

**GENERAL NOTES**

- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAY BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:  
 BELL ATLANTIC TELEPHONE COMPANY 725-9976  
 HOWARD COUNTY BUREAU OF UTILITIES 313-4900  
 AT&T CABLE LOCATION DIVISION 393-3553  
 BALTIMORE GAS & ELECTRIC COMPANY 885-0123  
 STATE HIGHWAY ADMINISTRATION 531-5533  
 HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK) 313-1880
- THE CONTRACTOR TO NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- EX. TOPO IS TAKEN FROM FIELD BLM SURVEY PREPARED BY RIEMER MUEGGE & ASSOCIATES AND IS AT 2 FOOT INTERVALS.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- A FEE-IN-LIEU OF STORMWATER MANAGEMENT IS APPROVED FOR THIS PLAN. STORMWATER MANAGEMENT IS PROVIDED OFF-SITE IN REGIONAL FACILITY.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PUBLIC WATER AVAILABLE THROUGH CONT. 653-W. PUBLIC SEWER AVAILABLE THROUGH CONT. 24-3417. PUBLIC WATER AND SEWER CONNECTION TO SITE SHALL BE BY ADD. THE REQUIRED PERMITS SHALL BE OBTAINED PRIOR TO CONSTRUCTION AND WORK.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THERE ARE NO CEMETERIES ON SITE.
- LANDSCAPE REQUIREMENTS FOR THE ENTIRE SITE HAVE BEEN ADDRESSED BY THIS PLAN SDP-96-017 UNDER REG. #5. FINANCIAL SURETY IN THE AMOUNT OF \$16,200.00 FOR THE REQUIRED LANDSCAPING APPROVED WITH REDLINE REVISION #5 (42 SHADE TREES AND 24 EVERGREEN TREES) IS REQUIRED TO BE POSTED WITH THE GRADING PERMIT APPLICATION.
- THERE IS NO ON-SITE FLOODPLAIN.
- THERE ARE NO WETLANDS ON-SITE.
- TRAFFIC STUDY PROVIDED BY LEE CUNNINGHAM & ASSOC., INC. DATED JULY 1995 AND APPROVED MAY 24 1995.
- THE EXISTING WELL WILL BE PROPERLY ABANDONED BY A LICENSED WELL DRILLER WITH ABANDONMENT REPORT SUBMITTED TO THE HEALTH DEPARTMENT AND THE EXISTING SEPTIC SYSTEM COMPONENTS WILL BE PUMPED OUT BY A LICENSED SEWAGE HAULER AND PROPERLY ABANDONED WITH DOCUMENTATION SUBMITTED TO THE HEALTH DEPARTMENT PRIOR TO HEALTH APPROVAL OF A BUILDING PERMIT (REDLINE #5).
- FORBEST CONSERVATION REQUIREMENTS WERE MET WITH PAYMENT OF A FEE-IN-LIEU OF \$25,614 WITH THE APPROVAL SDP-96-017.

**SITE ANALYSIS**

- TOTAL AREA 3.93 ACRES
- ZONING M-2
- PROPOSED USE CONSTRUCTION SHOP BUILDING
- NO. OF EMPLOYEES 5
- NO. OF PARKING SPACES PROVIDED 6 WITH 1 HANDICAP.

**PARKING TABULATION**

REQUIRED	PROVIDED
SHOP BUILDING (3,150SF)	
1 SPACES/EMPLOYEE (5 EMPLOYEES)	5 SPACES
SERVICE BAYS (3 NON-COMMERCIAL)	0 SPACES
TOTAL SPACES REQUIRED:	5 SPACES
TOTAL SPACES PROVIDED:	6 SPACES
	(INCLUDING 1 HC SPACE)

**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT.
- INSTALL SEDIMENT CONTROL DEVICES, INCLUDING SUPER SILT FENCE, SILT FENCE & S.C.E., EXTEND E 24' 0" UNDER DORSEY RUN ROAD.
- BEGIN ROUGH GRADING AND EQUIPMENT PLACEMENT.
- STABILIZE DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES. (1/2 DAY)
- UPON APPROVAL OF HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS SEDIMENT CONTROL INSPECTOR, REMOVE REMAINING SEDIMENT CONTROL DEVICES. STABILIZE REMAINING DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES.

**TRUCK WASH & WATER QUALITY MAINTENANCE**

- TRUCK WASH & WATER QUALITY AREA IS TO BE MAINTAINED AND CLEANED AS NECESSARY ON A MONTHLY BASIS.

NOTE: SPOIL FROM EXCAVATION TO BE PLACED ON THE UPHILL SIDE OF CONSTRUCTION.

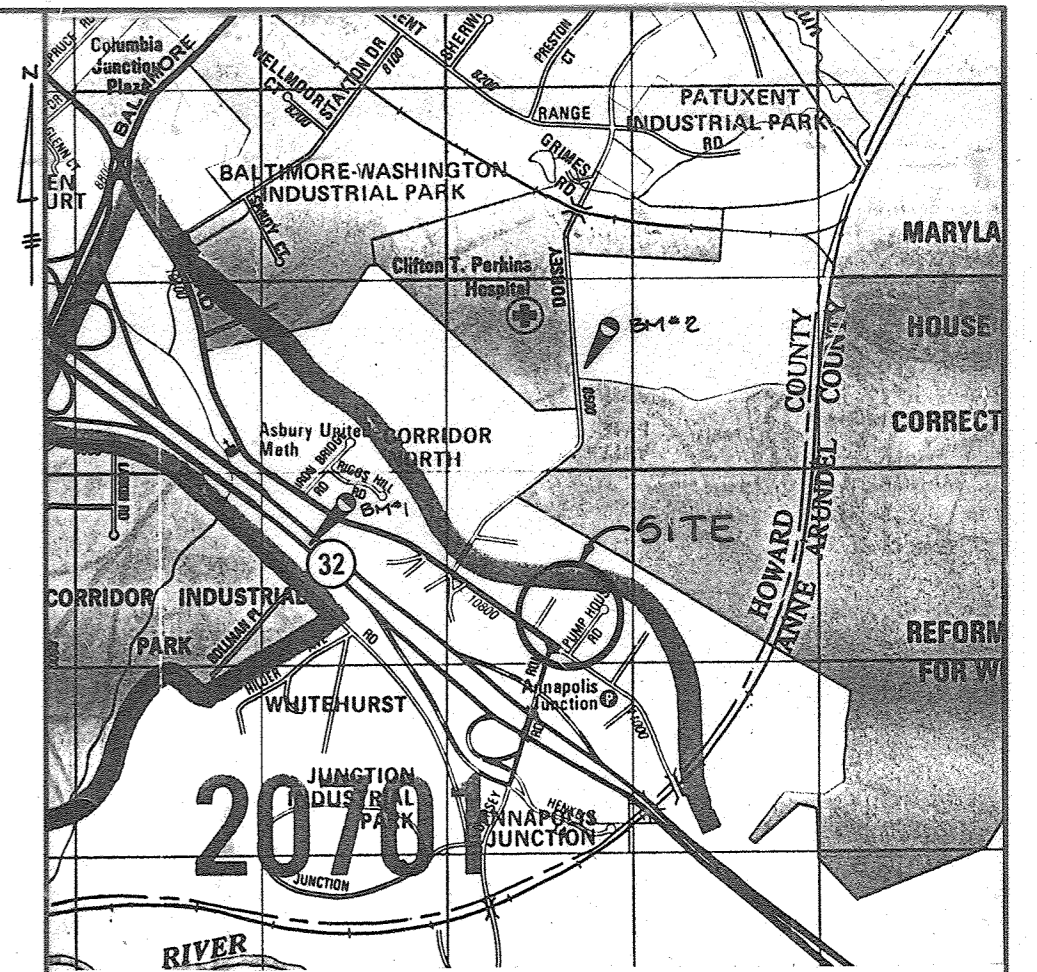
**GENERAL NOTES (CONTINUED...)**

- REFERENCE PREVIOUS HOWARD COUNTY FILE REFERENCES: L. 3638/F. 208, PLAT 11977, SDP-96-017.
- CONSTRUCTION SHOP BUILDING SHALL HAVE 3 SERVICE BAYS FOR PRIVATE USE ONLY. SERVICE BAYS SHALL NOT BE USED AS A COMMERCIAL REPAIR FACILITY.

**SHEET INDEX**

No.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	NOTES AND DETAIL SHEET
3	SHOP BUILDING LAYOUT AND GRADING PLAN; SITE LANDSCAPE PLAN, NOTES AND DETAILS
4	WHC AND SHC PROFILES

PROPERTY OF EAST COAST SWEEPING, INC. L. 2313 F. 547



**VICINITY MAP**  
SCALE: 1"=2000'

**BENCH MARKS**

- CONTROL STATION 4806 N 533541.905 ELEV 228.858 E 1368856.882
- CONTROL STATION 4808 N 536575.708 E 1371005.784

NOTE: CONFIGURATION OF EQUIPMENT WITHIN EQUIPMENT AREA IS SCHEMATIC. FINAL LOCATION MAY VARY.

DATE	NO.	REVISION
9-10-85	5	REMOVE EX. CONCRETE PLANT, ADD NEW SHOP BUILDING; CHANGE USE; ADD SHEETS 3 & 4.
9-23-91		REMOVED C&E SALT DOME & NOTE 13. ADDED SEPTIC FIELD SAN HANDLING EQUIP TEMP TRAILERS FOR OFFICES, ADDITIONAL PARKING, WATER LINE AND SEPTIC DATA TABLE.
4-17-97		ADDED M12 & 24" CMP ACROSS PRIVATE ACCESS ROAD.
10-27-92		APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
10/27/95		DATE
10/26/95		DATE
10/27/95		DATE
8-21-95		ADDED EX. ROAD & 6" PIPES, ADDED 14" F&W 1.
3/12/96		ADDED C&E SALT DOME, REMOVED CONCRETE STORAGE PAD. REVISED SUMMARY OF EQUIP.

OWNER / DEVELOPER  
DYNA AT LLC  
700 SEAGULL BEACH ROAD  
PRINCE FREDERICK, MD 20678  
443-684-4312

PROJECT  
**DYNA CORPORATION**  
CONSTRUCTION SHOP BUILDING

AREA TAX MAP 48 ZONED M-2 PARCEL 186  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE  
**(REVISED) SITE DEVELOPMENT PLAN**

**RIEMER MUEGGE & ASSOCIATES, INC.**  
Planners • Engineers • Surveyors  
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
410-997-8900 FAX: 410-997-9282

9.14.95	DATE	DESIGNED BY: C.J.R.
		DRAWN BY: DAM
		PROJECT NO.: HOCO108201 SDP1.DWG
		DATE: SEPTEMBER 14, 1995
		SCALE: 1"=40'
		DRAWING NO. 1 OF 4

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS BY THE HOWARD COUNTY HEALTH DEPARTMENT.

*Joyce M. Boyd* 10-27-92  
HOWARD COUNTY HEALTH OFFICER CW DATE

REVIEWED: NOT RELEVANT FOR ON-SITE WELL & SEPTIC SEE NOTE

*Joyce M. Boyd* 10/27/95  
HOWARD COUNTY HEALTH OFFICER (S) DATE

BY THE DEVELOPER:  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: *Shirley Roy* 7 Sept 95  
DATE

BY THE ENGINEER:  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*J. Larell* 9.14.95  
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*Patricia Engle* 10/26/95  
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robinson* 10/26/95  
HOWARD SOIL CONSERVATION DISTRICT DATE

**SUMMARY OF EQUIPMENT**

- 13' x 25' PAD FOR CRITERIA.
- 181' x 351' PAD FOR 20000 GALLON WATER TANK.
- 13' x 65' PAD FOR AMMUNITION STORAGE.
- 161' x 301' CONCRETE HOUSE/WATER FOR EMPLOYEES.
- BRUSH PLANT INCLUDING CONCRETE.
- AMMUNITION STORAGE FACILITY.

