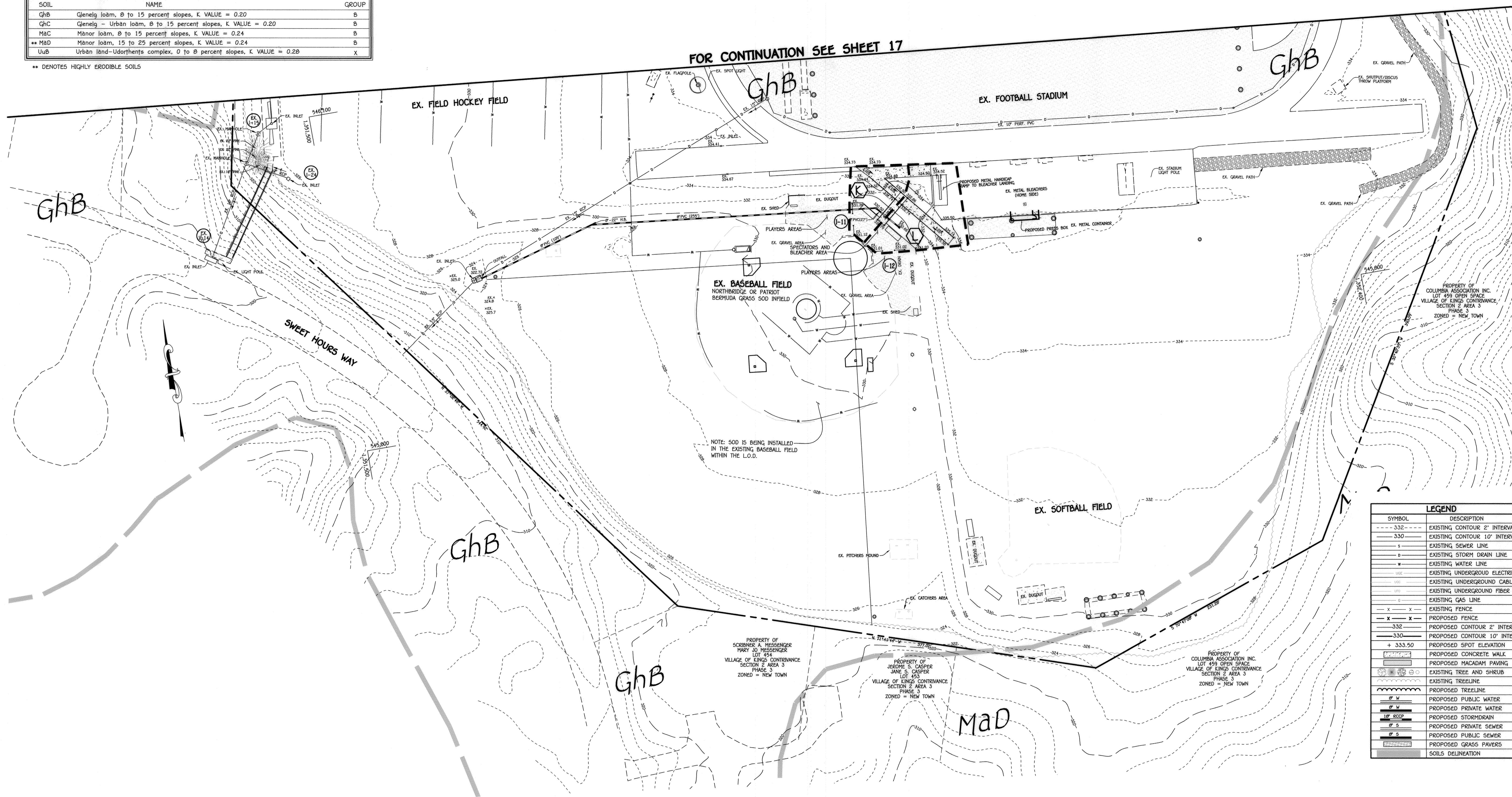
SOILS AND DRAINAGE AREA MAP
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 0 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 17 OF 37

SOILS LEGEND

SOIL	NAME	GROUP
GhB	Glennelg loam, 0 to 15 percent slopes, K VALUE = 0.20	B
GhC	Glennelg - Urban loam, 0 to 15 percent slopes, K VALUE = 0.20	B
MaC	Manor loam, 0 to 15 percent slopes, K VALUE = 0.24	B
**MaD	Manor loam, 15 to 25 percent slopes, K VALUE = 0.24	B
UuB	Urban land-Udortheims complex, 0 to 0 percent slopes, K VALUE = 0.20	X

** DENOTES HIGHLY ERODIBLE SOILS

FOR CONTINUATION SEE SHEET 17



NOTE: SOD IS BEING INSTALLED IN THE EXISTING BASEBALL FIELD WITHIN THE L.O.D.

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	PROPOSED GRASS PAVERS
---	SOILS DELINEATION

PLAN
SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE SOILS AND DRAINAGE AREAS FOR THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21142
(410) 461-2295

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Stephan J. Tuite
STEPHAN J. TUITE, P.E.
DATE: 7/7/20

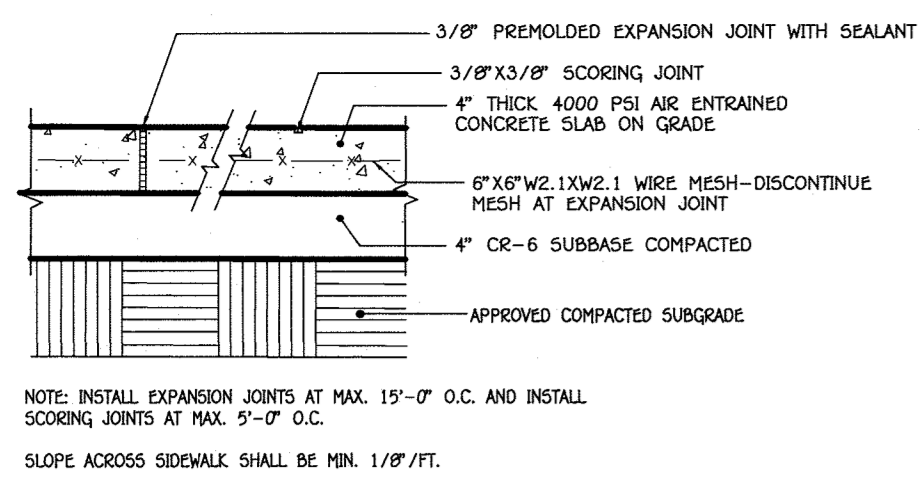
DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Dir. Cor...</i>	7-9-2020
Director - Department of Planning and Zoning	Date
<i>Chief Eng...</i>	7/18/2020
Chief, Development Engineering Division	Date
<i>Stephan J. Tuite</i>	7.7.20
DATE	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

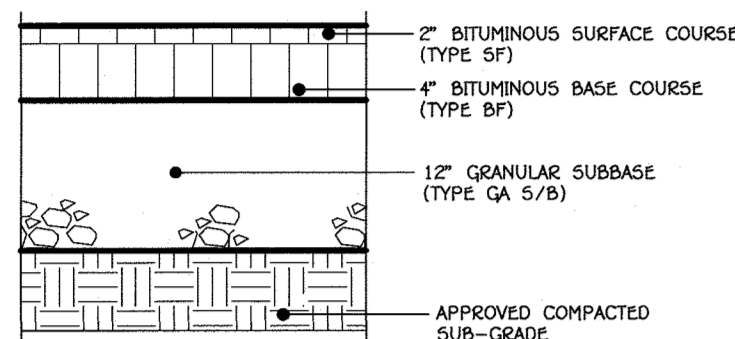


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT	SECTION/AREA				
HAMMOND HIGH SCHOOL	2/1				
PARCEL					
405					
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

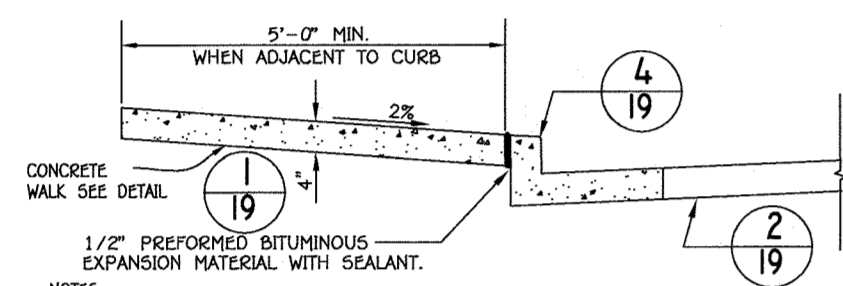
SOILS AND DRAINAGE AREA MAP
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 10 OF 37



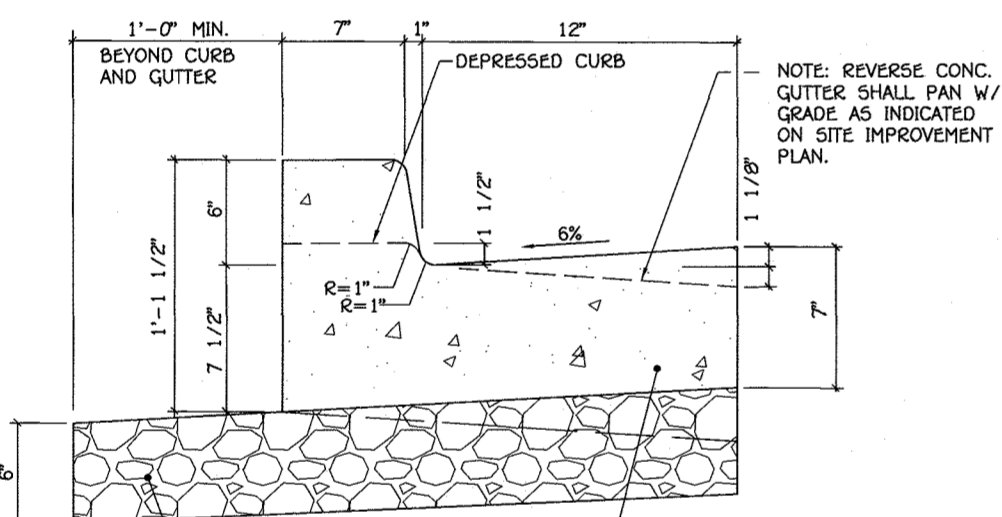
19 CONCRETE WALK DETAIL
NO SCALE (HOWARD CO. STD. DETAIL R-3.05)



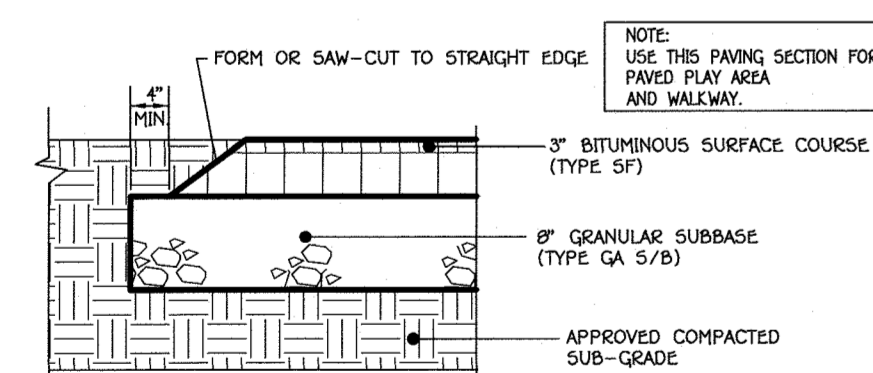
19 HEAVY DUTY ASPHALTIC PAVING DETAIL
NO SCALE



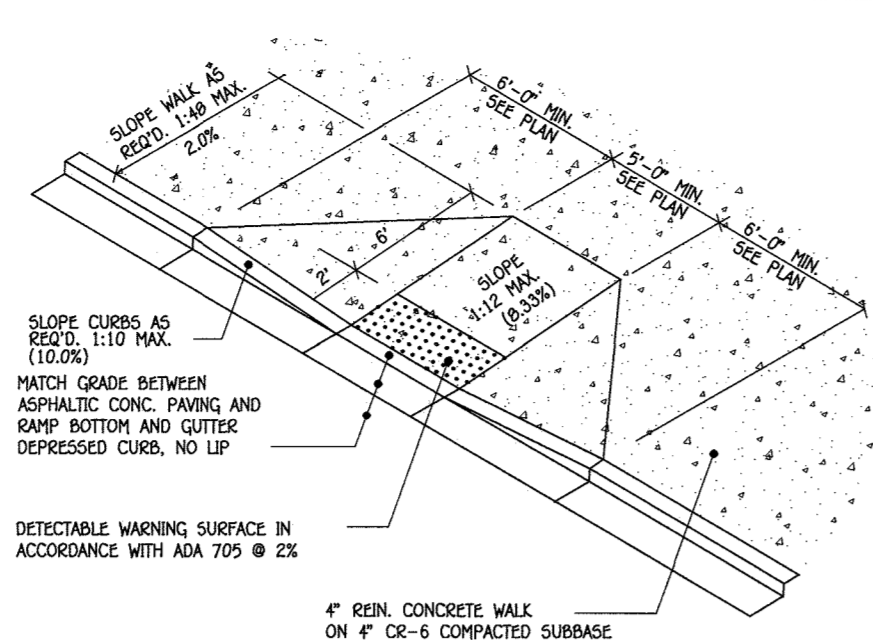
19 CONCRETE SIDEWALK ADJACENT TO CURB
NO SCALE (HOWARD CO. STD. DETAIL R-3.05)



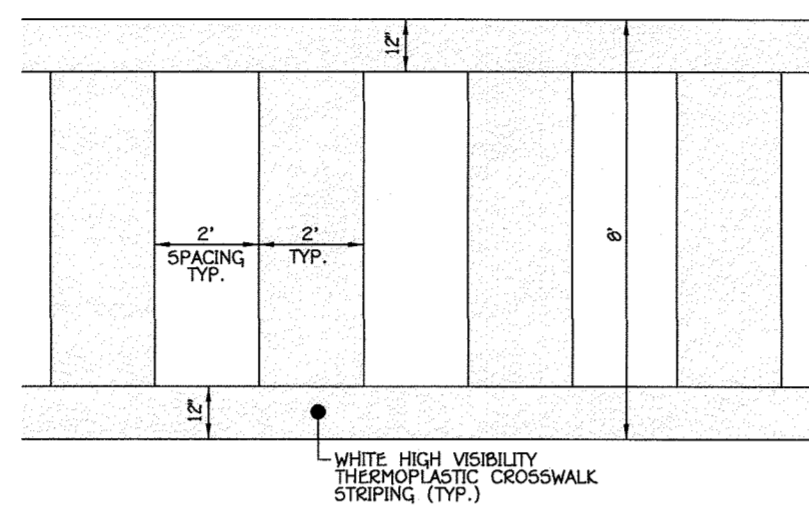
19 STANDARD 6\"/>



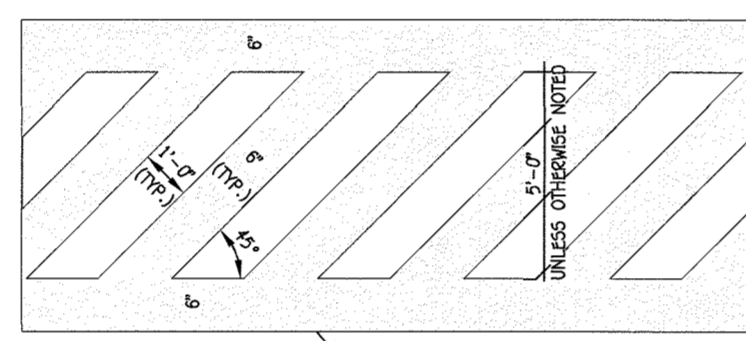
19 PAVED PLAY AREA AND WALKWAY ASPHALTIC PAVING DETAIL
NO SCALE



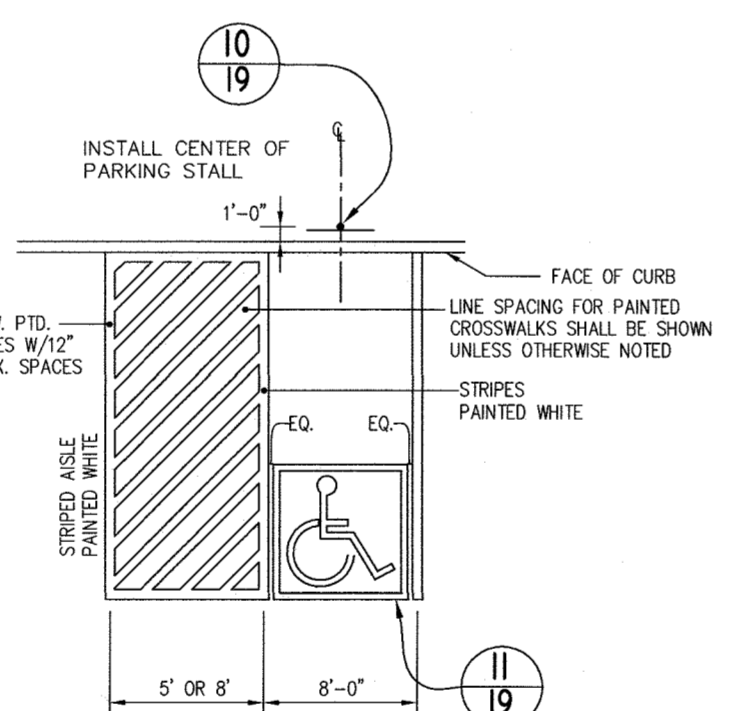
19 SIDEWALK RAMP DETAIL
NO SCALE (HOWARD CO. STD. DETAIL R-4.02)



19 PEDESTRIAN CROSSWALK DETAIL
HOWARD COUNTY STANDARD DETAIL T-7.03
NO SCALE



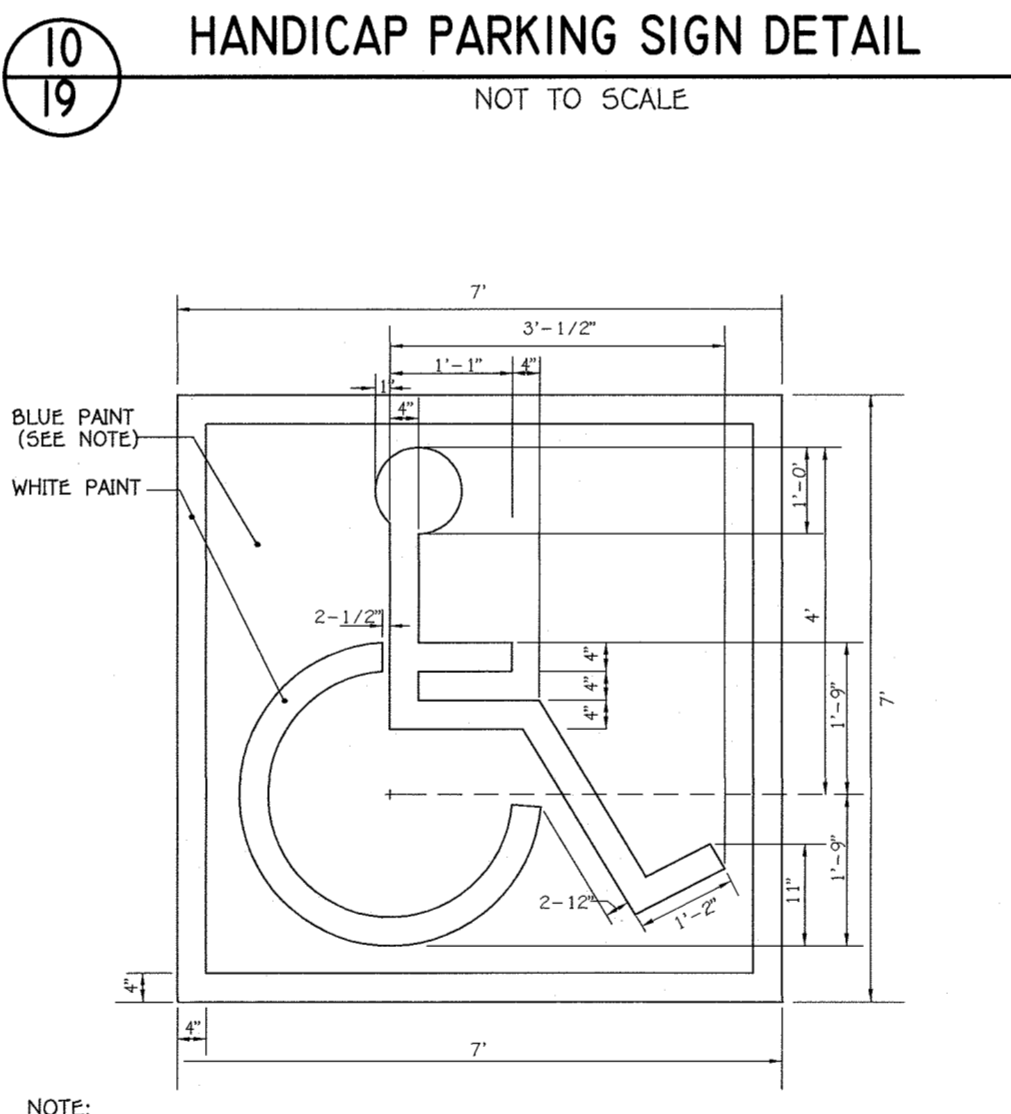
19 CROSSWALK DETAIL
NO SCALE



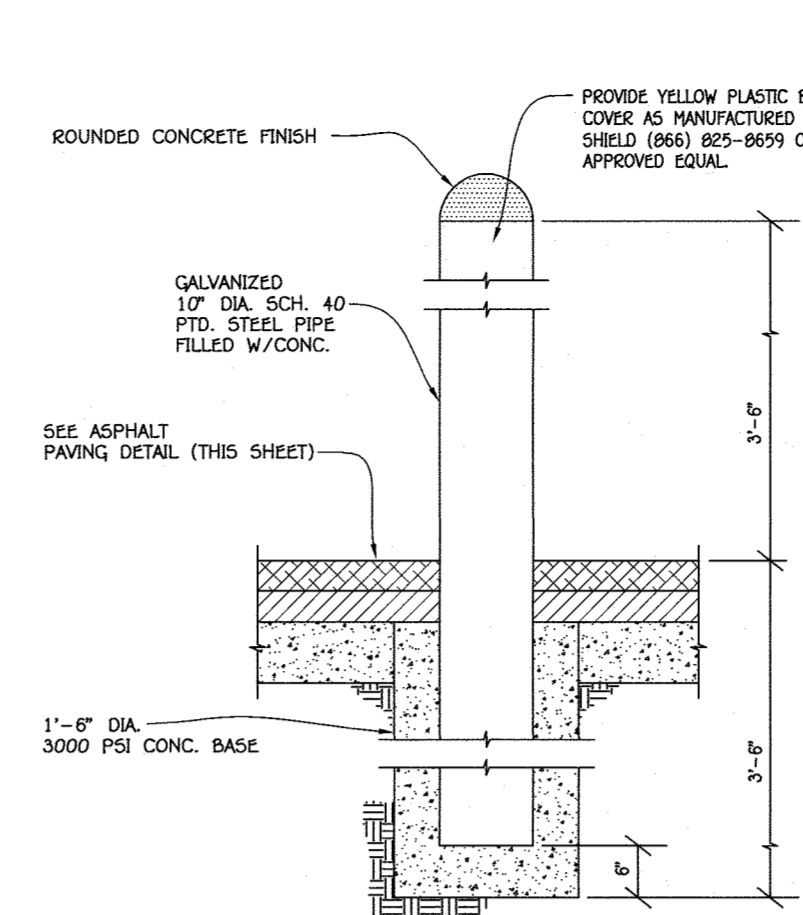
19 HANDICAP PARKING SPACE LAYOUT
NO SCALE



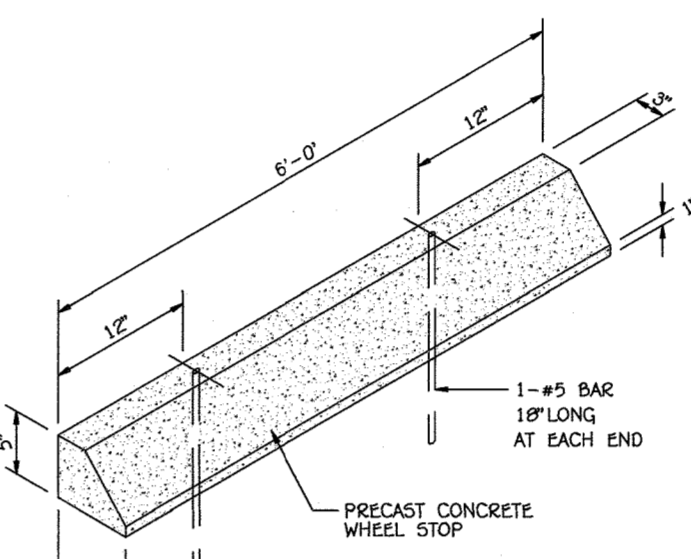
19 HANDICAP PARKING SIGN DETAIL
NOT TO SCALE



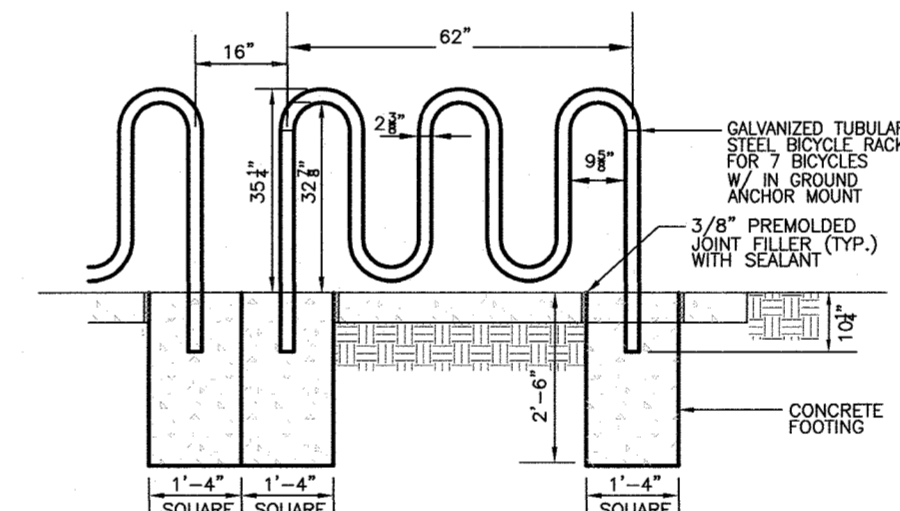
19 HANDICAP SPACE STENCIL LAYOUT
NO SCALE



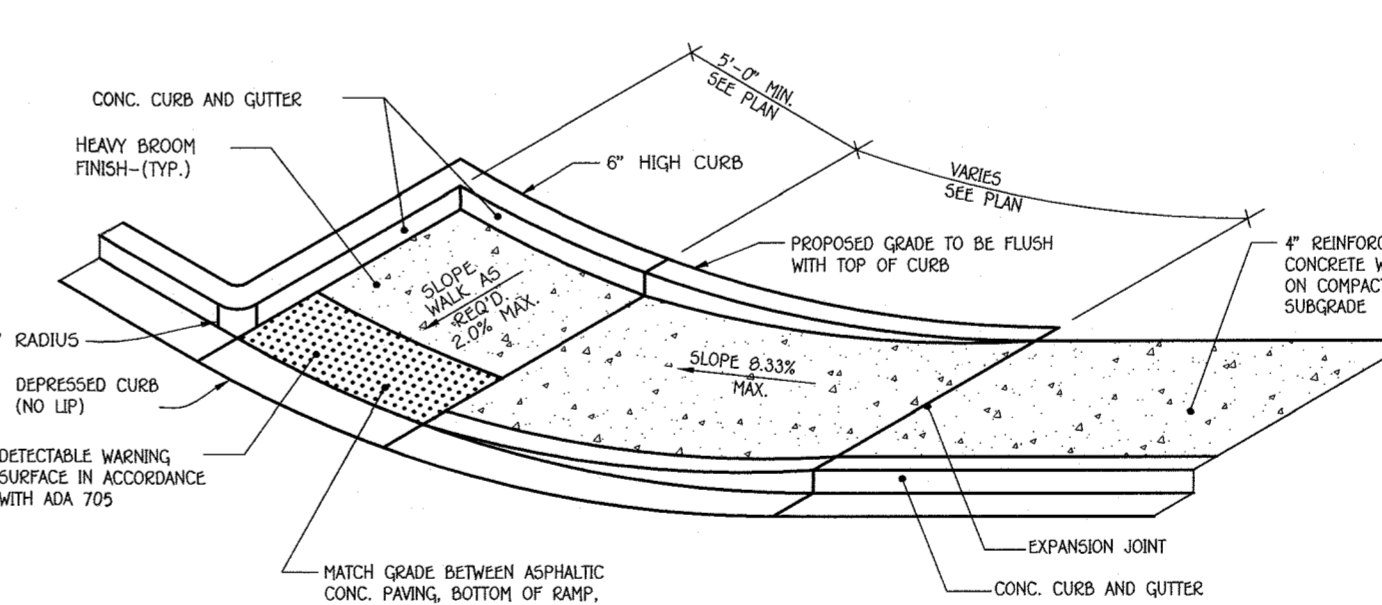
12 BOLLARD DETAIL
NO SCALE



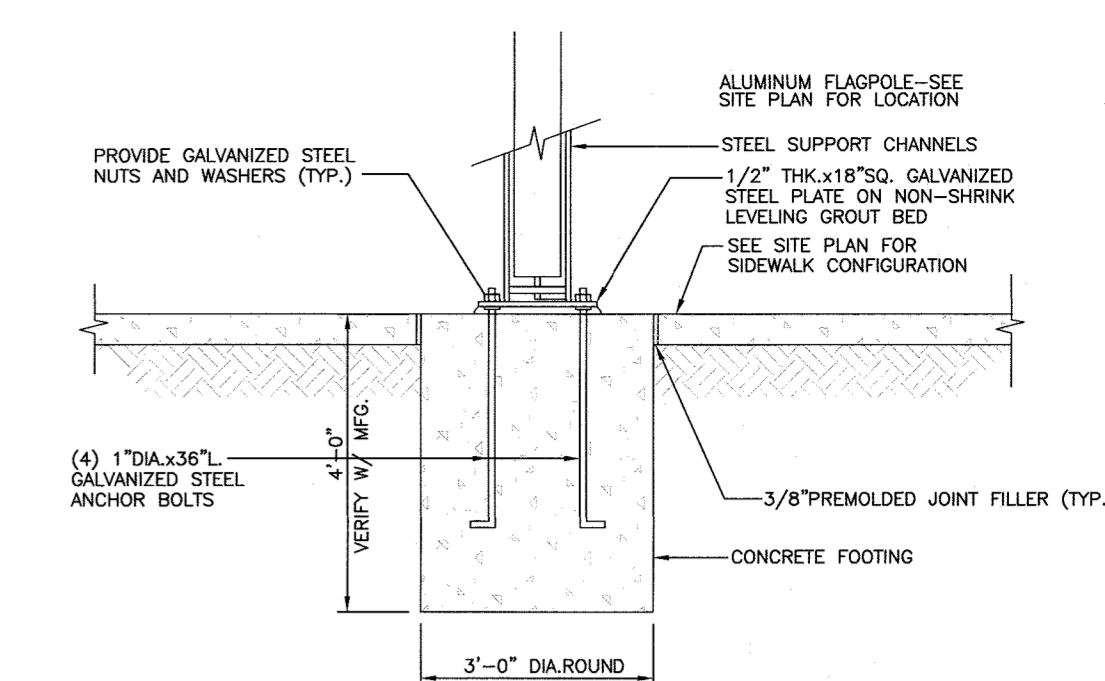
13 WHEEL STOP DETAIL
NO SCALE



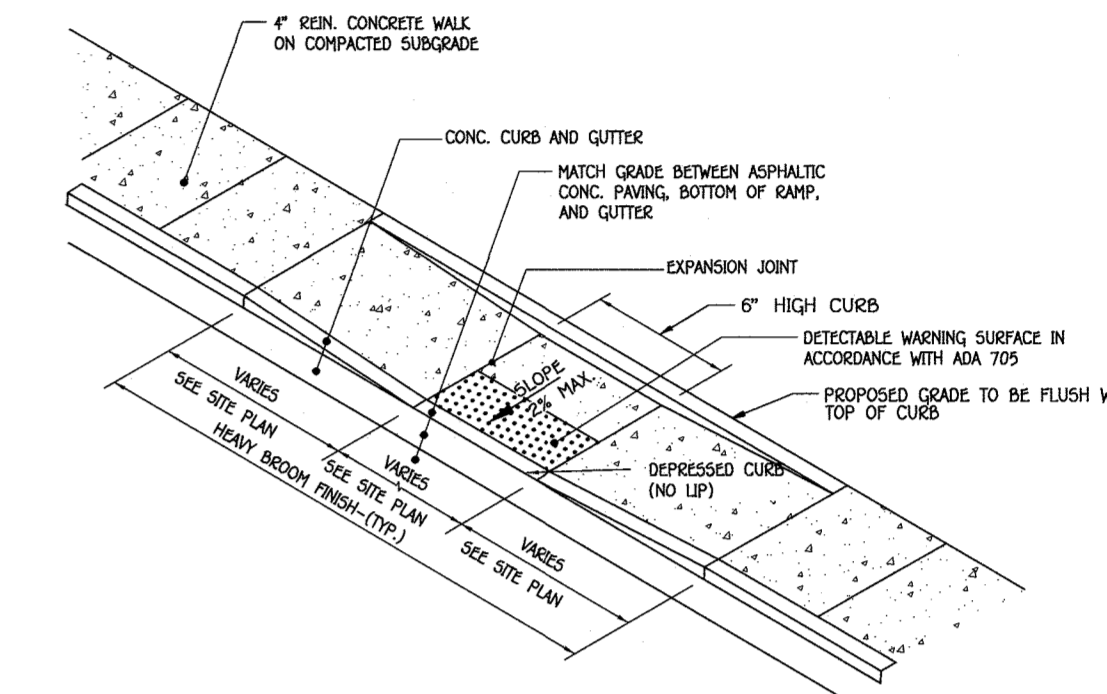
14 BICYCLE RACK DETAIL
NO SCALE



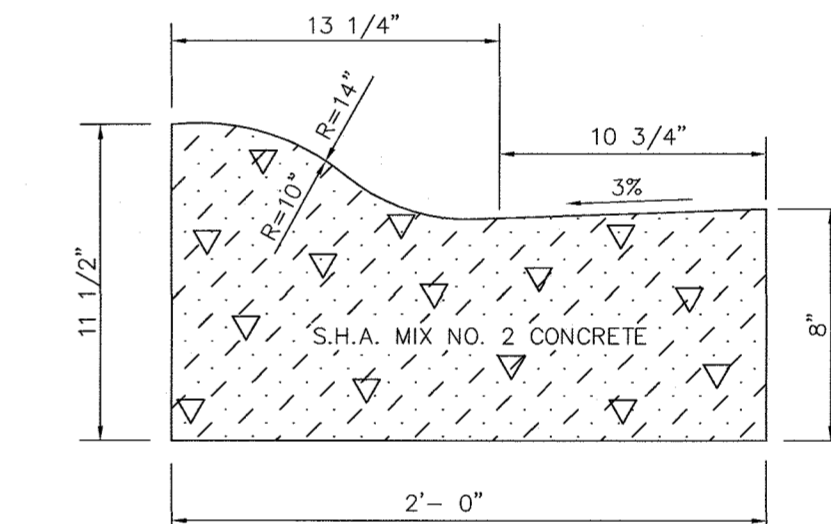
15 SIDEWALK RAMP DETAIL
NO SCALE



16 TILT FLAGPOLE DETAIL
NO SCALE



17 HANDICAP CURB RAMP DETAIL
NO SCALE (HOWARD CO. STD. DETAIL R-4.06)



18 MODIFIED COMBINATION CURB AND GUTTER
NO SCALE (HOWARD CO. STD. DETAIL R-3.01)

GENERAL NOTES:
1. SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-B.
2. ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE IMPROVEMENT PLAN.
3. SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/TOP OF SIGNS 9'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
4. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
5. COLORS: LEGEND AND BORDER-GREEN SYMBOL-WHITE ON BLUE BACKGROUND BACKGROUND-WHITE
6. CONTRACTOR SHALL COORDINATE ARROW DIRECTION WITH LOCATION OF ADJACENT AISLE.
7. SPACES INDICATED ON SITE DEVELOPMENT PLANS AS "VAN ACCESSIBLE" SHALL BE SIGNED ACCORDINGLY.

