HOWARD SOIL CONSERVATION DISTRICT

STANDARD SEDIMENT CONTROL NOTES

1) A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction, (880-3450).

2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", and revisions thereto.

3) Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.

4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 51), and (Sec. 54), temporary seeding (Sec. 54) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.

6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7) Site Analysis:

Total Area of Site	0.16	Acres
Area Disturbed	0.16	Acres
Area to be roofed or paved	0.02	Acres
Area to be vegetatively stabilized	0.14	Acres
Total Cut	220	Cu. Yds.
Total Fill	220	Cu. Yds.
Offsite waste/borrow area location	ON SITE	

8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9) Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.

10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

11) Trenches for the construction of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is sooner.

HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
1) Preferred -- Apply 2 tons per acres dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 33-0-0 urea-form fertilizer (9 lbs/1000 sq. ft.)
2) Acceptable -- Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding -- For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 per acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31 seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) - Use sod. Option (3) - Seed with 60 lbs/Acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 349 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance -- Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be refiturbed where a short-term vegetative cover is needed.

Seedbed preparation: -- Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

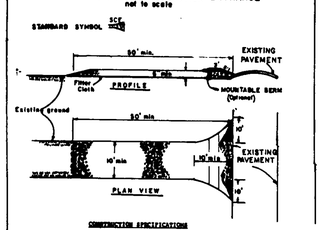
Soil Amendments: -- Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).

Seeding: -- For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 ft. or higher, use 349 gal per acre (8 gal/1000 sq. ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

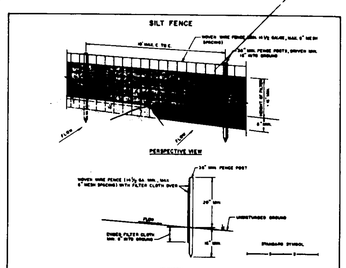
STABILIZED CONSTRUCTION ENTRANCE
not to scale



CONSTRUCTION SPECIFICATIONS

1. Stone Size - Use 2" stone, or recylcled or recycled concrete equivalent.
2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) feet minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and regular and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

U. S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE College Park, Md.	STABILIZED CONSTRUCTION ENTRANCE	Standard Drawing SCE-1



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

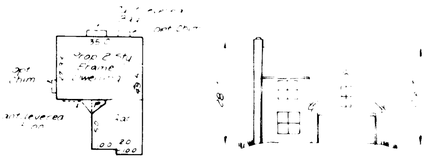
POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD

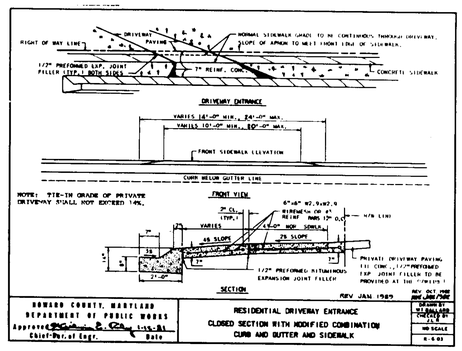
FENCE: WOVEN WIRE, 36" MIN. HT. FULL PENN SPACING