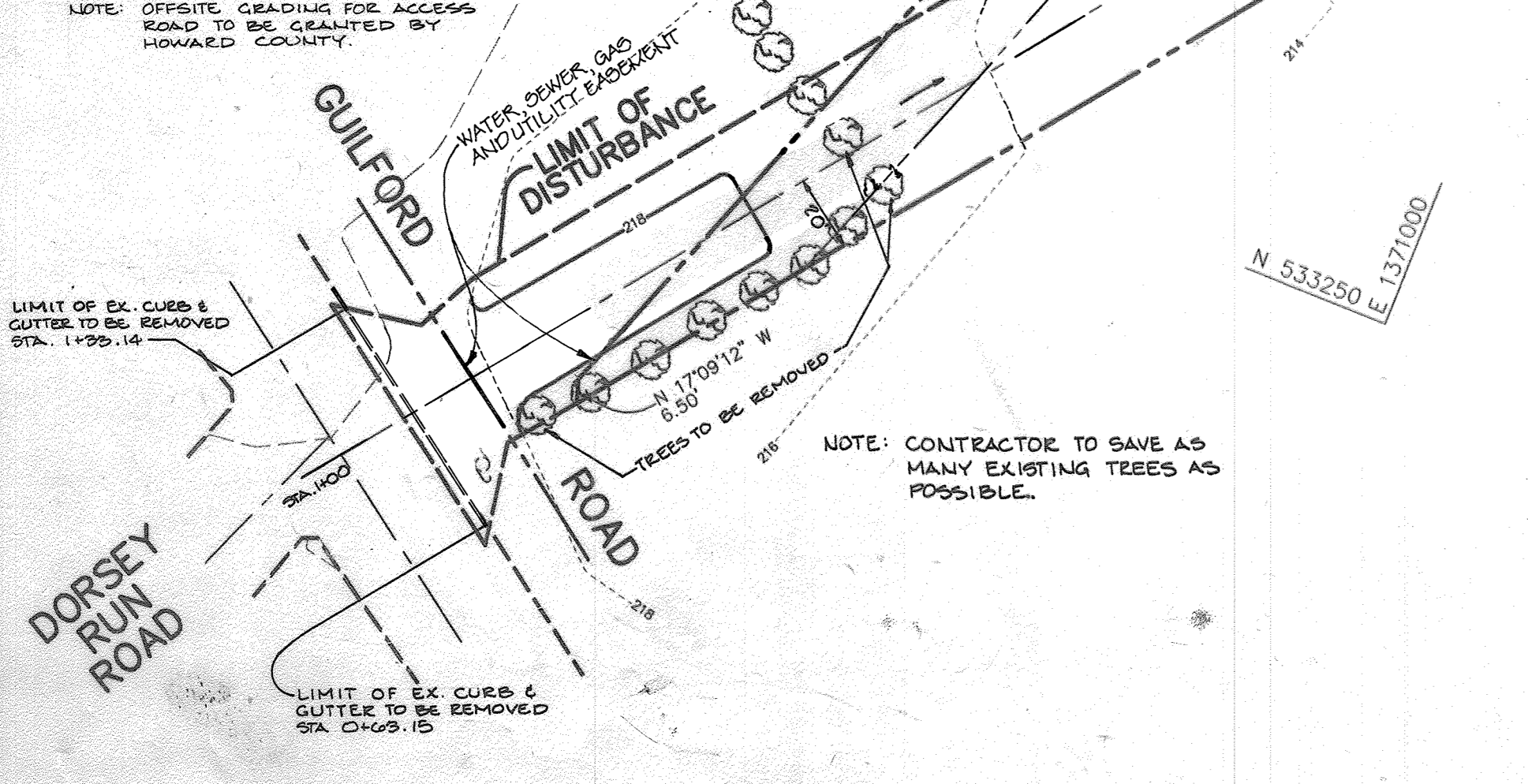
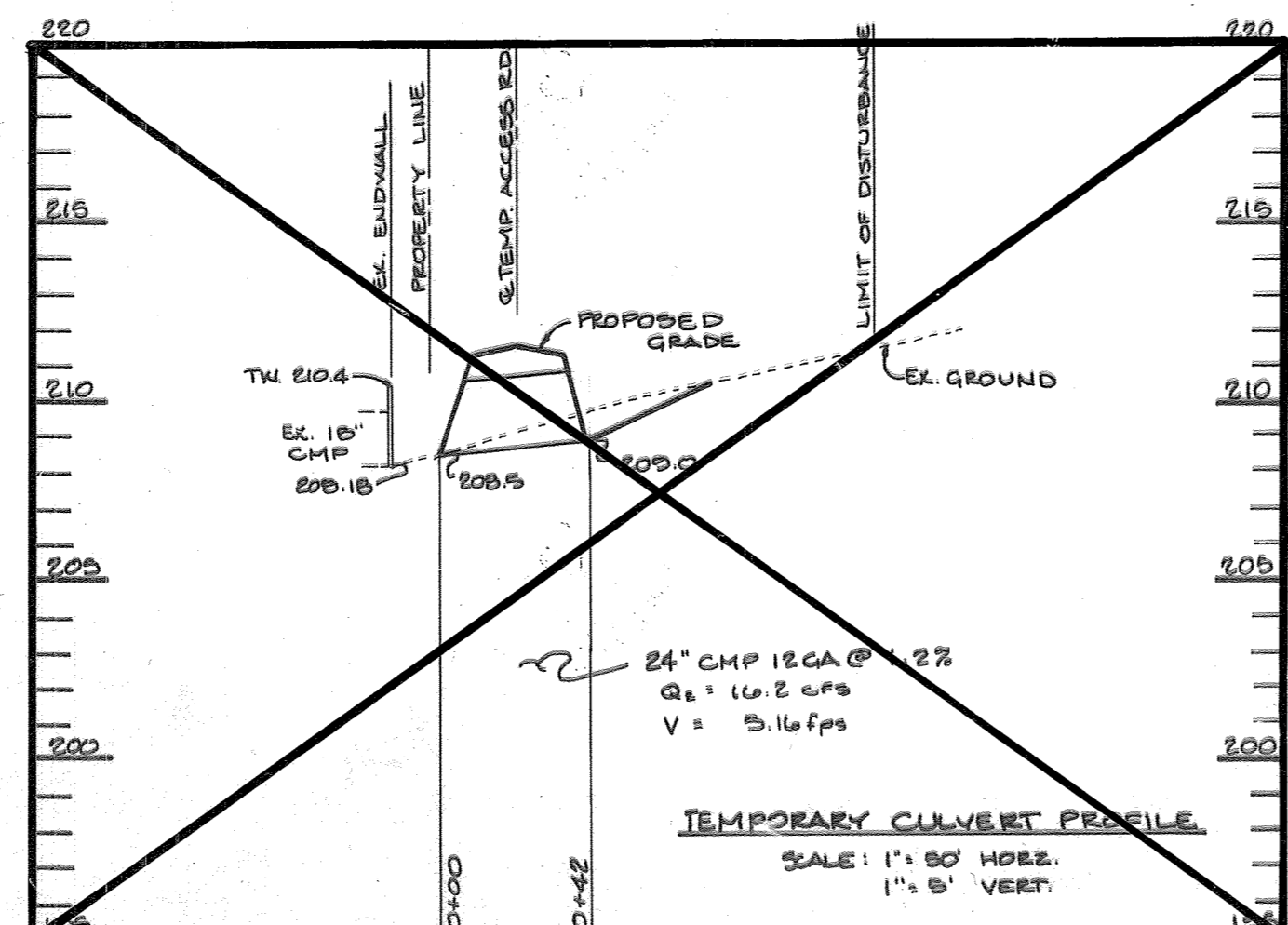
**LEGEND**

- PASSING PERC HOLE
- CONCRETE PADS - 4000 PSI TYP.
- SILT FENCE
- SUPER SILT FENCE
- SOIL BOUNDARY

**ADDRESS CHART**

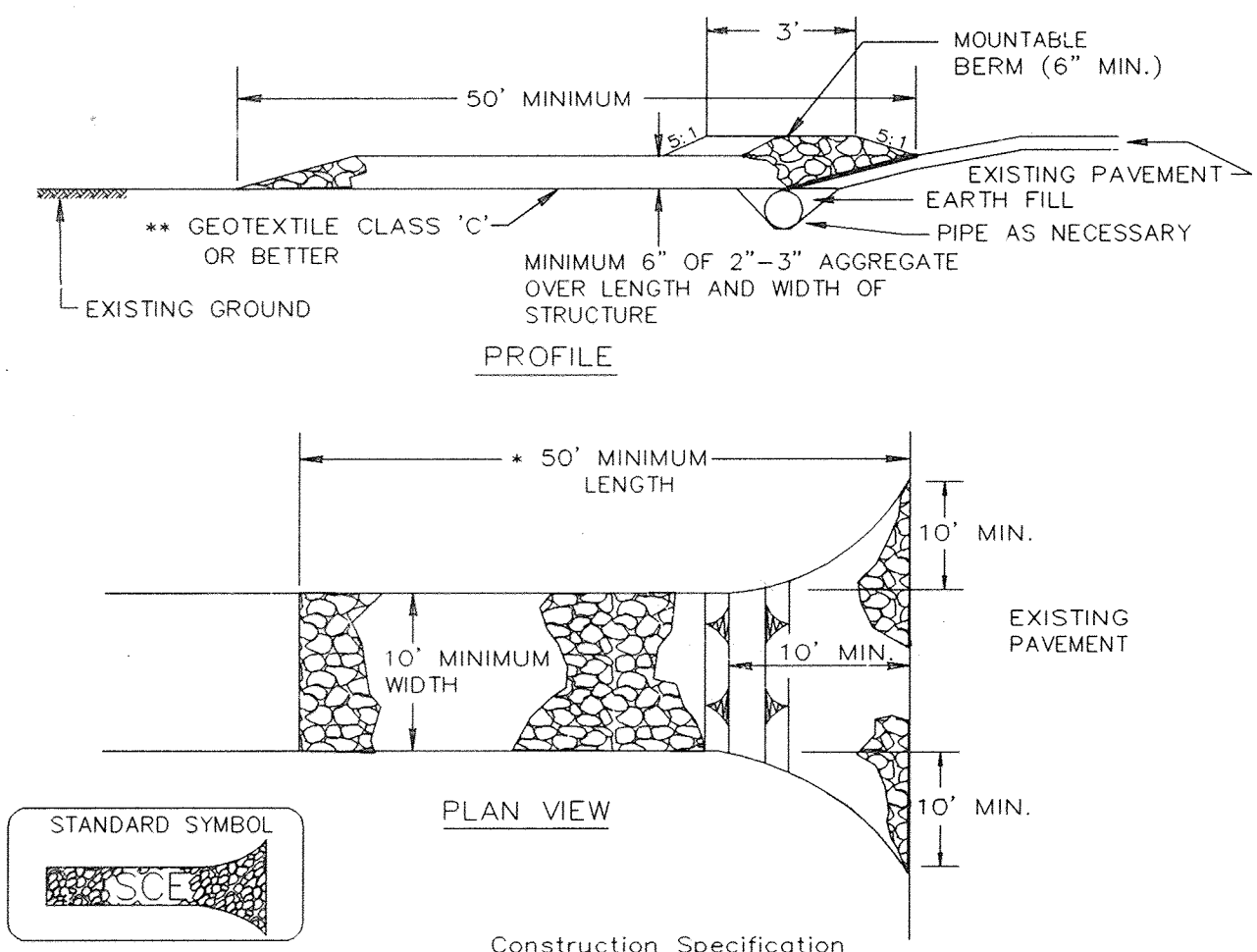
PARCEL	STREET ADDRESS
186	8595 DORSEY RUN ROAD