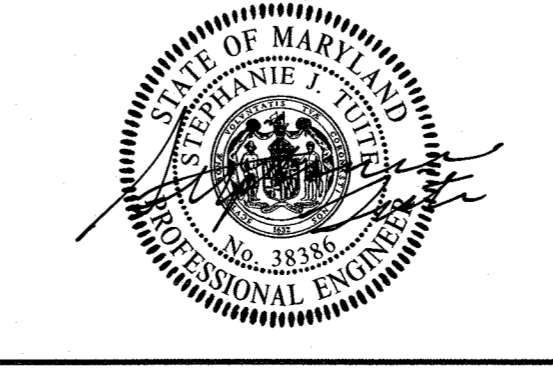
NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW DETAILS FOR THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTHORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2895

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie A. Tuite
STEPHANIE A. TUITE, P.E.
5/24/20
DATE

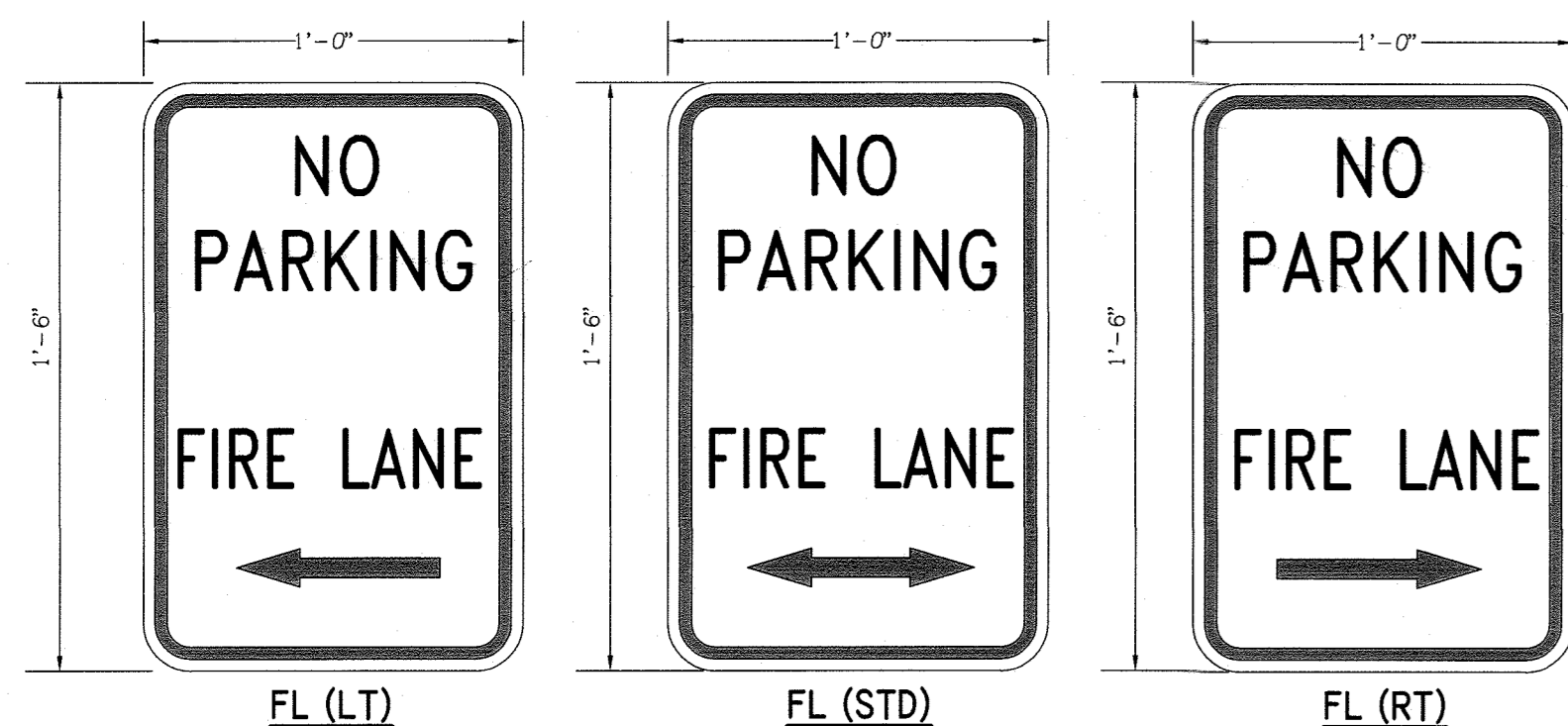
DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> Director, Department of Planning and Zoning	7-7-2020 Date
<i>[Signature]</i> Chief, Division of Land Development	7/8/2020 Date
<i>[Signature]</i> Chief, Development Engineering Division	7-7-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

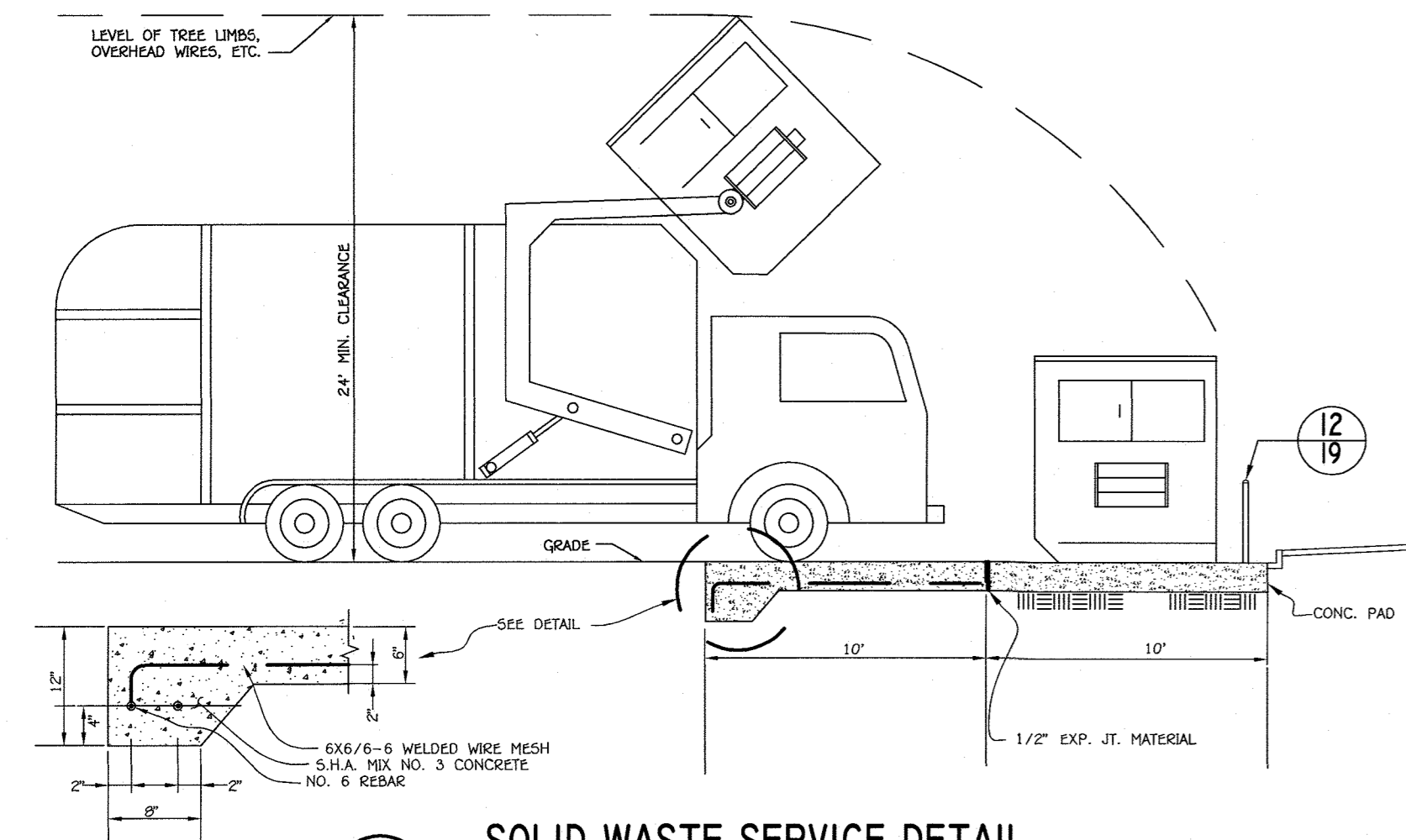


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT	SECTION/AREA	PARCEL			
HAMMOND HIGH SCHOOL	2/1	405			
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

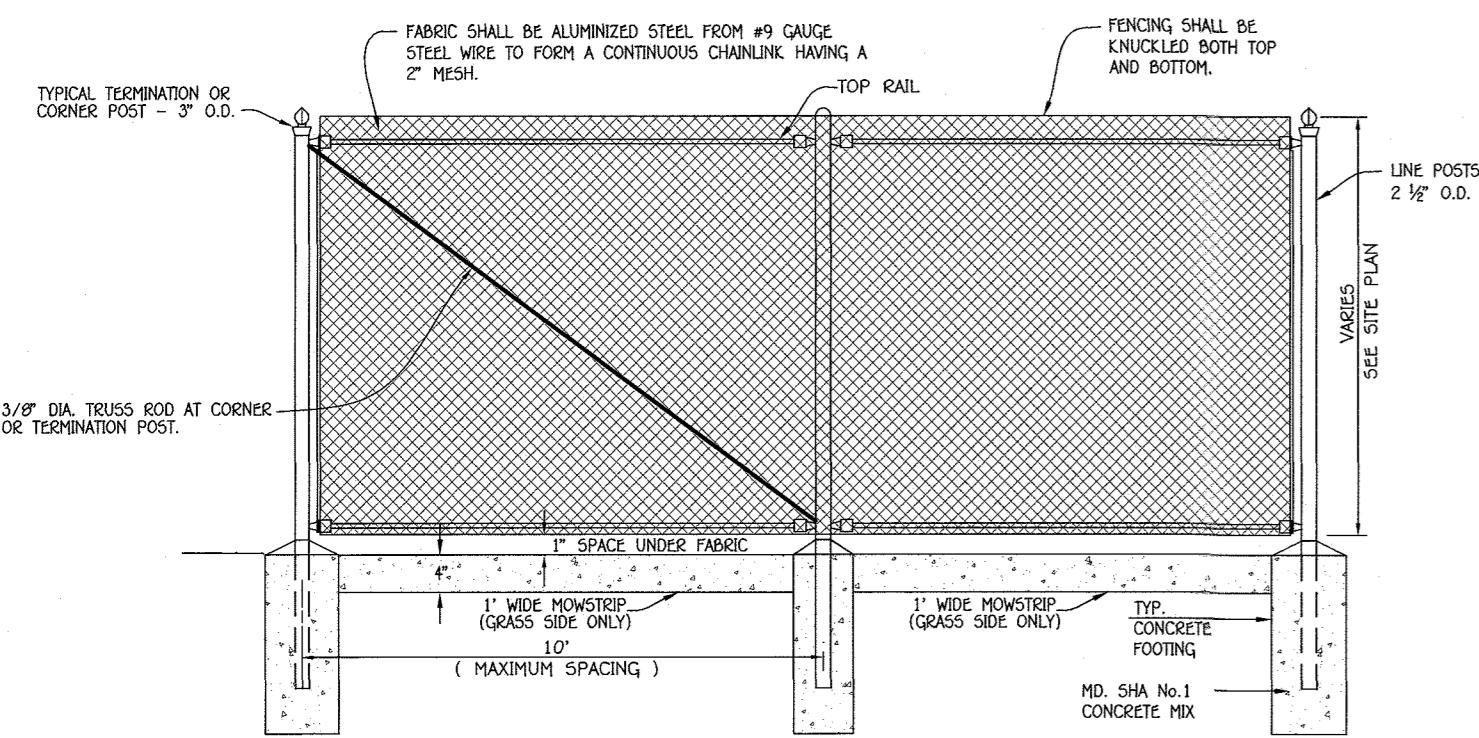
DETAIL SHEET
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY 11, 2020
SHEET 19 OF 37



FIRE LANE SIGN DETAIL
NOT TO SCALE



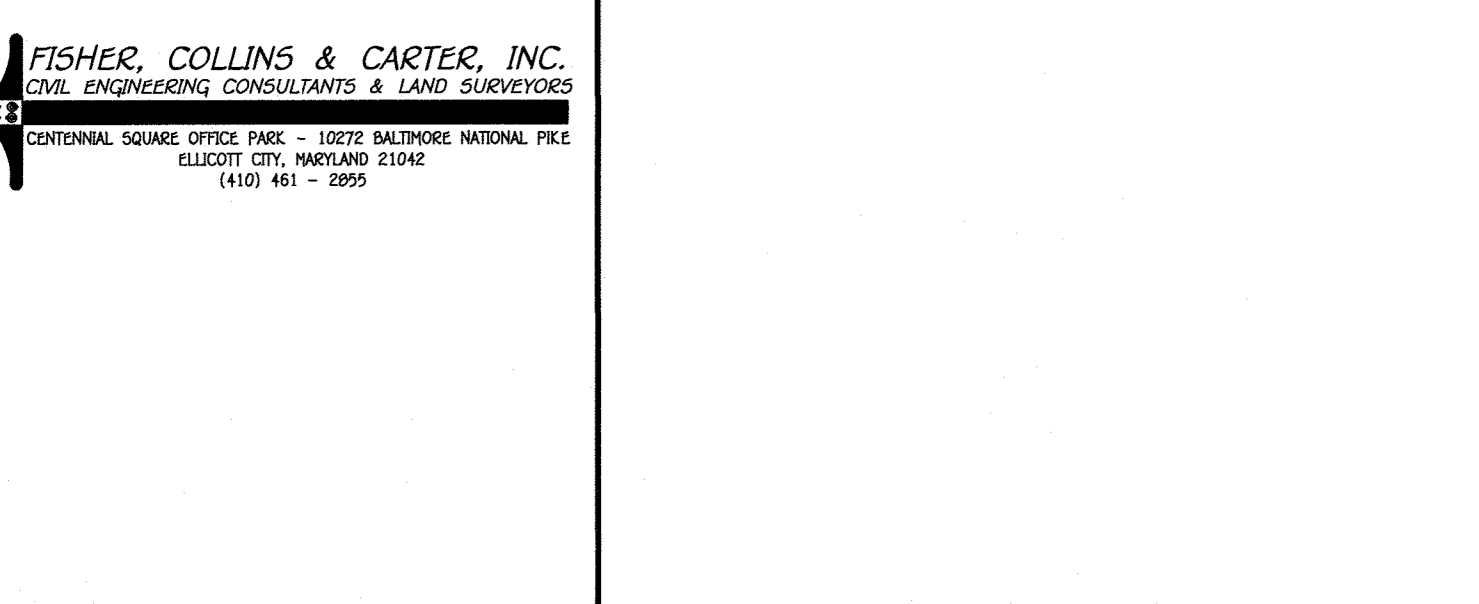
SOLID WASTE SERVICE DETAIL
HOWARD COUNTY STANDARD DETAIL 8-8.03
NOT TO SCALE



CHAIN LINK FENCE DETAIL
HOWARD COUNTY STANDARD DETAIL G-7.21
NO SCALE



NYLOPLAST 10" DRAIN BASIN
NO SCALE



HANDRAIL DETAIL
NO SCALE



TYPICAL CLEAN-OUT
NO SCALE (HOWARD CO. STD. DETAIL 5-2.22)

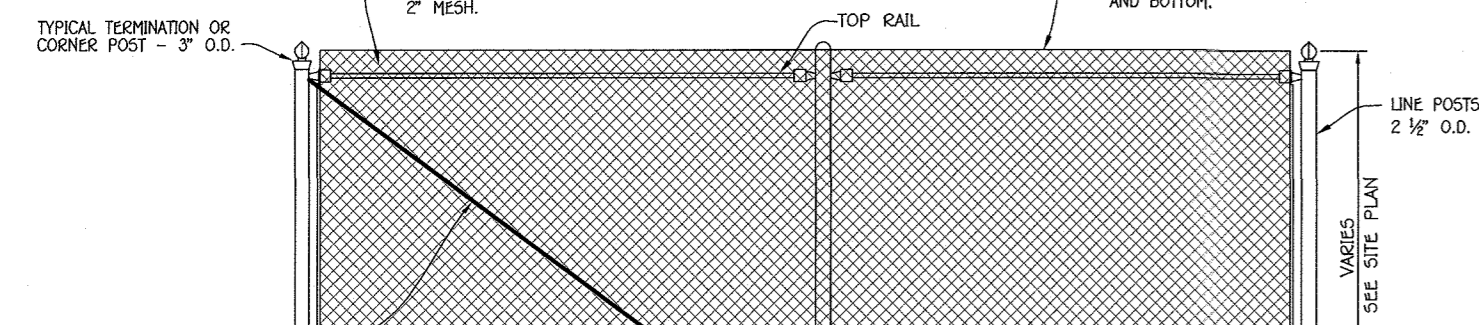


GRASS PAVER SYSTEM
PRESTO GEOSYSTEMS - GEOBLOCK® 5150
NO SCALE

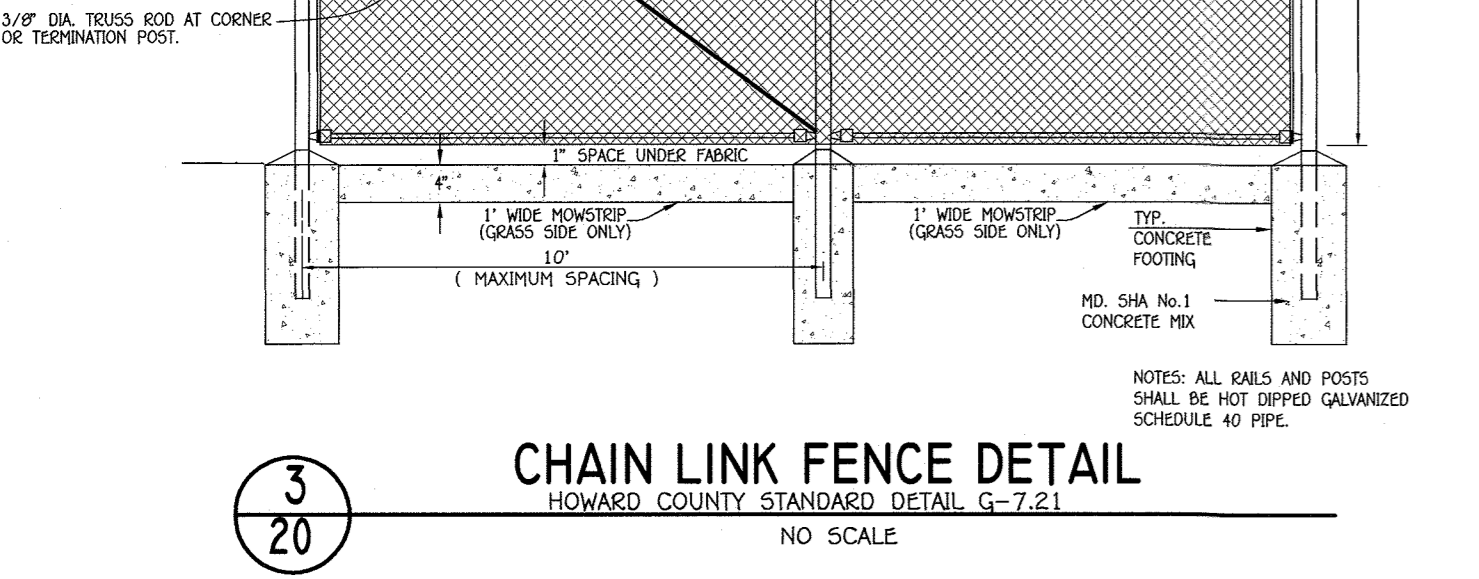


SECTION A-A
NO SCALE

- RAILING SHALL BE IN ACCORDANCE WITH CURRENT ADA ACCESSIBILITY REQUIREMENTS.
- INTERIM POSTS SHALL BE MAXIMUM 7' INTERVALS, AND POSTS SHALL BE SPACED EQUALLY BETWEEN END POSTS.
- CONTRACTOR SHALL VERIFY EXACT SIZE AND RADII AND SPACING OF MEMBERS PRIOR TO FABRICATION.
- HANDRAIL SHALL EXTEND HORIZONTALLY 1.0' PAST THE BEGINNING AND END OF THE RAMP AND SHALL BE CONTINUOUS ACROSS INTERIM LANDINGS.
- CONTRACTOR SHALL FIELD VERIFY AS BUILT RAMP CONDITION TO ENSURE CORRECT SLOPE AND EXTENSION OF HANDRAILS BEYOND END OF RAMP.
- ALL RAIL POSTS TO BE SET IN CONCRETE IMMEDIATELY ADJACENT TO WALK. CONCRETE SHALL BE 12" DIAMETER AND 12" DEPTH.
- HANDRAIL GRIPPING SURFACE SHALL HAVE CIRCULAR CROSS SECTION WITH A DIAMETER OF 1.25".
- HANDRAIL MATERIAL SHALL BE STANDARD GALVANIZED STEEL PIPE.



SWING GATE DETAIL
NO SCALE

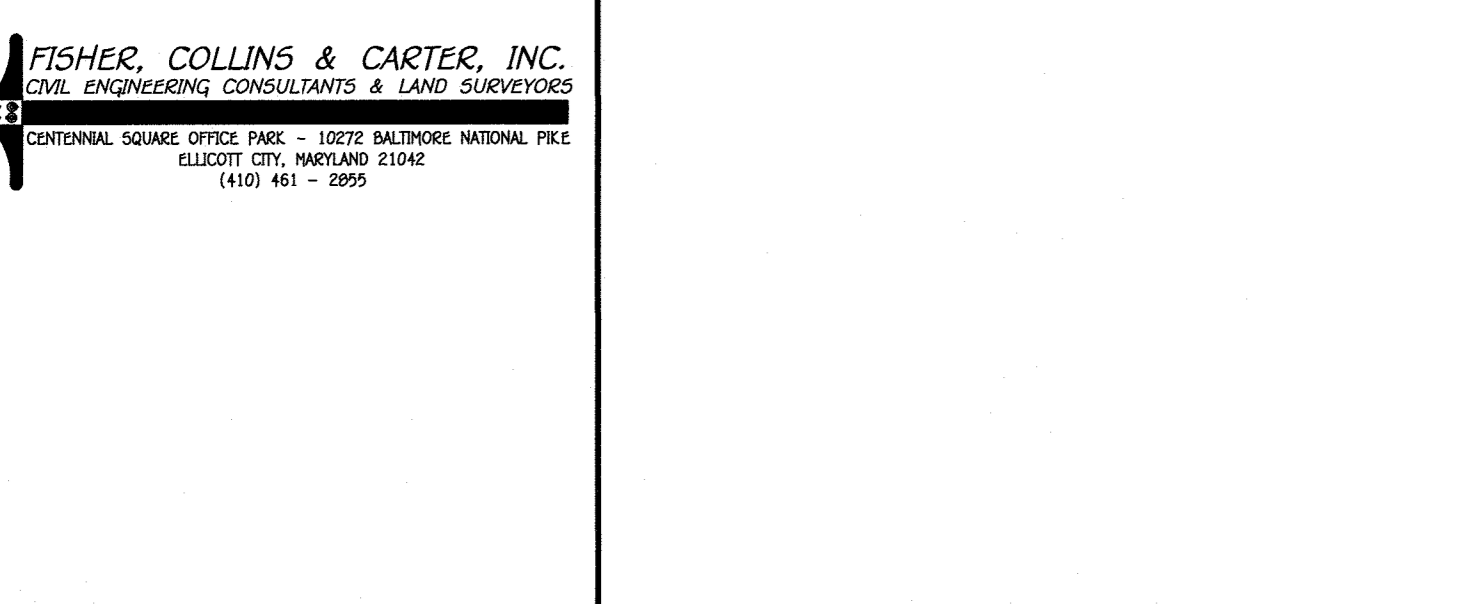


EXISTING ROADWAY WIDENING STRIP
NO SCALE (HOWARD CO. STD. DETAIL R-1.08)

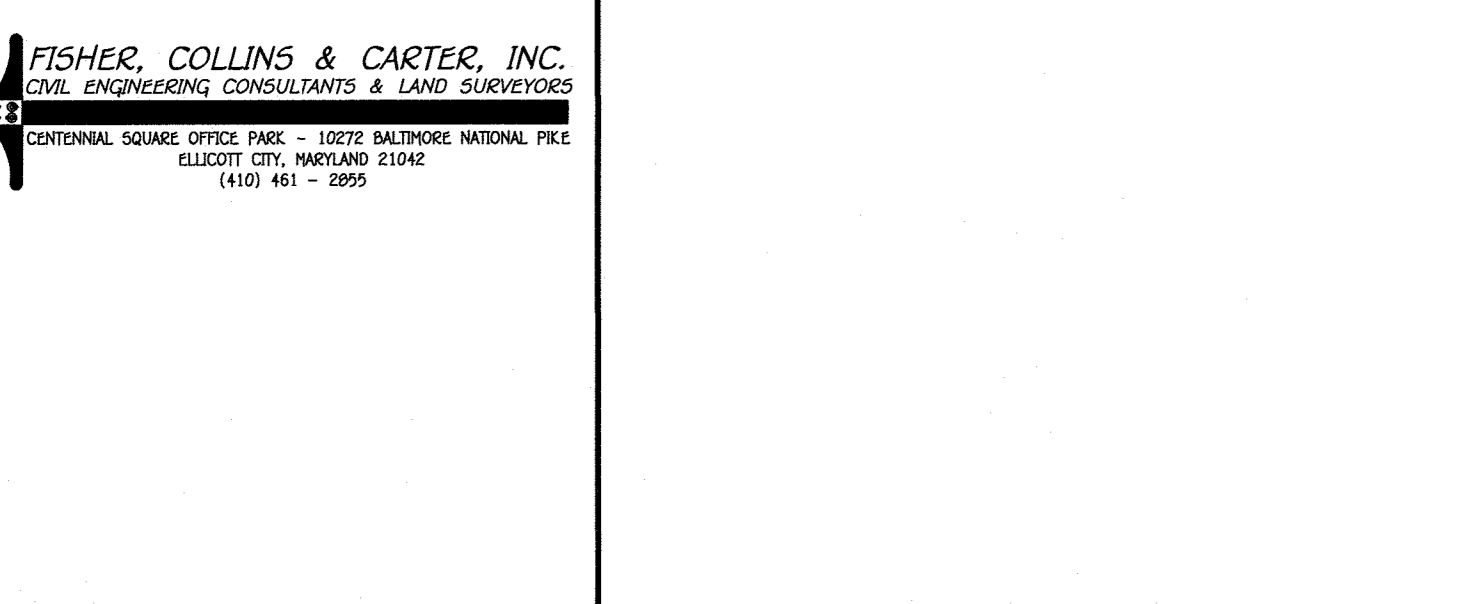
- WHEN EXISTING TRAVEL LANE IS LESS THAN THE REQUIRED 12' LANE CONTRACTOR SHALL REMOVE A MINIMUM OF 1" FULL DEPTH OF THE EXISTING ROADWAY. IF CURB AND GUTTER IS INSTALLED, PROVIDE A MINIMUM OF 4" OF WIDENING FROM FACE OF GUTTER PAN.
- THE EXISTING PAVEMENT TO BE RESURFACED SHALL BE MILLED AT DEPTH OF 1 1/2" (MINIMUM).
- THE RESURFACING SHALL BE PLACED TO THE CENTERLINE OF THE ROADWAY.
- RESURFACING COURSE TO BE EQUAL TO THE SURFACE COURSE OF THE TYPICAL PAVEMENT SECTION.



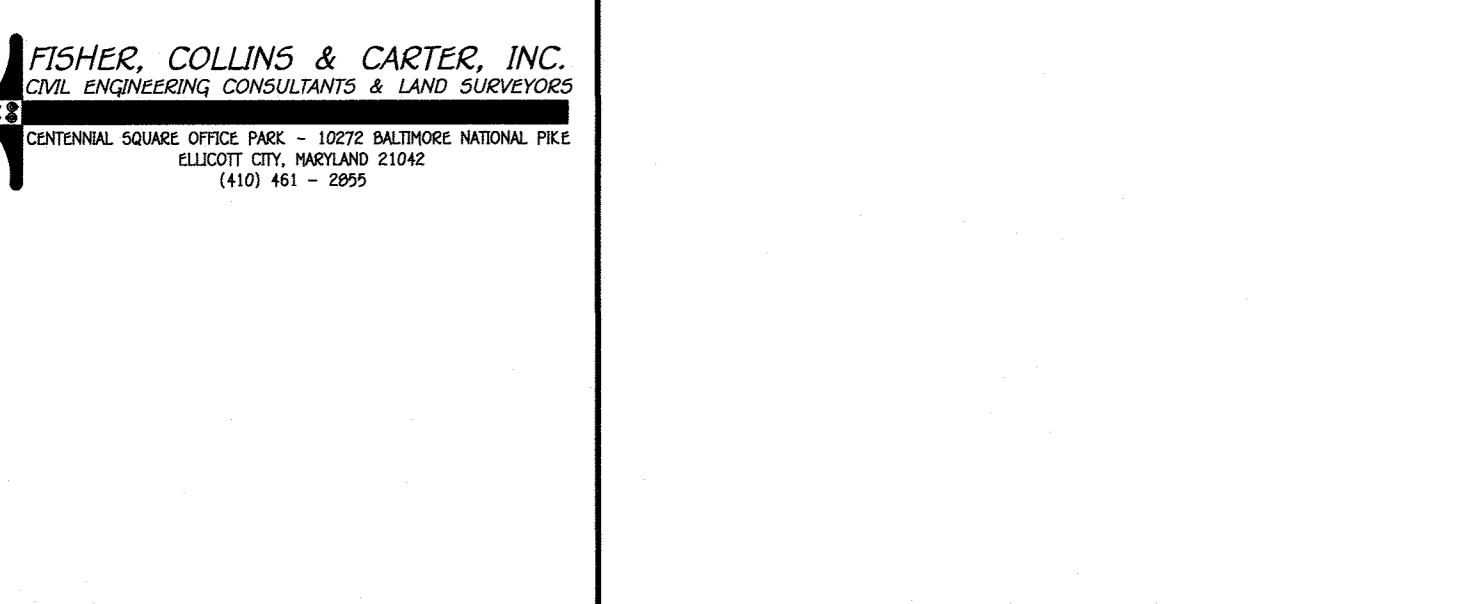
BILL OF MATERIALS
FROM A.A. CO. GATE STANDARDS
12 FT. GATE



GATE LOCK



GATE HOLDBACK



GATE POST

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW DETAILS FOR THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046

PROJECT: HAMMOND HIGH SCHOOL
SECTION/AREA: 2/1
PARCEL: 405

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

DETAIL SHEET
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY 11, 2020
SHEET 20 OF 37

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

DATE: 7-9-2020
DESCRIPTION: REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

DATE: 7/8/2020
DATE: 7.7.20

DATE: 5/26/20
DATE: 7.7.20

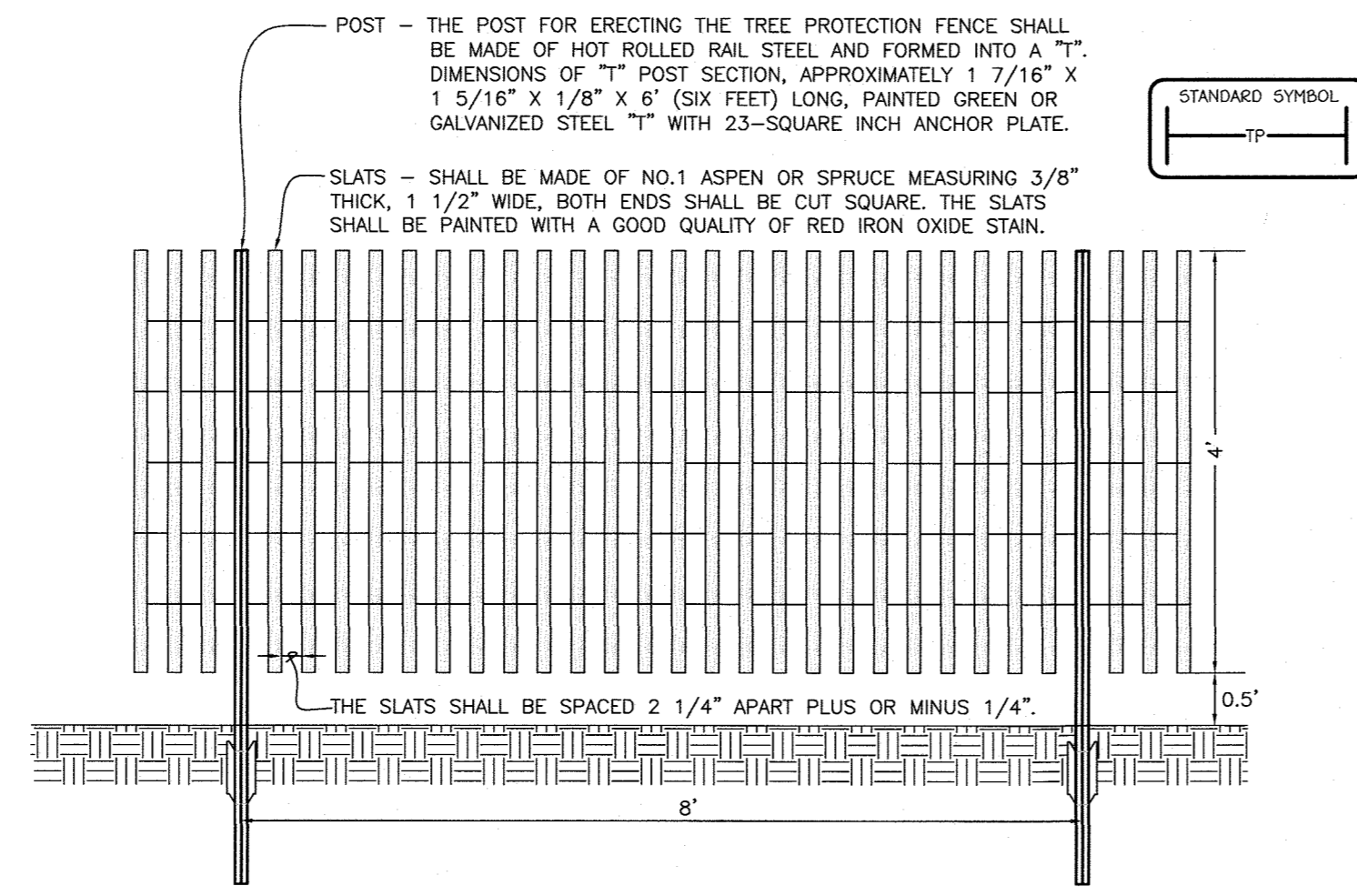
"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSING PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

STEPHANIE J. TUIJT, P.E.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

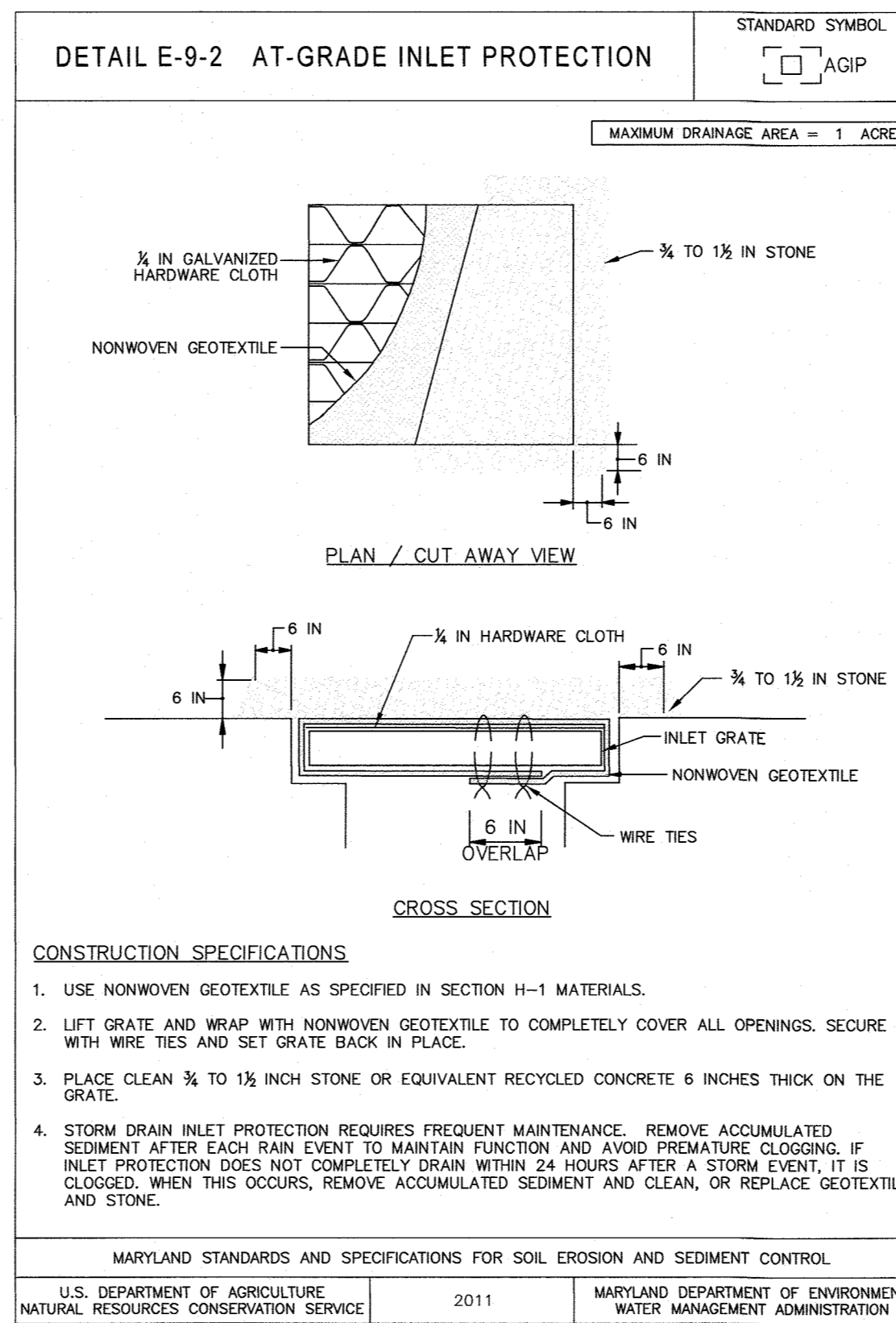
STATE OF MARYLAND
PROFESSIONAL ENGINEER
STEPHANIE J. TUIJT, P.E.
LICENSE NO. 38386
EXPIRATION DATE: JANUARY 12, 2022

