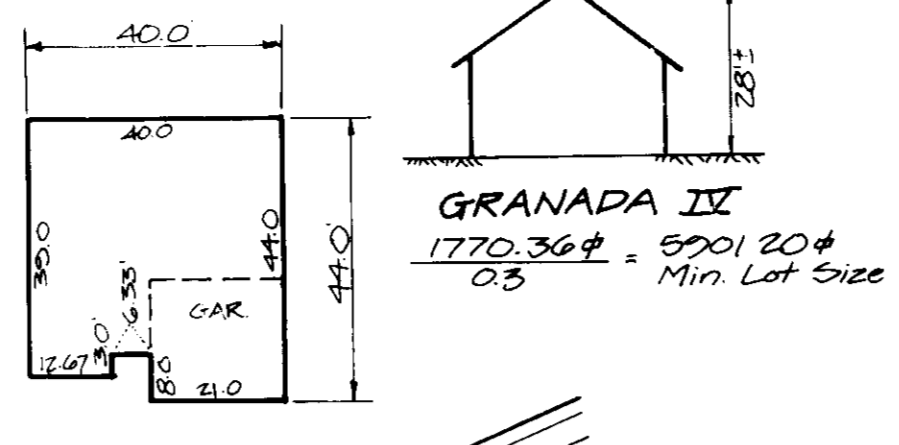
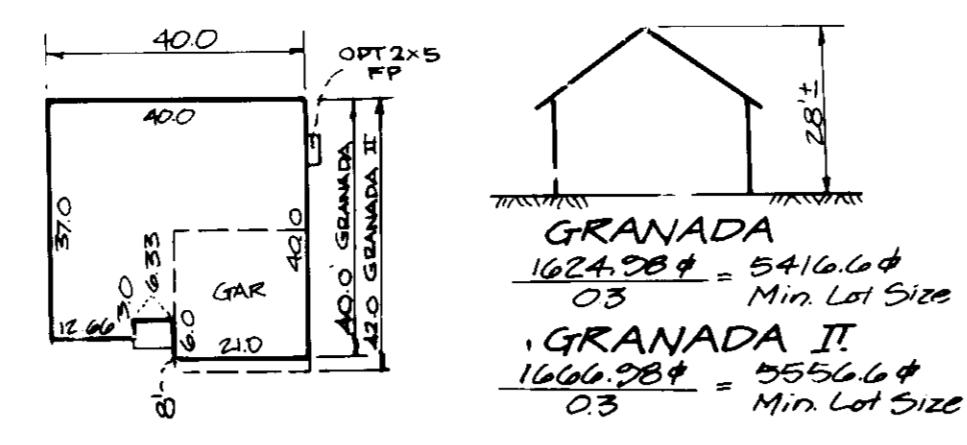
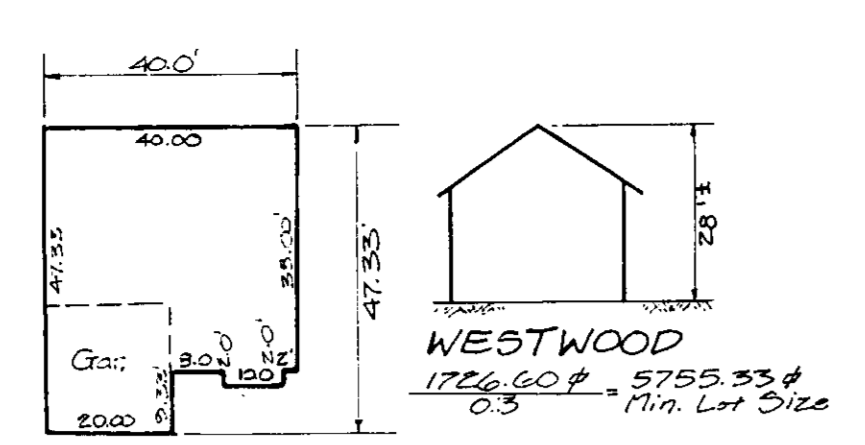
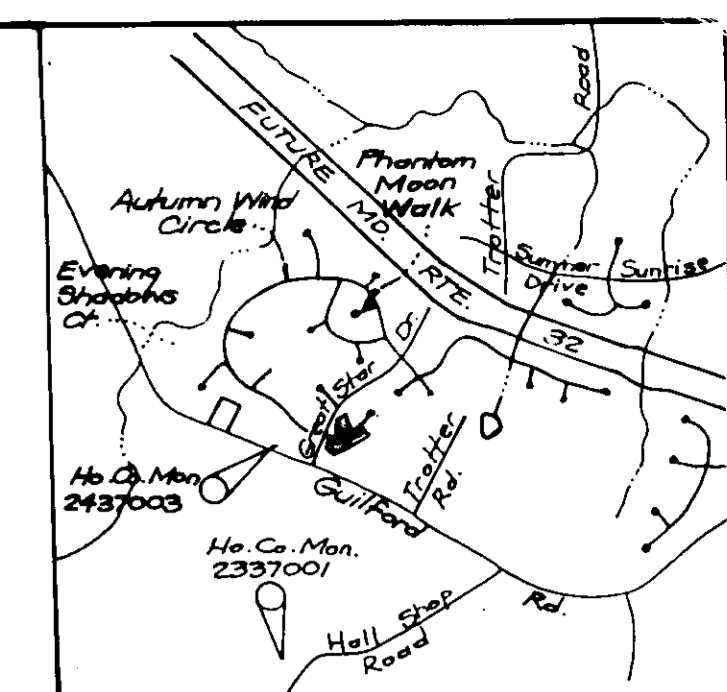


ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
126	6300 Victorious Song Lane
127	6304
128	6308
129	6312
130	6316
133	6311
140	6307



LEGEND

Contour Interval 2 FT.
 Existing Contour ---
 Proposed Contour ---
 Spot Elevation ---
 Direction of Drainage ---
 Minimum Collar Elevation MCE

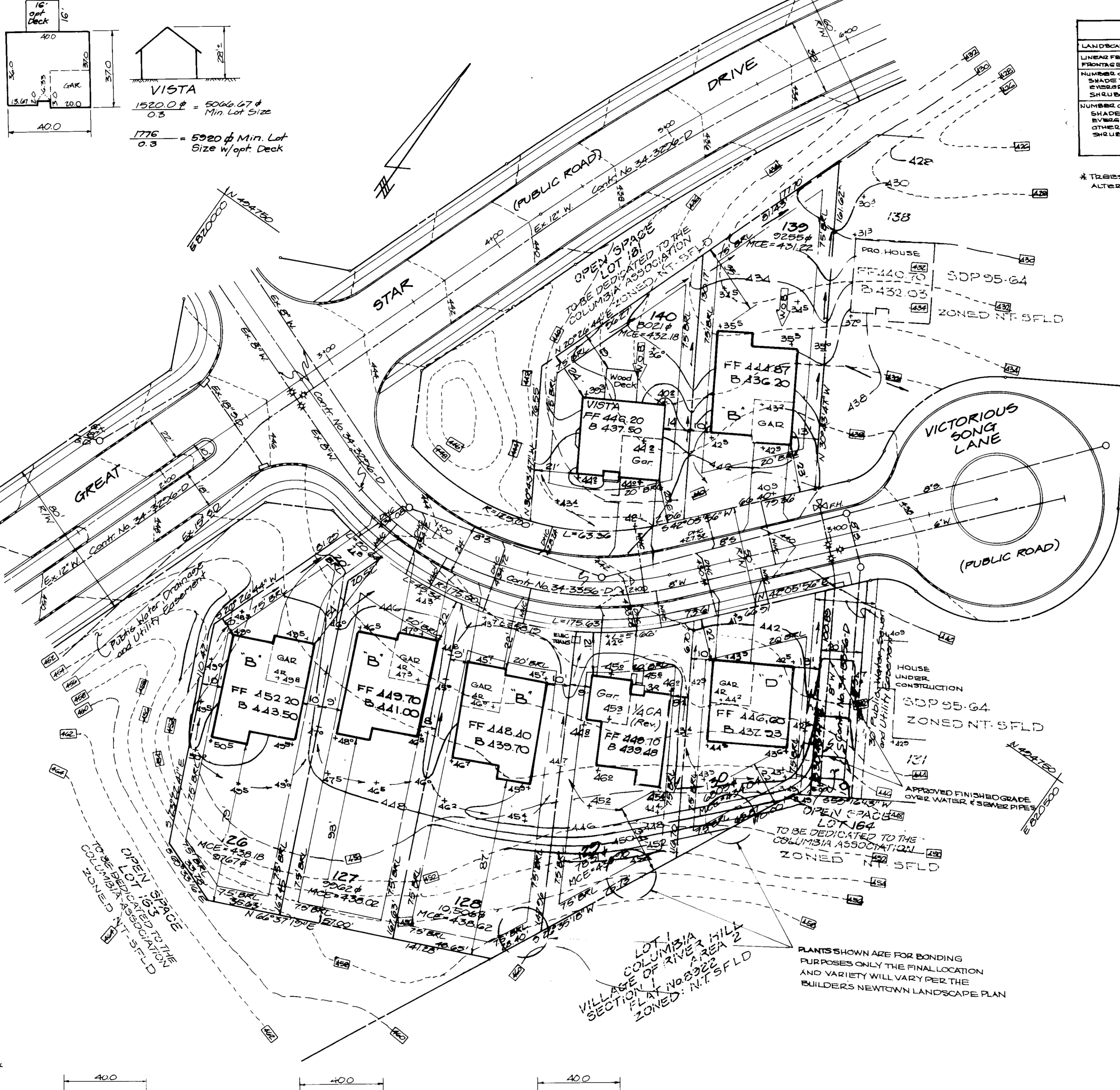
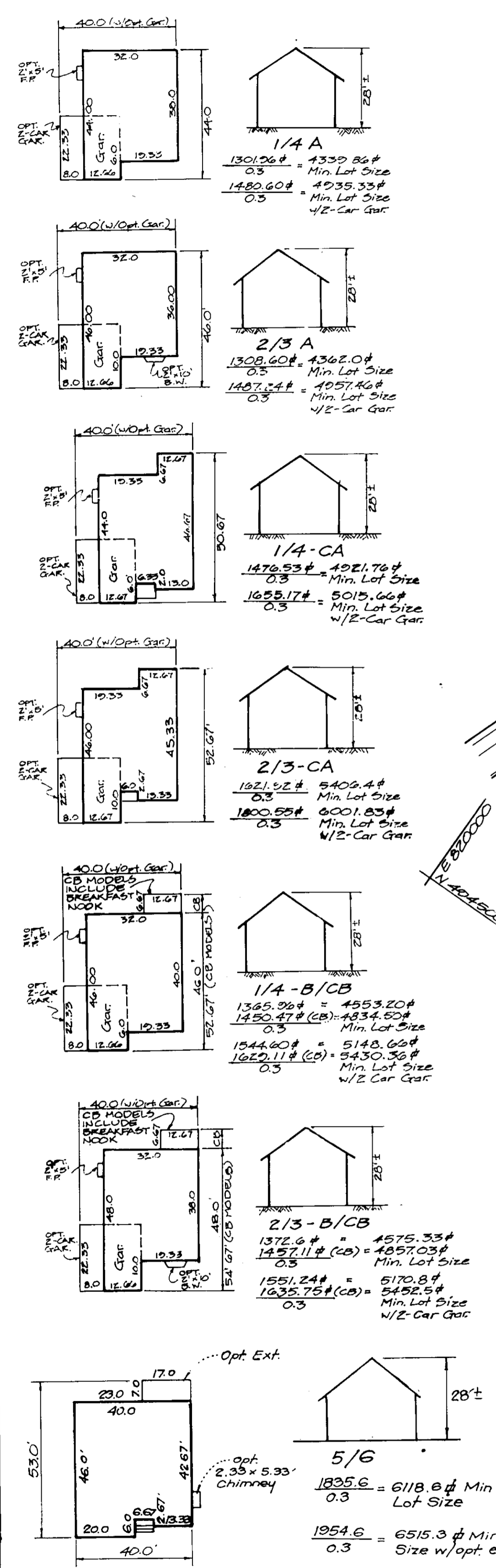


SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER
LANDSCAPE TYPE		A
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER		180'
NUMBER OF PLANT SPECIES		3
SHADE TREES		1
EVERGREEN TREES		1
SHRUBS		1
NUMBER OF PLANTS PROVIDED		3*
SHADE TREES		1
EVERGREEN TREES		1
OTHER TREES (2" DBH)		1
SHRUBS (10" DBH)		1

HOWARD COUNTY MONUMENTS

N 2337001 - Elev 436.095, 34 Reinforcing Rod, 0.5' Below Surface
 N 491612.385 - E 819527.789
 N 2437003 - Elev 477.122, Concrete Man, 0.25' Below Surface
 N 494285.231 - E 820385.343



- GENERAL NOTES:**
- Subject property is zoned: NT-SFLD per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 1.427 Ac. The total area of the project is: 31.253 Ac.
 - The total number of lots included in this submission is: 7. The total number of buildable lots in this project is: 133.
 - Improvement to property: Single-Family Detached.
 - The maximum lot coverage permitted is: 30%.
 - Department of Planning and Zoning reference file numbers are: 0-21-03, P-24-01, F-24-108, 34-3356-D.
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract # 34-3356-D, approved Road Construction plans F-24-108, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans F-24-108 prepared by Kimer, Huesner & Assoc., Inc. The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2337001 & 2437003.
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design manual Volume IV details: R-6.03 & R-6.05.
 - In accordance with FDP Phase 200 Part II, bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks.
 - Stormwater Management will be detention facility at road crossing for quantity control and shallow marshes for quality control per F-24-108.

- SPECIAL NOTES:**
- This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-24-108 and/or approved Water and Sewer Plans Contract # 34-3356-D.
 - This plan has been prepared in accordance with the provisions of Section 16.24 of the Howard County Code and the Landscape Manual. Financial surety for the required 3 trees, in the amount of \$300 will be part of the builder's grading permit application.

SHEET INDEX

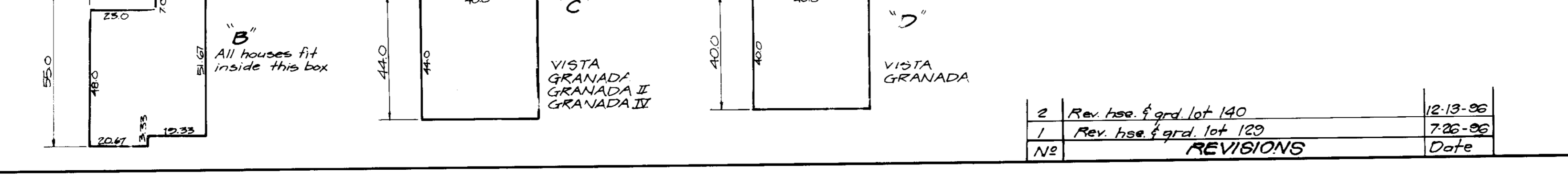
DESCRIPTION	SHEET NO.
SITE DEVELOPMENT PLAN	2, 3
SEEDING & EROSION CONTROL PLAN	2, 3