SUBDIVISION NAME	SECT./AREA	PARCEL
DYNA CORPORATION	-	186
PLAT #	BLOCK #	ZONING
11977	14	M-2
TAX MAP NO.	ELECT. DIST.	CENSUS TRACT
48	6	6069.01
WATER CODE	SEWER CODE	
N/A	N/A	





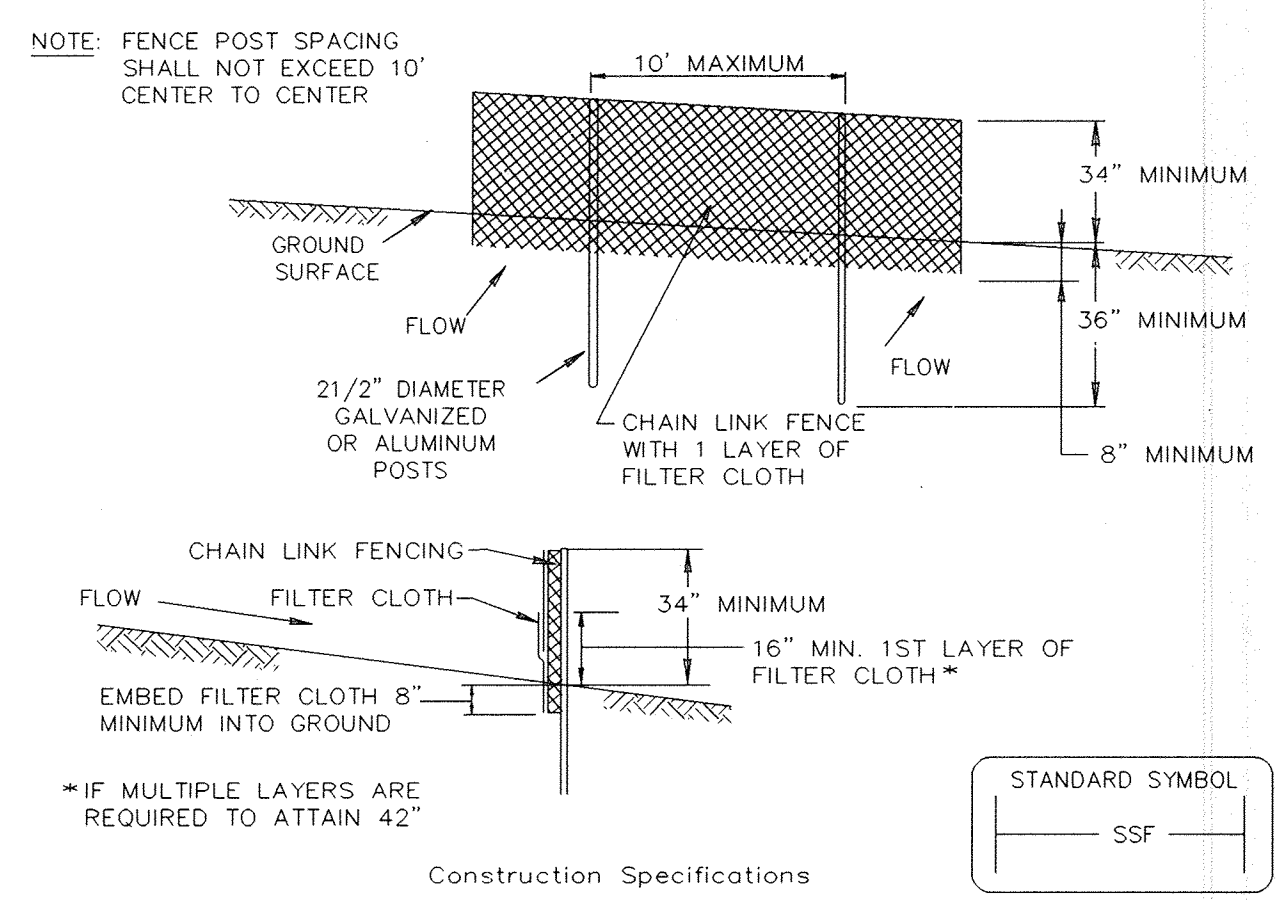
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- Length - minimum of 50' (+30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. \*\*The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2\"/>

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

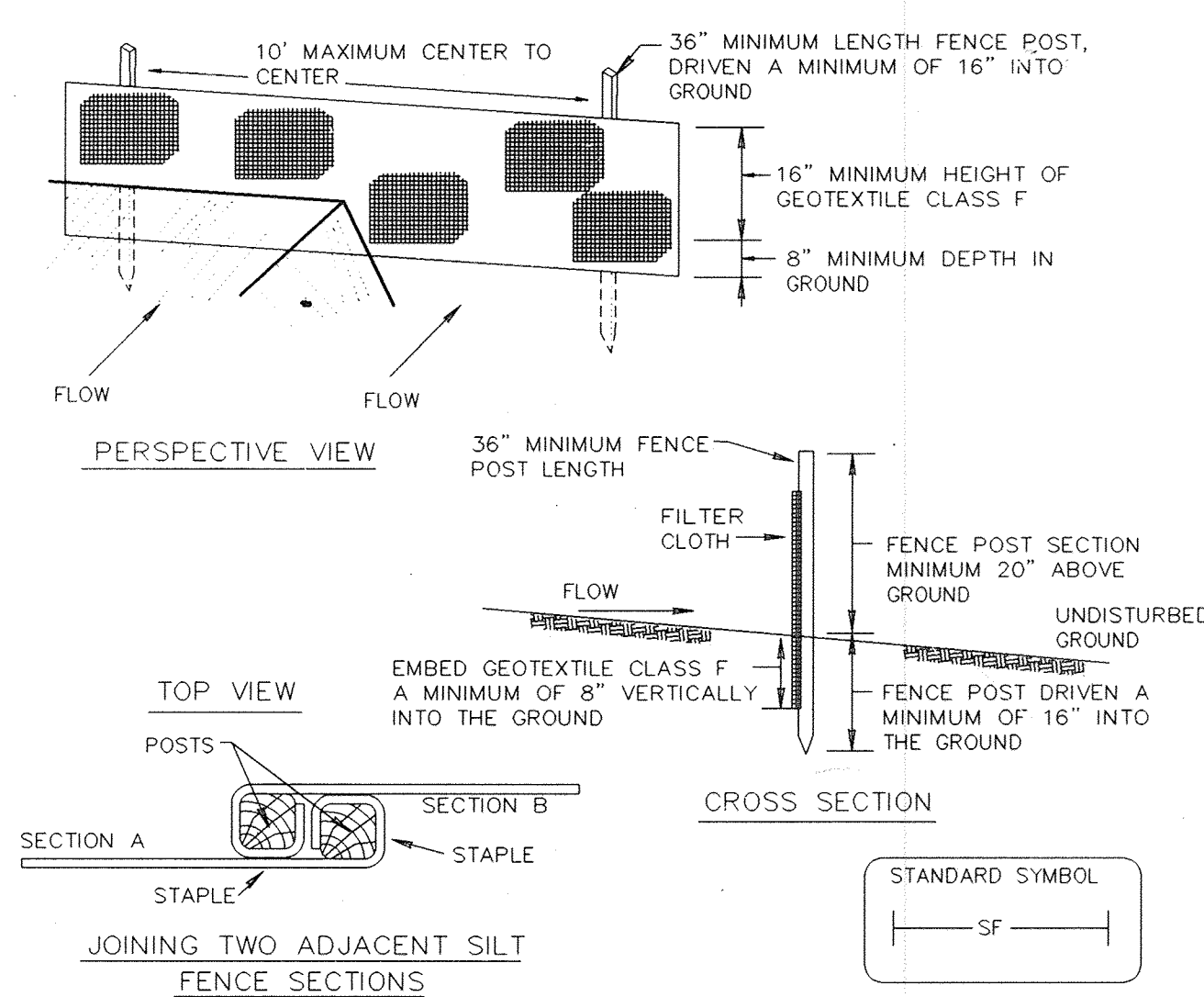
DETAIL 33 - SUPER SILT FENCE



- Fencing shall be 42\"/>

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-26-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE



- Fence posts shall be a minimum of 36\"/>

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

**Seedbed Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**Soil Amendments:** Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.).

**Seeding:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs. per 1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of seeding lovegrass (0.07 lbs. per 1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

**Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

**Seedbed Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs. per 1000 sq.ft.).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

**Seeding:** For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (11.4 lbs. per 1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 100 lbs. Kentucky 31 Tall Fescue and 2 lbs. per acre (0.05 lbs. per 1000 sq.ft.) of seeding lovegrass. During the period October 16 thru February 28, protect site by one of the following options:

- 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
- Use sod.
- Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

**Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

**Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseedings.

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES AND ALL SLOPES GREATER THAN 3:1; B) 7 DAYS AS TO OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:  
TOTAL AREA OF SITE: 3.93 ACRES  
AREA DISTURBED: 3.42 ACRES  
AREA TO BE ROOFED OR PAVED: 0.72 ACRES  
AREA TO BE VEGETATIVELY STABILIZED: 2.70 ACRES  
TOTAL CUT: 2000 CU.YDS.  
TOTAL FILL: 2000 CU.YDS.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 AC., APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

9-10-18 5 REMOVE EX. CONCRETE PAVEMENT, ADD NEW SHOP BUILDING; CHANGE USE: ADD SHEETS 3 & 4.  
DATE: 10-27-97  
REVISION: 10-27-97  
APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS BY THE HOWARD COUNTY HEALTH DEPARTMENT.  
J. Larekh 10-27-97  
HOWARD COUNTY HEALTH OFFICER, CW DATE

REVIEWED: NOT RELEVANT FOR ON SITE WELL & SEPTIC SYSTEMS BY THE HOWARD COUNTY HEALTH DEPARTMENT.  
J. Larekh 10/27/95  
HOWARD COUNTY HEALTH OFFICER (CW)

BY THE DEVELOPER:  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.  
J. Larekh 7 Sept 95  
DEVELOPER DATE

BY THE ENGINEER:  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
J. Larekh 9.14.95  
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.  
Patricia Engler 10/26/95  
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
John R. Robertson 10/26/95  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
Frank Smith 10/27/95  
DIRECTOR DATE

APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION  
John J. Jurek 10/26/95  
DATE

APPROVED: CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH  
John J. Jurek 10/27/95  
DATE

4-17-97 (A) ADDED PROFILE FOR 24\"/>

DATE: 10-27-95  
NO. REVISION

OWNER / DEVELOPER  
DYNA AJ, LLC  
700 SEAGULL BEACH ROAD  
PRINCE FREDERICK, MD 20678  
410-684-4312

PROJECT  
DYNA CORPORATION  
CONSTRUCTION SHOP BUILDING

AREA TAX MAP 48 ZONED M-2 PARCEL 186  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE  
(REVISED) NOTES AND DETAIL SHEET

RIEMER MUEGGE & ASSOCIATES, INC.  
Planners • Engineers • Surveyors  
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
410-997-8900 • FAX: 410-997-9282

9.14.95  
DATE

DESIGNED BY: C.J.R.