5DP-96-018



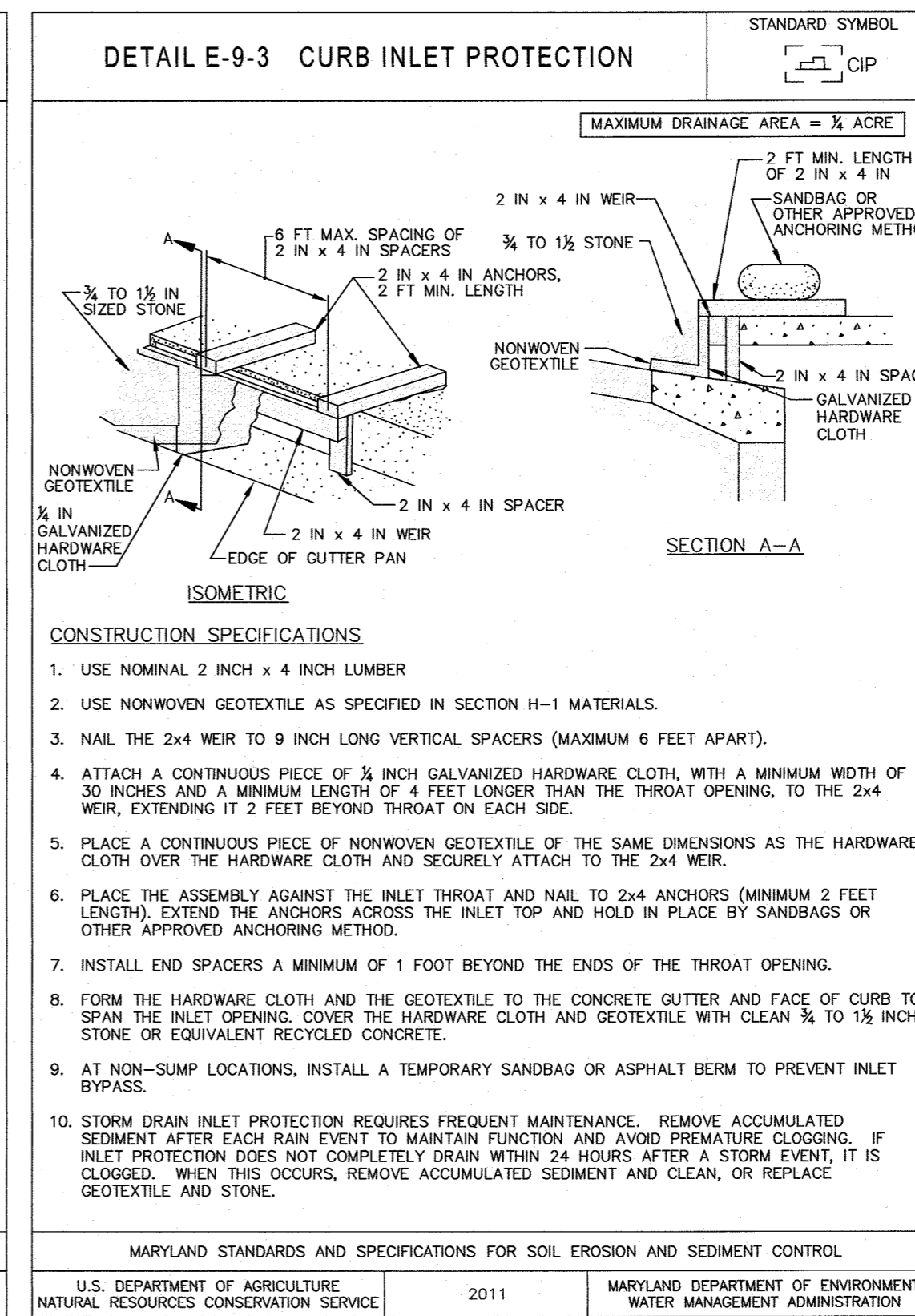
TREE PROTECTION FENCING SHALL CONSIST OF WOOD SLATS WOVEN TOGETHER WITH FIVE 2-WIRE STRANDS OF 13 STEEL WIRE GAUGE GALVANIZED WIRE, NOT LESS THAN (2) THREE HUNDRED AND SIXTY (360) DEGREE TWISTS OF THE WIRE IN THE WEAVE BETWEEN THE SLATS.

TREE PROTECTION FENCE DETAIL
NO SCALE



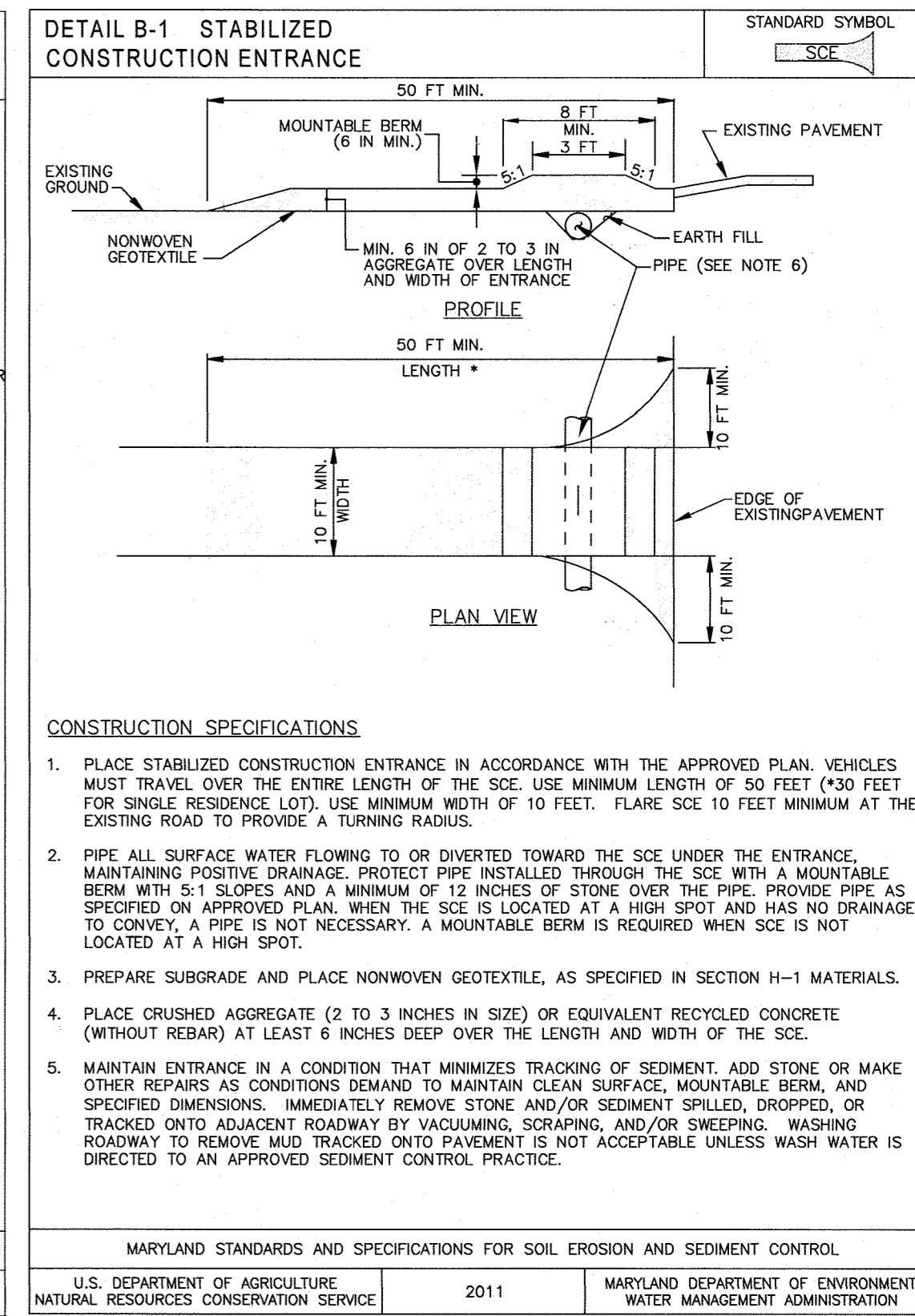
- CONSTRUCTION SPECIFICATIONS**
1. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
 2. LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
 3. PLACE CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
 4. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



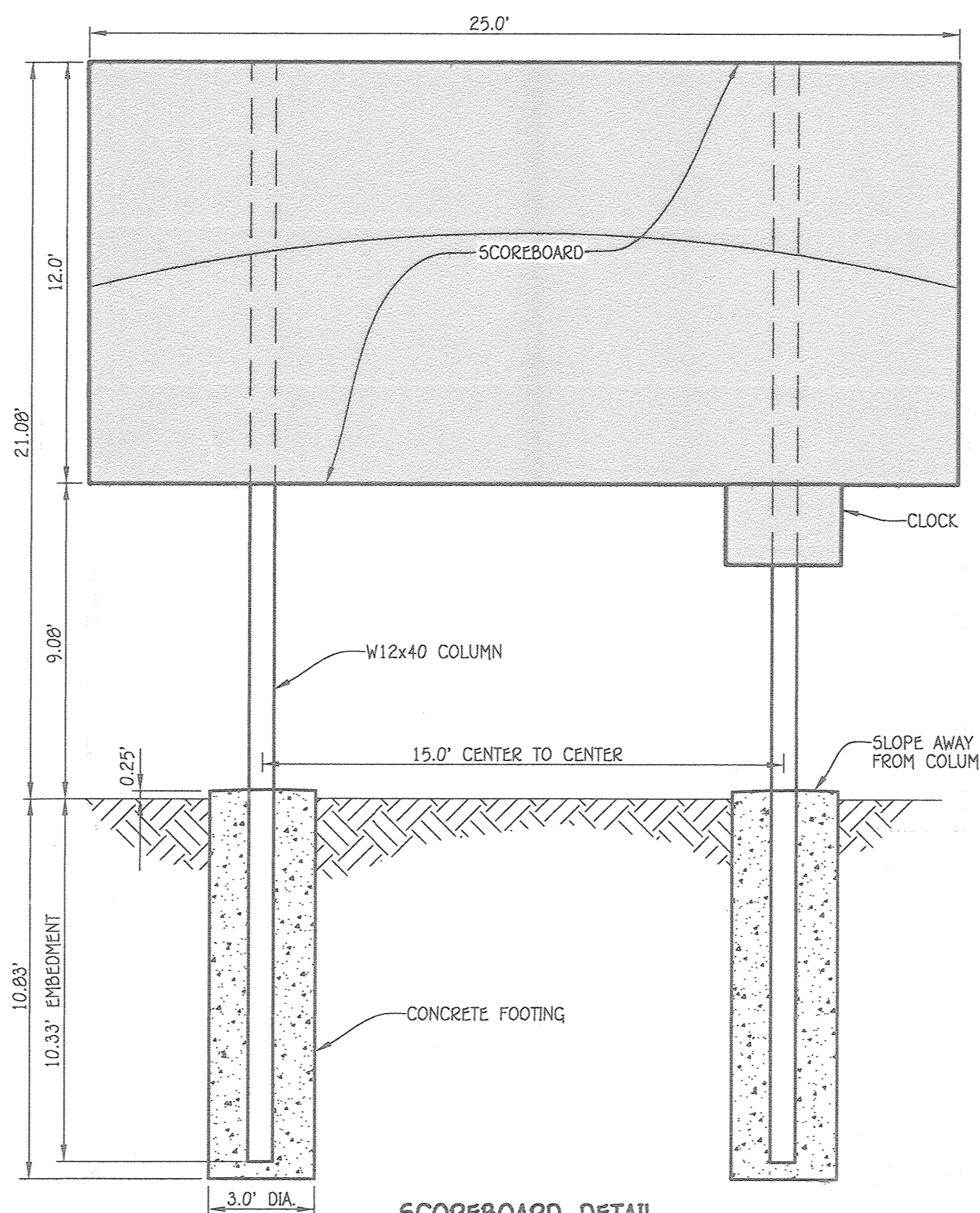
- CONSTRUCTION SPECIFICATIONS**
1. USE NOMINAL 2 INCH X 4 INCH LUMBER
 2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
 3. NAIL THE 2x4 WEIR TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART).
 4. ATTACH A CONTINUOUS PIECE OF 1/4 INCH GALVANIZED HARDWARE CLOTH WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WEIR, EXTENDING IT 2 FEET BEYOND THROAT ON EACH SIDE.
 5. PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH TO THE 2x4 WEIR.
 6. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 2 FEET LENGTH). EXTEND THE ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD.
 7. INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING.
 8. SPAN THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO FORM THE INLET OPENING. COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE.
 9. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS.
 10. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

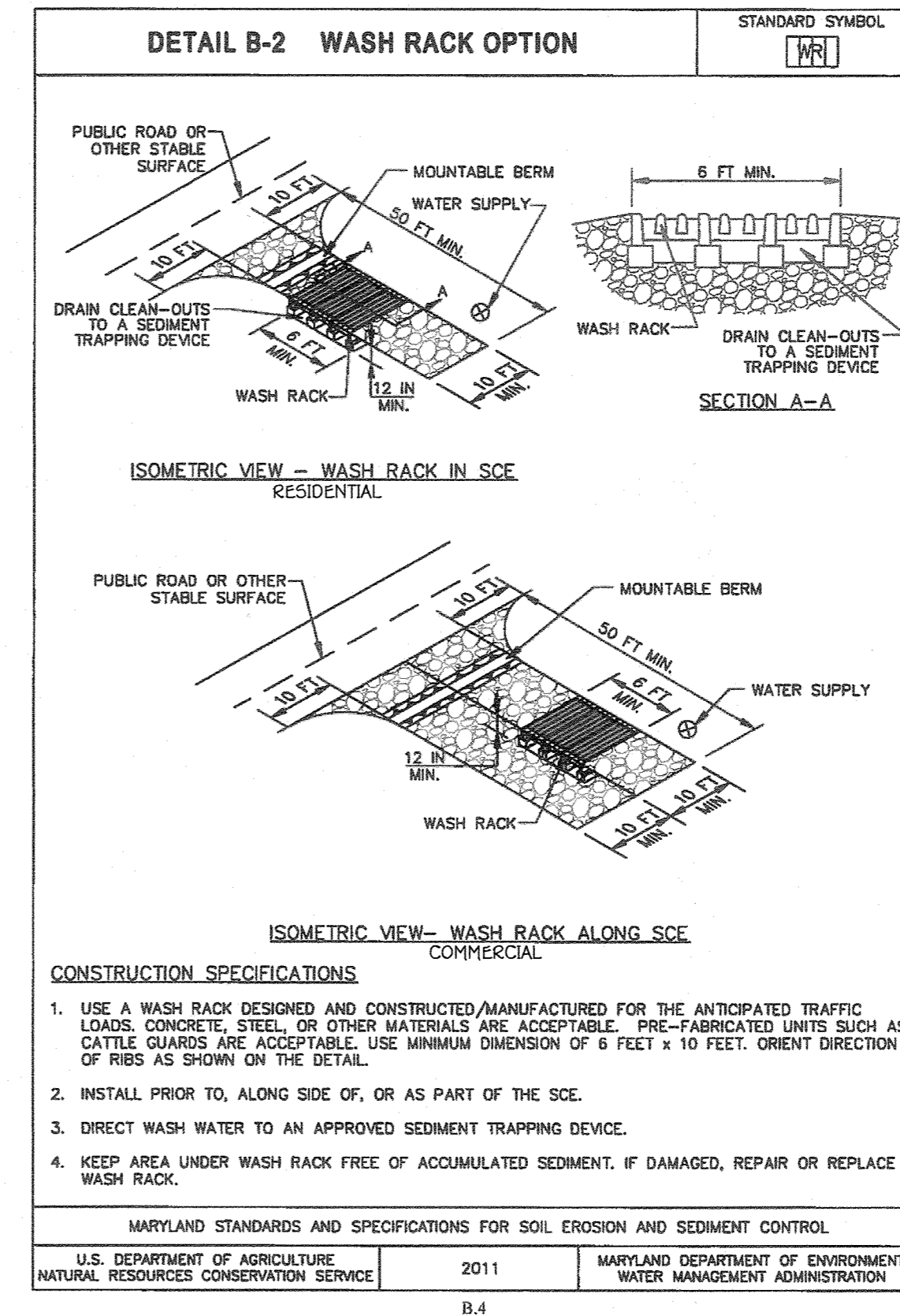


- CONSTRUCTION SPECIFICATIONS**
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
 4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
 5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPPING, AND/OR SLEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

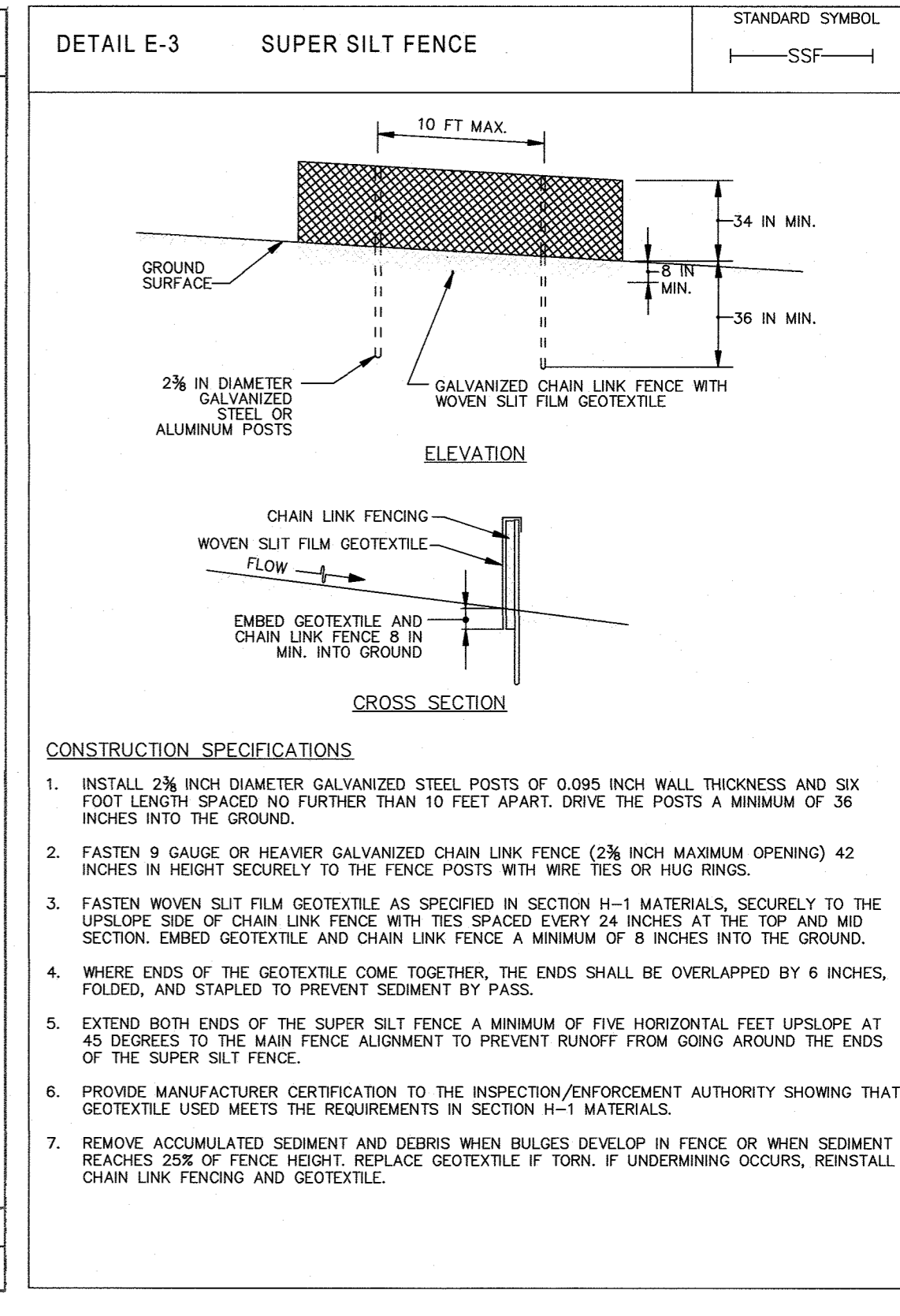


SCOREBOARD DETAIL
NO SCALE



- CONSTRUCTION SPECIFICATIONS**
1. USE A WASH RACK DESIGNED AND CONSTRUCTED/MANUFACTURED FOR THE ANTICIPATED TRAFFIC LOADS. CONCRETE, STEEL, OR OTHER MATERIALS ARE ACCEPTABLE. PRE-FABRICATED UNITS SUCH AS CATTLE GUARDS ARE ACCEPTABLE. USE MINIMUM DIMENSION OF 6 FEET X 10 FEET. ORIENT DIRECTION OF RIBS AS SHOWN ON THE DETAIL.
 2. INSTALL PRIOR TO, ALONG SIDE OF, OR AS PART OF THE SCE.
 3. DIRECT WASH WATER TO AN APPROVED SEDIMENT TRAPPING DEVICE.
 4. KEEP AREA UNDER WASH RACK FREE OF ACCUMULATED SEDIMENT. IF DAMAGED, REPAIR OR REPLACE WASH RACK.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



- CONSTRUCTION SPECIFICATIONS**
1. INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
 2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
 3. FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
 4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
 5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
 6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW DETAILS FOR THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTONIAL SQUARE OFFICE PHASE - 10272 WALTHAM NATIONAL PLACE
ELICOTT CITY, MARYLAND 21042
(410) 461-2099

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Signature: *Stephanie J. Tuite* DATE: 5/26/20
SIGNATURE OF ENGINEER

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
Signature: *John F. Blitzer* DATE: 5-27-2020
SIGNATURE OF DEVELOPER

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Signature: *Stephanie J. Tuite* DATE: 5/26/20
STEPHANIE J. TUITE, P.E.

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Signature: *John F. Blitzer* DATE: 5/27/20
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: *John G. Conner* DATE: 7-9-2020
Chief, Department of Planning and Zoning

Chief, Division of Land Development: *John G. Conner* DATE: 7/8/2020
Chief, Development Engineering Division: *John G. Conner* DATE: 7-7-20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
DANIEL LUBELEY
LICENSE NO. 38386
PROFESSIONAL ENGINEER

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046

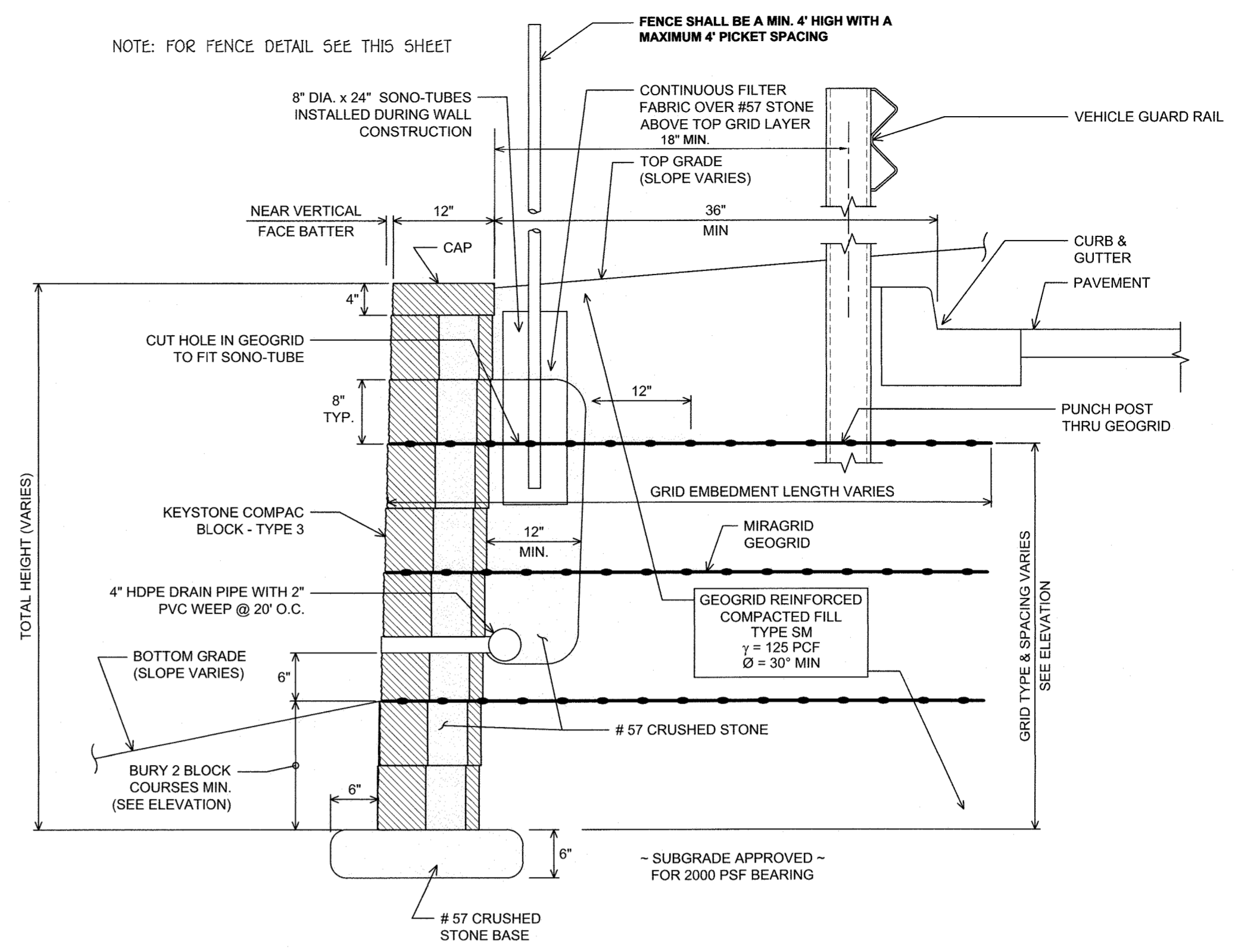
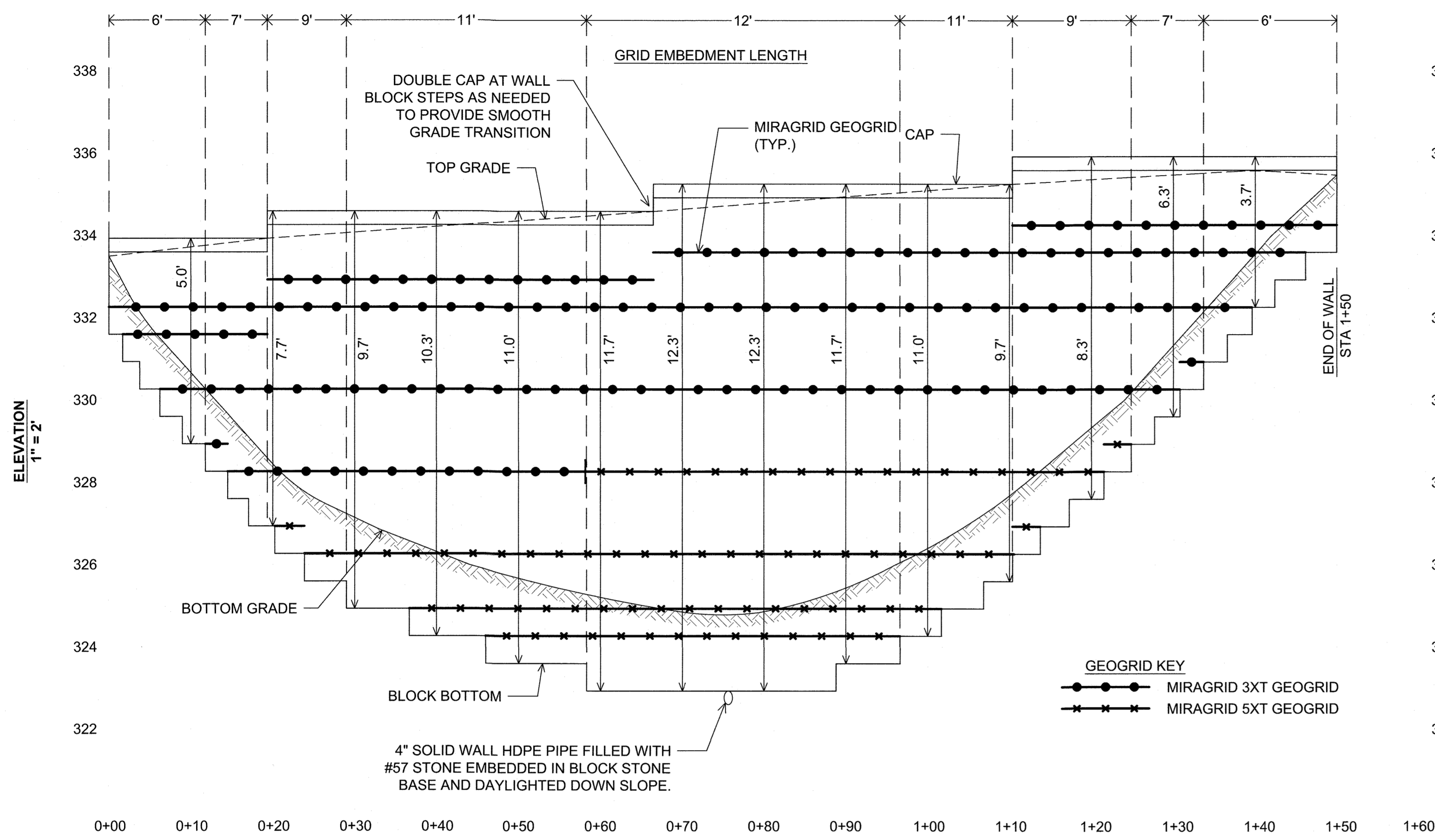
PROJECT	SECTION/AREA	PARCEL
HAMMOND HIGH SCHOOL	2/1	405

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	B, 14	NEW TOWN (NT)	42	SIXTH	6051.02

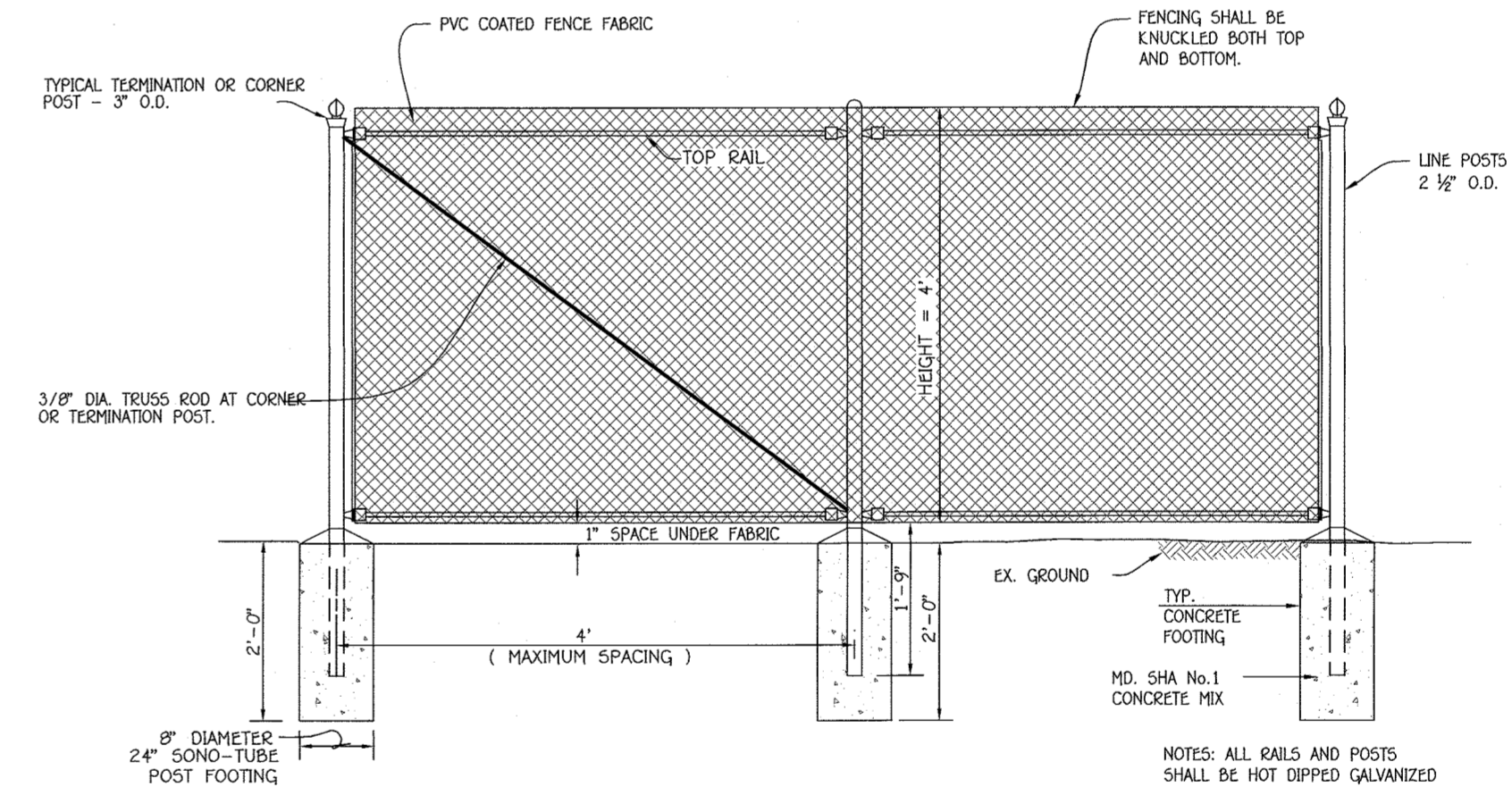
SEDIMENT AND EROSION CONTROL DETAILS

"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: B & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY 11, 2020
SHEET 23 OF 37

NOTE:
SLOPE TOP GEOGRID LAYER DOWN
AS NEEDED TO AVOID CONFLICT WITH
CURB AND PAVEMENT INSTALLATION



TYPICAL WALL SECTION
N.T.S.