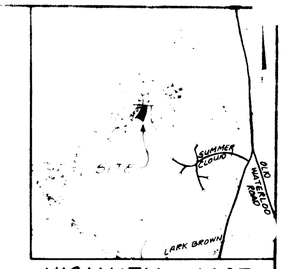
FILTER CLOTH: FILTER X, PENKIT, MIRAFI 100, STABILINKA T125N OR APPROVED EQUAL

PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

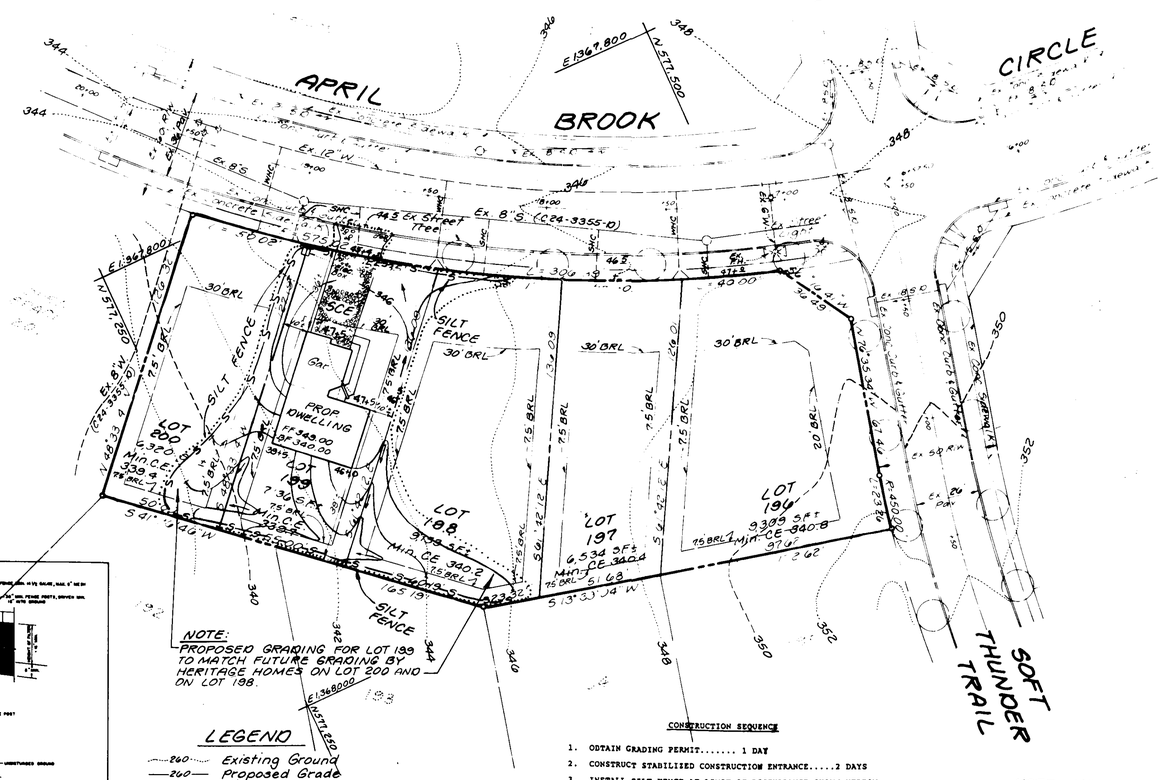
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MARYLAND	SILT FENCE	STANDARD DRAWING SF-1







VICINITY MAP



NOTE:
PROPOSED GRADING FOR LOT 199 TO MATCH FUTURE GRADING BY HERITAGE HOMES ON LOT 200 AND ON LOT 198.

LEGEND

260	Existing Ground
260	Proposed Grade
	Existing Water
	Existing Sewer
SCE	Stabilized Construction Entrance
	Limit of Disturbance
SF — SF	Silt Fence
	Drainage Flow
TP — TP	Tree Protection Fence (Existing)
	Designates Street Trees (as approved by F&S 25)
▲	Front Orientation of Dwelling Unit

CONSTRUCTION SEQUENCE

1. OBTAIN GRADING PERMIT..... 1 DAY
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.....2 DAYS
3. INSTALL SILT FENCE AT LIMIT OF DISTURBANCE SHOWN HEREON. INSTALL TREE PROTECTION FENCE ALONG REAR LIMIT OF DISTURBANCE.....5 DAYS
4. CLEAR AND GRUB SITE TO SUBGRADE.....5 DAYS
5. BEGIN EXCAVATION FOR HOUSE FOUNDATION AND BEGIN HOUSE CONSTRUCTION.....60 DAYS
6. THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS.....DAILY
7. REMOVE SEDIMENT FROM ROADWAYS AND DRESS STABILISED CONSTRUCTION ENTRANCE AS REQUIRED....MAINTENANCE
8. FINE GRADE SITE AND STABILIZE WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. INSTALL INDIVIDUAL DRIVEWAY AND HOUSE WALK.....10 DAYS
9. REMOVE SILT FENCE AND STABILIZE DISTURBED AREA WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH.....5 DAYS

TOTAL TIME: 88 DAYS

NOTE: HERITAGE HOMES GROUP, INC. WILL BE DEVELOPING SINGLE FAMILY HOMES ON LOTS 196-200. HERITAGE HOMES GROUP, INC. WILL BE RESPONSIBLE FOR ALL GRADING ON THESE LOTS.