DRAWN BY: DAM

PROJECT NO.: HOCO108201  
SDP2.DWG

DATE: SEPTEMBER 14, 1995

SCALE: AS SHOWN

DRAWING NO.: 2 OF 4

J. Larekh  
JAYKANT D. PAREKH #19148

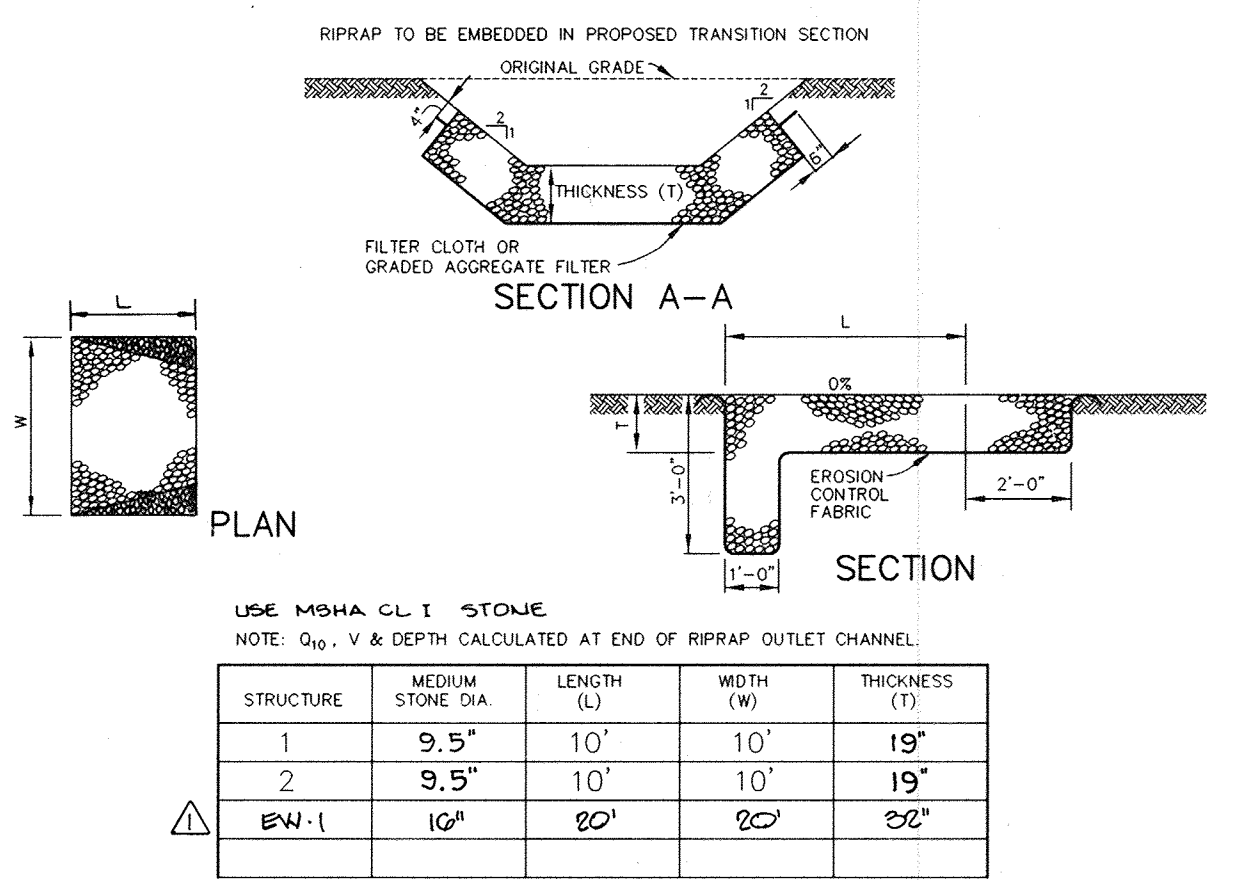
SUPER SILT FENCE

Design Criteria

Slope	Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

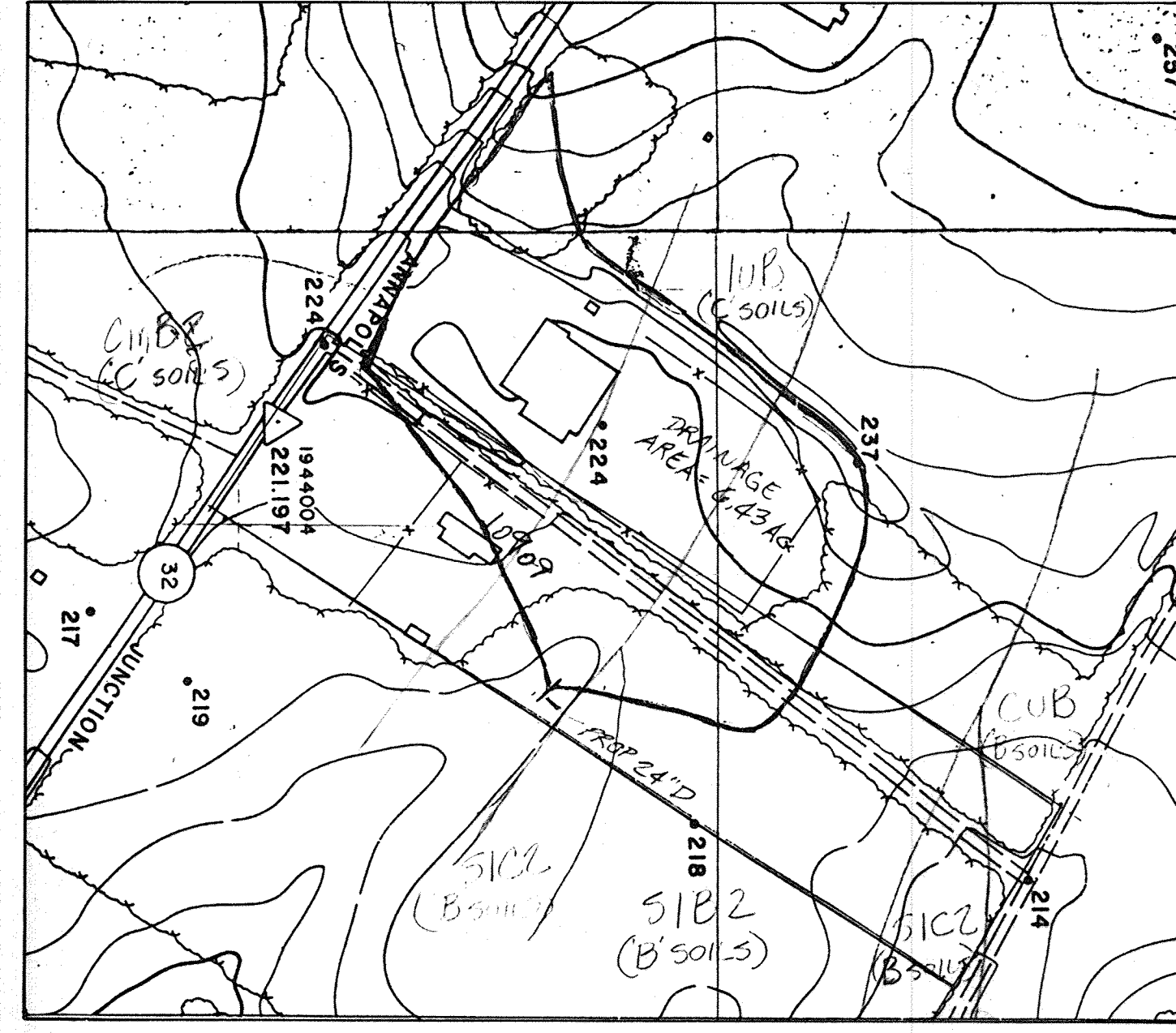
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-26-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