CHAIN LINK FENCE DETAIL
NO SCALE

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE DEMOLITION AREAS EFFECTED BY BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite 5/26/20
STEPHANIE J. TUITE, P.E. DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> 7-9-2020 Date	Director, Department of Planning and Zoning
<i>[Signature]</i> 7/8/2020 Date	Chief, Division of Land Development
<i>[Signature]</i> 7-7-20 Date	Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

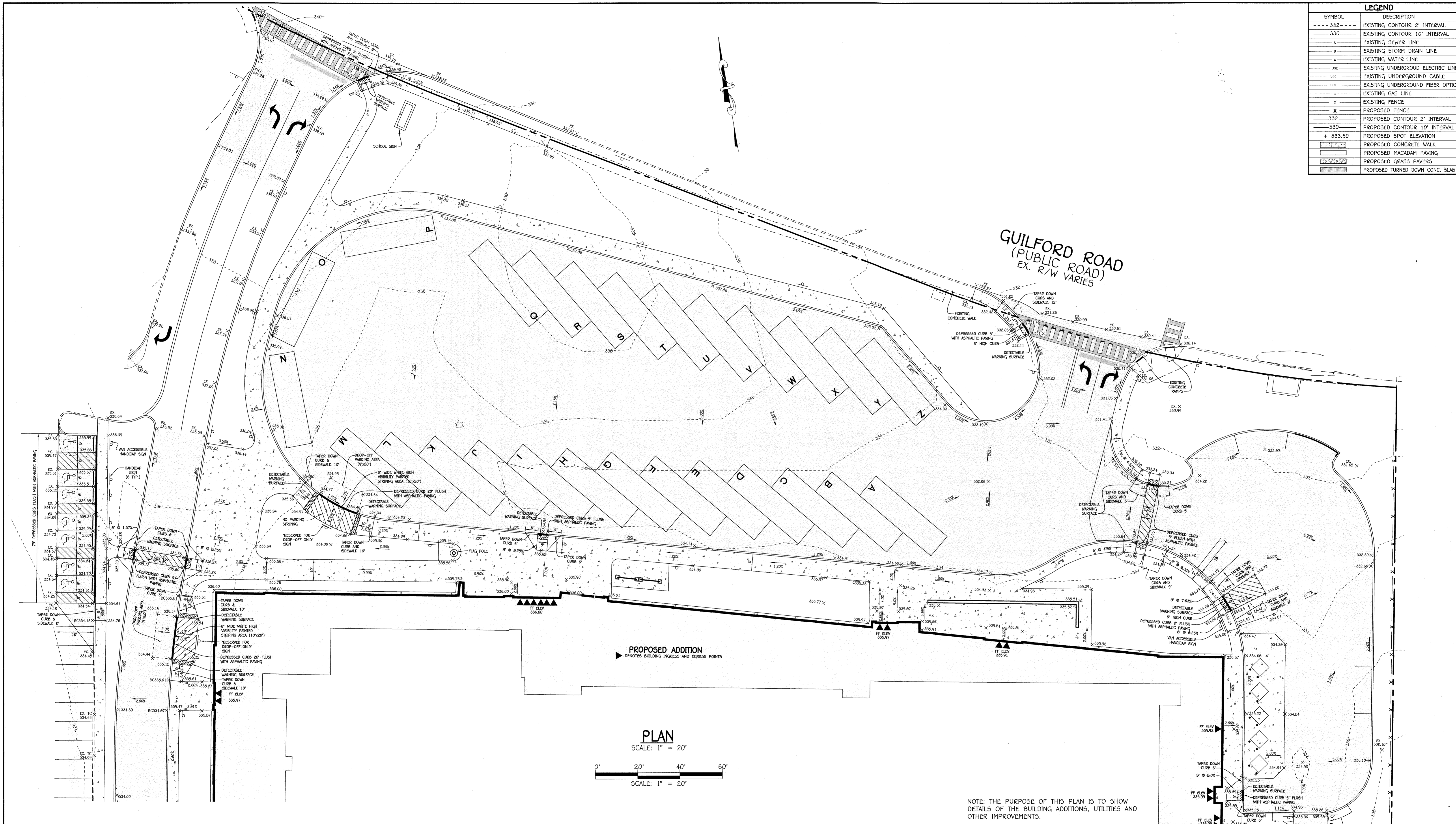


ADDRESS CHART				
PARCEL NO.	STREET ADDRESS			
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046			
PROJECT	SECTION/AREA	PARCEL		
HAMMOND HIGH SCHOOL	2/1	405		
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST. CENSUS TR.
25150-25152	Ø, 14	NEW TOWN (NT)	42	SIXTH 6051.02

RETAINING WALL ELEVATION AND DETAILS

"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: Ø & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY 11, 2020
SHEET 25 OF 37

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
s	EXISTING SEWER LINE
w	EXISTING STORM DRAIN LINE
w	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING GAS LINE
X	EXISTING FENCE
X	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+ 333.50	PROPOSED SPOT ELEVATION
[Pattern]	PROPOSED CONCRETE WALK
[Pattern]	PROPOSED MACADAM PAVING
[Pattern]	PROPOSED GRASS PAVING
[Pattern]	PROPOSED TURNED DOWN CONC. SLAB



PROPOSED ADDITION
 DENOTES BUILDING INGRESS AND EGRESS POINTS

PLAN
 SCALE: 1" = 20'
 0' 20' 40' 60'
 SCALE: 1" = 20'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW
 DETAILS OF THE BUILDING ADDITIONS, UTILITIES AND
 OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
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 OF THE STATE OF MARYLAND. LICENSE NO. 36396, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite 5/20/20
 STEPHANIE J. TUITE, P.E. DATE

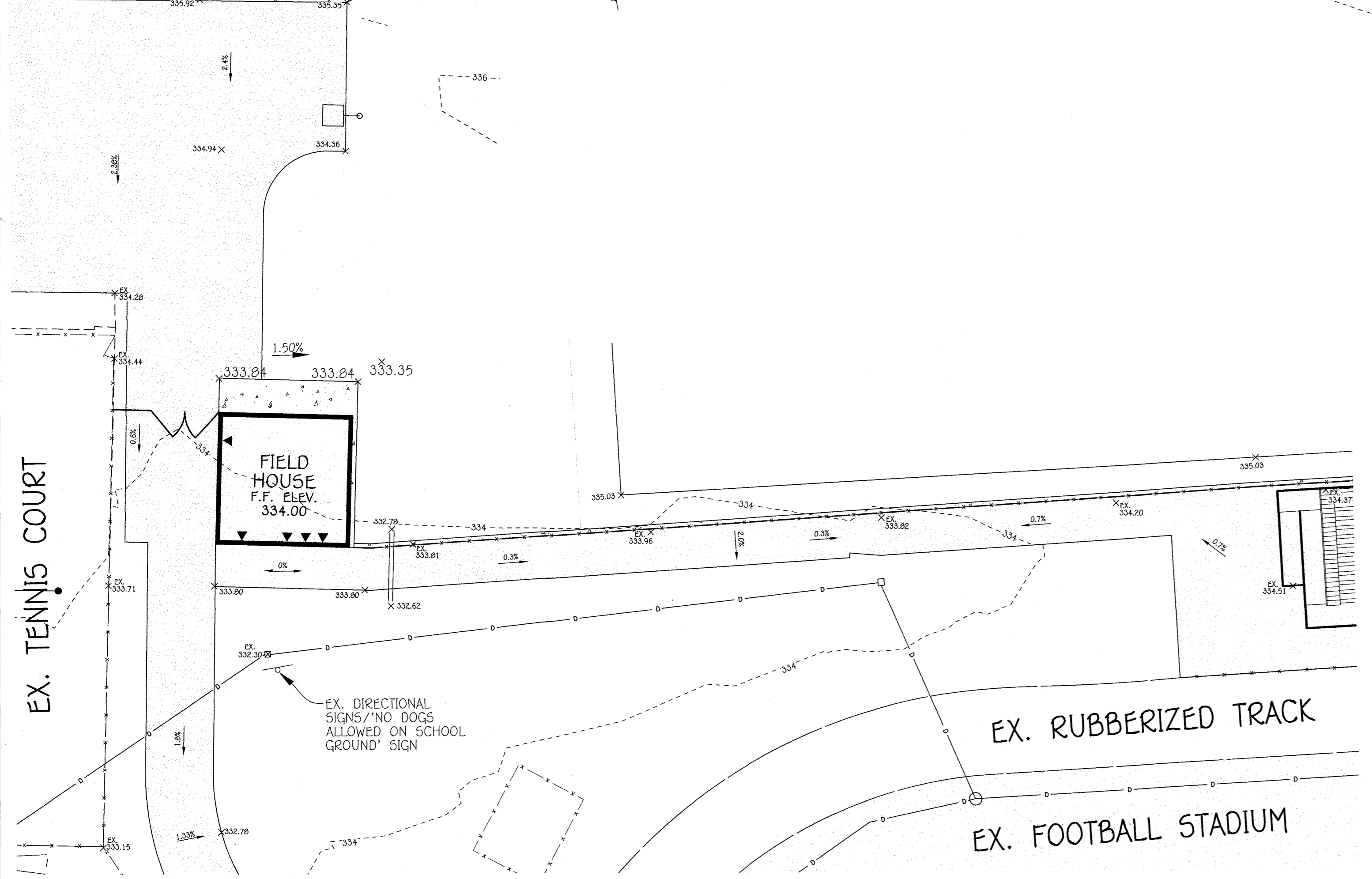
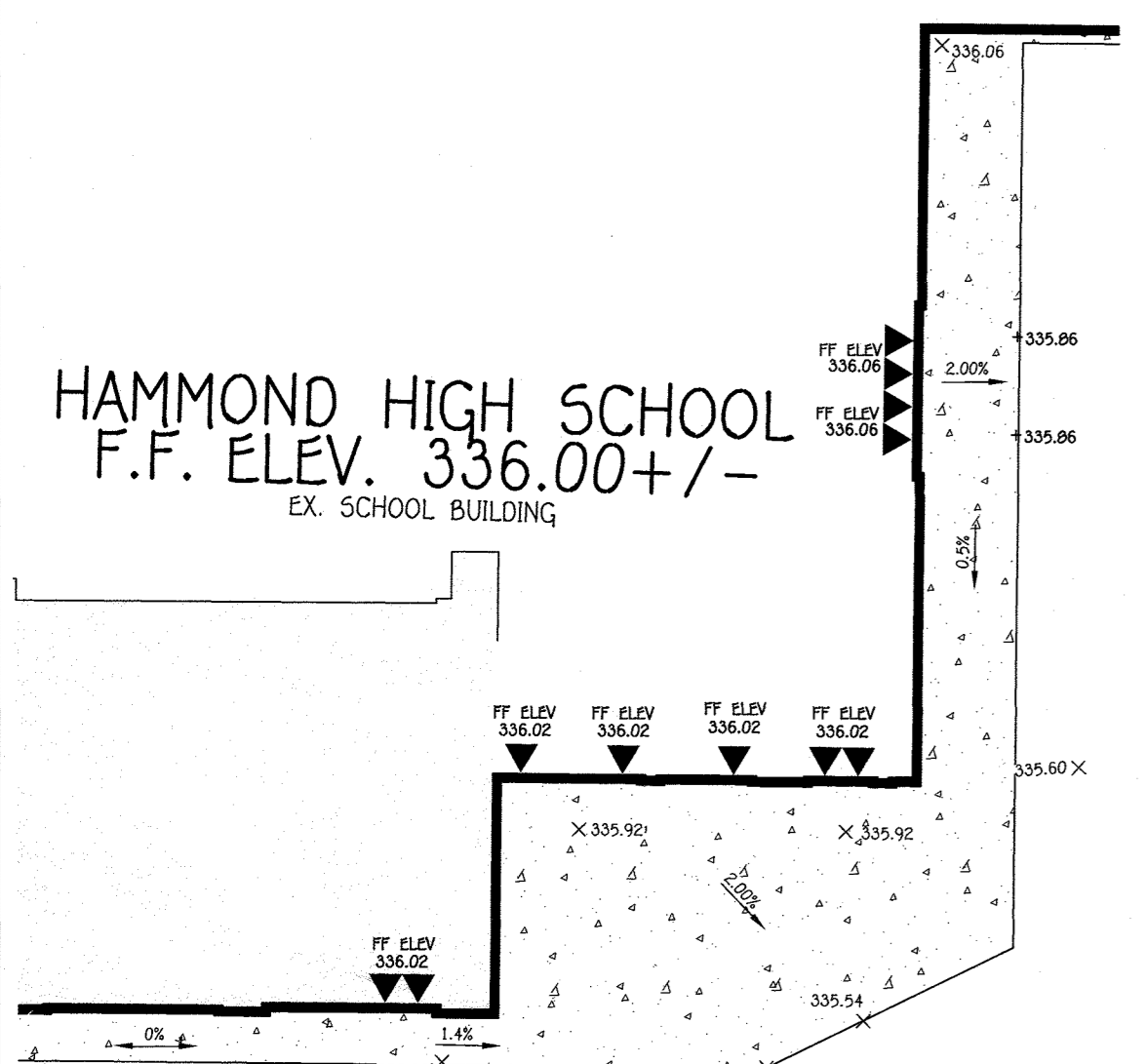
DATE	DESCRIPTION	REVISION BLOCK
7-9-2020	Director of Planning and Zoning	
7/16/2020	Chief, Division of Planning and Development	
7-7-20	Chief, Development Engineering Division	

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT	SECTION/AREA	PARCEL			
HAMMOND HIGH SCHOOL	2/1	405			
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

HANDICAP ACCESS PLAN
 "REVISED SITE DEVELOPMENT PLAN"
 VILLAGE OF KINGS CONTRIVANCE
 SECTION 2 AREA 1
 SCHOOL SITE
**HAMMOND HIGH SCHOOL
 BUILDING ADDITIONS**
 ZONED: NEW TOWN (NT)
 PARCEL No.: 405
 TAX MAP No.: 42 GRID No.: 8 & 14
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 20' DATE: MAY 11, 2020
 SHEET 26 OF 37

FOR CONTINUATION
SEE THIS SHEET



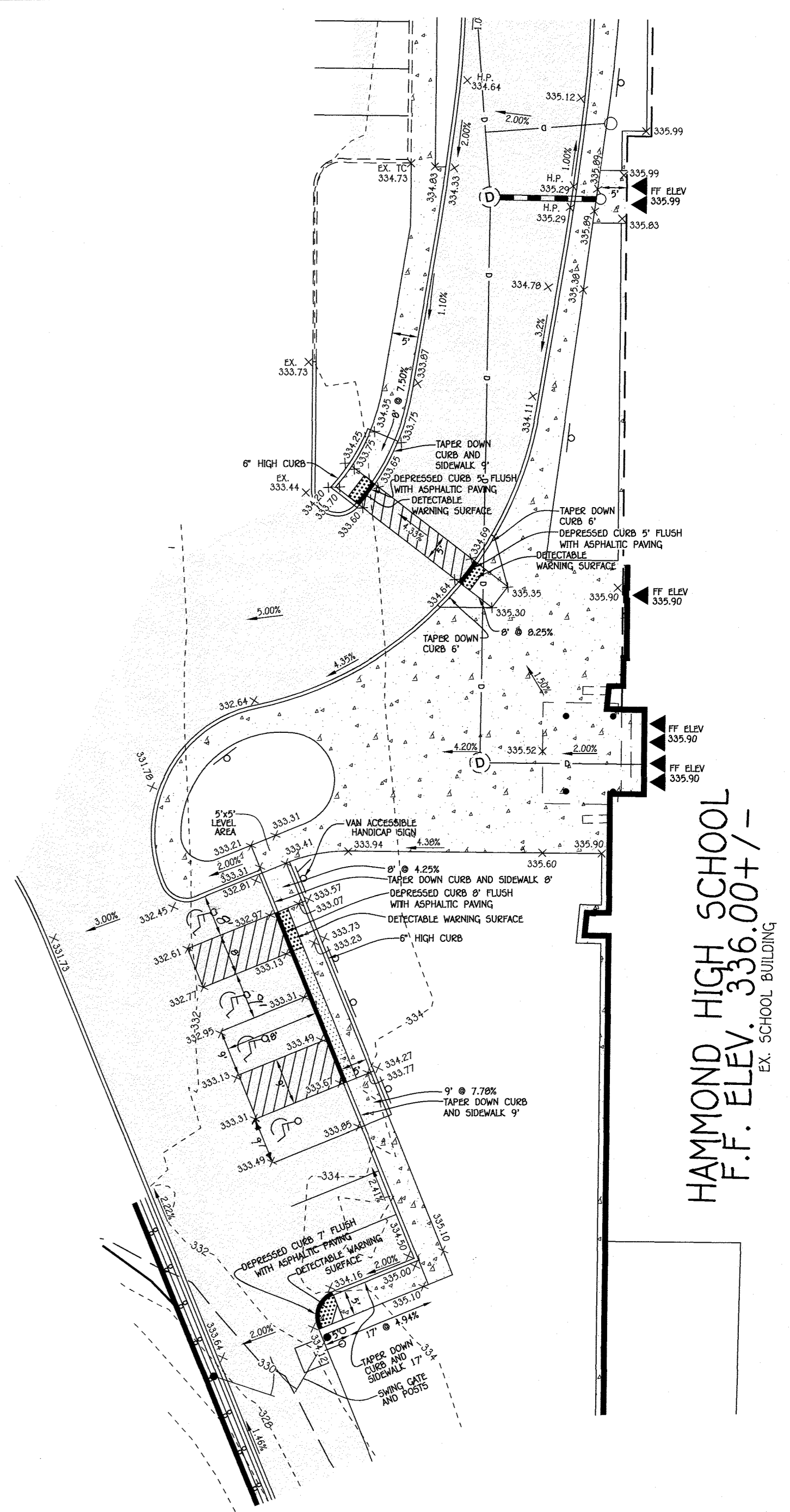
PLAN
SCALE: 1" = 20'

EX. FOOTBALL STADIUM

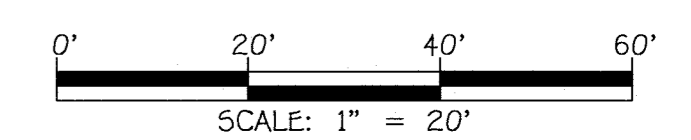
EX. RUBBERIZED TRACK

PLAN
SCALE: 1" = 20'

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
- - -	EXISTING CONTOUR 10' INTERVAL
- - -	EXISTING SEWER LINE
- - -	EXISTING STORM DRAIN LINE
- - -	EXISTING WATER LINE
- - -	EXISTING UNDERGROUND ELECTRIC LINE
- - -	EXISTING UNDERGROUND CABLE
- - -	EXISTING UNDERGROUND FIBER OPTIC
- - -	EXISTING GAS LINE
X	EXISTING FENCE
X	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
- - -	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	PROPOSED GRASS PAVERS



PLAN
SCALE: 1" = 20'



NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW DETAILS OF THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FOR CONTINUATION
SEE THIS SHEET

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

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Stephanie J. Tuite 5/26/20
STEPHANIE J. TUITE, P.E. DATE

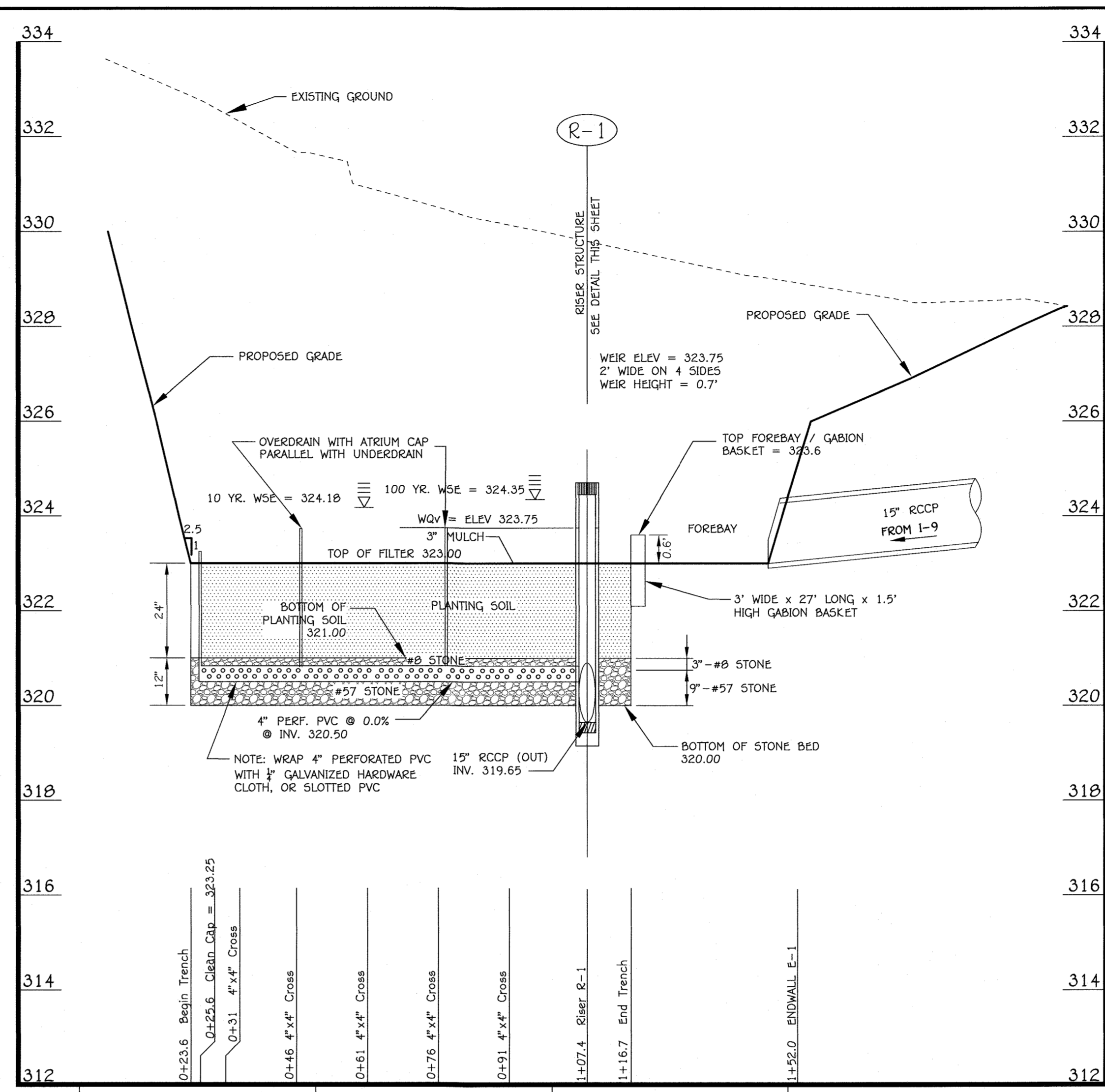
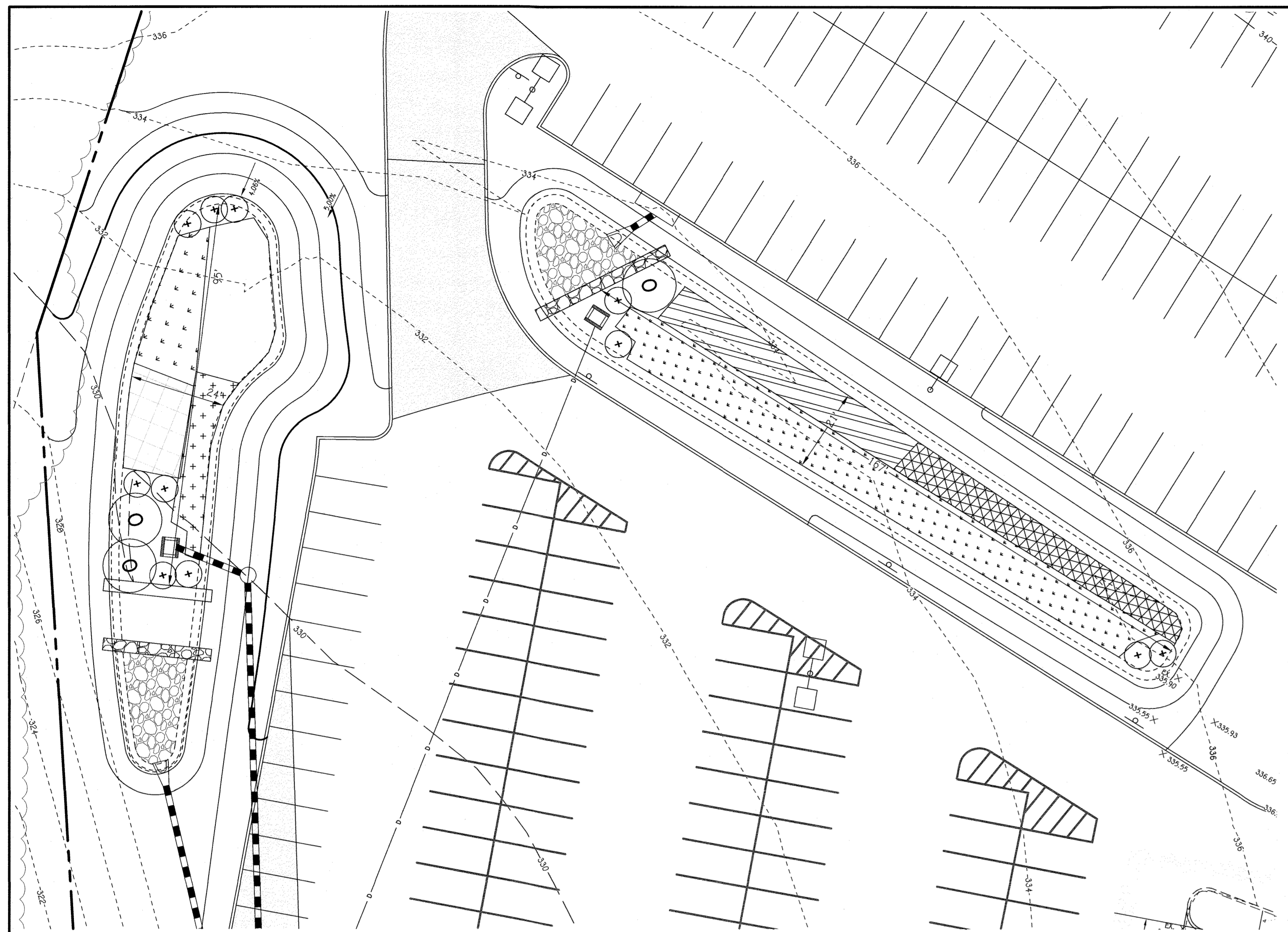
DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>W. G. Smith</i>	7-9-2020 Date
Director, Department of Planning and Zoning	
<i>D. J. Smith</i>	7/8/2020 Date
Chief, Division of Land Development	
<i>D. J. Smith</i>	7-7-20 Date
Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART				
PARCEL NO.	STREET ADDRESS			
405	8000 GUILFORD ROAD COLUMBIA, MARYLAND 21046			
PROJECT	SECTION/AREA	PARCEL		
HAMMOND HIGH SCHOOL	2/1	405		
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST. CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH 6051.02

HANDICAP ACCESS PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 20' DATE: MAY 11, 2020
SHEET 27 OF 37

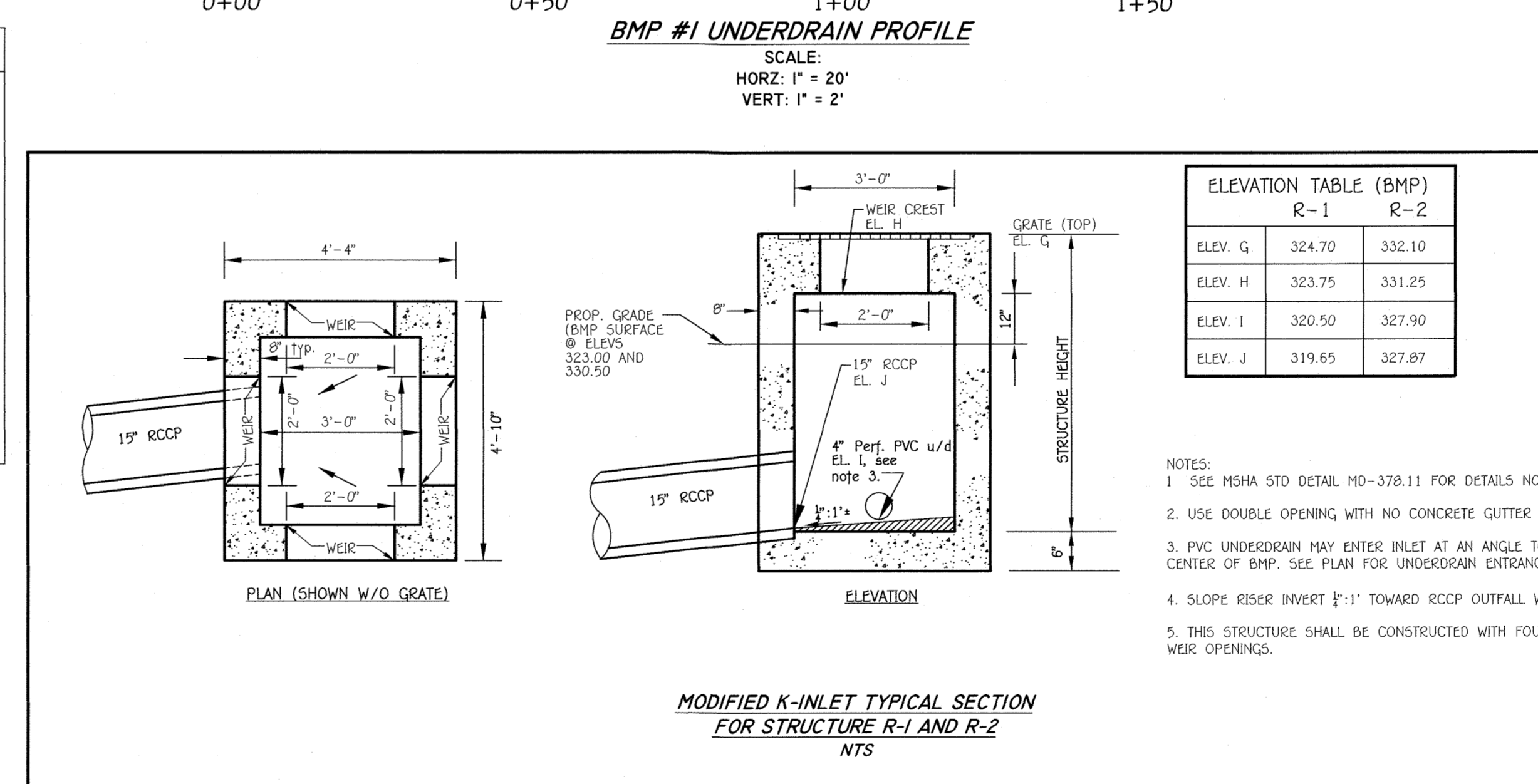


LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
S	EXISTING SEWER LINE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
USE	EXISTING UNDERGROUND ELECTRIC LINE
UCF	EXISTING UNDERGROUND CABLE
UFO	EXISTING UNDERGROUND FIBER OPTIC
G	EXISTING GAS LINE
X	EXISTING FENCE
X	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
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---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	PROPOSED GRASS PAVERS
---	PROPOSED TURNED DOWN CONC. SLAB

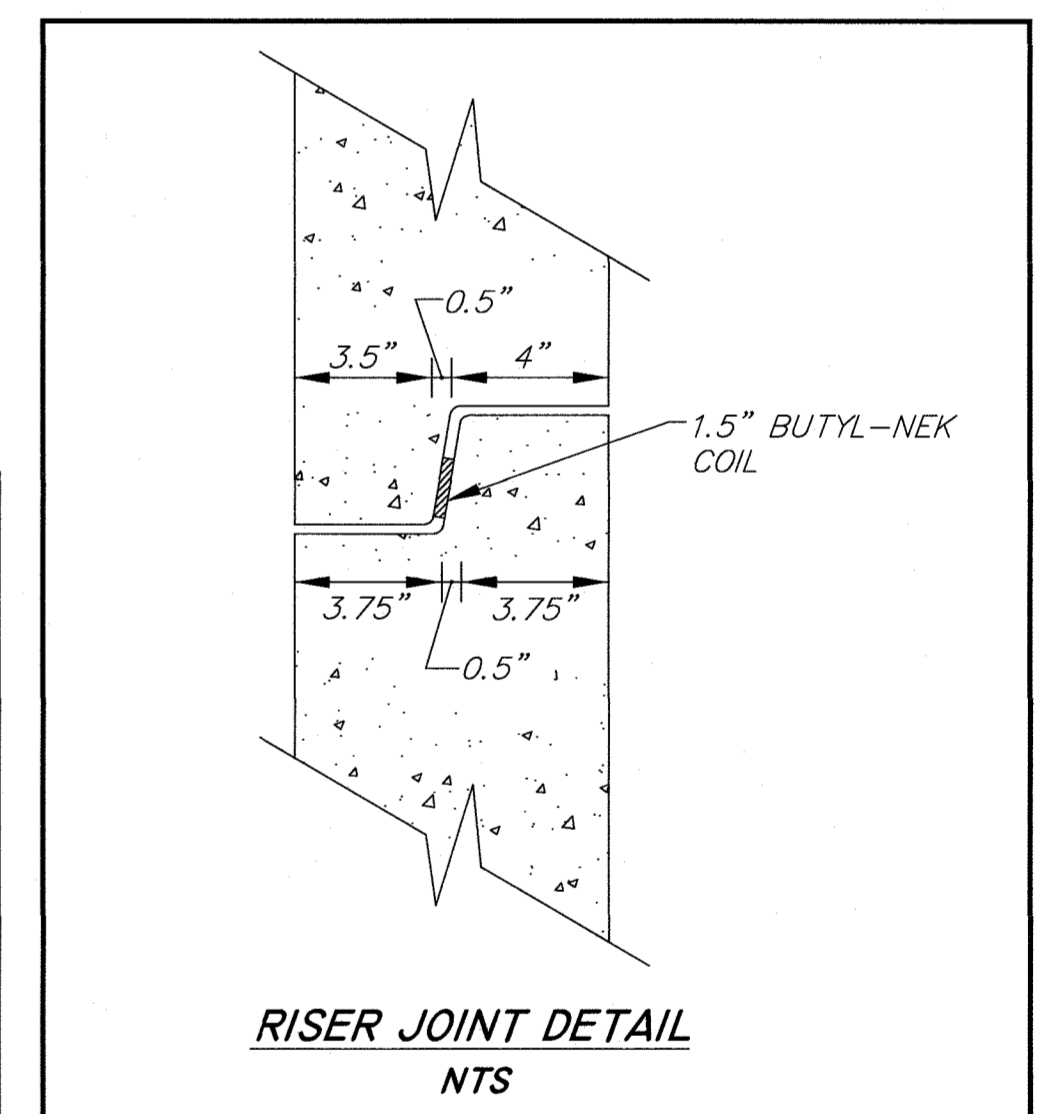
BIORETENTION FACILITY (BMP#1) PLANTING SCHEDULE					
KEY	PLANT NAME	MIN. SIZE	BMP #1 QUANTITY	NOTES	SYMBOL
SG	SWITCH GRASS (<i>Panicum virgatum</i>)	1 qt	100	Grass @ 3' c/c min.	+
TS	TUSSOCK SEDGE (<i>Carex stricta</i>)	1 qt	90	Grass @ 3' c/c min.	+
CC	CUTLEAF CONEFLOWER (<i>Rudbeckia hirta</i>)	1 qt	75	Flower @ 3' c/c min.	+
BB	BEEBALM (<i>Monarda didyma</i>)	1 qt	150	Flower @ 4' c/c min.	+
JP	JOE PYE WEED (<i>Eupatorium maculatum</i> 'Gateway')	1 gal	4	Perennial @ 5' c/c min.	+
ROD	RED OSIER DOGWOOD (<i>Cornus sericea</i>)	2 gal	2	Shrub @ 7' c/c	○
TOTAL			423		

BIORETENTION FACILITY (BMP#2) PLANTING SCHEDULE					
KEY	PLANT NAME	MIN. SIZE	BMP #2 QUANTITY	NOTES	SYMBOL
SG	SWITCH GRASS (<i>Panicum virgatum</i>)	1 qt	200	Grass @ 3' c/c min.	+
RM	ROSE MALLOW (<i>Hibiscus moscheutos</i>)	1 qt	150	Grass @ 3' c/c min.	+
NEA	NEW ENGLAND ASTER (<i>Aster novae angliae</i>)	1 qt	160	Grass @ 3' c/c min.	+
JP	JOE PYE WEED (<i>Eupatorium maculatum</i> 'Gateway')	1 gal	4	Perennial @ 5' c/c min.	+
ROD	RED OSIER DOGWOOD (<i>Cornus sericea</i>)	2 gal	1	Shrub @ 7' c/c	○
TOTAL			515		

- PLANTING SPECIFICATIONS:**
- PLANT INSTALLATION SHALL BE PER MDE SPECIFICATIONS IN THE 2000 STORMWATER DESIGN MANUAL, PER THE PROJECT SPECIFICATIONS, AND AS BELOW.
- ADDITIONAL SPECIFICATIONS:**
- PLANT BMP LEVEL SURFACE AS SHOWN IN THE ABOVE TABLE WITH AN EVEN DISTRIBUTION DENSITY. STABILIZE BMP SIDE SLOPES WITH PERMANENT GRASS SEED PER NRCS SPECIFICATIONS. SIDE SLOPE PERMANENT GRASS AREAS SHALL HAVE 3" OF CLEAN TOPSOIL ON TILLED SUB-SOIL AND CURLEX MATTING WATER AS NECESSARY UNTIL ESTABLISHED VEGETATION.
 - THE CONTRACTOR SHALL PROVIDE PLANT MAINTENANCE AND GUARANTEE IN ACCORDANCE WITH THE PROJECT LANDSCAPING SPECIFICATIONS.
 - PLANT MATERIAL SHALL CONFORM TO THE U.S. STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - PLANTING PERENNIALS & GRASSES: ROOT SYSTEMS SHALL BE SPLIT OR CRUMBLED. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH EXISTING GRADE. TREAT THE MULCHED AND PLANTED AREA WITH A PRE-EMERGENT HERBICIDE.
 - ALL PLANTS MUST BE THOROUGHLY AND REGULARLY WATERED PRIOR TO ACCEPTANCE.
 - DO NOT PLANT VEGETATION WITHIN 1.5 FT OF THE FOREBAY WEIR SPLASH APRONS AND IN THE NO PLANTING ZONE NEAR THE RISER.