NOTES

1. Site Analysis:
   a. Total area of lots: 0.16 Ac.± or 7,136 SF±
   b. Present zoning: NT (New Town) SFMD (FDP Phase 21G)
   c. Proposed use of structures: Residential single family detached dwellings
   d. Total number of units allowed: 1
   e. Total number of units provided: 1
   f. Number of parking spaces required: 2.0/p.u. or 2 x 1 p.u. = 2
   g. Number of parking spaces provided:
      1. Regular - 2 (2 car garages/unit)
      2. Handicapped: N/A
   h. Building coverage of site: 1277 SF± or 0.03 Ac.± (18.8%)
2. Minimum building setbacks (typical): (30% Max. or 2091 S.F. allowed by FDP Phase 21G)
   a. Front: 30 feet (from 60' R/W) 20' From 50' R/W
   b. All Others: 7.5'
3. All work shown on these plans shall be done in accordance with Howard County Standards, Specifications and Details for Construction, Volume IV
4. The Contractor shall notify the Department of Public Works, Construction Inspection Division at (410) 313-1880 at least five (5) days prior to the start of any work.
5. The Contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work.
6. Any damage to existing public right-of-ways, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the Contractor's expense.
7. The existing utilities shown hereon are located from construction drawings of record and Water and Sewer Contract No. 24-3955-D. The approximate location of existing utilities are shown for Contractor's information and convenience. The Contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the Contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service.
8. Topography shown is taken from a field-run survey dated 7/95 LDE, Inc. Two foot contour intervals are shown.
9. Horizontal and vertical datums shown are related to the Maryland State Plan Coordinate System as projected from Howard County Control Station No. 30 LA and No. 57 DR
10. Stormwater management for this site is provided by F 95-25

Bruce D. Burton 8/21/95

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with requirements of the Howard Soil Conservation District"

Bruce D. Burton 8/21/95
Signature of Engineer Date

DEVELOPER'S CERTIFICATE

"I/we certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved training program for the control of sediment and erosion before beginning the project. I also authorize periodic onsite inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Signature of Developer Date

Reviewed for Howard County Soil Conservation District and meets technical requirements.

Patricia English 8/31/95
Natural Resources Conservation Service Date

This development is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

APPROVED:

John R. Robertson 8/31/95
Howard Soil Conservation District Date

~~APPROVED: Department of Public Works for Public Water, Public Sewerage Storm Drainage Systems and Roads.~~

~~Director, Public Works Date~~

~~Chief, Bureau of Engineering Date~~

~~APPROVED: Howard County Health Department for Public Water and Public Sewerage Systems.~~

~~Health Officer Date~~

APPROVED: Department of Planning and Zoning:

9/5/95
Chief, Development Engineering Division Date

9/7/95
Chief, Division of Land Development and Research Date

9/7/95
Planning Director Date

ADDRESS CHART	
LOT No.	STREET ADDRESS
199	6313 APRIL BROOK WAY

REVISIONS		
No.	DATE	DESCRIPTION

Property of:	Section/Area	Lot Nos.
VILLAGE OF LONGREACH	4/2	199

Plat No.	Block No.	Zone	Tax/Zone	El. Dist.	Census Tract
11596	13	NT	37	6th	6067.03

Water Code:	Sewer Code:
E 07	3460000, 3490000 3530000

LDE, INC.
8835 Columbia 100 Parkway, Unit N, Columbia, MD 21045
(410) 715-1070 • (301) 596-3424 • (410) 715-0681 (fax)

Drawn KBW
Designed KBW
Checked BDB
Date July, 1995

SITE PLAN FOR BUILDING PERMIT
VILLAGE OF LONGREACH
LOT 199
SECTION 4 AREA 2
KENDALL RIDGE NEIGHBORHOOD
6th Election District
Howard County, Maryland
Previous Submittals: F95-25, FDP phase 21G

OWNER / DEVELOPER
HERITAGE HOMES GROUP, INC.
8950 Route 108 Suite 210 Gorman Plaza
Columbia, MD 21045 (410) 997-4433

Scale 1" = 20'
Drawing No.
LDE Job # 95-052
File #

SDP 96-03