RIPRAP OUTLET PROTECTION DETAIL

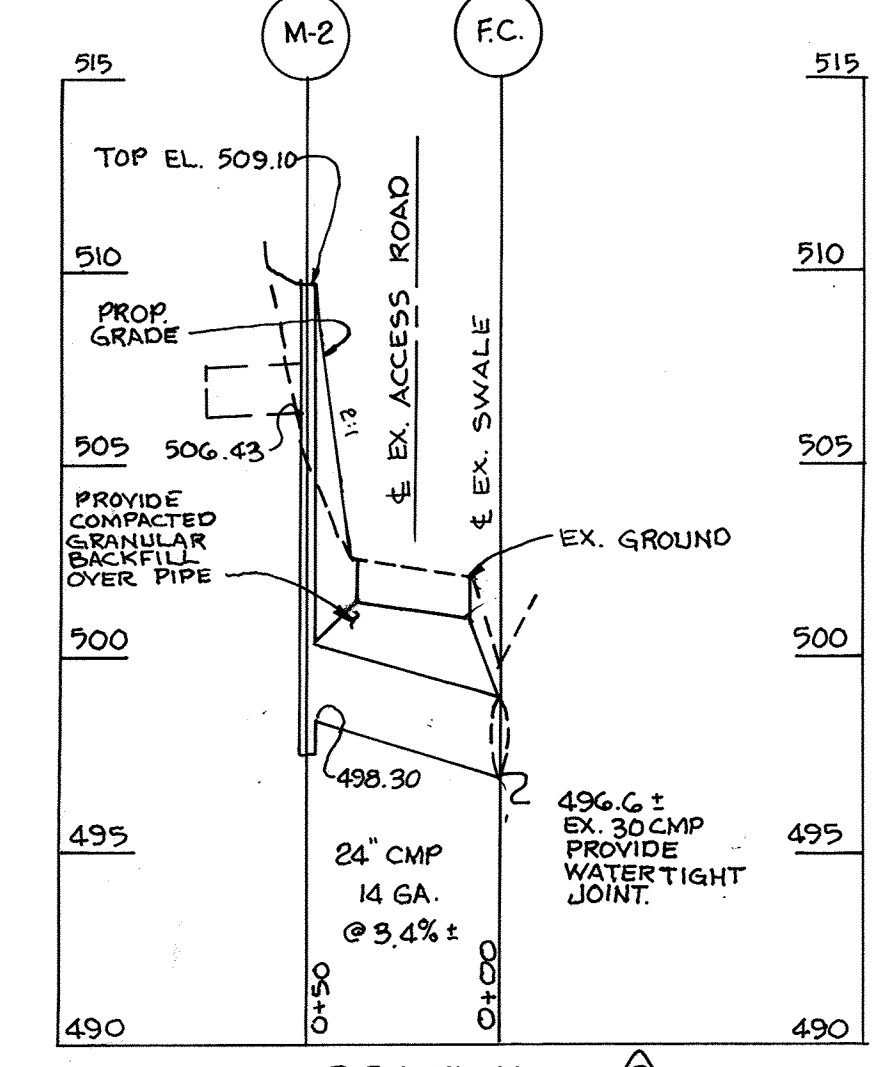


NO SCALE

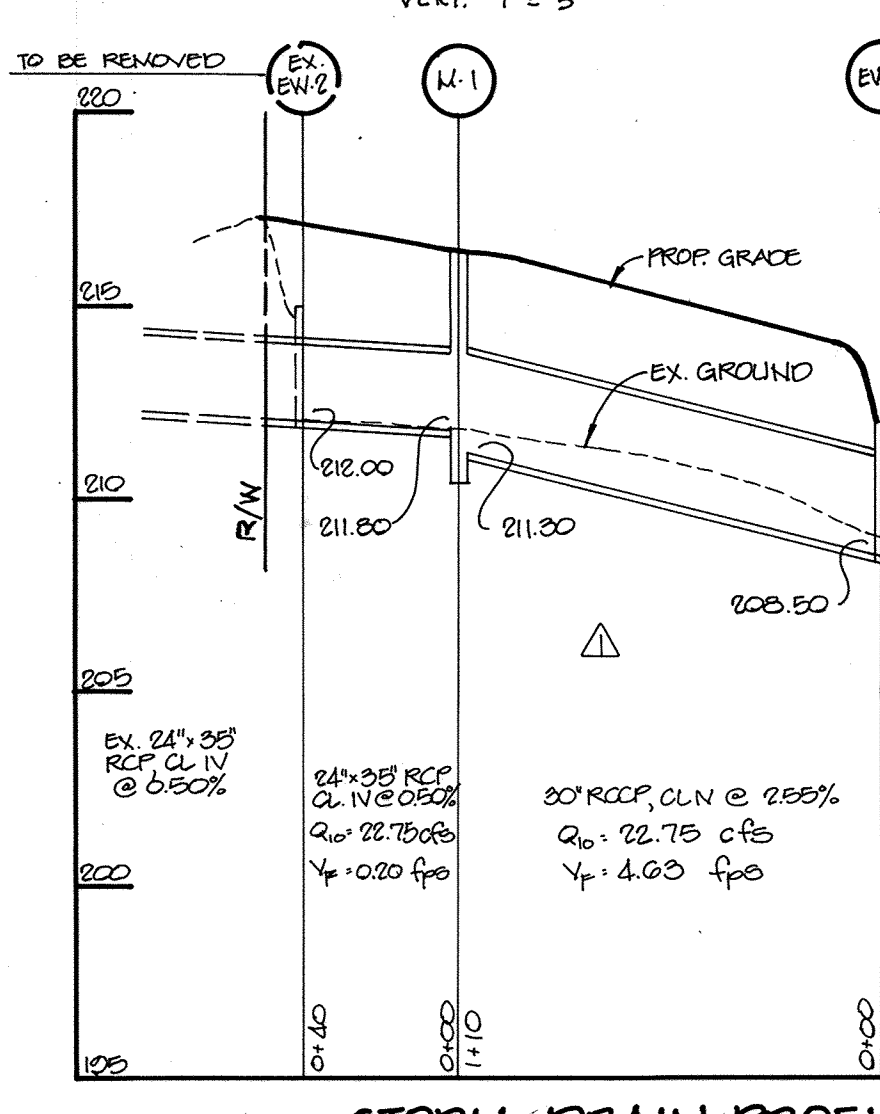
DRAINAGE AREA MAP



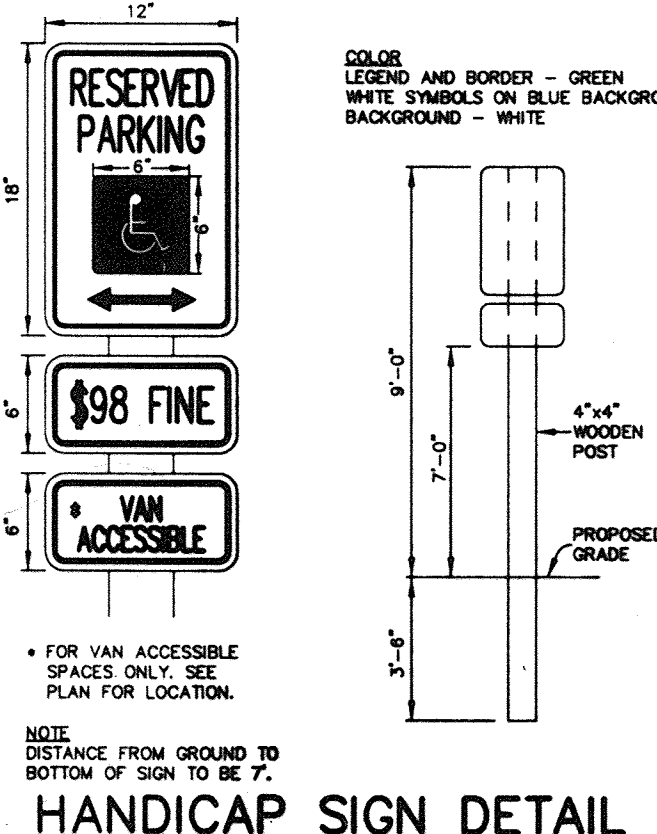
SCALE: 1" = 200'



SCALE: HOR. 1" = 90'  
VERT. 1" = 5'



SCALE: HOR. 1" = 50'  
VERT. 1" = 5'



HANDICAP SIGN DETAIL

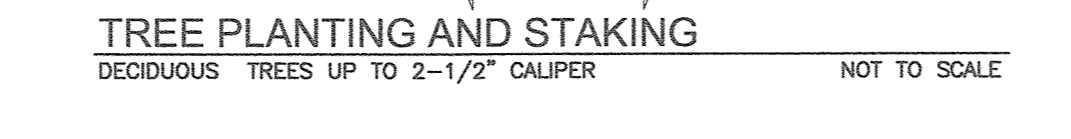
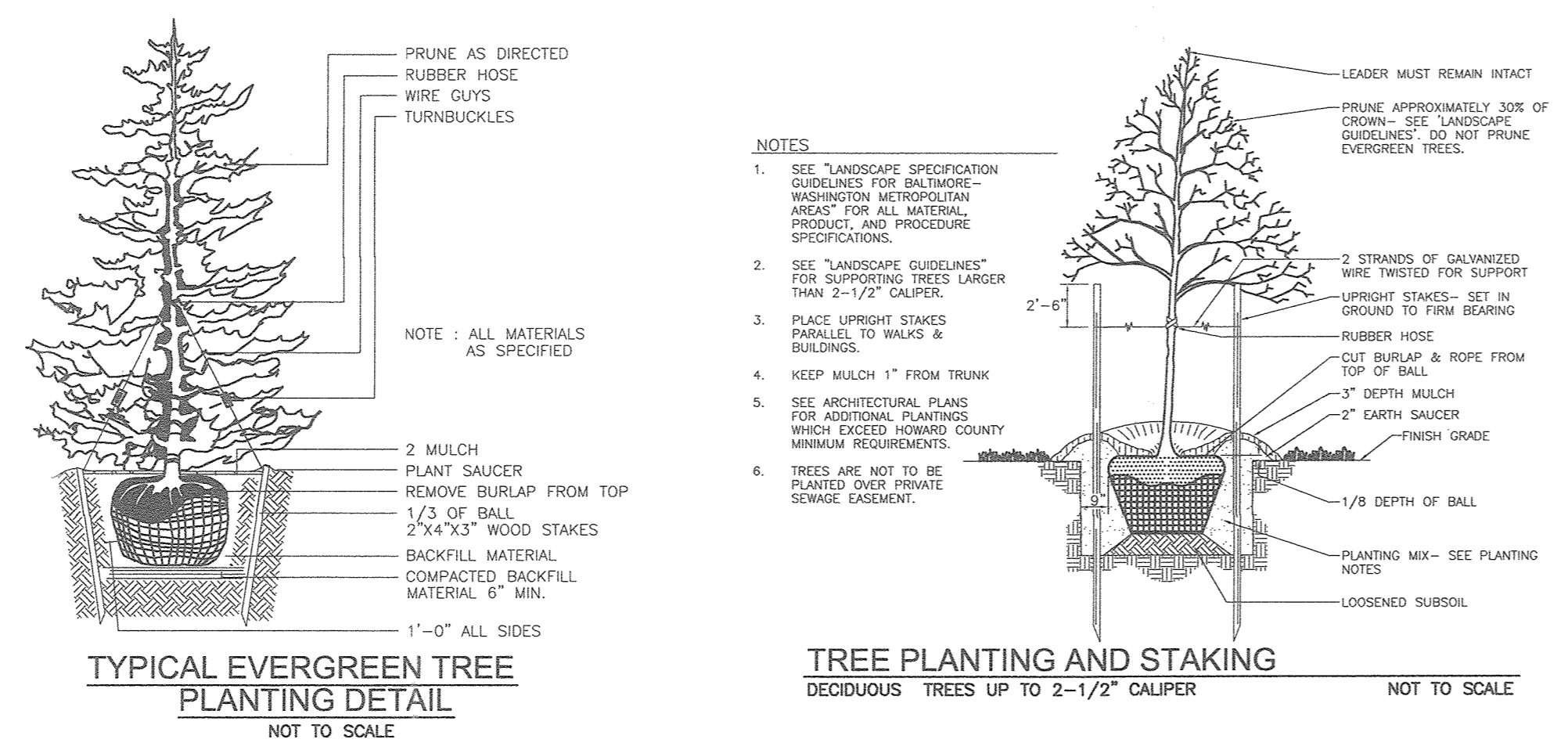
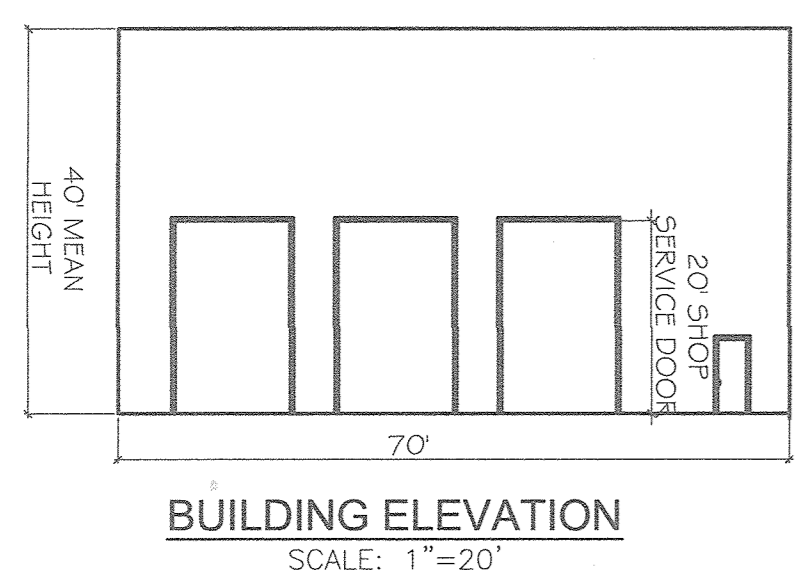
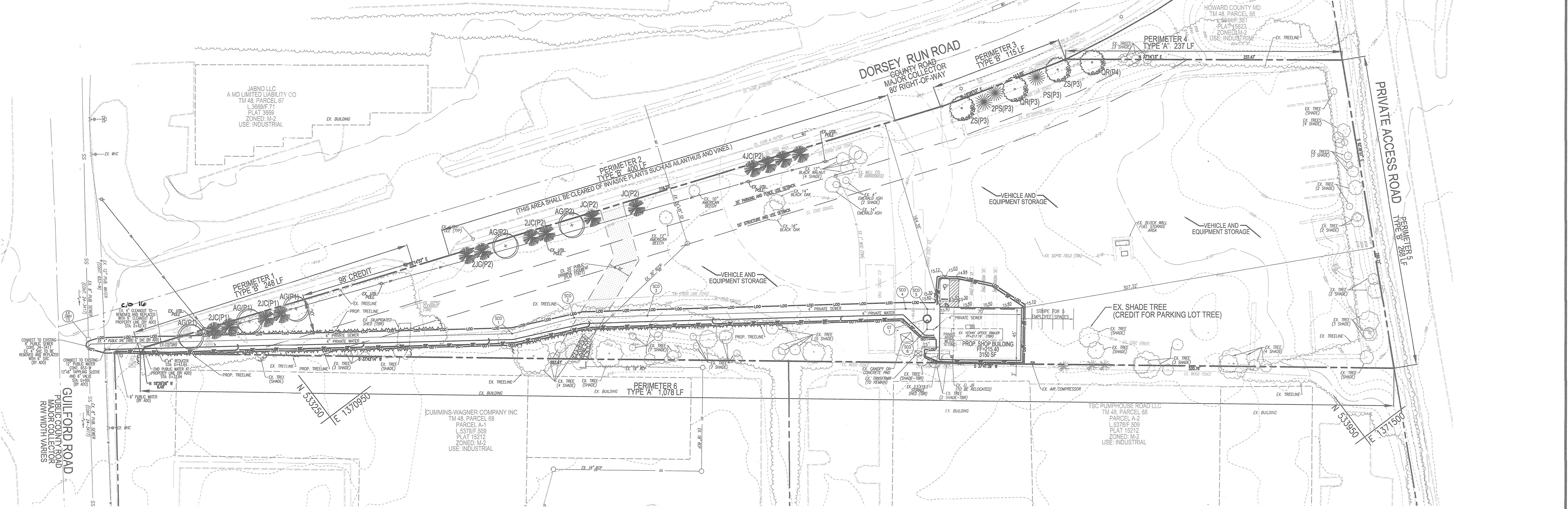
TABLE B.1: TEMPORARY SEEDING FOR SITE STABILIZATION NO SCALE