ELEVATION TABLE (BMP)		
	R-1	R-2
ELEV. G.	324.70	332.10
ELEV. H.	323.75	331.25
ELEV. I.	320.50	327.90
ELEV. J.	319.65	327.87



- NOTES:**
- Riser joints shall join evenly and be watertight. Purge joints after installation.
 - The referenced joint and joint sealant material is used by Frederick Precast, Inc. Similar joints may be used with shop drawing approval by the engineer.

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW DETAILS OF THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENAL SQUARE OFFICE PARK - 12272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895

DEVELOPER'S / BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Stephanie J. Tuite
 NAME DATE: 5-27-2020

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36396, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite
 NAME DATE: 5/26/20

STEPHANIE J. TUITE, P.E.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Allyson
 Director - Department of Planning and Zoning DATE: 7-7-2020

Stephanie J. Tuite
 Chief, Division of Land Development DATE: 7/8/2020

Stephanie J. Tuite
 Chief, Development Engineering Division DATE: 7-7-20

PREPARED FOR:
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
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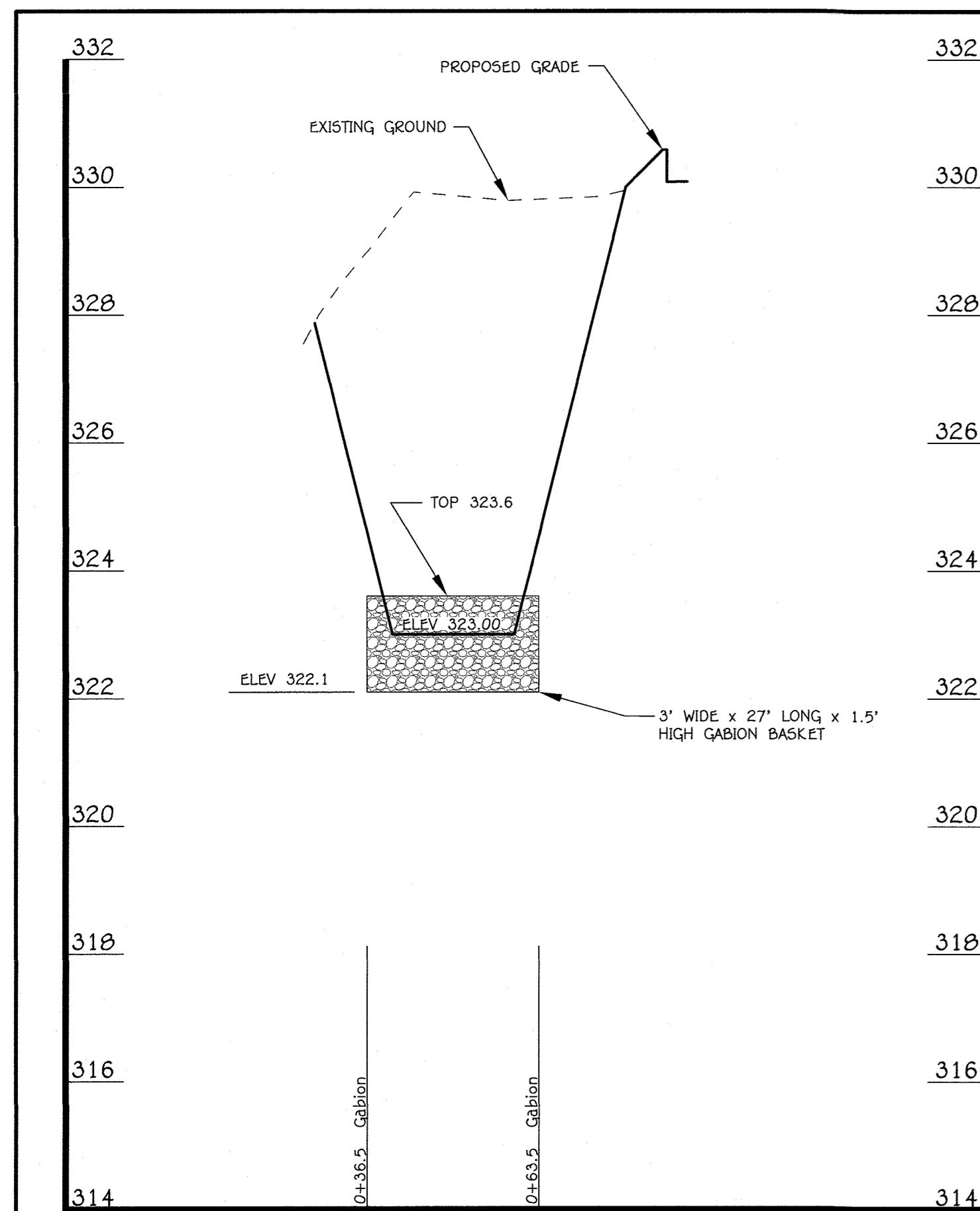
Stephanie J. Tuite
 PROFESSIONAL ENGINEER
 LICENSE NO. 36396
 EXPIRES 1/12/2022

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GULFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT	SECTION/AREA	PARCEL			
HAMMOND HIGH SCHOOL	2/1	405			
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

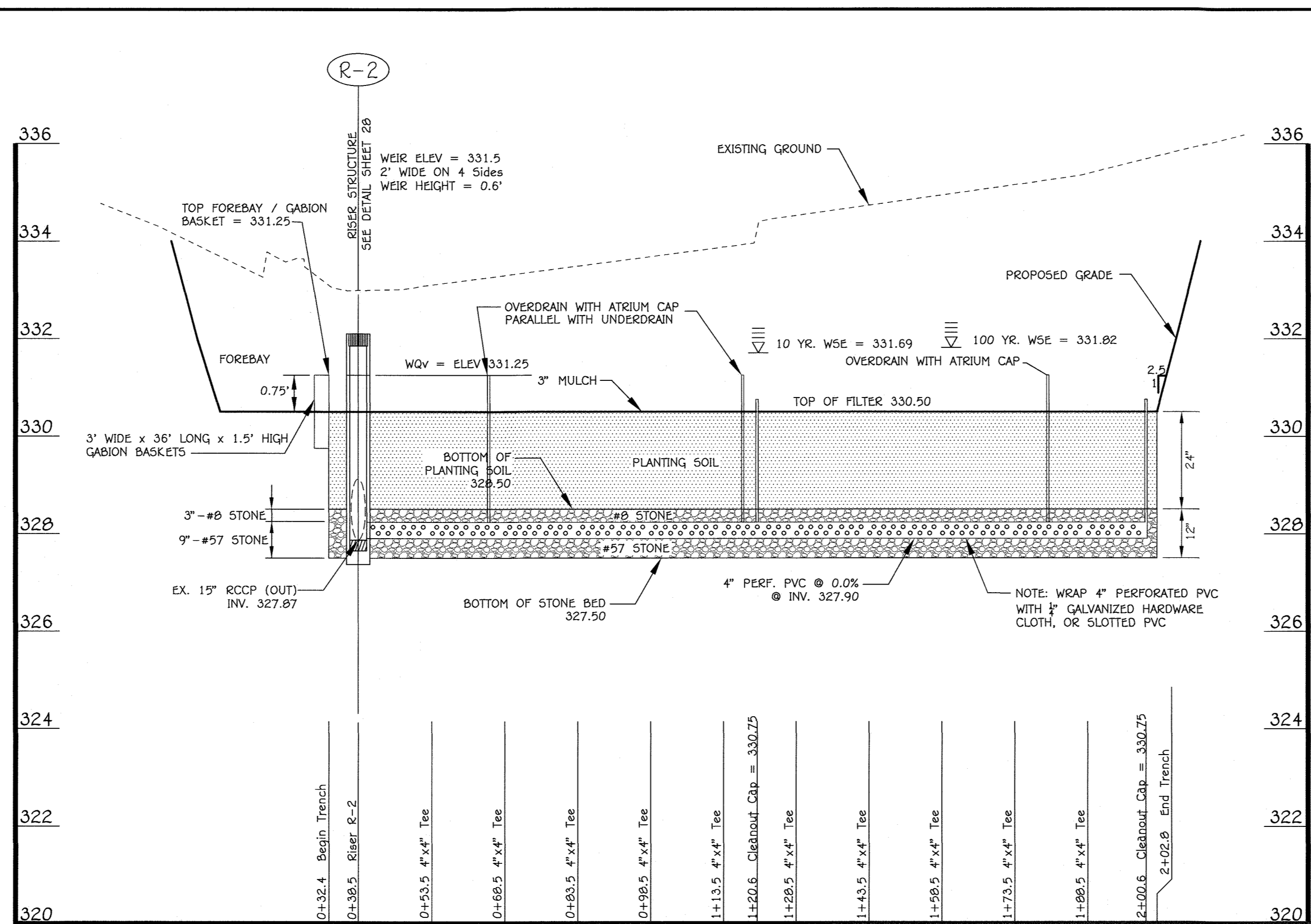
SWM PLAN, PROFILES, NOTES & DETAILS

"REVISED SITE DEVELOPMENT PLAN" VILLAGE OF KINGS CONTRIVANCE SECTION 2 AREA 1 SCHOOL SITE HAMMOND HIGH SCHOOL BUILDING ADDITIONS

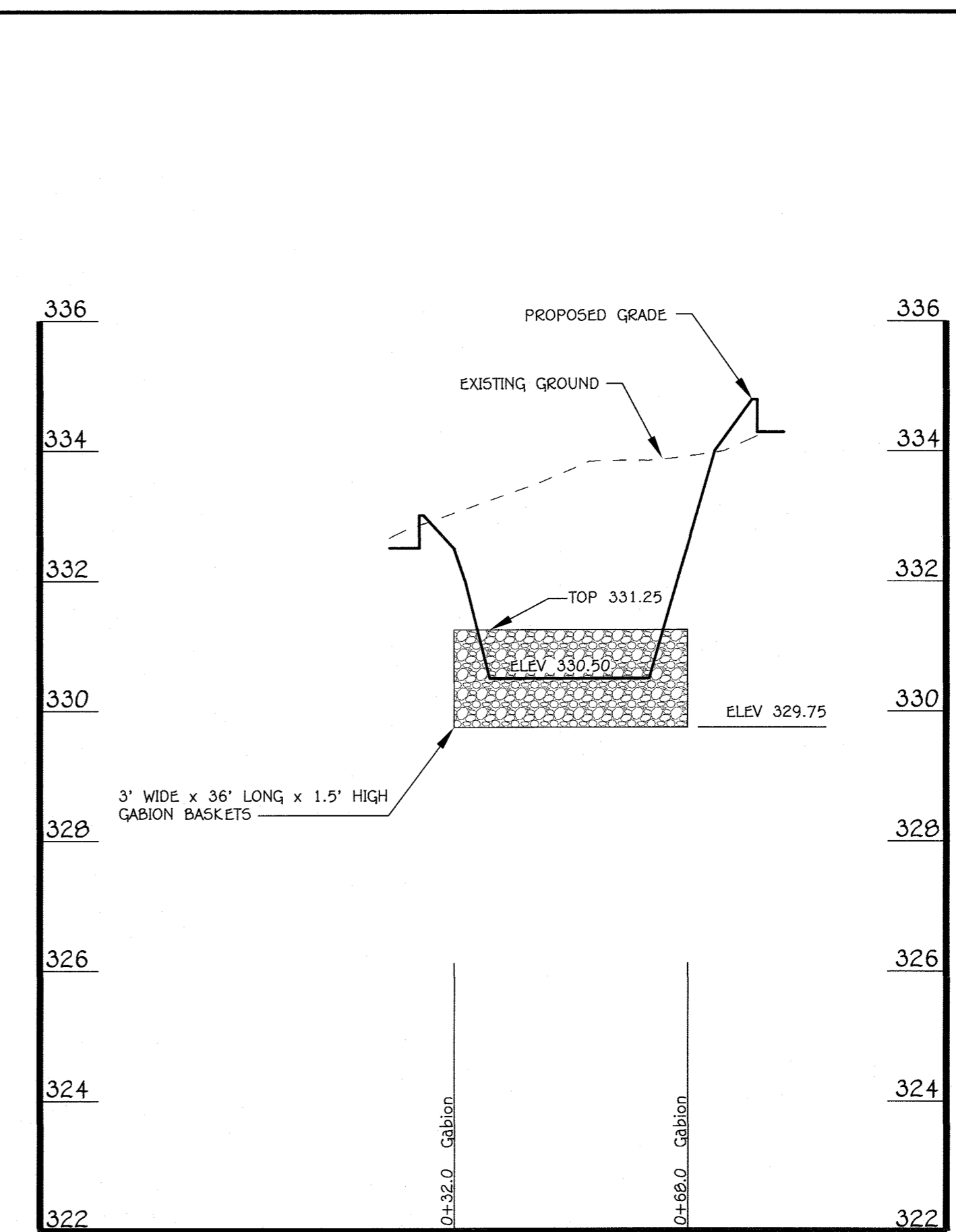
ZONED: NEW TOWN (NT)
 PARCEL No.: 405
 TAX MAP No.: 42 GRID No.: 8 & 14
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 20' DATE: MAY 11, 2020
 SHEET 28 OF 37



BMP #1 GABION BASKET PROFILE
SCALE:
HORZ: 1" = 20'
VERT: 1" = 2'



BMP #2 UNDERDRAIN PROFILE
SCALE:
HORZ: 1" = 20'
VERT: 1" = 2'



BMP #2 GABION BASKET PROFILE
SCALE:
HORZ: 1" = 20'
VERT: 1" = 2'

LEGEND	
SYMBOL	DESCRIPTION
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S	EXISTING SEWER LINE
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[Pattern]	PROPOSED CONCRETE WALK
[Pattern]	PROPOSED MACADAM PAVING
[Pattern]	PROPOSED GRASS PAVING
[Pattern]	PROPOSED TURNED DOWN CONC. SLAB

BMP BIORETENTION FACILITY NOTES AND SPECIFICATIONS

- REFER TO THE LATEST MARYLAND SWM DESIGN MANUAL FOR BIORETENTION SPECIFICATIONS FOR INFORMATION NOT LISTED HEREIN AND FOR ADDITIONAL INFORMATION.
- THE BIORETENTION BMP MATERIALS ARE AS FOLLOWS:
 - PLANTING SOIL: PER PLANTING SOIL SPECIFICATIONS OUTLINED IN MDE'S 2000 SWM MANUAL, APPENDIX B.4.
 - PVC UNDERDRAIN PIPE: SCHEDULE 40, SOLID PIPE WITH MINIMUM SLOPE OF 0.5% OR AS PER PLAN.
 - PVC UNDERDRAIN IN BMP: SCHEDULE 40 AND PERFORATED WITH 3/8" DIA. HOLES. WRAP UNDERDRAIN WITH GALVANIZED 1/4" HARDWARE CLOTH (WELDED WIRE MESH) PER HOWARD COUNTY SPECIFICATIONS. PROVIDE FOUR (4) 3/8" DIA. HOLES EVENLY SPACED AROUND THE 4" PIPE CIRCUMFERENCE. SPACE PERFORATIONS ALONG PIPE AT 3" ON CENTER. ADJACENT SETS OF PERFORATIONS SHALL BE STAGGERED AT 45°. PERFORATIONS MUST TOTAL 1.76 SQ. IN. PER LF OF PIPE.
 - STONE AGGREGATE: MSHA SPECIFICATIONS AS SHOWN ON TYPICAL SECTION; AGGREGATE MUST WASHED, AND BE FREE OF FINES, SAND, DIRT & DEBRIS.
 - GEOTEXTILE: PER MDE SWM MANUAL, OR MIRAFL 140N.
 - MULCH: SHREDDED, WELL-AGED (6-12 MONTHS) HARDWOOD MULCH; NO WOOD CHIPS OR PINE MULCH.
- THE CONTRACTOR SHALL UNDER NO CIRCUMSTANCES ALLOW SURFACE DRAINAGE INTO THE MICRO-BIORETENTION BMPs UNTIL ALL UPSTREAM AREAS HAVE BEEN STABILIZED (i.e., PAVED, OR HAVE WELL-ESTABLISHED VEGETATION).
- BOARDS SHALL NOT BE LEFT IN PLACE DURING THE CONSTRUCTION OF THE BIORETENTION BMP.
- GEOTEXTILE (FILTER FABRIC) SHALL BE PLACED ONLY AGAINST EXCAVATED VERTICAL SURFACES. SCARIFY EARTH PRIOR TO GEOTEXTILE PLACEMENT. INSTALL GEOTEXTILE PER MANUFACTURER'S SPECIFICATIONS/RECOMMENDATIONS AND USE A 2 FT MINIMUM OVERLAP AND NOTCH ENDS WITH A 6" MINIMUM BURY OR EQUIVALENT ANCHORING METHOD.
- THE CONTRACTOR SHALL PROVIDE TO THE OWNER INDEPENDENT CERTIFICATION THAT THE PLANTING SOILS AND OTHER MICRO-BIORETENTION MATERIALS MEET THE SPECIFICATIONS.
- THE BIORETENTION FACILITIES SHALL BE VEGETATED (TOP LEVEL SURFACE ONLY) IN ACCORDANCE WITH THE PLANTING PLAN AND THE BMP M-6 SPECIFICATIONS IN MDE'S CURRENT STORMWATER MANAGEMENT DESIGN MANUAL.
- FOR UNDERDRAINS, USE PERFORATED PVC PIPE INSIDE THE BIORETENTION FACILITIES AND WRAP PERFORATED PIPE WITH 1/4" HARDWARE CLOTH TO PREVENT AGGREGATE FROM ENTERING THE PERFORATIONS.
- INSTALL CLEANOUTS (SOLID PVC PIPE) AS SHOWN. THE CLEANOUT TOP SHALL EXTEND 3" ABOVE TOP OF MULCH.
- THE LIMIT OF THE TYPICAL SECTION (i.e., PLANTING SOIL, AGGREGATE, ETC.) IS THE ENTIRE LEVEL SURFACE OF THE BIORETENTION FACILITY EXCLUDING FOREBAY AREA AND GABION WEIR.

GENERAL STORMWATER MANAGEMENT NOTES

- STORMWATER MANAGEMENT HAS BEEN PROVIDED WITH TWO (2) BIORETENTION (F-6) BMP (BEST MANAGEMENT PRACTICE).
- ALL CONSTRUCTION SHALL MEET THE LATEST EDITION OF THE HOWARD COUNTY STANDARDS AND SPECIFICATIONS, SMALL EARTHEN DAM SPECIFICATION MD-378, AND THE MARYLAND DEPARTMENT OF THE ENVIRONMENT'S CURRENT STORMWATER DESIGN MANUAL, OR AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONSULT THE ENGINEER SHOULD THERE BE ANY DISCREPANCIES. SEE BIORETENTION FACILITY SPECIFICATIONS ON THIS SHEET.
- THE UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL TEST PIT ALL KNOWN EXISTING UTILITIES TO VERIFY, SIZE, SHAPE, LOCATION, AND TYPE PRIOR TO PERFORMING CONSTRUCTION. ANY UTILITY DAMAGED DUE TO CONSTRUCTION MUST BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. IF THE CONTRACTOR MAKES FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
- CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777 AND THE HOWARD COUNTY DEPARTMENT OF INSPECTION LICENSES & PERMITS THREE (3) WORKING DAYS BEFORE BEGINNING CONSTRUCTION.
- FISHER, COLLINS & CARTER, INC. IS NOT RESPONSIBLE FOR THE CONTRACTOR'S UTILIZATION OF MEN, MATERIALS, EQUIPMENT, OR SAFETY MEASURES IN THE PERFORMANCE OF ANY WORK FOR THIS PROJECT. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR PERFORMING THE WORK CORRECTLY AND IN CONFORMANCE WITH CODE/SPECIFICATION REQUIREMENTS.
- THE BMP MAY BE GRADED, HOWEVER, THE PLANTING SOIL SHALL NOT BE INSTALLED IN THE BMP UNTIL ALL UPSTREAM AREAS HAVE BEEN STABILIZED (i.e., THICK GRASS COVER, OR PAVED).
- THE STORMWATER MANAGEMENT BIORETENTION BMP'S FOR THIS PROJECT WILL BE PRIVATELY OWNED AND MAINTAINED.

OPERATION AND MAINTENANCE SCHEDULE FOR BIORETENTION FACILITIES

ALL MICRO-BIORETENTION FACILITIES SHALL BE INSPECTED AT LEAST TWICE PER YEAR, ONCE EACH IN THE SPRING AND FALL, AND AFTER LARGE STORMS. THE BIORETENTION FACILITY COMPONENTS TO BE INSPECTED AND MAINTAINED INCLUDE THE ITEMS AS FOLLOWS:

- PLANT MATERIAL: PLANTS SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION. REMOVE AND REPLACE DEAD OR DYING VEGETATION CONSIDERED BEYOND TREATMENT (SEE NOTE #1 BELOW). MAINTENANCE INCLUDES PRUNING, AND REPLACEMENT OF DEFICIENT STAKES AND WIRE.
- MULCH LAYER: SHALL BE REPLACED EVERY 2-3 YEARS (IN THE SPRING) DUE TO THE ACCUMULATION OF HEAVY METALS. THE OWNER SHALL PROPERLY DISPOSE THE OLD MULCH SO AS NOT TO CAUSE STORMWATER CONTAMINATION ELSEWHERE. WASHED OUT AREAS SHALL BE REPAIRED.
- SOIL LAYER: SHOULD STORMWATER POND FOR MORE THAN 48 HOURS, THE TOP 6 INCHES (MINIMUM) OF THE PLANTING SOIL LAYER SHALL BE REPLACED. THE OLD SOIL SHALL BE PROPERLY DISPOSED OF.
- SPILLWAY OUTFALL, INTERIOR SLOPES: ERODED AREAS SHALL BE REPAIRED (FILLED IN AND SEEDED). BARE AREAS SHALL BE TREATED AND RE-SEEDED.
- INLET: REPAIR CRACKS, DAMAGED CONCRETE, ETC. AS NECESSARY.
- REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SEDIMENT GREATER THAN ONE (1) INCH.

NOTES:
1. IF SPECIFIC PLANTS ARE NOT SURVIVING, THE PLANT TYPE SHALL BE CHANGED TO BETTER SUITED SPECIES.
2. PLANT WATERING MAY BE NEEDED DURING PROLONGED DRY PERIODS.

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW DETAILS OF THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

DEVELOPER'S / BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: James J. Tuttle DATE: 6-27-2020

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36396, EXPIRATION DATE: JANUARY 12, 2022."

STEPHANIE J. TUTTLE, P.E. DATE: 5/26/20

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director: [Signature] DATE: 7-9-2020

Chief, Division of Land Development: [Signature] DATE: 7/1/2020

Chief, Development Engineering Division: [Signature] DATE: 7/2/20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

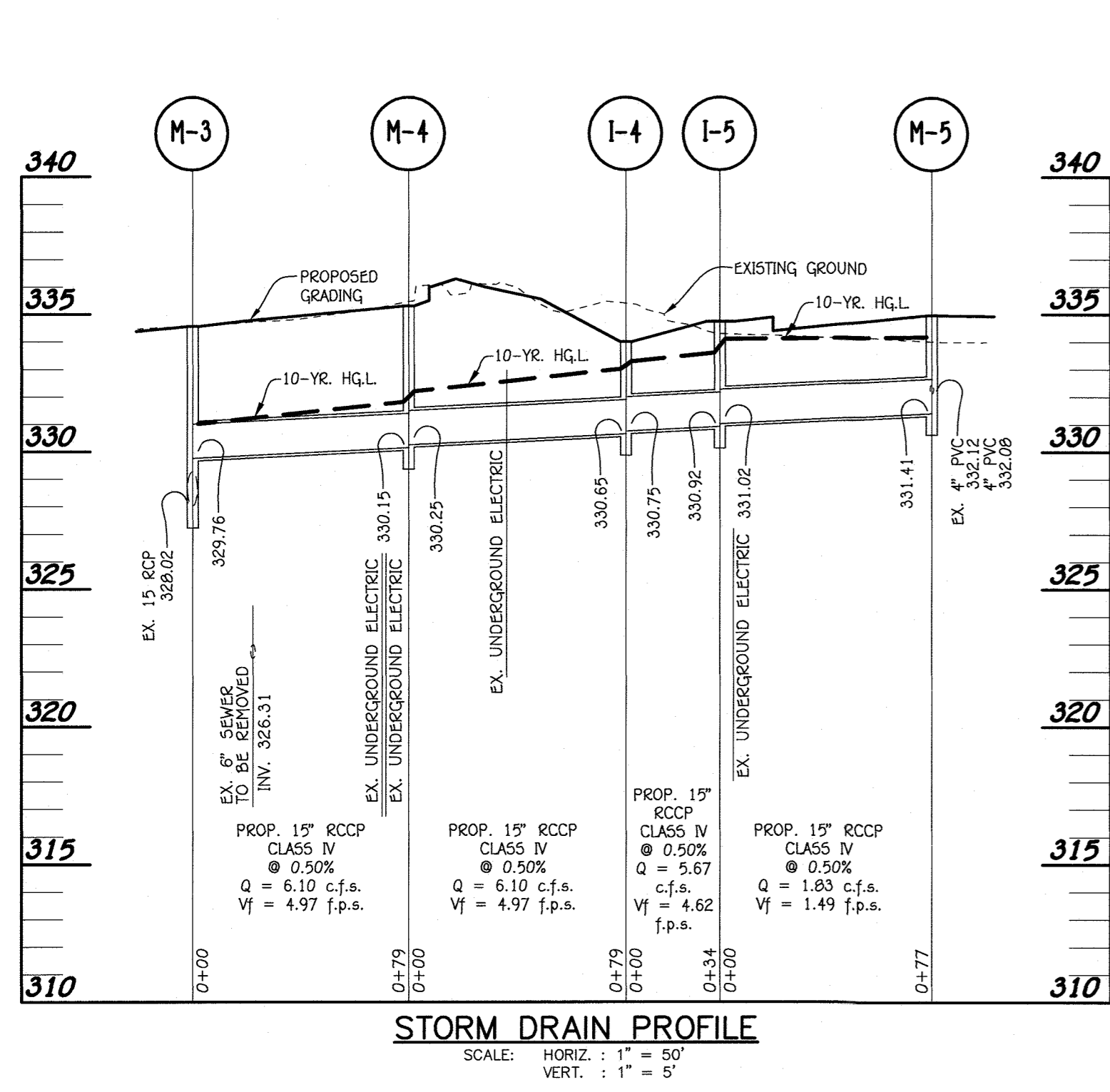
PROFESSIONAL ENGINEER
STEPHANIE J. TUTTLE
LICENSE NO. 36396
EXPIRES JANUARY 12, 2022

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT	SECTION/AREA	PARCEL			
HAMMOND HIGH SCHOOL	2/1	405			
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

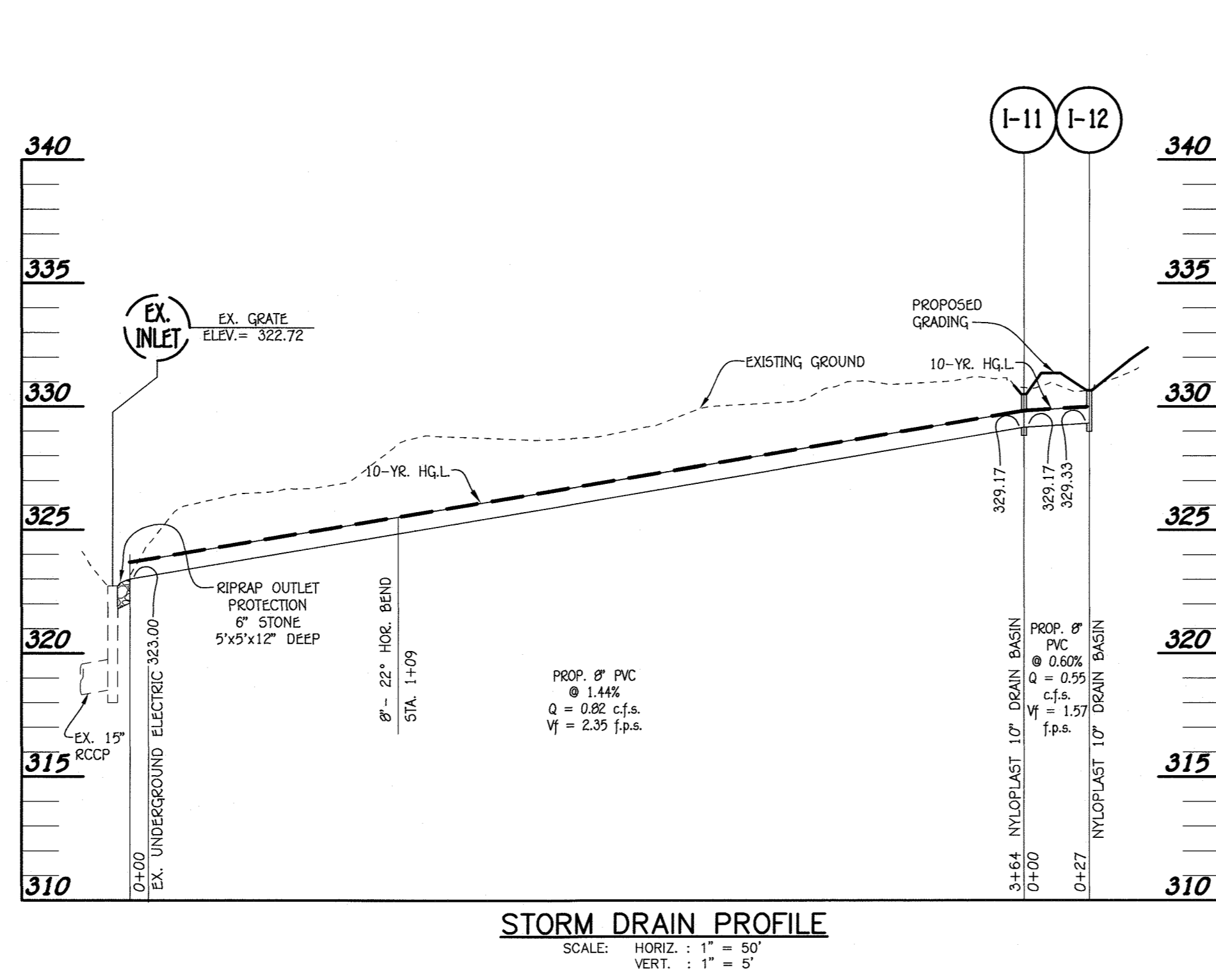
SWM PROFILES & NOTES

"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS

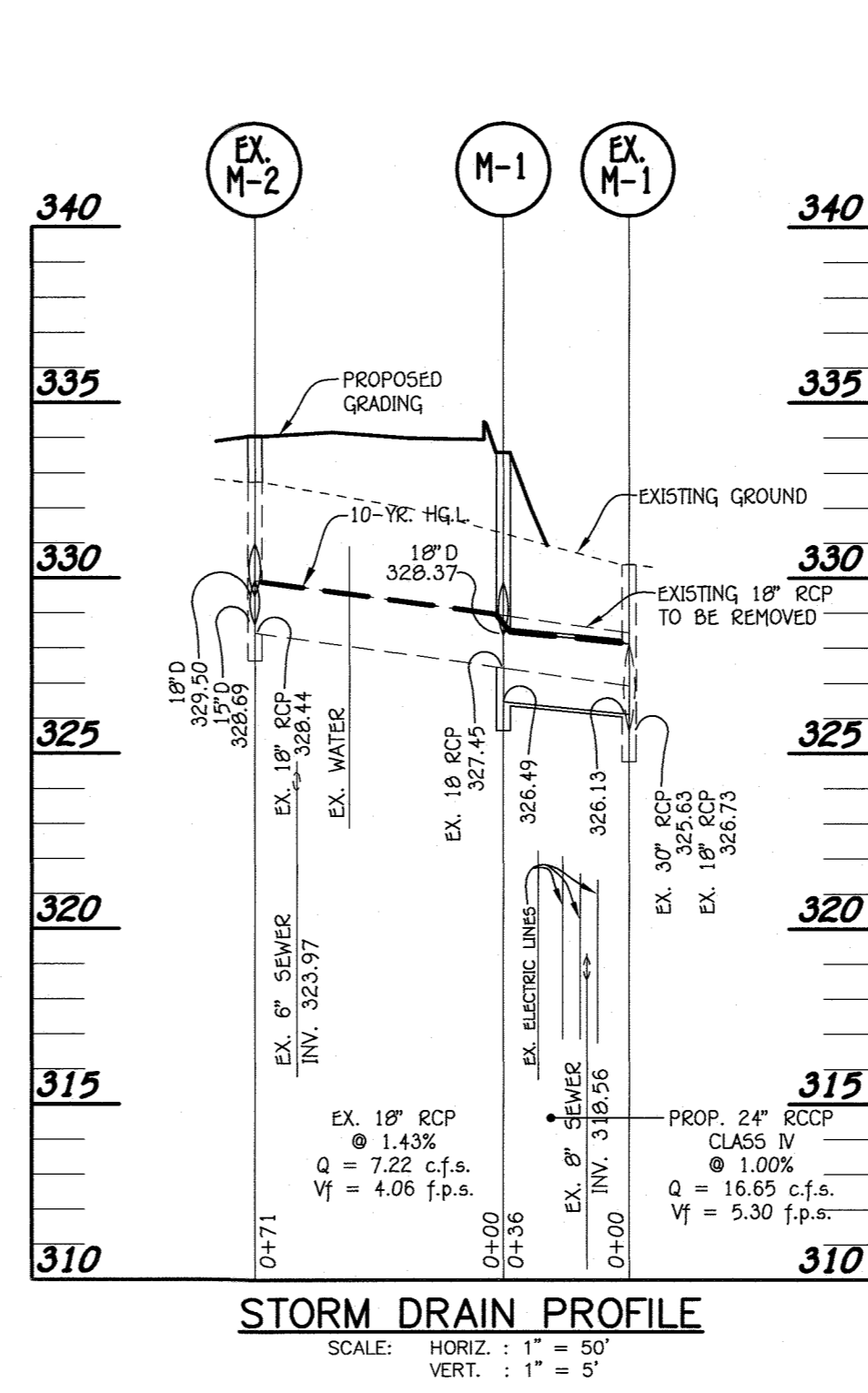
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 20' DATE: MAY 11, 2020
SHEET 29 OF 37



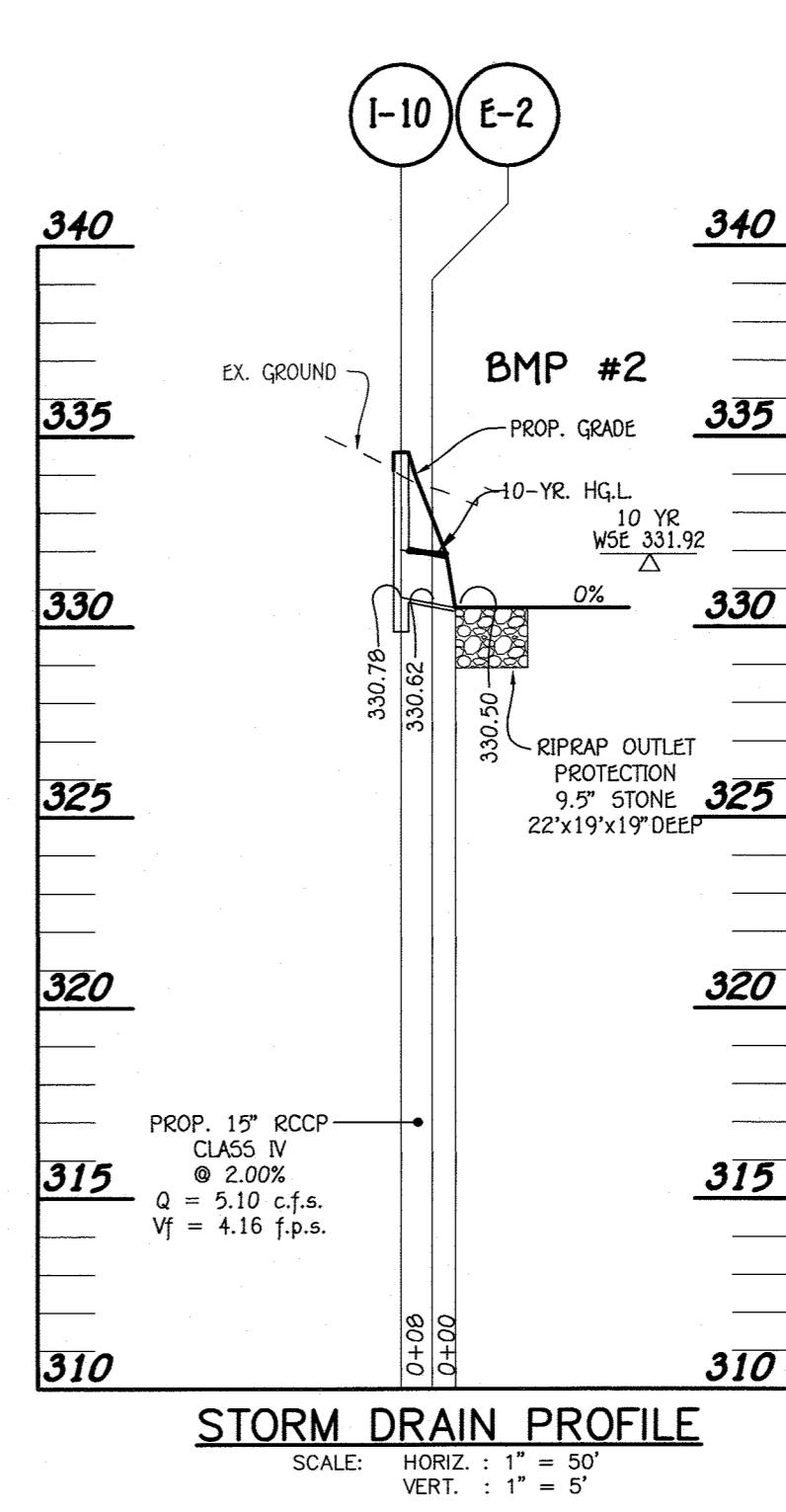
STORM DRAIN PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