OWNER/DEVELOPER
 HOWARD RESEARCH AND DEVELOPMENT CORP.
 10275 Little Patuxent Parkway
 Columbia, Maryland 21044

SUBDIVISION NAME	COLUMBIA VILLAGE OF RIVER HILL	SECTION/AREA	2/4	LOTS/PARCELS	126-130, 133, 140
PLAT NO.	114-71	BLOCK NO.	13	ZONE	NT-SFLD
ELECTION DIST.	5TH	CENSUS TRACT	6055	WATER CODE	I-11
SEWER CODE	6650000				



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Date: 9/16/95
 Chief, Division and Land Development and Research
 Date: 9/21/95
 Director



REVISIONS

NO.	DESCRIPTION	DATE
2	Rev. hse. & grad. lot 140	12-13-95
1	Rev. hse. & grad. lot 129	7-26-95
NB		

CLARK • FINEROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH.

SITE DEVELOPMENT PLAN
 LOTS 126 thru 130, 133, 140
COLUMBIA VILLAGE OF RIVER HILL
 SECTION 2 AREA 4
 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: ALLAN HOMES, INC.
 10260 Old Columbia Rd
 Columbia, MD 21046

SCALE: 1" = 30'
 DRAWING: 1 OF 2
 JOB NO.: 24-227
 FILE NO.: 24-227X

DATE: 9-14-95

SEDIMENT AND EROSION CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1
 - 14 days for all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above, in accordance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL FOR permanent seedings (Sec. 51), sod (Sec. 54), temporary seedings (Sec. 52) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:**

Total Area of Site: 1.427 A
 Area Disturbed: 1.345 A
 Area to be roofed or paved: 0.354 A
 Area to be vegetatively stabilized: 0.991 A
 Total Cut: _____
 Total Fill: _____
 Offsite Waste/Borrow Area Location: _____

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.

10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

11. The total amount of silt fence = **650 L.F.**

CONSTRUCTION SEQUENCE:

NO.	NO. OF DAYS
1. Obtain grading permit.	N/A
2. Install free protection fence.	N/A
3. Install sediment and erosion control devices and stabilize.	14
4. Excavate for foundations, rough grade and stabilize.	20
5. Construct structures, sidewalks and driveways.	60
6. Final grade and stabilize in accordance with State and Specs.	14
7. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.)
- 2) Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.5 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

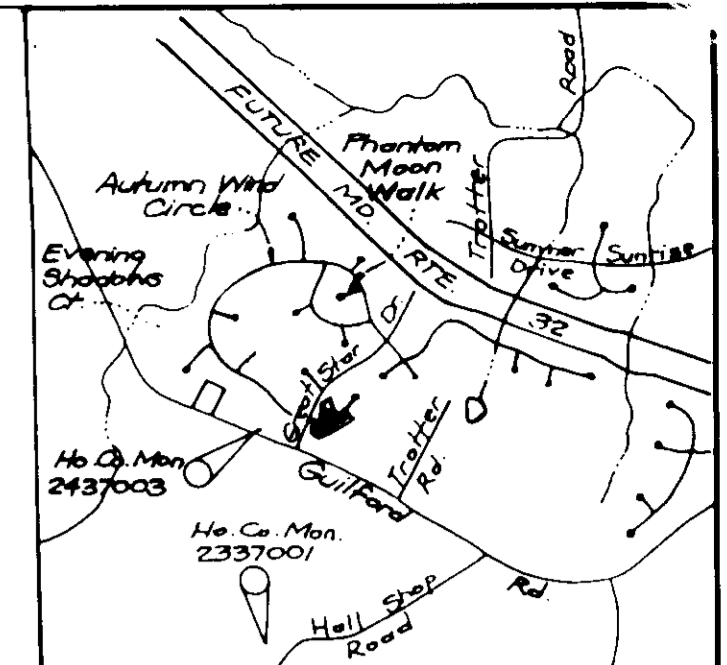
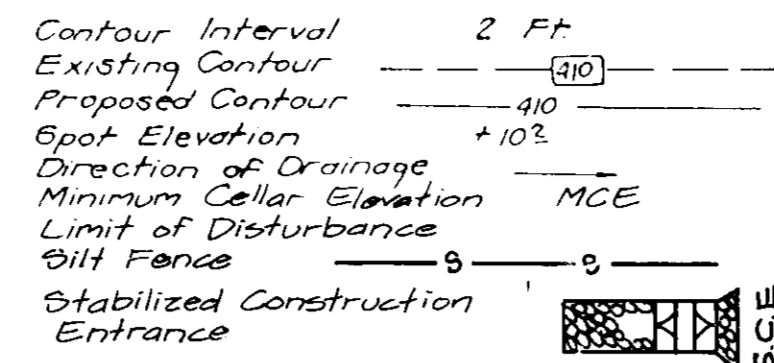
SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.)