PLANT SPECIES	SEEDING RATE (lb/ac @ 100% germination)	SEEDING DEPTH (inches)	RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONE (3)			
			5b AND 6a	6b	7a, 7b	7c, 7d
ANNUAL PERENNIAL GRASSES	4.0	1.0	MARCH 15 TO MAY 31	MAY 1 TO OCT 31	NOV 15 TO APR 30	MAY 1 TO APR 30
PERENNIAL GRASSES	2.2	1.0	MARCH 15 TO APR 30	MAY 1 TO APR 30	MAY 1 TO APR 30	MAY 1 TO APR 30
CYPERUS (ARENA 500)	7.2	1.7	MARCH 15 TO APR 30	MAY 1 TO APR 30	MAY 1 TO APR 30	MAY 1 TO APR 30
WHEAT (PERENNIAL WHEAT)	12.0	2.8	MARCH 15 TO APR 30	MAY 1 TO APR 30	MAY 1 TO APR 30	MAY 1 TO APR 30
CERIAL PROROGA CEREAL	11.2	2.8	MARCH 15 TO APR 30	MAY 1 TO APR 30	MAY 1 TO APR 30	MAY 1 TO APR 30
WINTER SEASON GRASSES	3.0	0.7	JUN 1 TO JUL 31	MAY 1 TO JUL 31	MAY 1 TO JUL 31	MAY 1 TO JUL 31
WINTER SEASON GRASSES	2.0	0.5	JUN 1 TO JUL 31	MAY 1 TO JUL 31	MAY 1 TO JUL 31	MAY 1 TO JUL 31



**LEGEND:**

	EXISTING CONTOUR		EXISTING WATER LINE
	PROPOSED CONTOUR		EXISTING FENCE
	PROPERTY LINE		LIMIT OF DISTURBANCE
	RIGHT-OF-WAY LINE		SILT FENCE
	ADJACENT PROPERTY LINE		PROPOSED SHADE TREE
	EXISTING TREELINE		PROPOSED EVERGREEN TREE
	EXISTING CURB AND GUTTER		LANDSCAPE PERIMETER
	EXISTING UTILITY POLE		
	EXISTING MAILBOX		
	EXISTING SIGN		
	EXISTING SANITARY MANHOLE		
	EXISTING SANITARY LINE		
	EXISTING CLEANOUT		
	EXISTING FIRE HYDRANT		



- NOTES:**
- SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
  - SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
  - PLACE UPRIGHT STAKES PARALLEL TO TRUNKS & BUILDINGS.
  - KEEP MULCH 1" FROM TRUNK FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
  - SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS.
  - TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWER EASEMENT.

- LANDSCAPE GENERAL NOTES:**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. LANDSCAPE REQUIREMENT FOR THE ENTIRE SITE HAVE BEEN ADDRESSED BY THIS PLAN. (SEE "LANDSCAPE GUIDELINES" FOR MORE INFORMATION.)
  - FINANCIAL SURETY IN THE AMOUNT OF \$10,000.00 FOR THE REQUIRED LANDSCAPING APPROXIMATE VALUE RELIEVE PERMITS AS (2) SHADE TREES AND 24 DECIDUOUS TREES IS REQUIRED TO BE POSTED WITH THE GRADING PERMIT APPLICATION.
  - THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, DEVELOPMENT OR CONSTRUCTION OF THIS PROJECT MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN. WATER PETITION, OR BUILDING AND GRADING PERMITS.
  - THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
  - NO LANDSCAPING TO BE INSTALLED WITHIN ANY PUBLIC EASEMENT FOR WATER, SEWER, OR STORMDRAIN.
  - ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
  - NO PARKING IS PERMITTED ADJACENT TO DORSEY RUN ROAD NOW OR IN THE FUTURE UNLESS A LANDSCAPE BUFFER TYPE "E" IS PROVIDED.

- PLANTING NOTES:**
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
  - THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRS OR REPLACED.
  - SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
  - CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
  - FINAL LOCATION OF PLANT MATERIAL MAY VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
  - CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

**SCHEDULE 'A' PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO PERIMETER PROPERTIES AND ROADWAYS						TOTAL
	1	2	3	4	5	6	
PERIMETER/FRONTAGE DESIGNATION	B	B	B	A	B	A	
LINEAR FEET OF ROADWAY	248'	400'	115'	237'	268'	1,078'	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES 38'	YES 6'	NO	YES 3'	YES 18'	YES 36'	
DISCOUNT (IF NEEDED)	NO	NO	NO	NO	NO	NO	
CREDIT FOR WALL FENCE OR BERM (YES, NO, LINEAR FEET)	NO	NO	NO	NO	NO	NO	
DISCOUNT (IF NEEDED)	NO	NO	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED	150*	150*	150*	150*	150*	150*	42
SHADE TREES	140	140	140	140	140	140	24
EVERGREEN TREES	10	10	10	10	10	10	17
SHRUBS	0	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED	3	2*	3	1**	0***	0****	9
SHADE TREES	4	10	3	0	0	0	17
EVERGREEN TREES	0	0	0	0	0	0	0
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	0	0	0	0	0	0	0
EX. EVERGREEN TREE	0	0	0	0	18***	36***	63
DISCOUNT (IF NEEDED)	0	0	0	0	0	0	0

**SCHEDULE 'B' PARKING LOT INTERNAL LANDSCAPING**

CATEGORY	ADJACENT TO PERIMETER PROPERTIES AND ROADWAYS	TOTAL
NUMBER OF PARKING SPACES	6	6
NUMBER OF TREES REQUIRED (1/20 SPACES)	1	1
NUMBER OF TREES PROVIDED	1	1
SHADE TREES	0	0
OTHER TREES (2:1 SUBSTITUTION)	0	0
SHRUBS (10:1 SUBSTITUTION)	0	0
EX. SHADE TREE	1	1

**LANDSCAPE SCHEDULE**

KEY	QUAN.	BOTANICAL NAME	SIZE	CAT
OR	2	QUERCUS RUBRA NORTHERN RED OAK	2 1/2"-3" CAL.	B & B
ZS	2	ZELCOVA SERRATA 'VILLAGE GREEN' VILLAGE GREEN JAPANESE ZELCOVA	2 1/2"-3" CAL.	B & B
AG	5	AMUR MAPLE (BOE ZONE)	2 1/2"-3" CAL.	B & B
PS	3	PINUS STROBUS EASTERN WHITE PINE	6"-8" HT.	B & B
JC	14	JUNIPERUS CHINENSIS 'SPARTAN' SPARTAN JUNIPER (BOE ZONE)	6"-8" HT.	B & B

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER: *[Signature]* DATE: 2/2/19

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 8-15-19  
CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 8-22-19  
DIRECTOR: *[Signature]* DATE: 8-22-19

**DEVELOPER**  
RIVERS CONSTRUCTION GROUP, LTD.  
8594 OLD DORSEY RUN ROAD  
JESSUP, MD 20794  
C/O LUIS A RIVERA  
301-942-3439

**OWNER**  
DYNA AI, LLC  
A MD LIMITED LIABILITY CO  
700 SEAGULL BEACH RD  
PRINCE FREDERICK, MD 20678  
443-684-4312

**REVISED SITE DEVELOPMENT PLAN**  
**SHOP BUILDING LAYOUT AND GRADING PLAN;**  
**SITE LANDSCAPE PLAN, NOTES AND DETAILS**

**DYNA CORPORATION**  
**CONSTRUCTION SHOP BUILDING**

TAX MAP 48, GRID 14  
6TH ELECTION DISTRICT

ZONED: M-2  
L3838F: 208  
PLAT 11977

PARCEL 166  
HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL**  
**ENGINEERS - SURVEYORS - PLANNERS**

3300 N. RIDGE ROAD, SUITE 110  
ELICOTT CITY, MD 21143  
TEL: 410.461.7666  
FAX: 410.461.8961

**PROFESSIONAL CERTIFICATE**

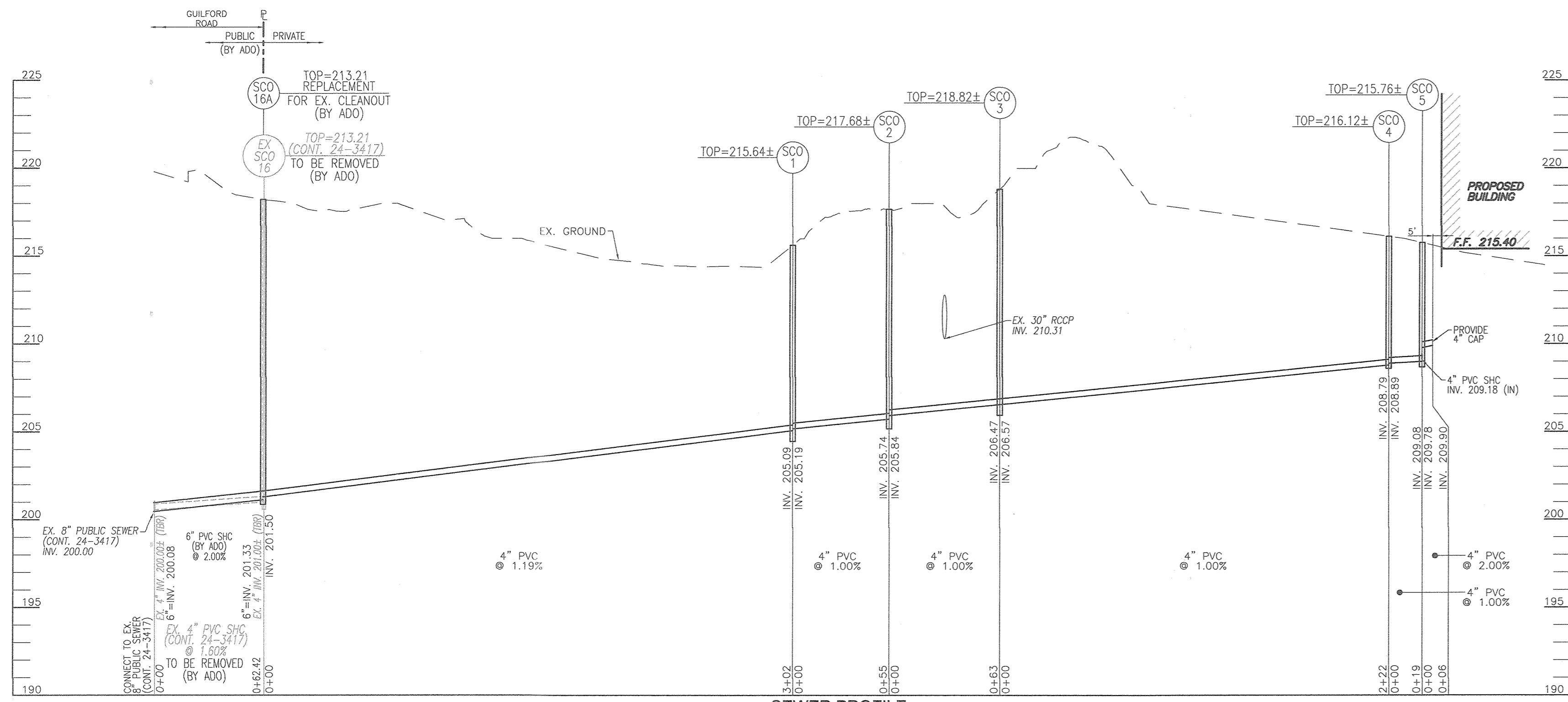
DESIGN BY: RHW/DZE  
DRAWN BY: DZE  
CHECKED BY: RHW  
DATE: FEB. 2019  
SCALE: AS SHOWN  
W.O. NO.: 40625

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2020.