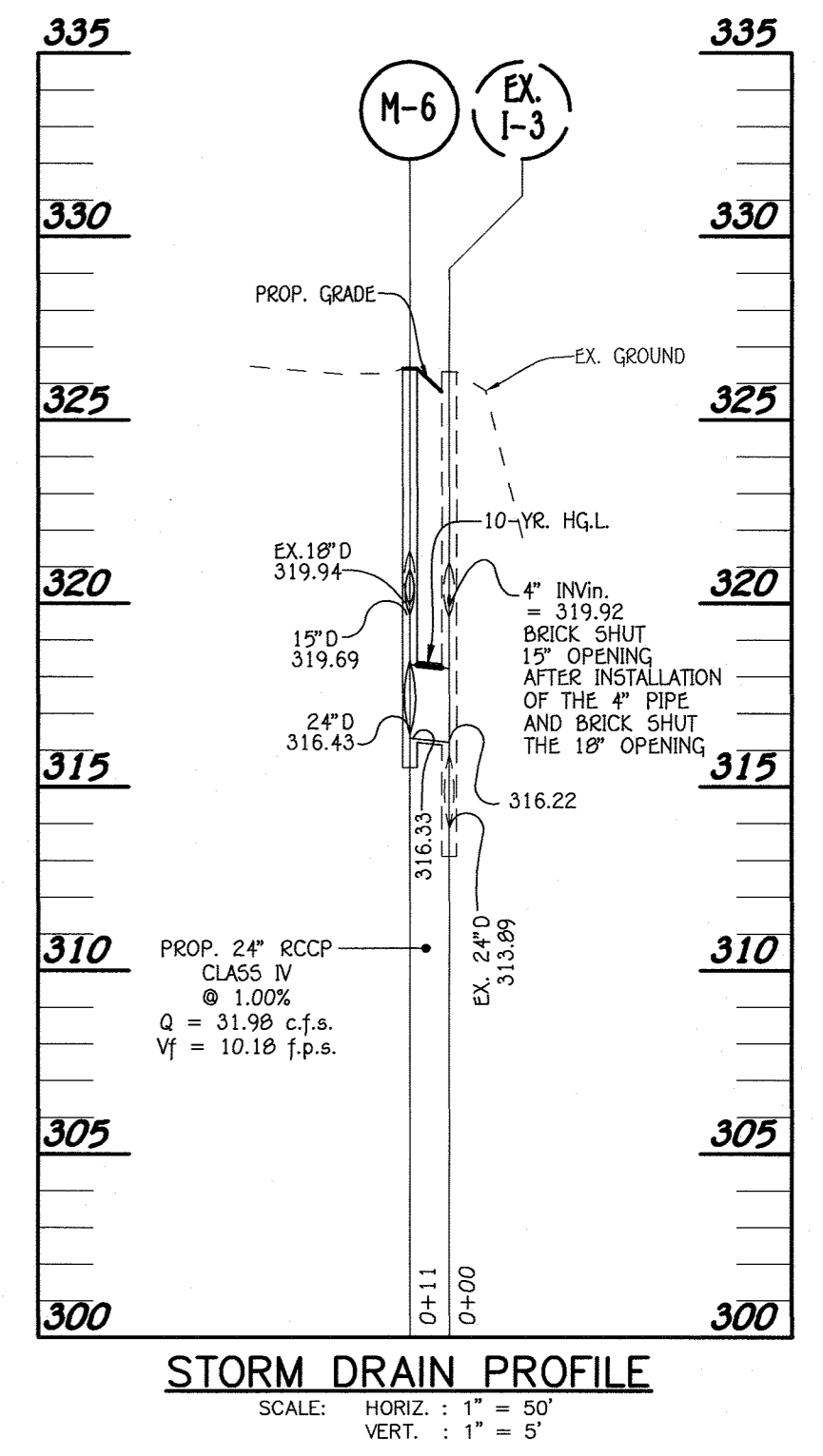
STORM DRAIN PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



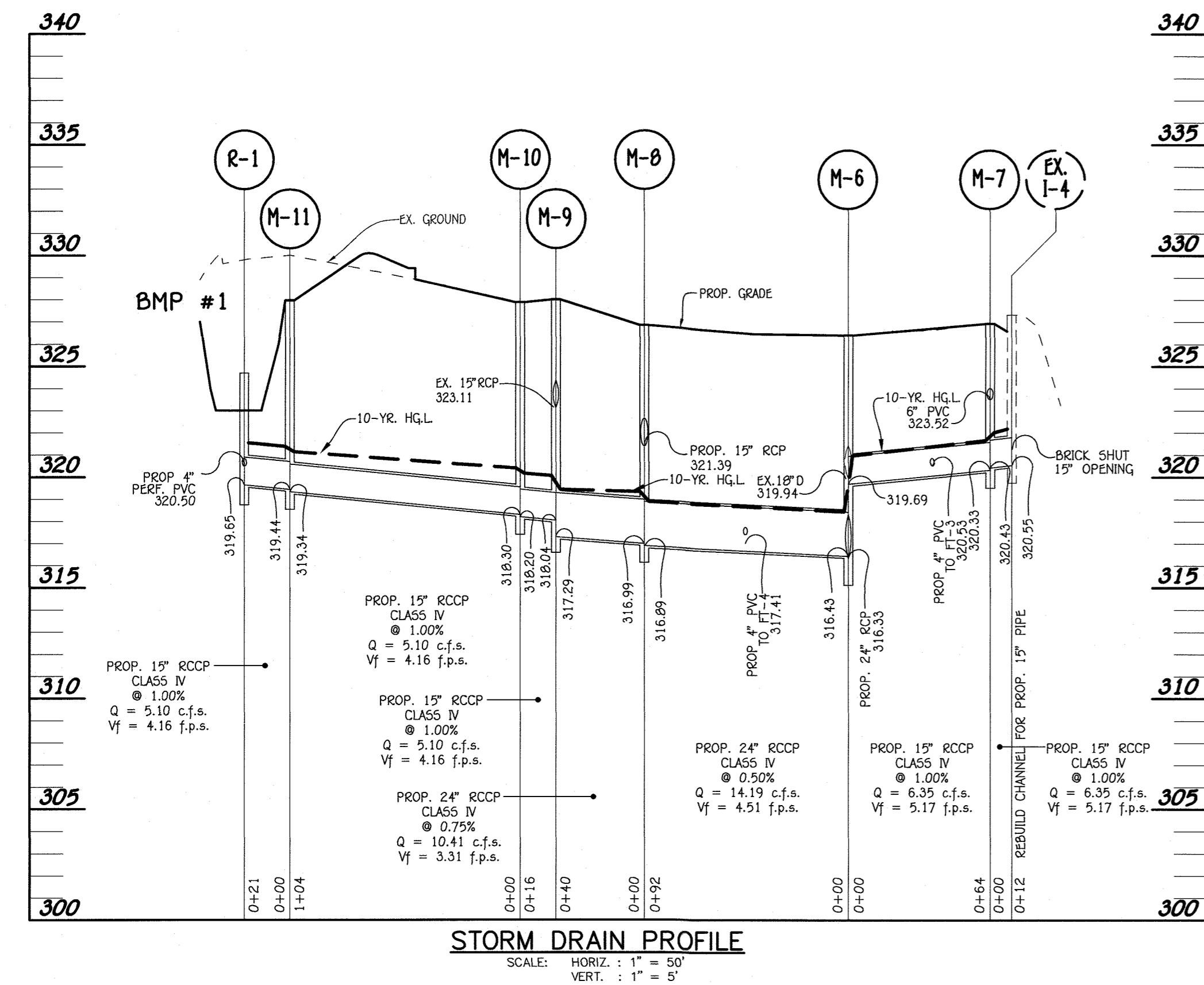
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VERT. : 1" = 5'



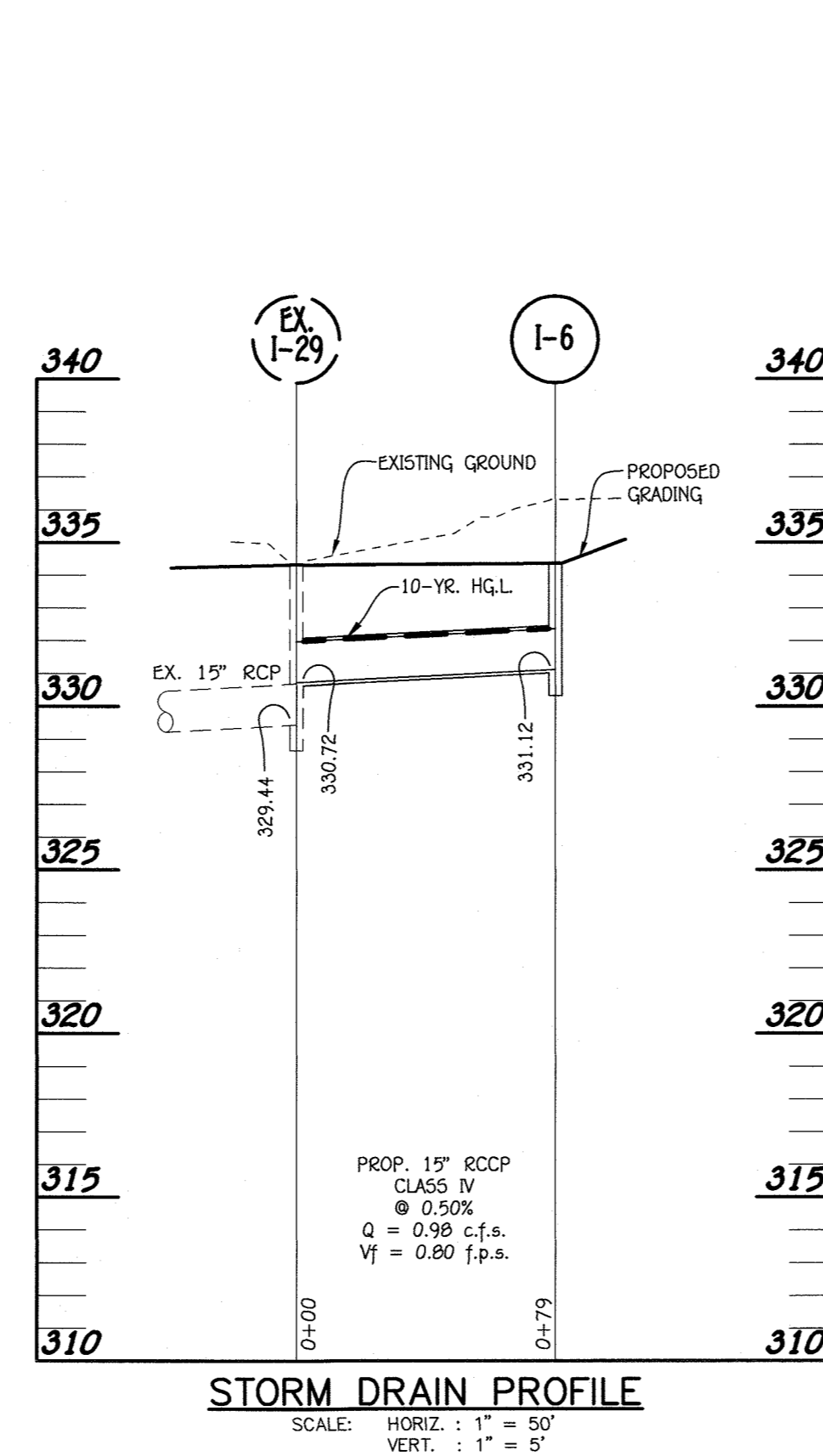
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SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



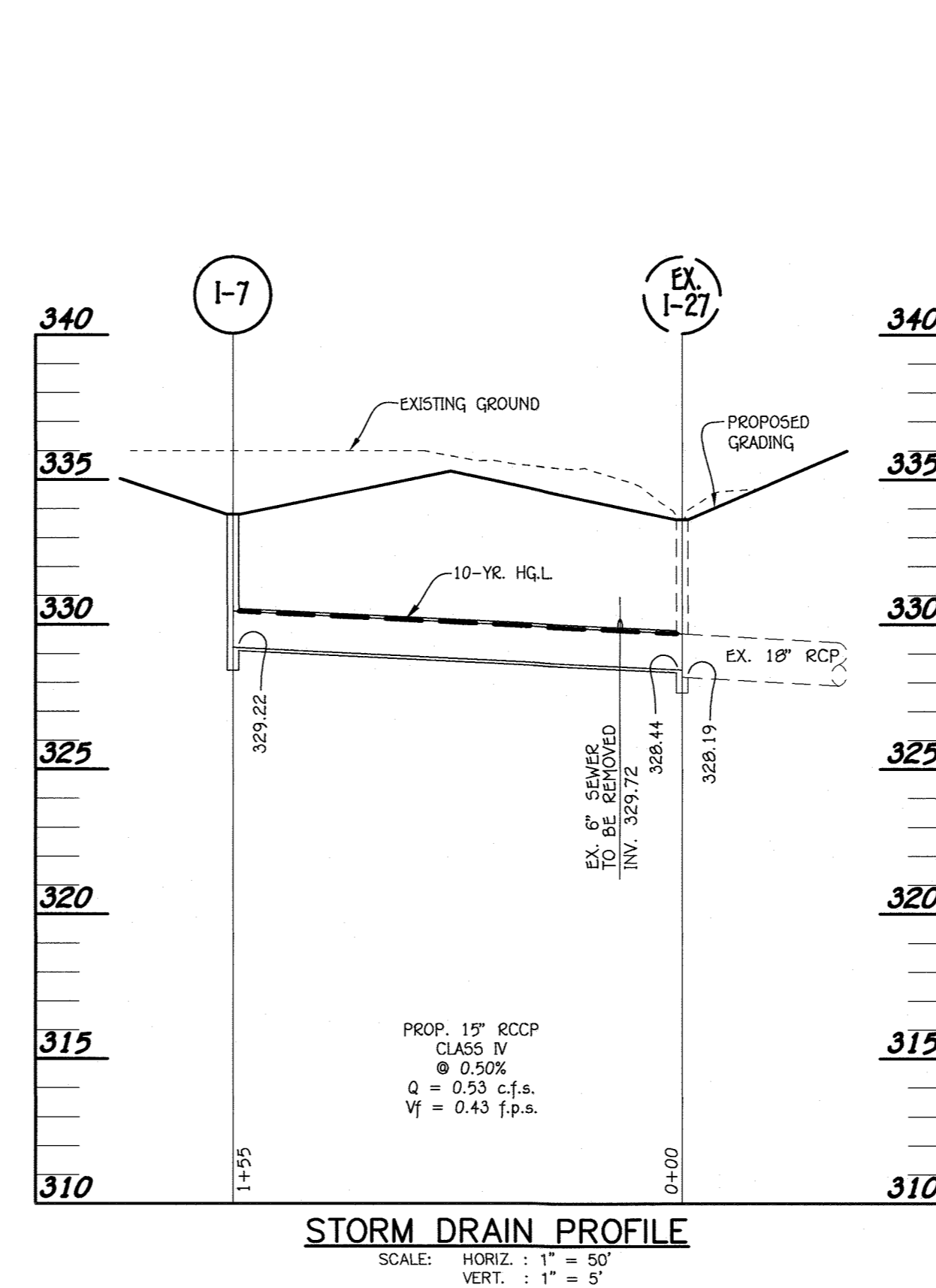
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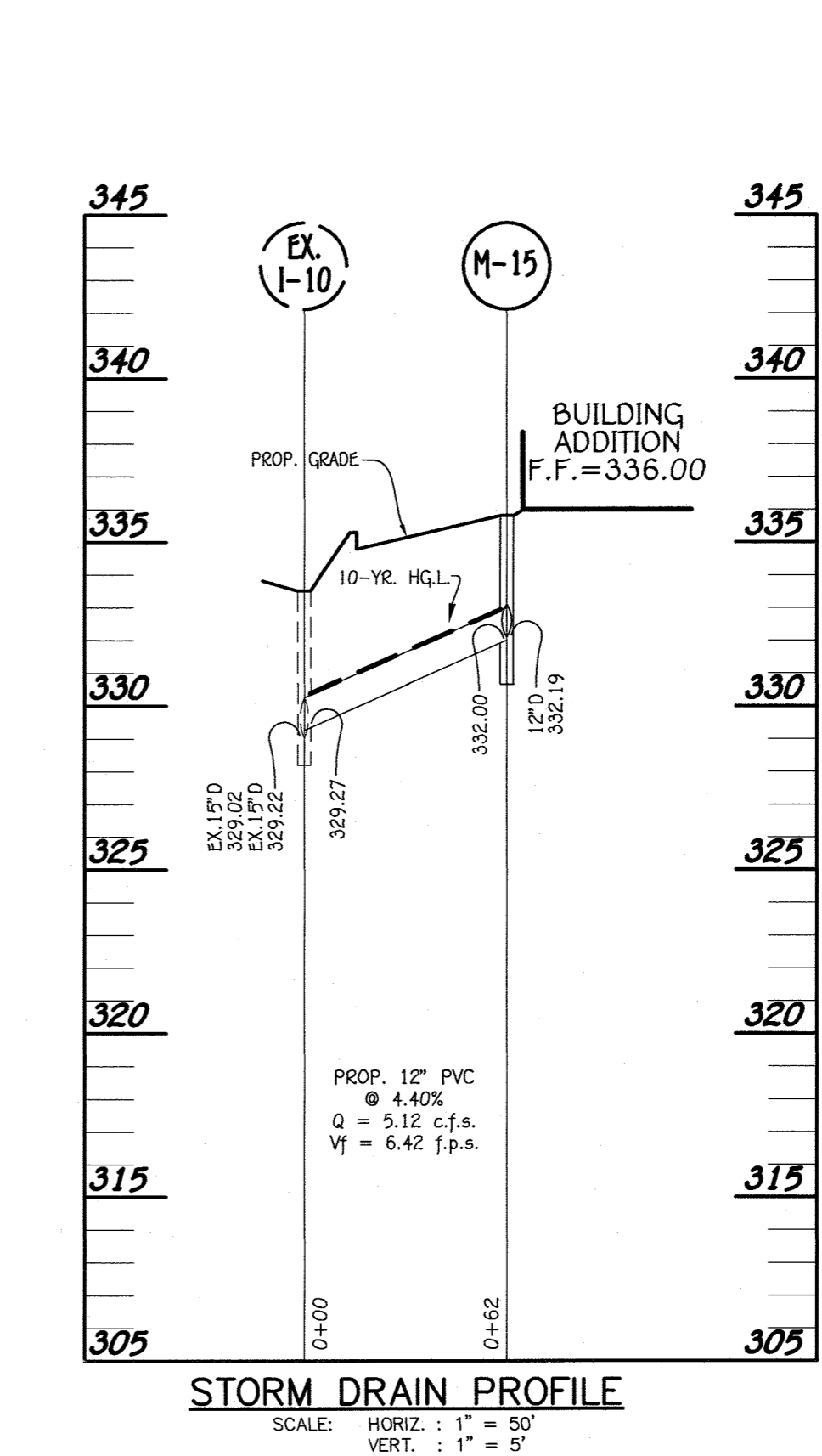
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SCALE: HORIZ. : 1" = 50'
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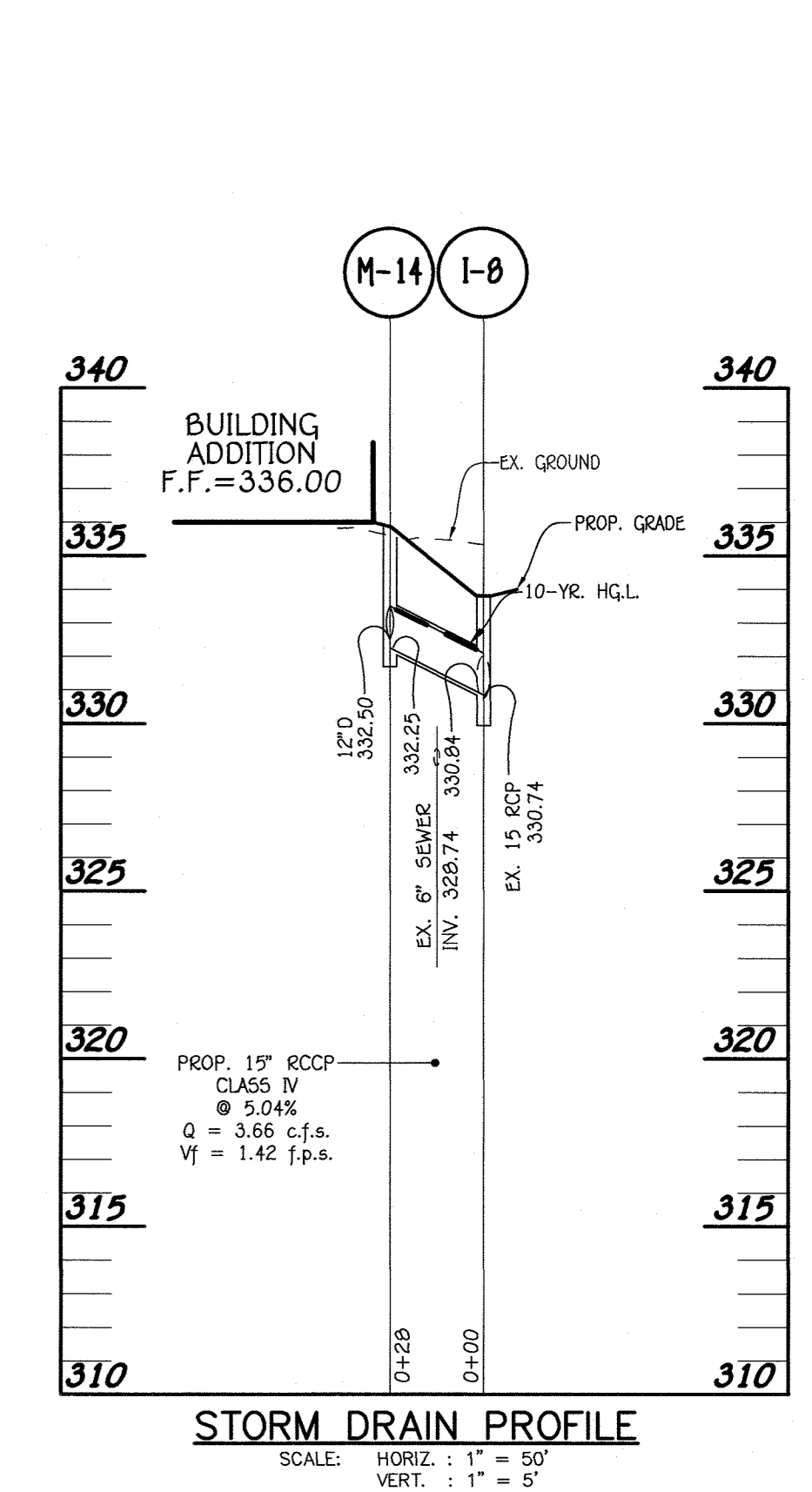
STORM DRAIN PROFILE
SCALE: HORIZ. : 1" = 50'
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NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW PROFILES FOR THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

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Stephanie J. Tuttle 5/26/20
STEPHANIE J. TUTTLE, P.E. DATE

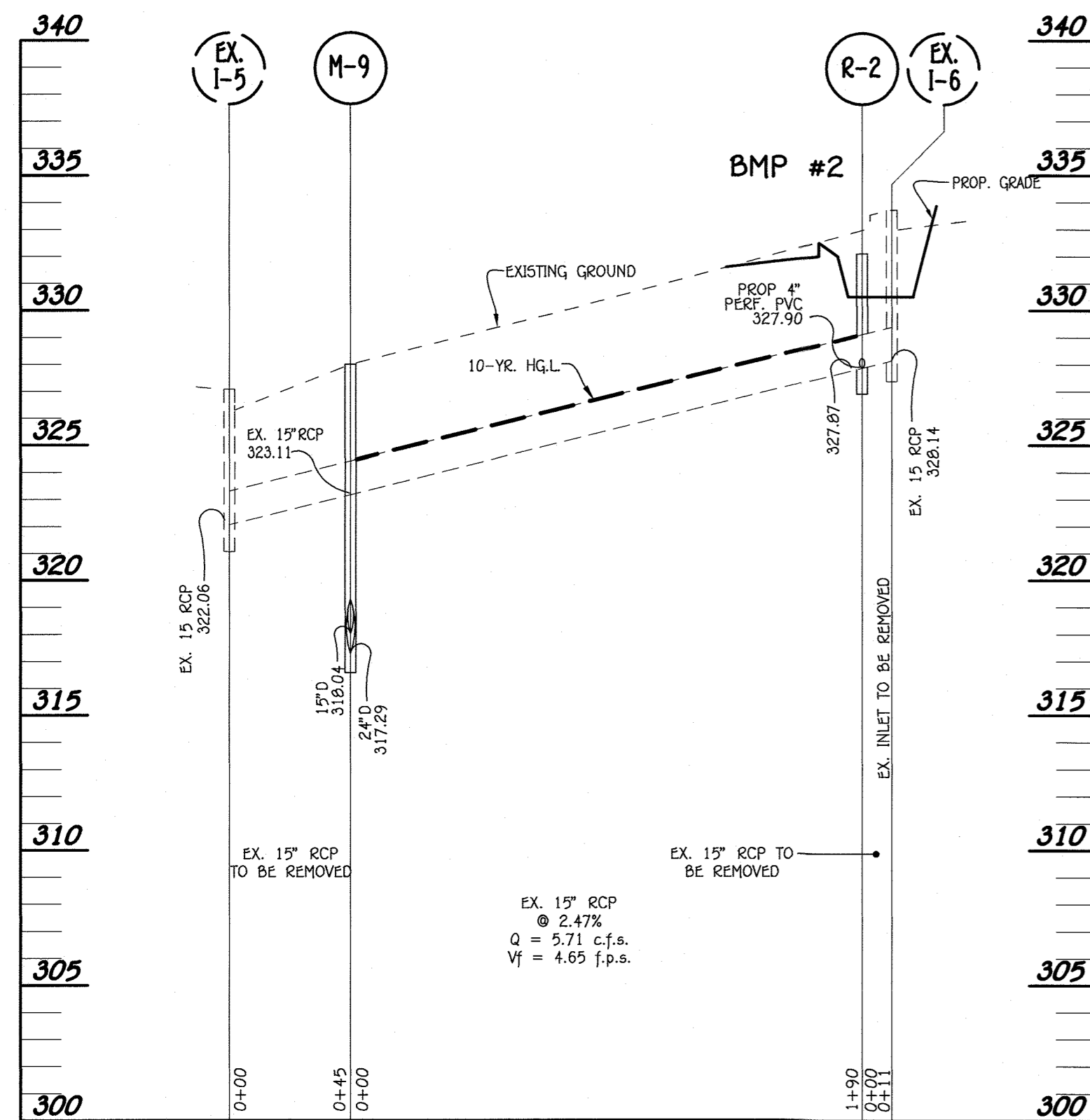
DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director - Department of Planning and Zoning	7-9-2020
Chief, Division of Land Development	7/8/2020
Chief, Development Engineering Division	7-7-20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
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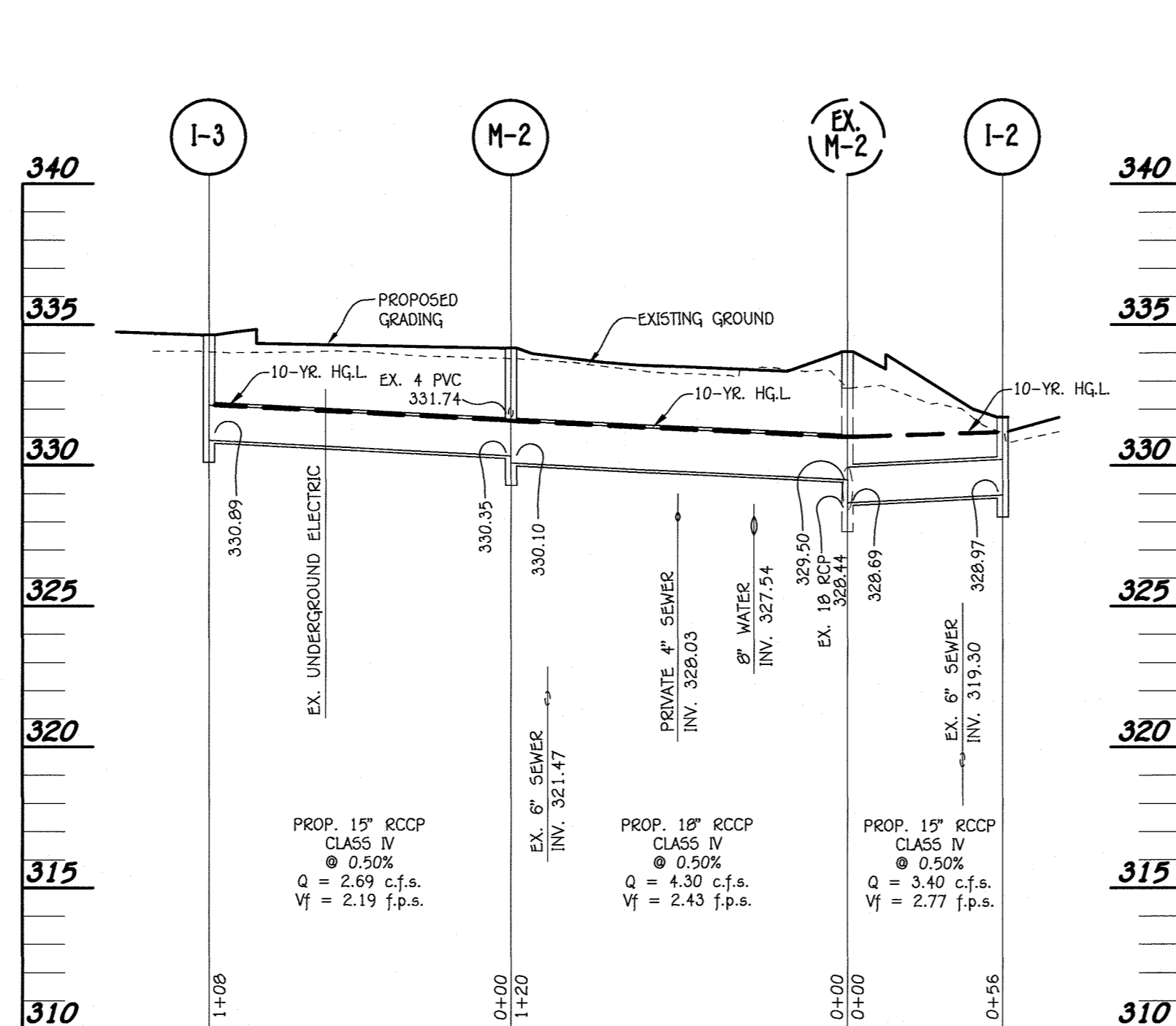


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT	SECTION/AREA	PARCEL			
HAMMOND HIGH SCHOOL	2/1	405			
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25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

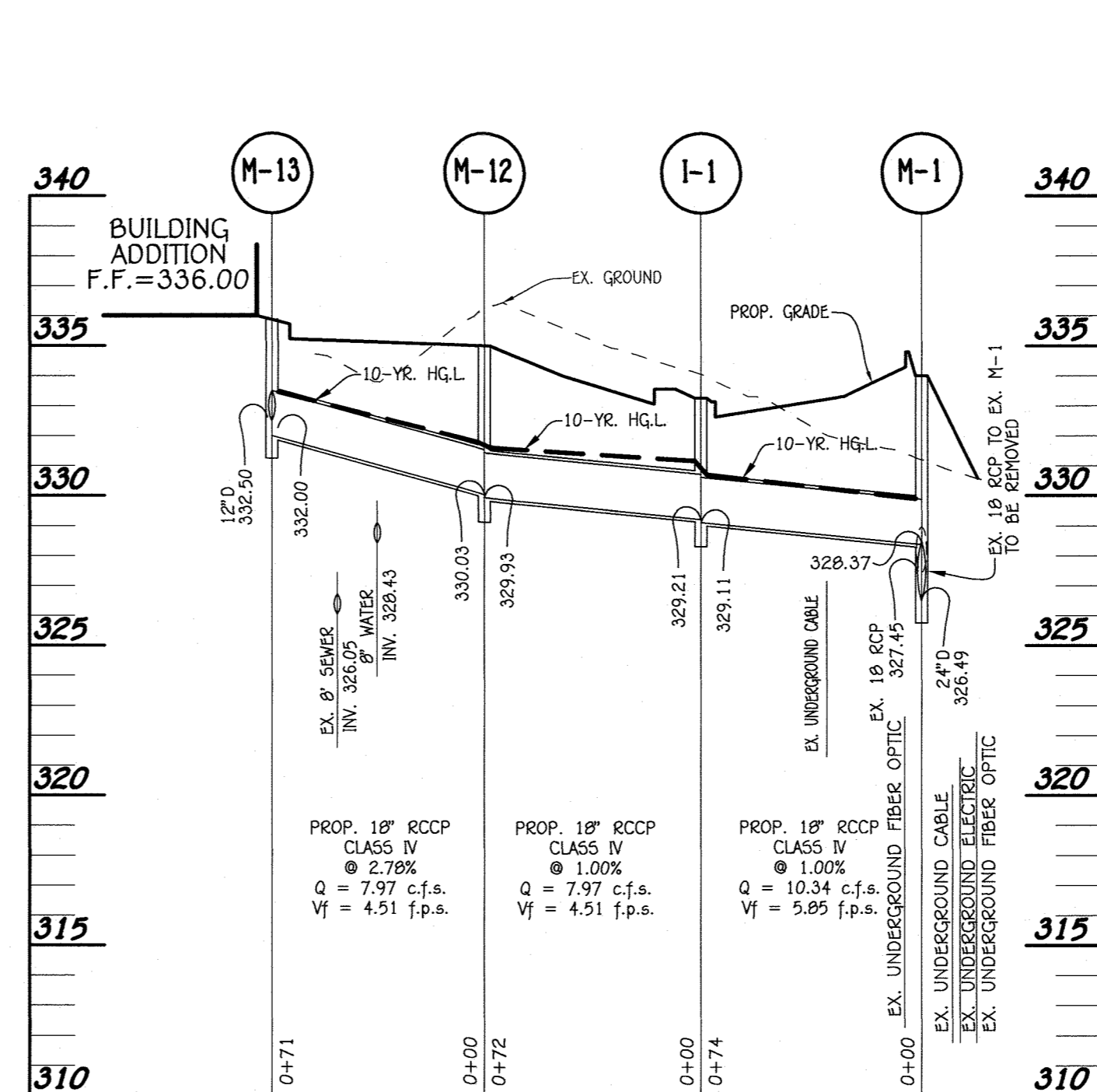
STORM DRAIN PROFILES
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY 11, 2020
SHEET 30 OF 37