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

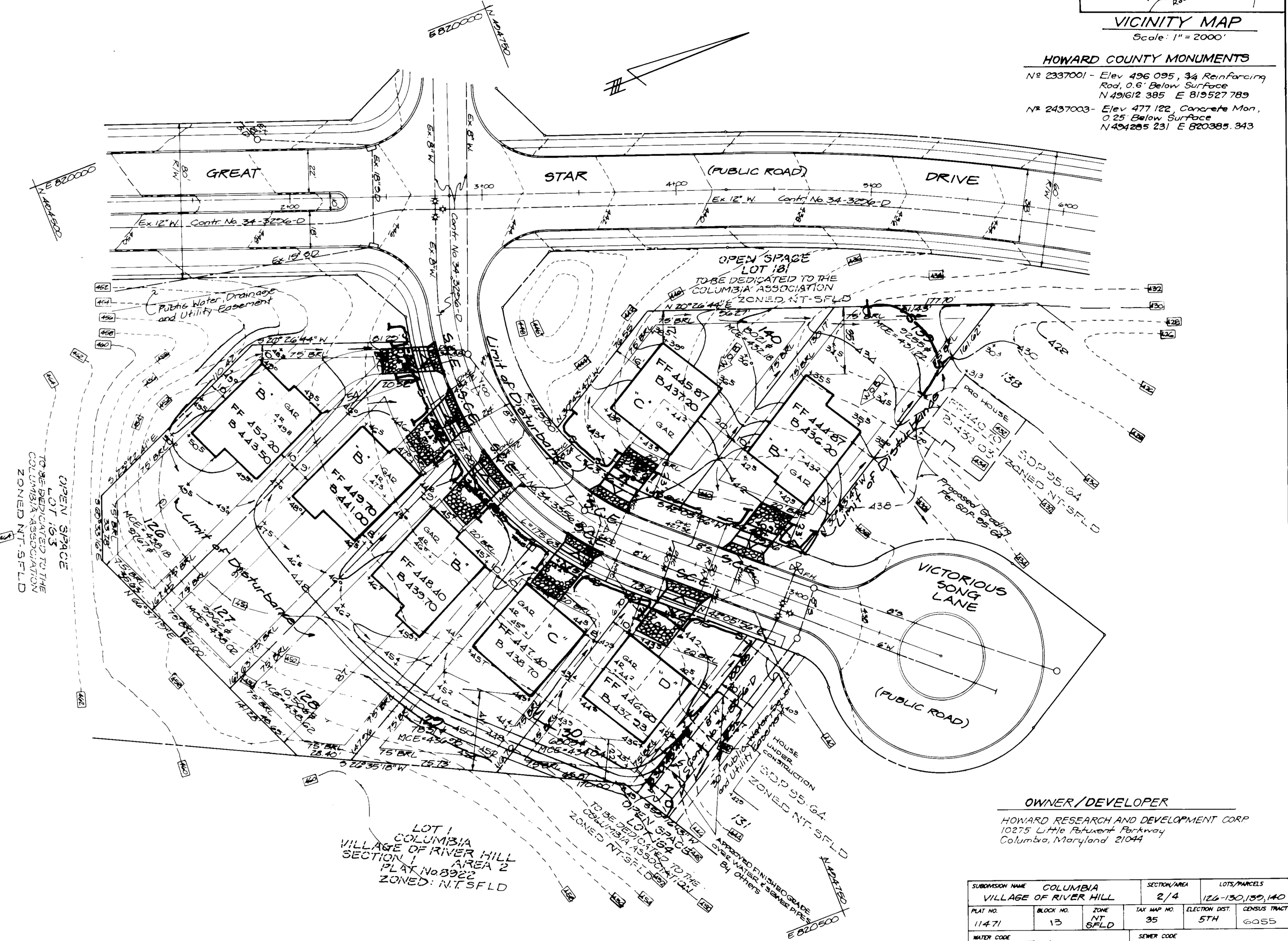
REFER TO THE 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