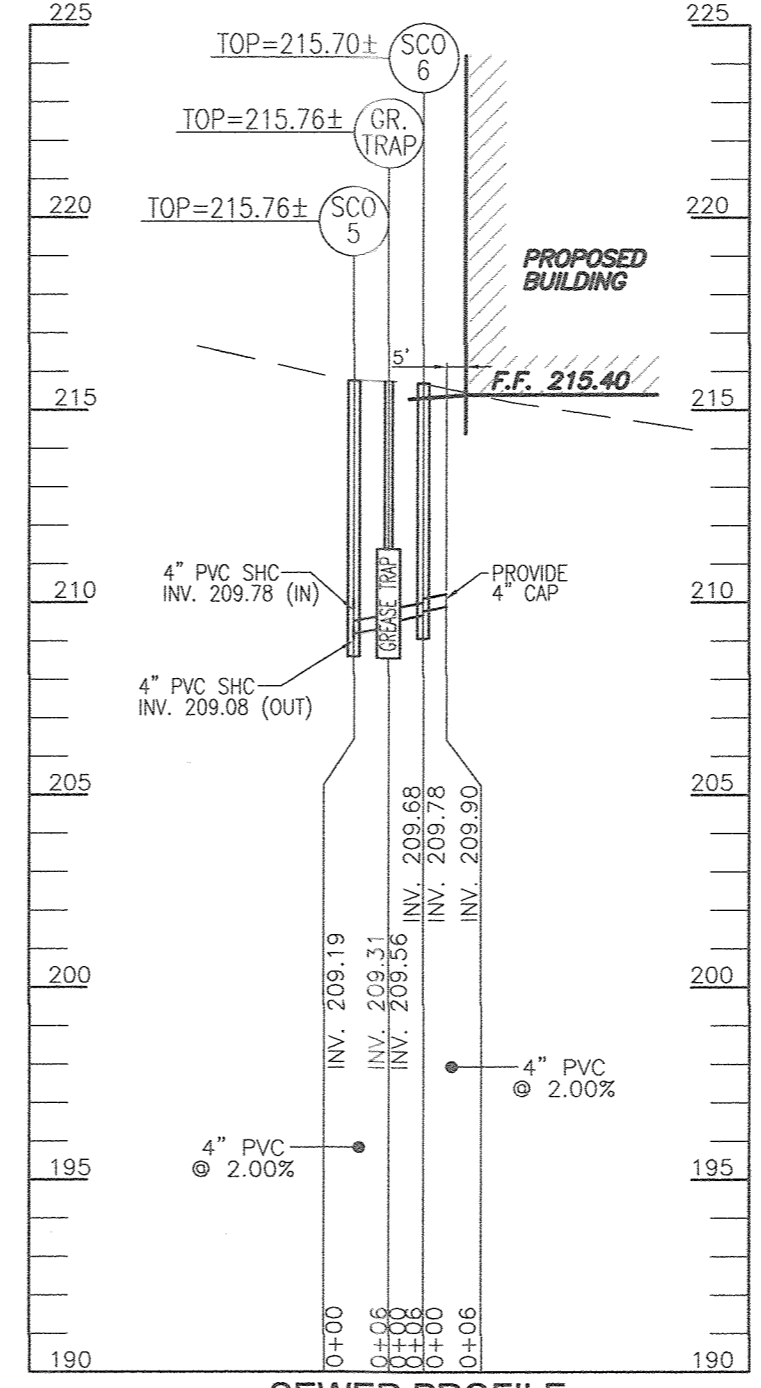
3 SHEET OF 4

SDP-96-017

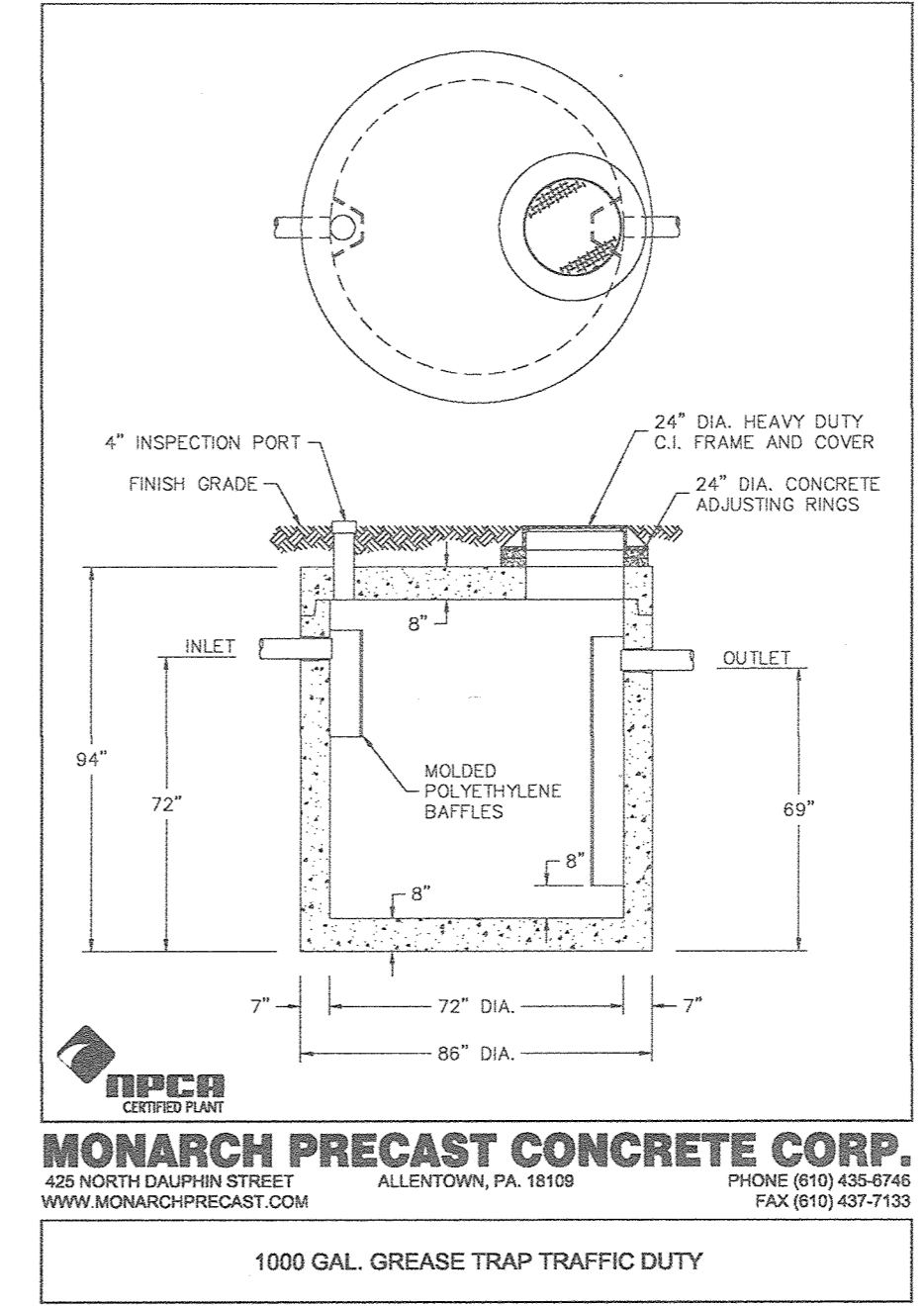




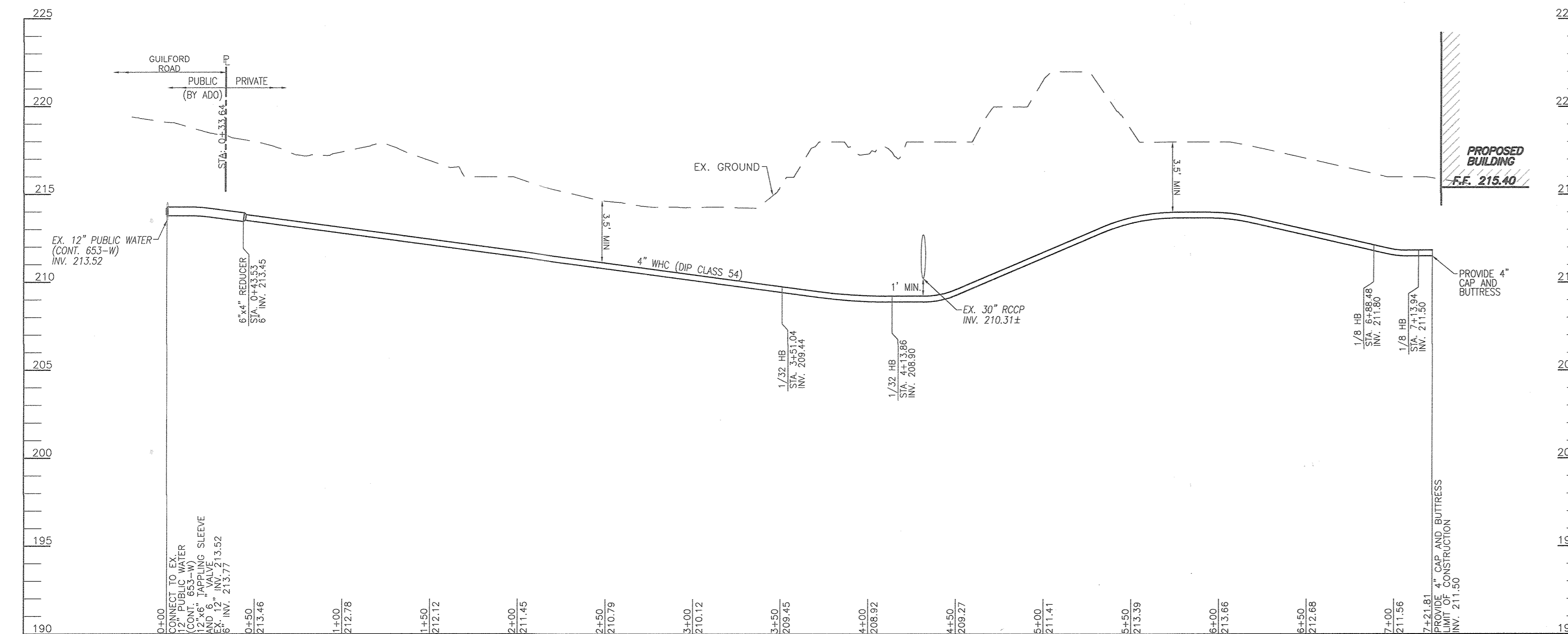
**SEWER PROFILE**  
SCALE : HORIZONTAL - 1"=50'  
VERTICAL - 1"=5'