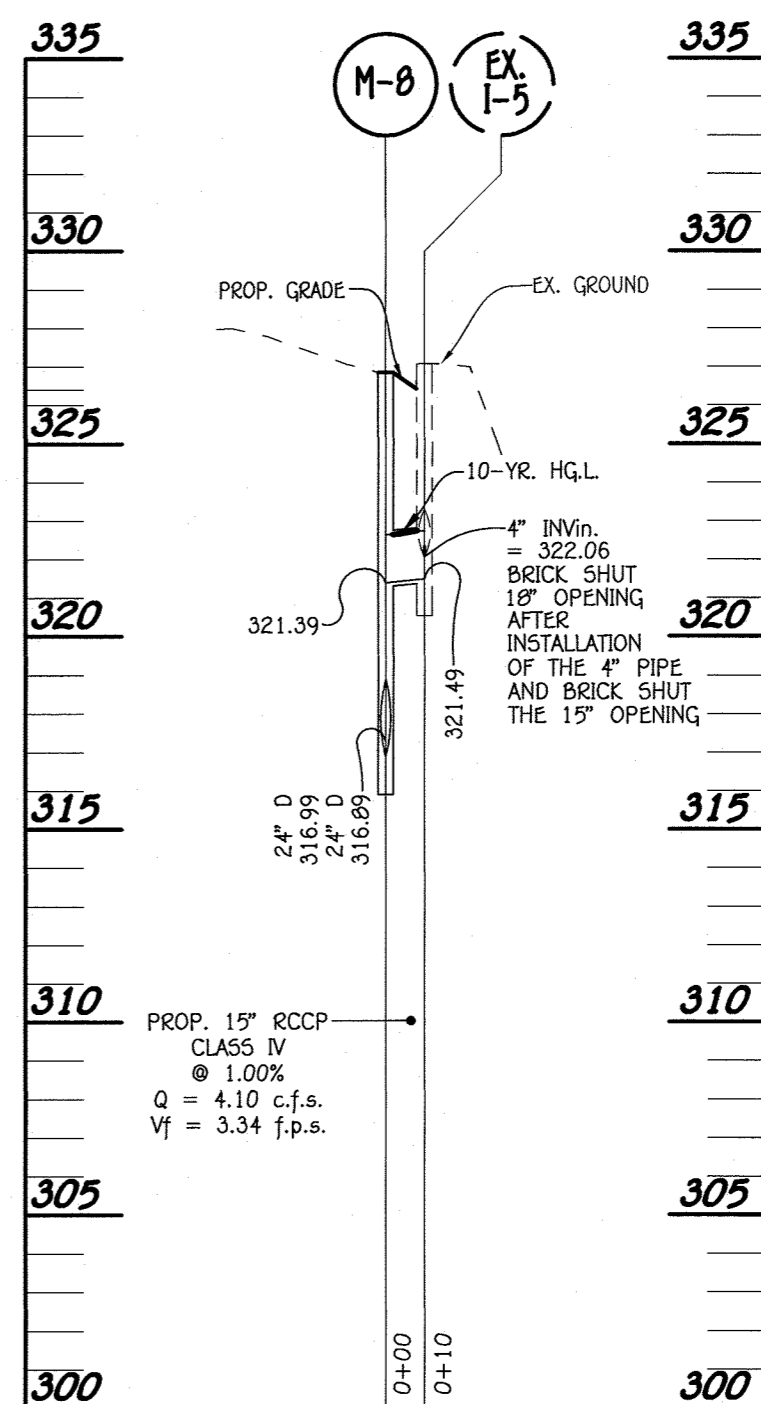
STORM DRAIN PROFILE
SCALE: HORIZ. : 1" = 50'
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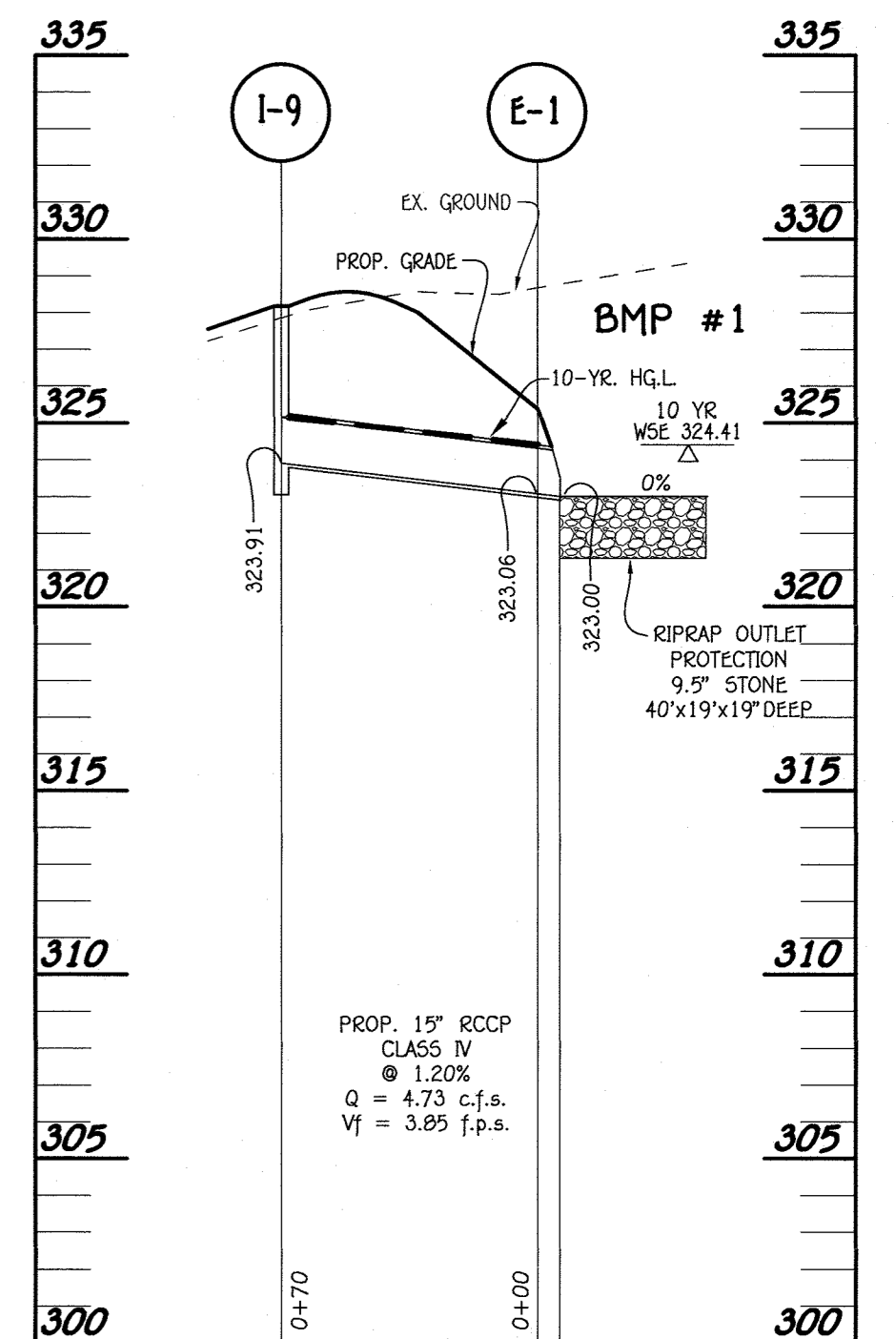
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SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



STORM DRAIN PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'

STRUCTURE SCHEDULE									
STRUCTURE NO.	OWNERSHIP AND MAINTENANCE	TOP ELEVATION	IN/IN	IN/OUT	COORDINATES	WIDTH	TYPE	REMARKS	
I-1	PRIVATE	331.10 *	329.21 (18")	329.11 (18")	N 546892.00 E 1352262.45	2.50'	A-5 INLET	D-4.02	
I-2	PRIVATE	331.52 *	-	328.97 (15")	N 546943.42 E 1352154.60	2.50'	A-10 INLET	D-4.03	
I-3	PRIVATE	334.64 *	-	330.89 (12")	N 546913.85 E 1351948.02	2.50'	A-5 INLET	D-4.02	
I-4	PRIVATE	334.00**	330.75 (15")	330.65 (15")	N 546944.92 E 1351778.84	2.50'	5-INLET	D-4.24	
I-5	PRIVATE	334.73 *	331.02 (15")	330.92 (15")	N 546950.54 E 1351812.83	2.50'	A-10 INLET	D-4.03	
I-6	PRIVATE	334.37**	-	331.12 (15")	N 546702.93 E 1352216.14	2.50'	5-INLET	D-4.24	
I-7	PRIVATE	333.80**	-	329.22 (12")	N 546476.78 E 1351976.94	2.50'	5-INLET	D-4.24	
I-8	PRIVATE	333.80**	330.84 (15")	330.74 (EX.15")	N 546522.64 E 1352152.27	2.50'	5-INLET	D-4.24	
I-9	PRIVATE	327.84 *	-	323.91 (15")	N 546895.22 E 13511426.51	2.50'	A-10 INLET	D-4.03	
I-10	PRIVATE	334.58 *	-	330.78 (15")	N 547197.39 E 1351531.60	2.50'	A-10 INLET	D-4.03	
I-11	PRIVATE	330.50**	329.17 (8")	329.17 (8")	N 545932.55 E 1351984.41	10"	W/DRIPST/10" DRAIN BASIN	SEE DET. 6/20	
I-12	PRIVATE	330.66**	-	329.33 (8")	N 545912.43 E 1352001.71	10"	W/DRIPST/10" DRAIN BASIN	SEE DET. 6/20	
M-1	PRIVATE	334.00	328.37 (18"), 327.45 (18")	326.49 (24")	N 546920.64 E 1352237.49	4'	STD. MANHOLE	G - 5.12	
M-2	PRIVATE	334.19	331.74 (4"), 330.35 (15")	330.10 (18")	N 546893.37 E 1352053.57	4'	STD. MANHOLE	G - 5.12	
M-3	PRIVATE	334.55	329.76 (15")	328.02 (EX. 12")	N 546864.87 E 1351678.59	4'	STD. MANHOLE	G - 5.12	
M-4	PRIVATE	335.30	330.25 (15")	330.15 (15")	N 546941.03 E 1351699.68	4'	STD. MANHOLE	G - 5.12	
M-5	PRIVATE	334.97	332.12 (4") 332.08 (4")	331.41 (15")	N 546935.27 E 1351808.10	4'	STD. MANHOLE	G - 5.12	
M-6	PRIVATE	326.40	319.94 (18"), 316.43 (24")	316.33 (24")	N 546861.99 E 1351461.78	4'	STD. MANHOLE	G - 5.12	
M-7	PRIVATE	326.93	323.52 (8"), 320.43 (15")	320.33 (15")	N 546798.87 E 1351474.56	4'	STD. MANHOLE	G - 5.12	
M-8	PRIVATE	326.85	321.39 (15"), 316.99 (24")	316.89 (24")	N 546952.17 E 1351442.13	4'	STD. MANHOLE	G - 5.12	
M-9	PRIVATE	328.00	323.11 (15"), 318.04 (15")	317.29 (15")	N 546992.08 E 1351445.78	4'	STD. MANHOLE	G - 5.12	
M-10	PRIVATE	327.88	318.30 (15")	318.20 (15")	N 547000.86 E 1351432.22	4'	STD. MANHOLE	G - 5.12	
M-11	PRIVATE	328.00	319.44 (15")	319.34 (15")	N 547105.12 E 1351429.16	4'	STD. MANHOLE	G - 5.12	
M-12	PRIVATE	335.00	330.03 (18")	329.93 (18")	N 546782.15 E 1352243.74	4'	STD. MANHOLE	G - 5.12	
M-13	PRIVATE	335.80	332.50 (12")	332.00 (18")	N 546754.65 E 1352178.17	4'	STD. MANHOLE	G - 5.12	
M-14	PRIVATE	335.76	332.50 (12")	332.25 (15")	N 546546.99 E 1352138.88	4'	STD. MANHOLE	G - 5.12	
M-15	PRIVATE	335.82	330.13 (15")	330.03 (15")	N 546477.84 E 1351546.24	4'	STD. MANHOLE	G - 5.12	
R-1	PRIVATE	324.70	320.50 (4")	319.65 (15")	N 547112.08 E 1351409.80	-	-	SEE SHT. 28	
R-2	PRIVATE	332.10	327.90 (4")	327.87 (EX. 15")	N 547168.98 E 1351515.69	-	-	SEE SHT. 28	
E-1	PRIVATE	324.51	-	323.00 (15")	N 547053.13 E 1351408.83	15"	CONC. END SECTION	D - 5.51	
E-2	PRIVATE	331.87	-	330.50 (15")	N 547191.02 E 1351524.32	15"	CONC. END SECTION	D - 5.51	
FT-1	PRIVATE	330.21	331.06	326.51 (4")	N 546661.80 E 1351520.52 N 546661.59 E 1351520.52	FTSC (8'x16' VAULT)	SEE SHT. 21		
FT-2	PRIVATE	328.46	328.22	324.33 (4")	N 546719.82 E 1351482.99 N 546736.45 E 1351479.47	FTSC (8'x20' VAULT)	SEE SHT. 21		
FT-3	PRIVATE	326.81	326.62	322.87 (4")	N 546825.06 E 1351460.55 N 546837.77 E 1351457.84	FTSC (8'x14' VAULT)	SEE SHT. 21		
FT-4	PRIVATE	326.56	326.83	322.91 (4")	N 546902.77 E 1351443.73 N 546915.48 E 1351441.82	FTSC (8'x20' VAULT)	SEE SHT. 21		

* - DENOTES TOP OF CURB ELEVATION AT CENTERLINE OF INLET
** - DENOTES GRATE ELEVATION
*A - INLET COORDINATES ARE AT CENTERLINE OF INLET AT FACE OF CURB.
*S - INLETS SHALL HAVE RETICULAR GRATES.
*FTSC - FILTERBA COORDINATES ARE AT CORNERS AT THE BACK OF CURB.

PIPE SCHEDULE (PRIVATE)		
SIZE	CLASS	LENGTH
4"	PVC SCH 40	124 L.F.
4"	PERF PVC	481 L.F.
6"	PVC SCH 40	81 L.F.
8"	PVC SCH 40	391 L.F.
12"	PVC SCH 40	62 L.F.
15"	RCCP, CLASS IV	1000 L.F.
18"	RCCP, CLASS IV	377 L.F.
24"	RCCP, CLASS IV	103 L.F.

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW PROFILES FOR THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

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Stephanie G. Tuttle 5/20/20
STEPHANIE G. TUTTLE, P.E. DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Stephanie G. Tuttle</i>	7-9-2020
Director, Department of Planning and Zoning	Date
<i>Michael J. Smith</i>	7/6/2020
Chief, Division of Land Development	Date
<i>Michael J. Smith</i>	7-7-20
Chief, Development Engineering Division	Date

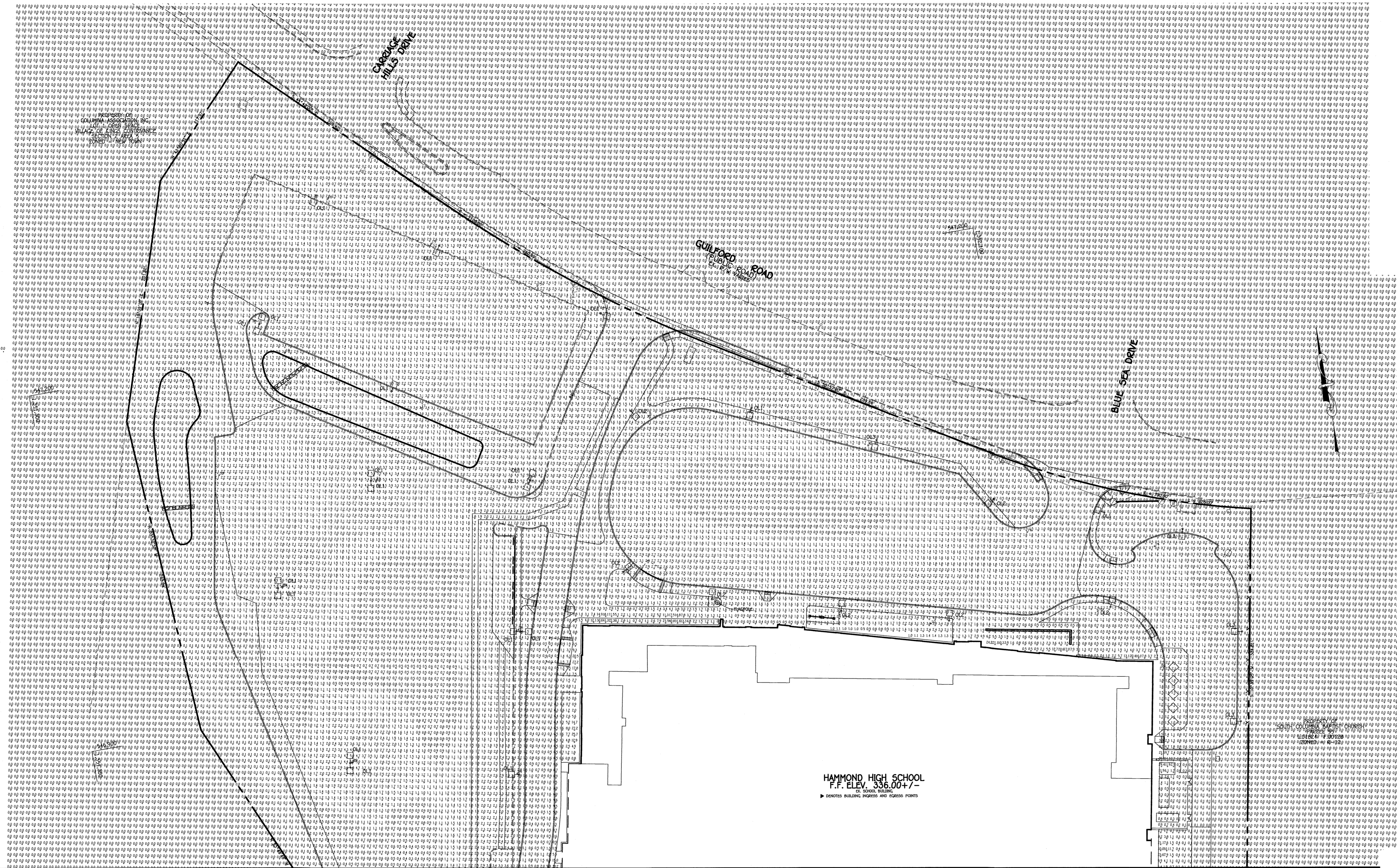
PREPARED FOR
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Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

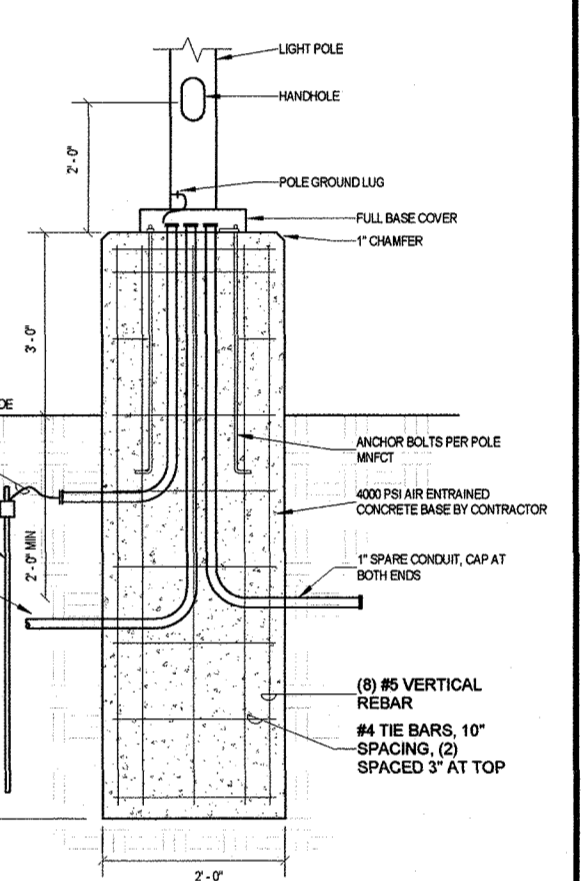
WATER, SEWER & STORM DRAIN PROFILES AND STRUCTURE SCHEDULE

"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY 11, 2020
SHEET 31 OF 37



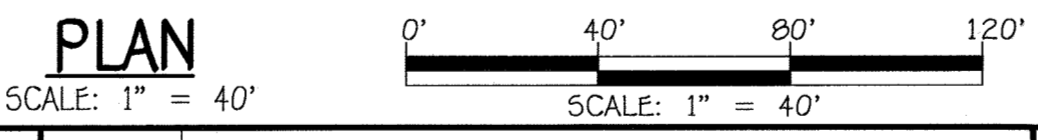
LEGEND	
	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	EXISTING SEWER LINE
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND CABLE
	EXISTING GAS LINE
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	PROPOSED SPOT ELEVATION
	PROPOSED CONCRETE WALK
	PROPOSED MACADAM PAVING
	EXISTING TREE AND SHRUB
	EXISTING TREELINE
	PROPOSED TREELINE
	PROPOSED PUBLIC WATER
	PROPOSED PRIVATE WATER
	PROPOSED STORMDRAIN
	PROPOSED PRIVATE SEWER
	PROPOSED PUBLIC SEWER
	PROPOSED GRASS PAVERS
	PROPOSED TURNED DOWN CONC. SLAB

LIGHTING	
SYMBOL	FIXTURE TYPE AND HEIGHT
OL1	LITHONIA #XSGZ LED 1000 1000 30K TSW HVOLT SFA PRHFCXV 5F ON 25' STEEL SQUARE POLE
OL2	LITHONIA #XSGZ LED 1000 1000 30K TSW HVOLT SFA PRHFCXV 5F ON 25' STEEL SQUARE POLE
OL3	LITHONIA #XSGZ LED 1000 1000 30K TSW HVOLT SFA PRHFCXV 5F ON 25' STEEL SQUARE POLE
W	LED WALL PACK - LITHONIA #XSGZ 2' 10A 700/40C 563 HVOLT SF XXXXX
W2	PINNALE HEX HEXN BASHIO LENGTH PER FLOOR PLANS 5 U O L 1 I O CC CLR



5. POLE BASE DETAIL
SCALE: NONE

FOR CONTINUATION SEE SHEET 33



NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING, CONSULTANTS & LAND SURVEYORS
CENTRAL SOURCE OFFICE PARK - 10722 BALDORNE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21142
(410) 461-2895

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND IN ACCORDANCE WITH THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38396, EXPIRATION DATE, JANUARY 12, 2022."
Stephanie J. Tuitt 5/26/20
STEPHANIE J. TUITT, P.E. DATE

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL W. BEBLEY
410-313-8203



APPROVED:	DEPARTMENT OF PLANNING AND ZONING	DATE	DESCRIPTION
<i>Stephanie J. Tuitt</i>	Director, Department of Planning and Zoning	7-9-2020	REVISION BLOCK
<i>Stephanie J. Tuitt</i>	Chief, Division of Planning and Zoning	7/9/2020	
<i>Stephanie J. Tuitt</i>	Chief, Development Engineering Division	7-7-20	

PARCEL NO.	STREET ADDRESS
405	8200 GUILFORD ROAD COLUMBIA, MARYLAND 21046

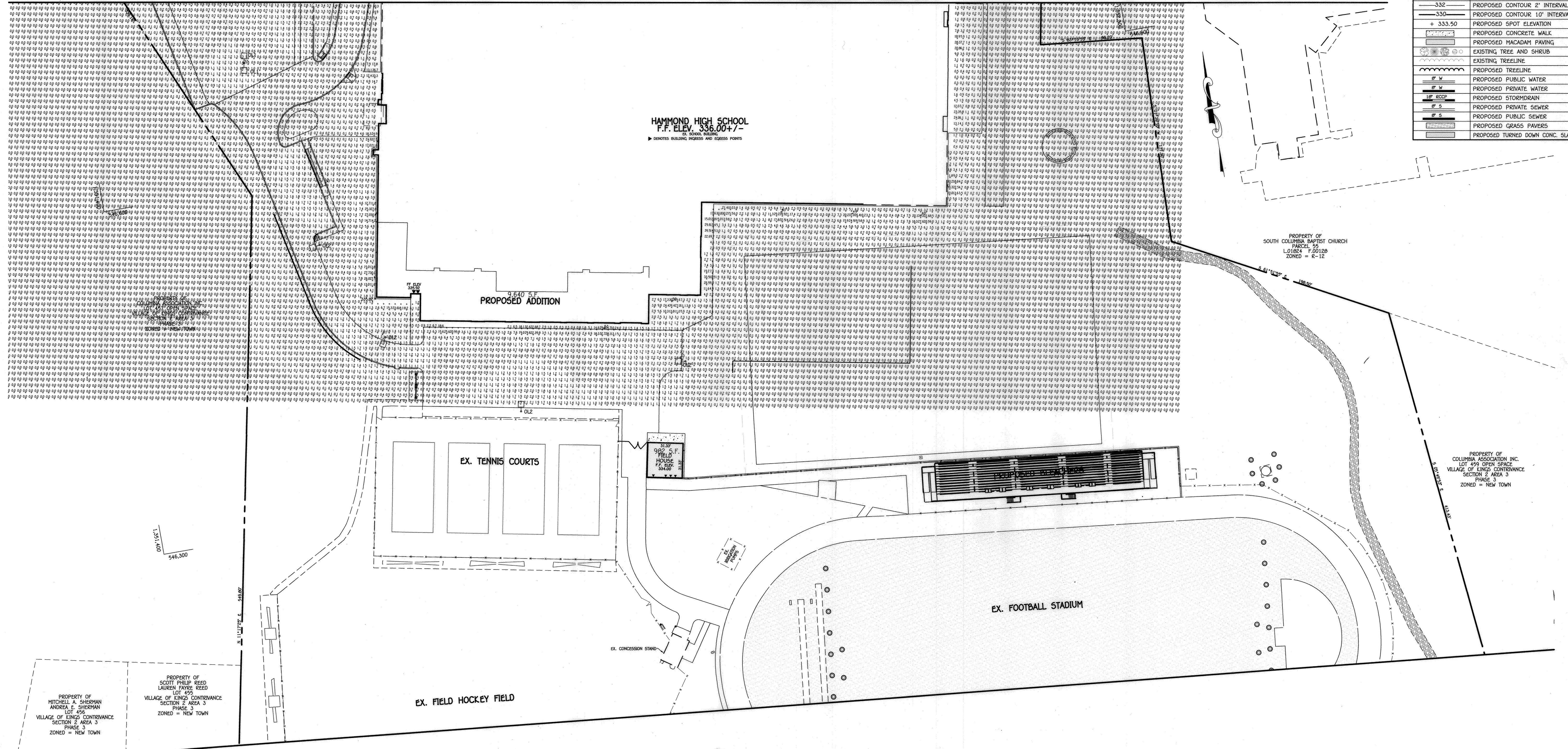
PROJECT	SECTION/AREA	PARCEL
HAMMOND HIGH SCHOOL	2/1	405

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	B, 14	NEW TOWN (NT)	42	SIXTH	6051.02

PHOTOMETRICS PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL NO.: 405
TAX MAP NO.: 42 GRID NO.: B & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: MAY 11, 2020
SHEET 32 OF 37

FOR CONTINUATION SEE SHEET 32

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND CABLE
	EXISTING UNDERGROUND FIBER OPTIC
	EXISTING GAS LINE
	EXISTING FENCE
	PROPOSED CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	PROPOSED SPOT ELEVATION
	PROPOSED CONCRETE WALK
	PROPOSED MACADAM PAVING
	EXISTING TREE AND SHRUB
	EXISTING TREELINE
	PROPOSED TREELINE
	PROPOSED PUBLIC WATER
	PROPOSED PRIVATE WATER
	PROPOSED STORM DRAIN
	PROPOSED PRIVATE SEWER
	PROPOSED PUBLIC SEWER
	PROPOSED GRASS PAVERS
	PROPOSED TURNED DOWN CONC. SLAB



HAMMOND HIGH SCHOOL
F.F. ELEV. 336.00 +/-
D. INDICATES BUILDING HEIGHTS AND EGRESS POINTS

PLAN
SCALE: 1" = 40'

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDORRE NATIONAL PIKE
ELKTON, MARYLAND 21928
(410) 461-2895

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuttle
STEPHANIE J. TUTTLE, P.E.
5/26/20
DATE

DATE	DESCRIPTION
3/11/18	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	7-9-2020
Director - Department of Planning and Zoning	Date
<i>[Signature]</i>	7/01/2020
Chief, Office of Land Development	Date
<i>[Signature]</i>	7-7-20
Chief, Development Engineering Division	Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
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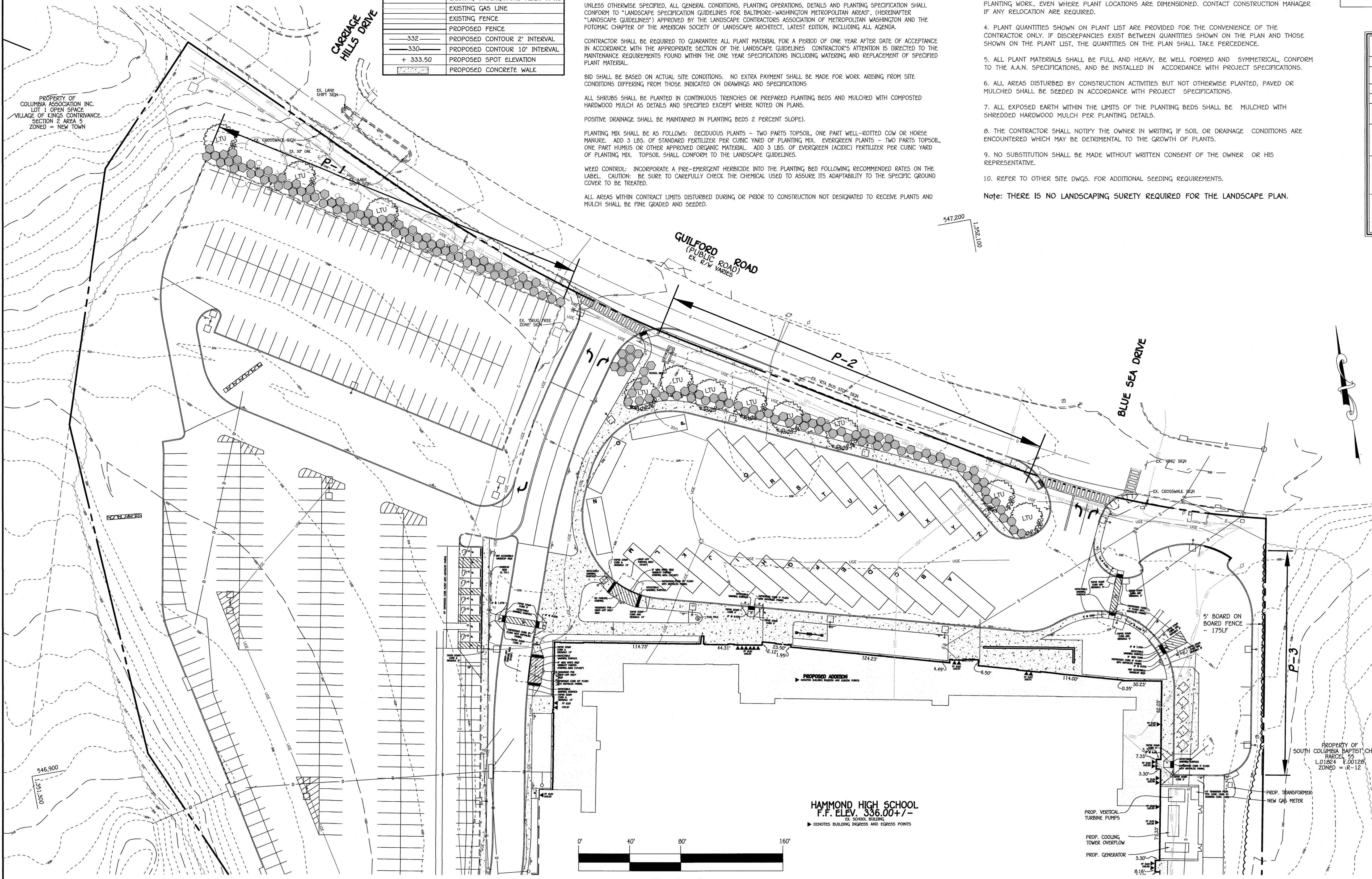
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046		
PROJECT	SECTION/AREA	PARCEL	
HAMMOND HIGH SCHOOL	2/1	405.	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
25150-25152	8, 14	NEW TOWN (NT)	42
		ELEC. DIST.	CENSUS TR.
		SIXTH	6051.02

PHOTOMETRICS PLAN
"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL NO.: 405
TAX MAP NO.: 42 GRID NO.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40'
DATE: MAY 11, 2020
SHEET 33 OF 37

"AT THE TIME OF PLANT INSTALLATION, ALL TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATIONS FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNITS, SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE ROAD DRAWING PLANS."

"THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED PERIMETER LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED."

PROPERTY OF COLUMBIA ASSOCIATION INC. LOT 1 OPEN SPACE VILLAGE OF KINGS CONTRIVANCE SECTION 2 AREA 5 ZONED = NEW TOWN



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE
---	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK

PLANTING SPECIFICATIONS

PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.

ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED, HAVE A VIGOROUS ROOT SYSTEM, AND SHALL CONFORM TO THE SPECIES, SIZE, ROOT AND SHAPE SHOWN ON THE PLANT LIST AND THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BORERS AND ALL FORMS OF INSECT INFESTATIONS OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FRESHLY DUG; NO HEALED-IN PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATION SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS", HEREINAFTER "LANDSCAPE GUIDELINES" APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECT, LATEST EDITION, INCLUDING ALL AGENDA.

CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.

BID SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.

ALL SHRUBS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.

POSITIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS 2 PERCENT SLOPE).

PLANTING MIX SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.

WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GROUND COVER TO BE TREATED.

ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINELY GRADED AND SEEDED.

PLANTING NOTES:

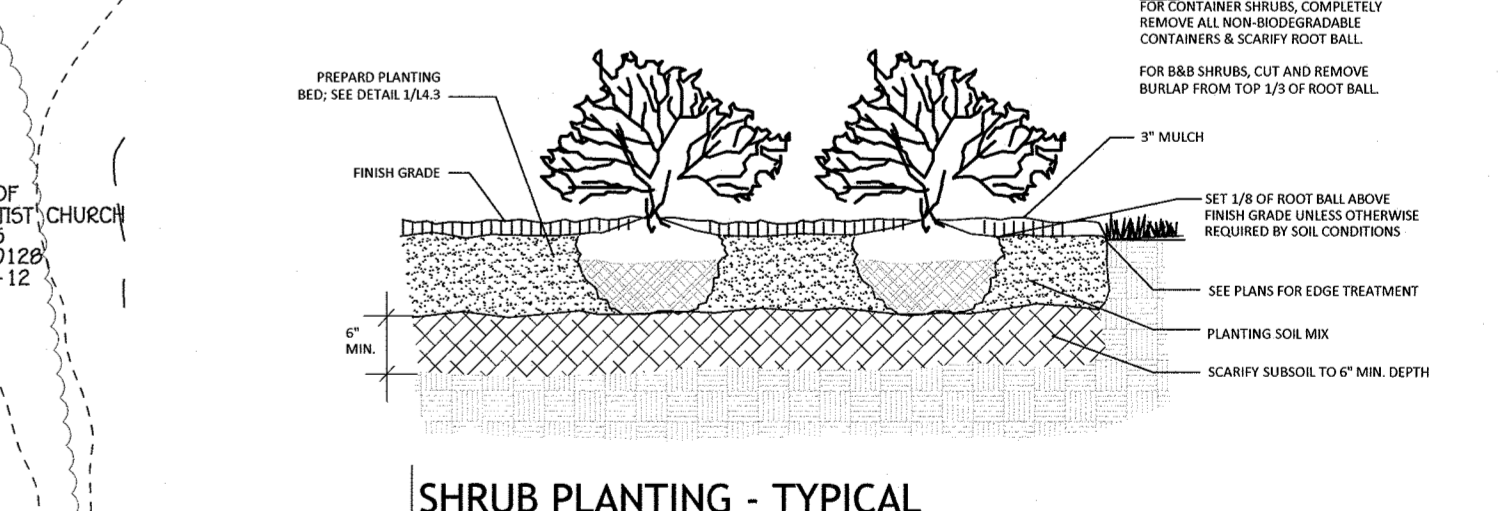
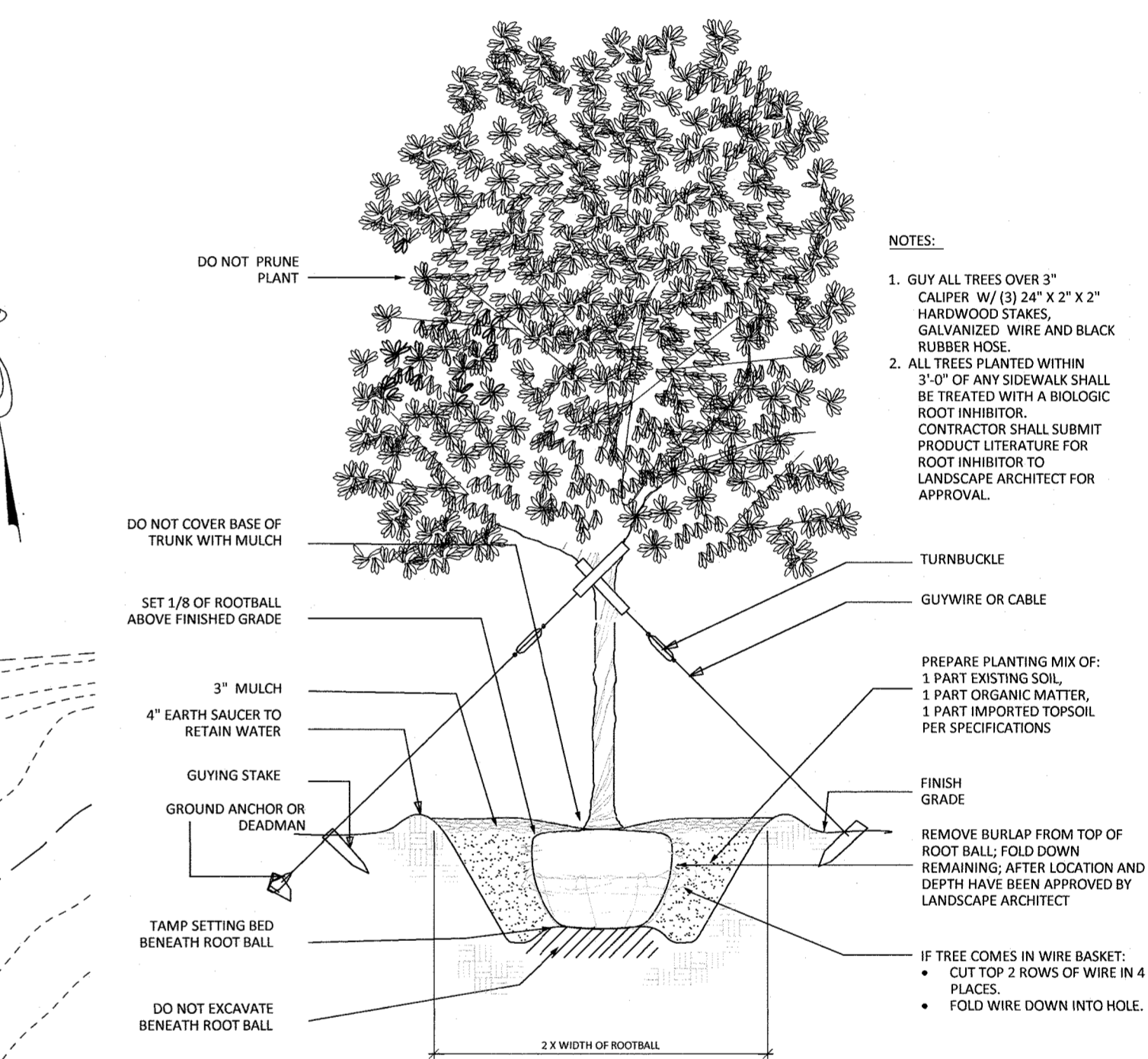
1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF HOWARD COUNTY CODE AND LANDSCAPE MANUAL AND IS TO BE USED FOR PLANTING ONLY. LANDSCAPING SHALL BE PROVIDED AS SHOWN ON THIS PLAN SHEET. NO SURETY IS REQUIRED SINCE THIS IS A HOWARD COUNTY BOARD OF EDUCATION PROJECT.
2. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK. ALL GENERAL NOTES FROM SHEET 1, SHALL APPLY.
3. FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK, EVEN WHERE PLANT LOCATIONS ARE DIMENSIONED. CONTACT CONSTRUCTION MANAGER IF ANY RELOCATION ARE REQUIRED.
4. PLANT QUANTITIES SHOWN ON PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
5. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE A.A.N. SPECIFICATIONS, AND BE INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
6. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED OR MULCHED SHALL BE SEEDED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
7. ALL EXPOSED EARTH WITHIN THE LIMITS OF THE PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER PLANTING DETAILS.
8. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF SOIL OR DRAINAGE CONDITIONS ARE ENCOUNTERED WHICH MAY BE DETRIMENTAL TO THE GROWTH OF PLANTS.
9. NO SUBSTITUTION SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR HIS REPRESENTATIVE.
10. REFER TO OTHER SITE DWGS. FOR ADDITIONAL SEEDING REQUIREMENTS.