LEGEND

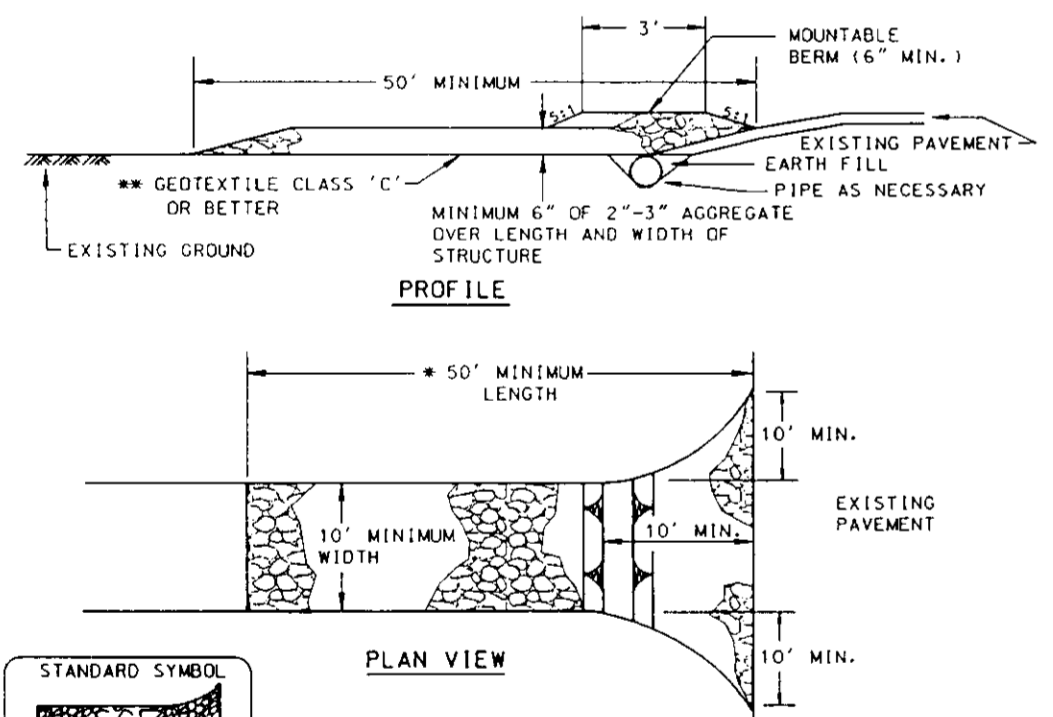


HOWARD COUNTY MONUMENTS
Scale: 1" = 2000'

N# 2337001 - Elev 496 095, 3/4 Reinforcing Rod, 0.6' Below Surface
N 491612 385' E 815527 789
N# 2437003 - Elev 477 122, Concrete Mon., 0.25 Below Surface
N 494285 231' E 820385 343