**SEWER PROFILE**  
SCALE : HORIZONTAL - 1"=50'  
VERTICAL - 1"=5'



**MONARCH PRECAST CONCRETE CORP.**  
426 NORTH DALPHIN STREET ALLENTOWN, PA. 18109 PHONE (610) 455-6746  
WWW.MONARCHPRECAST.COM C/O LUIS A RIVERA PRINCE FREDERICK, MD. 20678 FAX (410) 457-7133  
**1000 GAL. GREASE TRAP TRAFFIC DUTY**



**WATER PROFILE**  
SCALE : HORIZONTAL - 1"=50'  
VERTICAL - 1"=5'

**STRUCTURE SCHEDULE (PRIVATE)**

STR #	TYPE	NORTHING	EASTING	TOP	THROAT	INV. IN	INV. OUT	DETAIL/COMMENTS
SCO-1	CLEANOUT	533418.13	1370987.42	215.64 +/-	N/A	205.19	205.09	S-2.22
SCO-2	CLEANOUT	533475.39	1371013.29	217.68 +/-	N/A	205.84	205.74	S-2.22
SCO-3	CLEANOUT	533520.13	1371045.28	218.82 +/-	N/A	206.57	206.47	S-2.22
SCO-4	CLEANOUT	533700.87	1371174.50	216.12 +/-	N/A	208.89	208.79	S-2.22
SCO-5	CLEANOUT	533715.70	1371185.95	215.76 +/-	N/A	209.78 / 209.19	209.08	S-2.22
SCO-6	CLEANOUT	533705.09	1371199.71	215.70 +/-	N/A	209.78	209.68	S-2.22
GT-1	GREASE TRAP	533710.57	1371192.59	215.76 +/-	N/A	209.59	209.31	DETAIL, SHEET 4

**PIPE SCHEDULE (PRIVATE)**

SIZE	TYPE/CLASS	TOTAL LENGTH*
4"	DIP (PRIVATE WHC)	678
4"	DIP (PRIVATE WHC)	10
4"	PVC (PRIVATE SHC)	667

\* The total length of pipe is linear feet only.

**STRUCTURE SCHEDULE (PUBLIC - BY ADO)**

STR #	TYPE	NORTHING	EASTING	TOP	THROAT	INV. IN	INV. OUT	DETAIL/COMMENTS
SCO-16A	CLEANOUT	533172.43	1370811.76	213.21 +/-	N/A	201.50	203.33	S-2.22

**PIPE SCHEDULE (PUBLIC - BY ADO)**

SIZE	TYPE/CLASS	TOTAL LENGTH*
6"	DIP (WATER - PUBLIC BY ADO)	34
6"	PVC (PUBLIC SHC - BY ADO)	62

\* The total length of pipe is linear feet only.

**CONSTRUCTION NOTES FOR ADO**

- PART I - GENERAL CONSTRUCTION NOTES**
- FOR DETAILS NOT SHOWN ON THE DRAWINGS, AND FOR MATERIALS AND CONSTRUCTION METHODS USE, HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
  - THE A.D.O. CONSTRUCTION WORK MUST BE PERFORMED UNDER THE CONTINUOUS INSPECTION OF THE CONSTRUCTION INSPECTIONS DIVISION OF THE DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTIONS DIVISION (410) 313-1800 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION FOR THIS A.D.O.
  - THE CONTRACTOR SHALL NOTIFY ALL UTILITY AND AGENCIES AND MISS UTILITY AT TWO (2) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.
  - WORK PERFORMED WITHIN MARYLAND STATE HIGHWAY ADMINISTRATION (MSHA) RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE MSHA PERMIT ISSUED FOR THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE MARYLAND STATE HIGHWAY ADMINISTRATION, 410-531-5533, AT LEAST FIVE (5) WORKING DAYS BEFORE EXCAVATING WITHIN THE MARYLAND STATE HIGHWAY RIGHT-OF-WAY FOR LAYING WATER OR SEWER MAINS OR SERVICE CONNECTIONS.
  - EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PINS HAVE NOT BEEN Laid SHALL BE LOCATED BY THE CONTRACTOR IN ADVANCE OF CONSTRUCTION OPERATIONS AT HIS OWN EXPENSE.
  - CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES. CLEAR ALL POLES BY 5'-0" MINIMUM OR TUNNEL AS REQUIRED UNLESS OTHERWISE NOTED. THE OWNER HAS CONTACTED THE UTILITY COMPANIES AND HAS MADE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON DRAWINGS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
  - EXCAVATIONS MUST BE SUPPORTED FOR THE PROTECTION OF WORKERS. THE CONSTRUCTION WORK AREA AND ADJACENT PROPERTY. REFER TO TEMPORARY EXCAVATION SUPPORT SYSTEM UNDER SECTION 1000.03.03 OF THE STANDARD SPECIFICATIONS.
  - EXCAVATIONS MUST BE KEPT WELL DRAINED AT ALL TIMES. DEWATERING, DRAINAGE AND PUMPING IS REQUIRED DURING CONSTRUCTION. REFER TO DEWATERING, DRAINAGE AND PUMPING UNDER SECTION 1000.03.03 OF THE STANDARD SPECIFICATIONS. PUMPS MUST BE THE PROPER TYPE AND CAPACITY TO MAINTAIN A DRY WORK AREA.
  - THE USE OF STEEL PLATES TO PROTECT THE TRENCH AND ROADWAY SHALL BE AS SPECIFIED UNDER SECTION 1000.03.05, SECTION 104 AND STANDARD DETAIL G-4.02 OF THE STANDARD SPECIFICATIONS.
  - TEMPORARY AND PERMANENT REPAIR OF ROADWAY OPENINGS SHALL BE AS SPECIFIED UNDER SECTION 1000.03.08 AND STANDARD DETAIL C-4.01 OF THE STANDARD SPECIFICATIONS UNLESS OTHERWISE SPECIFIED BY PERMIT FROM THE AUTHORITY HAVING JURISDICTION. TEMPORARY PAVING SHALL CONSIST OF NOT LESS THAN 12 (TWELVE) INCHES OF CRUSHED STONE AND 2 (TWO) INCHES OF BITUMINOUS COLD PATCH MATERIAL.
- PART II - WATER CONSTRUCTION NOTES**
- TOPS OF ALL WATER MAINS SHALL HAVE A MINIMUM OF 4'-0" OF COVER UNLESS OTHERWISE NOTED.
  - VALVES ADJACENT TO TEES SHALL BE STRAPPED TO TEES.
  - FIRE HYDRANTS SHALL BE SET TO THE BURY LINE ELEVATIONS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAILS. THE SOIL AROUND THE FIRE HYDRANT SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 1000 AND SECTION 1005 OF THE STANDARD SPECIFICATIONS.
  - ALL FITTINGS SHALL BE BUTTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH STANDARD DETAILS UNLESS OTHERWISE PROVIDED FOR ON THE DRAWINGS.
  - THE CONTRACTOR SHALL NOTIFY THE DPW BUREAU OF UTILITIES (410-313-4900) AT LEAST 48 HOURS IN ADVANCE OF SCHEDULE SHUTDOWNS OF THE EXISTING WATER MAIN. SHUT DOWNS OF THE EXISTING WATER MAIN. SHUT DOWNS OF THE EXISTING WATER MAIN FOR NEW CONNECTIONS ARE REMOVAL OF EXISTING SERVICE CONNECTIONS SHALL BE AS SPECIFIED UNDER SECTION 1002.06 - CONNECTIONS OF THE STANDARD SPECIFICATIONS.
  - THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING WATER SYSTEM.
  - THE 6-INCH WATER SERVICE SHALL BE D.I.P. AND ALL JOINTS SHALL BE RESTRAINED BETWEEN WATER MAIN AND THE PROPERTY LINE.
  - WATER SERVICE CONNECTIONS SHALL BE AS SPECIFIED UNDER SECTION 1004 - WATER HOUSE SERVICE AND APPURTENANCES OF THE STANDARD SPECIFICATIONS.
  - THE NEW WATER METER ASSEMBLY SHALL BE THE INSIDE COMBINED FIRE/DOMESTIC PER HOWARD COUNTY DETAIL W-3.44. INSTALLATION OF THE WATER METER IS NOT PART OF THE A.D.O. CONSTRUCTION WORK.
- PART III - SEWER CONSTRUCTION NOTES**
- SEWER HOUSE CONNECTIONS SHALL BE AS SPECIFIED UNDER SECTION 1009.03 OF THE STANDARD SPECIFICATIONS AND THE STANDARD DETAILS.
  - SHC CONNECTIONS TO EXISTING MANHOLES: IF THE EXISTING MANHOLE HAS A STUB CONNECTION THE CONTRACTOR SHALL MATCH THE EXISTING PIPE MATERIAL OR REPLACE THE STUB IF THE PIPE MATERIAL IS NOT ONE OF THE APPROVED PIPE MATERIALS. IF THE EXISTING MANHOLE DOES NOT HAVE AN OPENING OR A KNOCKOUT FOR A FUTURE CONNECTION, THE MANHOLE SHALL BE CORED, THE INVERT CHANNEL FORMED AND A FIELD GASKET CONNECTOR INSTALLED TO SECURE THE NEW SEWER PIPE TO THE EXISTING MANHOLE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 6-15-19

CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 8-22-19

DIRECTOR  
 DATE: 8-22-19

**DEVELOPER**  
RIVERS CONSTRUCTION GROUP, LTD  
8594 OLD DORSEY RUN ROAD  
JESSUP, MD 20794  
C/O LUIS A RIVERA  
301-942-3439

**OWNER**  
DYNA AJ, LLC  
A MD LIMITED LIABILITY CO  
700 SEAGULL BEACH RD  
PRINCE FREDERICK, MD. 20678  
443-684-4312

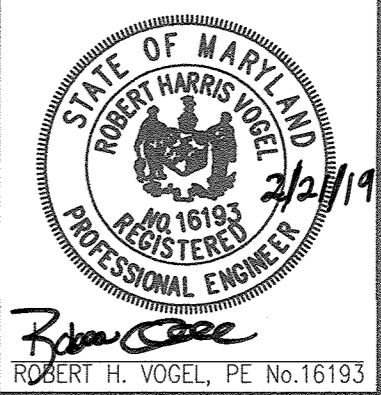
NO.	REVISION	DATE
5	REMOVE EX. CONCRETE PLANT, ADD NEW SHOP BUILDING; CHANGE USE; ADD SHEETS 3 & 4.	09/10/18

**REVISED SITE DEVELOPMENT PLAN**  
**WHC AND SHC PROFILES**

**DYNA CORPORATION**  
**CONSTRUCTION SHOP BUILDING**

TAX MAP 48 GRID 14 ZONED: M-2 PARCEL 186  
6TH ELECTION DISTRICT PLAT 11977 HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
3300 N. RIDGE ROAD, SUITE 110 TEL: 410-461-7666  
ELLICOTT CITY, MD 21043 FAX: 410-461-8961



**PROFESSIONAL CERTIFICATE**

DESIGN BY: RHW/DZE  
 DRAWN BY: DZE  
 CHECKED BY: RHW  
 DATE: FEB. 2019  
 SCALE: AS SHOWN  
 W.O. NO.: 40629

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 10-27-2020.

4 SHEET OF 4