Note: THERE IS NO LANDSCAPING SURETY REQUIRED FOR THE LANDSCAPE PLAN.

PLANT LIST					
QTY.	KEY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
TREES - DECIDUOUS SHADE					
11	LTU	Liriodendron tulipifera Tulip Poplar	2'-1/2" - 3" cal.	B & B	
SHRUBS					
153	PLO	Prunus laurocerasus 'Otto Luyken' Dwarf Cherry Laurel	24"-30"Ht.	Container	36" o/c

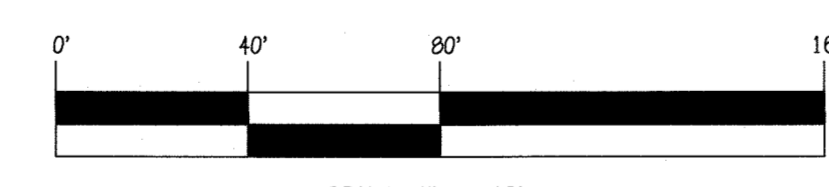
SCHEDULE A - PERIMETER LANDSCAPE EDGE			
PERIMETER	P-1	P-2	P-3
CATEGORY	PARKING TO ROADWAY	PARKING TO ROADWAY	ADJ TO PERIMETER PROPERTIES
LANDSCAPE TYPE	E	E	C
LINEAR FEET OF PERIMETER	300 L.F.	310 L.F.	175 L.F.
CREDIT FOR EXISTING TREES (YES/NO)	YES	NO	NO
NUMBER OF PLANTS REQUIRED			
SHADE TREES	3	8	-
EVERGREENS	-	-	-
SHRUBS	75	78	-
CREDIT FOR EXISTING VEGETATION			
SHADE TREES	0	0	0
SMALL MEDIUM DECIDUOUS TREES/EVERGREENS	0	0	0
SHRUBS	0	0	0
NUMBER OF PLANTS PROVIDED			
SHADE TREES	3	8	0*
SMALL MEDIUM DECIDUOUS TREES/EVERGREENS	-	-	-
SHRUBS	75	78	0*

* 5' BOARD ON BOARD FENCE IS PROPOSED IN LIEU OF LANDSCAPING.



NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW DETAILS OF THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

HAMMOND HIGH SCHOOL
F.F. ELEV. 336.00 +/-



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10772 BALTHORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

DEVELOPER'S / BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Tammy J. Jutte DATE: 5-27-2020

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36386, EXPIRATION DATE: JANUARY 12, 2022."

Stephan J. Jutte 5/26/20
STEPHAN J. JUTTE, P.E. DATE

DATE DESCRIPTION REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

St. J. Jutte 7-9-2020
Director, Department of Planning and Zoning Date

Stephan J. Jutte 7/10/2020
Chief, Development Engineering Division Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

DATE DESCRIPTION REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

St. J. Jutte 7-9-2020
Director, Department of Planning and Zoning Date

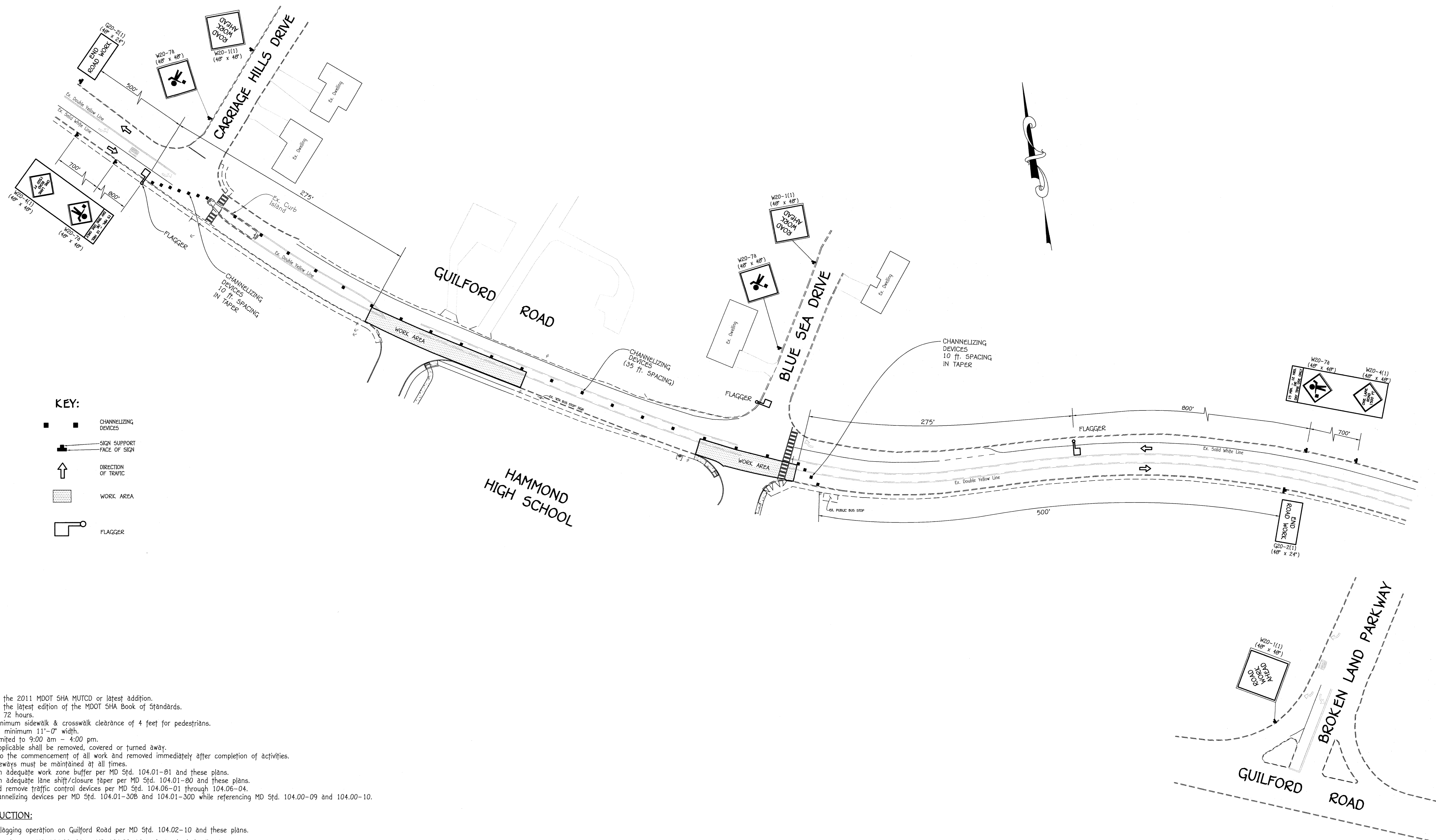
Stephan J. Jutte 7-7-20
Chief, Development Engineering Division Date

PROFESSIONAL ENGINEER
STEPHAN J. JUTTE
LICENSE NO. 36386
EXPIRES 1/12/2022

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8000 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT	SECTION/AREA				
HAMMOND HIGH SCHOOL	2/1				
PARCEL	405				
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

LANDSCAPING PLAN DETAILS & NOTES

"REVISED SITE DEVELOPMENT PLAN" VILLAGE OF KINGS CONTRIVANCE SECTION 2 AREA 1 SCHOOL SITE
HAMMOND HIGH SCHOOL BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: 8 & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 20' DATE: MAY 11, 2020
SHEET 34 OF 37



- KEY:**
- CHANNELIZING DEVICES
 - SIGN SUPPORT FACE OF SIGN
 - ↑ DIRECTION OF TRAFFIC
 - ▨ WORK AREA
 - ⌋ FLAGGER

STANDARD NOTES:

- The contractor shall adhere to the 2011 MDOT SHA MUTCD or latest addition.
- The contractor shall adhere to the latest edition of the MDOT SHA Book of Standards.
- Parking is to be restricted for 72 hours.
- Contractor shall preserve a minimum sidewalk & crosswalk clearance of 4 feet for pedestrians.
- Travel lanes must remain at a minimum 11'-0" width.
- Lane closure hours shall be limited to 9:00 am - 4:00 pm.
- Signs no longer required or applicable shall be removed, covered or turned away.
- Signs shall be installed prior to the commencement of all work and removed immediately after completion of activities.
- Access to all roadways & driveways must be maintained at all times.
- The contractor shall provide an adequate work zone buffer per MD Std. 104.01-01 and these plans.
- The contractor shall provide an adequate lane shift/closure taper per MD Std. 104.01-01 and these plans.
- The contractor shall install and remove traffic control devices per MD Std. 104.06-01 through 104.06-04.
- The contractor shall install channelizing devices per MD Std. 104.01-30B and 104.01-30D while referencing MD Std. 104.00-09 and 104.00-10.

SEQUENCE OF CONSTRUCTION:

- The contractor shall utilize a flagging operation on Guilford Road per MD Std. 104.02-10 and these plans.
- The contractor shall follow general notes MD 104.00-01 - MD 104.00-10 and standard details MD 104.01-01 - MD 104.01-01.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
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Stephanie G. Tuite 5/26/20
 STEPHANIE G. TUIE, P.E. DATE

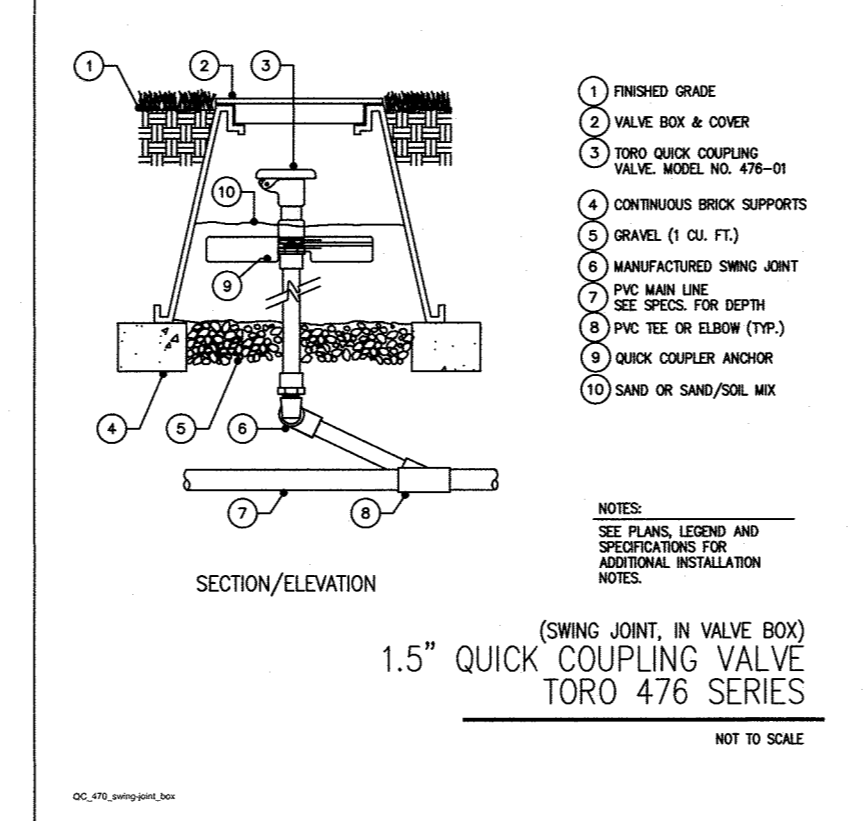
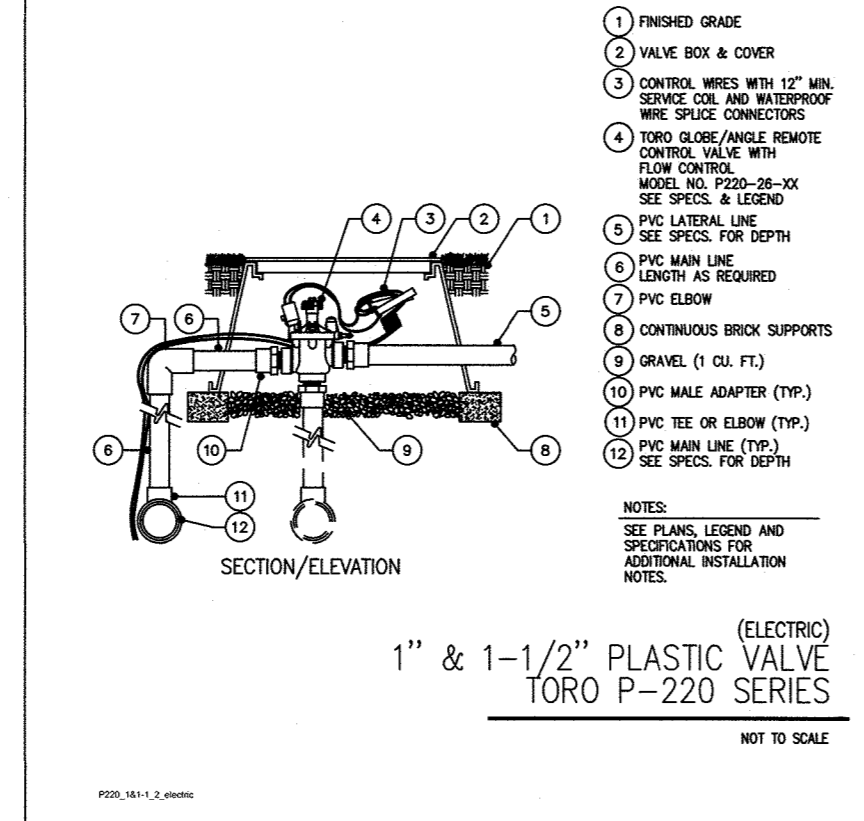
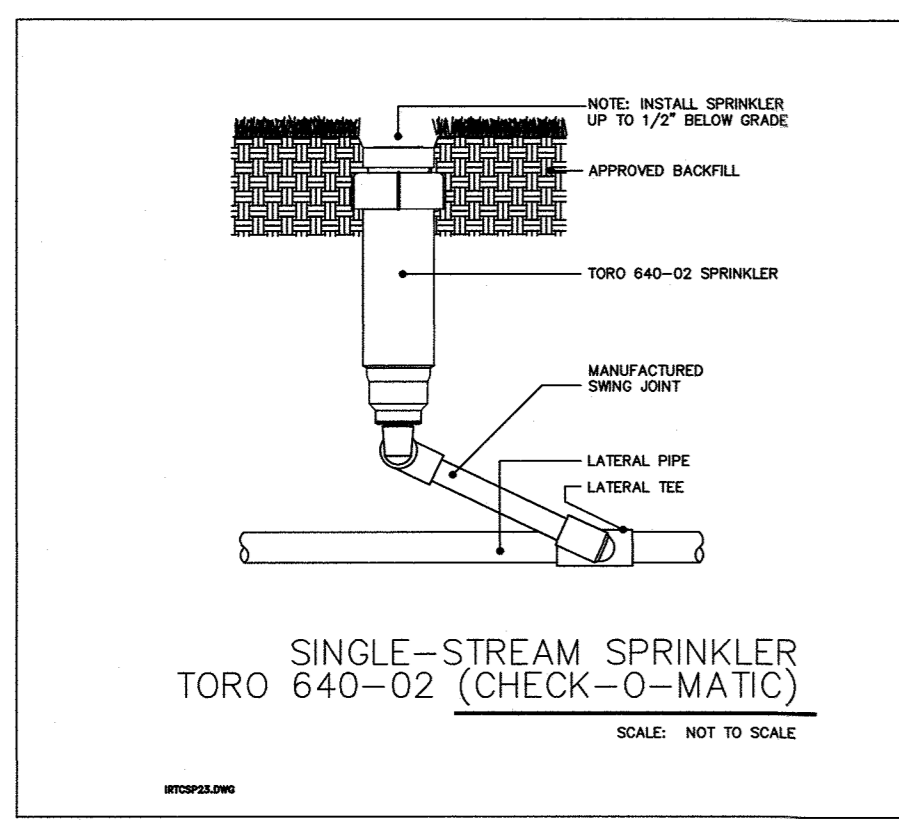
DATE	DESCRIPTION	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>[Signature]</i>	Director, Department of Planning and Zoning	7-9-2020 Date
<i>[Signature]</i>	Chief, Division of Land Development	7/8/2020 Date
<i>[Signature]</i>	Chief, Development Engineering Division	7-7-20 Date

PREPARED FOR
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 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046				
PROJECT		SECTION/AREA	PARCEL		
HAMMOND HIGH SCHOOL		2/1	405		
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	8, 14	NEW TOWN (NT)	42	SIXTH	6051.02

TRAFFIC CONTROL PLAN & DETAILS

"REVISED SITE DEVELOPMENT PLAN"
 VILLAGE OF KINGS CONTRIVANCE
 SECTION 2 AREA 1
 SCHOOL SITE
HAMMOND HIGH SCHOOL BUILDING ADDITIONS
 ZONED: NEW TOWN (NT)
 PARCEL No.: 405
 TAX MAP No.: 42 GRID No.: 8 & 14
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: DATE: MAY 11, 2020
 SHEET 35 OF 37

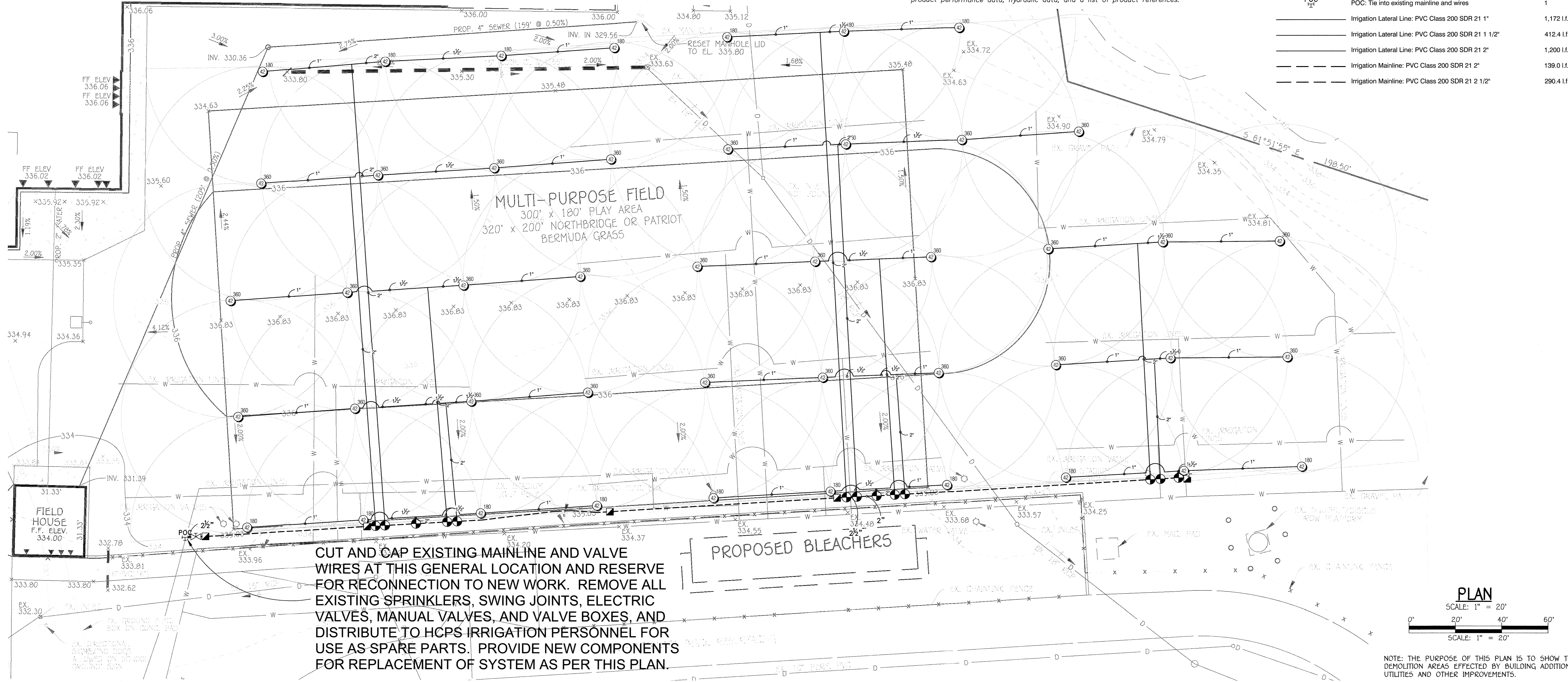


IRRIGATION NOTES:

1. Irrigation system designed for 56 GPM at 75 PSI downstream of the P.O.C. Contractor shall verify these parameters and notify owner's representative if they cannot be met.
2. Contractor shall verify all site measurements and their accuracy prior to construction. A new irrigation design may be required if major discrepancies exist between actual site layout and this plan.
3. Irrigation system design drawing is diagrammatic in nature. Field adjustments may be necessary.
4. System to be installed per manufacturer's specifications.
5. All mainline to be SDR 21 Class 200 PVC pipe sized as noted.
6. Mainline and valves are shown in hardscape areas for clarity only. Mainline and valves should be installed in turf areas when possible.
7. Control wires shall be no. 14 AWG or larger copper wire UL-approved for direct burial in ground. Common wire shall be no. 14 AWG or larger copper wire UL-approved for direct burial and white in color.
8. All field wire above grade or within structure to be installed in conduit per local code.
9. All underground splices and connection of wiring to remote control valves to utilize 3M water proof splice kits in appropriate size valve box.
10. Depth of irrigation piping: 18" on mainline; 12" on laterals.
11. Underground utilities to be verified before any installation begins.
12. Controller to be grounded per manufacturer's specifications.
14. All sprinkler heads shall utilize manufactured o-ring swing joints, sized to match inlet of sprinkler.
15. In order to maintain the integrity of the irrigation system, sprinklers, valves, and controllers, must be as specified. Alternate products will be considered at the discretion of the owner. Alternate product submittals must include a complete new system design by and Irrigation Association Certified Irrigation Designer (Commercial Option), installation details, product performance data, hydraulic data, and a list of product references.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Toro 640-02 Turf Rotor, 2-3/8" Pop-Up, Stainless Steel-Encased Nozzle, Commercial Applications, 1" Inlet, NPT Threaded, With Check-O-Matic Check Valve, and Adjustable Arc Trajectory.	45
	Toro P220-26-0 GLOBE 1-1/2" Electric, 1", 1-1/2", 2" and 3" Plastic In-Line Remote Control Valve. Equipped to withstand pressure up to 220 PSI. Filter screen on 2" and 3" models. Standard Solenoid. Globe Body Style.	13
	Toro 100-SLVC 1" One-Piece, 1" Single Lug Quick Coupler Valve with Vinyl Cover.	5
	Nibco P-619-RW 2 1/2" to 12" cast iron gate valve, same size as mainline pipe where located. Resilient wedge non-rising stem flow control with IPS push-on ends.	1
	POC: Tie into existing mainline and wires	1
	Irrigation Lateral Line: PVC Class 200 SDR 21 1"	1,172 L.F.
	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/2"	412.4 L.F.
	Irrigation Lateral Line: PVC Class 200 SDR 21 2"	1,200 L.F.
	Irrigation Mainline: PVC Class 200 SDR 21 2"	139.0 L.F.
	Irrigation Mainline: PVC Class 200 SDR 21 2 1/2"	290.4 L.F.



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CONTINENTAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PARK
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39386, EXPIRATION DATE: JANUARY 12, 2022."

Stephan J. Tuite
STEPHAN J. TUITE, P.E.
5/26/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
7-9-2020	DATE	
7/8/2020	DATE	
7.7.20	DATE	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning

Chief, Department of Planning and Zoning

Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
DANIEL LUBELEY
PROFESSIONAL ENGINEER

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
405	8800 GUILFORD ROAD COLUMBIA, MARYLAND 21046

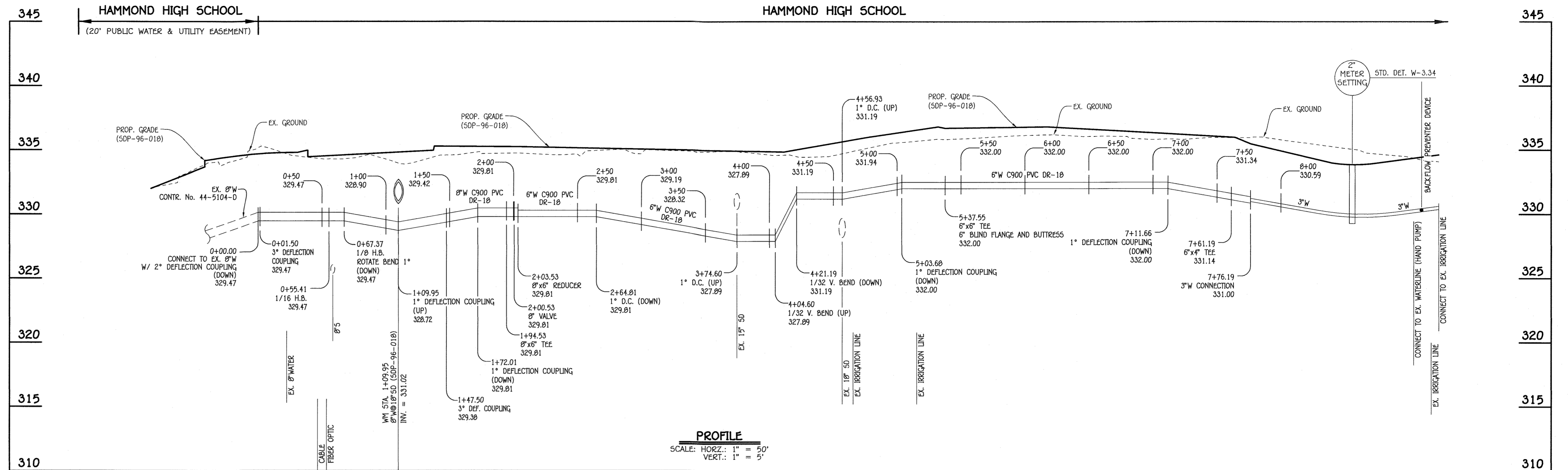
PROJECT	SECTION/AREA	PARCEL
HAMMOND HIGH SCHOOL	2/1	405

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25150-25152	B, 14	NEW TOWN (NT)	42	SIXTH	6051.02

IRRIGATION PLAN

"REVISED SITE DEVELOPMENT PLAN"
VILLAGE OF KINGS CONTRIVANCE
SECTION 2 AREA 1
SCHOOL SITE
HAMMOND HIGH SCHOOL
BUILDING ADDITIONS
ZONED: NEW TOWN (NT)
PARCEL No.: 405
TAX MAP No.: 42 GRID No.: B & 14
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 20'
DATE: MAY 11, 2020
SHEET 36 OF 37

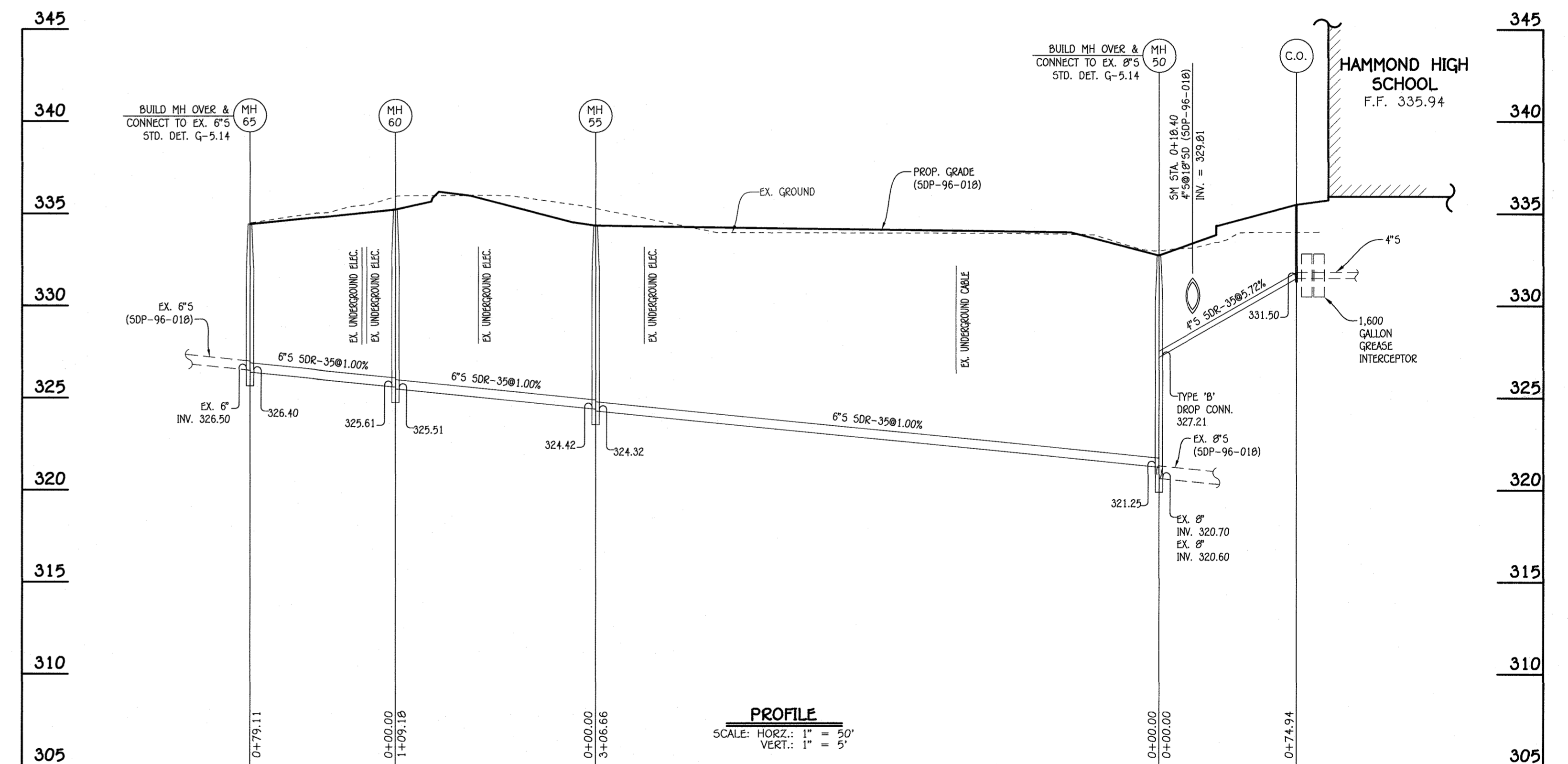
WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8"W/6"W/3"W: WATER MAIN EXTENSION			
0+00.00	CONNECT TO EX. 8"W W/ 2" D.C.	546,847.76	1,352,161.02
0+01.50	3" DEFLECTION COUPLING	546,847.07	1,352,162.35
0+55.41	1/16 H.B.	546,820.05	1,352,209.01
0+67.37	1/8 H.B. ROTATE BEND 1" DOWN	546,810.56	1,352,216.27
1+09.95	1" DEFLECTION COUPLING (UP)	546,768.35	1,352,205.70
1+47.50	3" DEFLECTION COUPLING	546,731.13	1,352,210.66
1+72.01	1" DEFLECTION COUPLING (DOWN)	546,707.04	1,352,201.17
1+94.53	8"X6" TEE	546,684.90	1,352,197.00
2+00.53	8" VALVE	546,679.01	1,352,195.89
2+03.53	8"X6" REDUCER	546,676.06	1,352,195.34
2+64.81	1" DEFLECTION COUPLING (DOWN)	546,615.84	1,352,184.00
3+74.60	1" DEFLECTION COUPLING (UP)	546,507.94	1,352,163.69
4+04.60	1/32 V.B. (UP)	546,478.46	1,352,158.14
4+21.19	1/32 V.B. (DOWN)	546,462.16	1,352,155.07
4+56.93	1" DEFLECTION COUPLING (UP)	546,427.04	1,352,148.45
5+03.68	1" DEFLECTION COUPLING (DOWN)	546,391.10	1,352,139.80
5+37.55	6"X6" TEE/6" BLIND FLANGE	546,347.80	1,352,133.53
7+11.66	1" DEFLECTION COUPLING (DOWN)	546,380.03	1,351,962.44
7+61.19	6"X4" TEE	546,389.19	1,351,913.76
7+76.19	3"W CONNECTION	546,391.97	1,351,899.02



8"W/6"W/3"W: WATER MAIN EXTENSION

MANHOLE/C.O. TABULATION CHART			
NO.	NORTHING	EASTING	RIM/TOP ELEVATION
65	546,874.15	1,351,670.52	334.43
60	546,950.39	1,351,691.63	335.25
55	546,961.28	1,351,800.26	334.38
50	546,906.86	1,352,102.06	332.75
C.O.	546,846.43	1,352,146.37	335.51

NOTE: SET MH RIMS/C.O. TOP FLUSH W/ PROPOSED GRADE.



SEWER MAIN

NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW PROFILES FOR THE BUILDING ADDITIONS, UTILITIES AND OTHER IMPROVEMENTS.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLSWORTH CITY, MARYLAND 21042
 (410) 461-2899

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Stephan J. Tuite
 STEPHAN J. TUITE, P.E. DATE: 5/26/20

DATE	DESCRIPTION
APPROVED: DEPARTMENT OF PLANNING AND ZONING	REVISION BLOCK
Director, Department of Planning and Zoning	7-7-2020
Chief, Development Engineering Division	7/8/2020
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WATER AND SEWER PROFILES
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 VILLAGE OF KINGS CONTRIVANCE
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