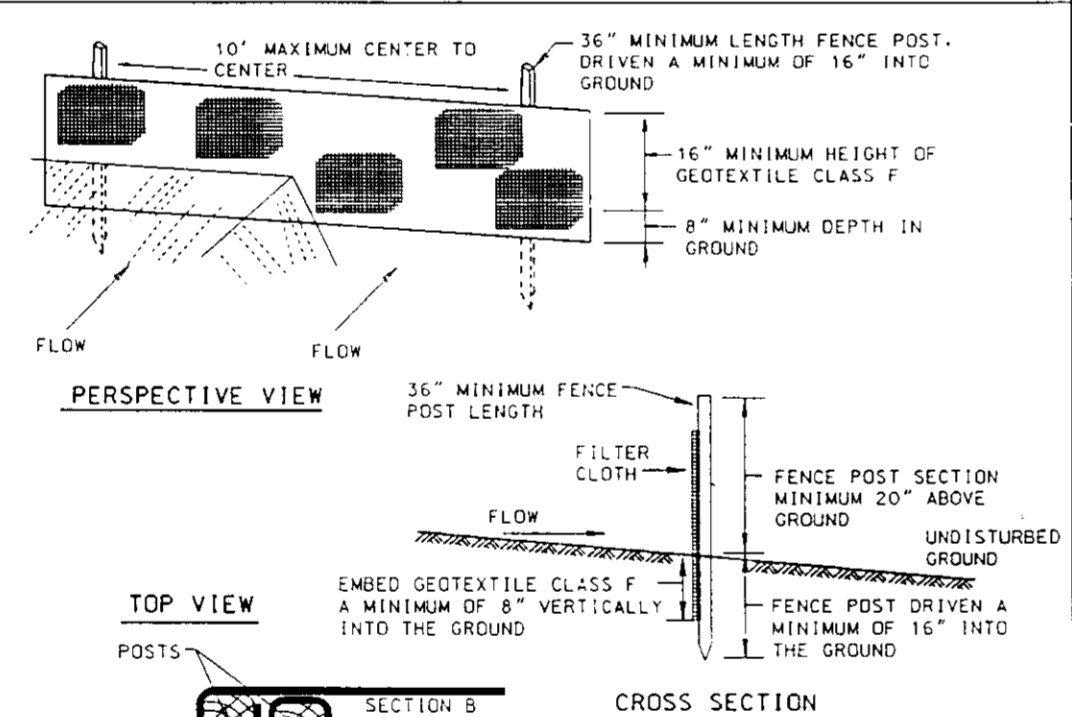


DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- Construction Specifications**
- Length - minimum of 50' (±30' for single residence lot).
 - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. (After plan approval authority may not require single family residences to use geotextile).
 - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the 5:1 is topped at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

DETAIL 22 - SILT FENCE



- Construction Specifications**
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 1/2" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
 - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
 - Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* 9/10/95 Date

Chief, Division of Land Development and Research: *[Signature]* 9/11/95 Date

Director: *[Signature]* 9/12/95 Date

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/we certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

NAME: C. ALLAN WASHBACH, PRESIDENT Date: 7/28/95

Reviewed for HOWARD S.C.D. and meets Technical Requirements: *[Signature]* 9/14/95

Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved: *[Signature]* 9/14/95

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. NELSON CLARK, ENGINEER Date: 9/14/95



CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED: ZAL	SCALE: 1" = 30'
DRAWN: MCR	DRAWING: 2 OF 2
CHECKED: [Signature]	JOB NO: 04-227
DATE: 9-14-95	FILE NO: 04-227

SEDIMENT & EROSION CONTROL PLAN
LOTS 126 thru 130, 139, 140
COLUMBIA VILLAGE OF RIVER HILL SECTION 2 AREA 4 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
FOR: ALLAN HOMES, INC. 10260 Old Columbia Rd. Columbia, MD 21046