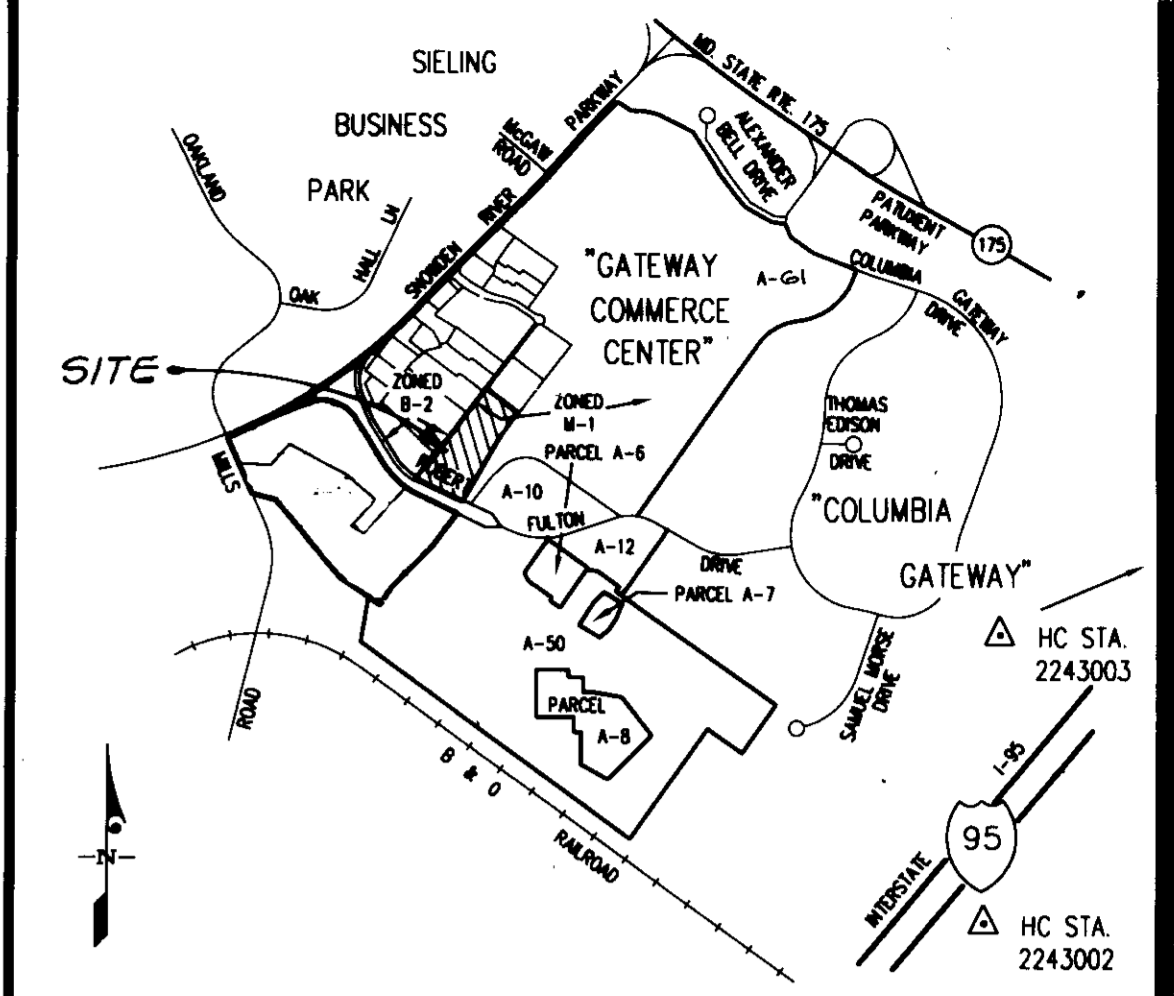


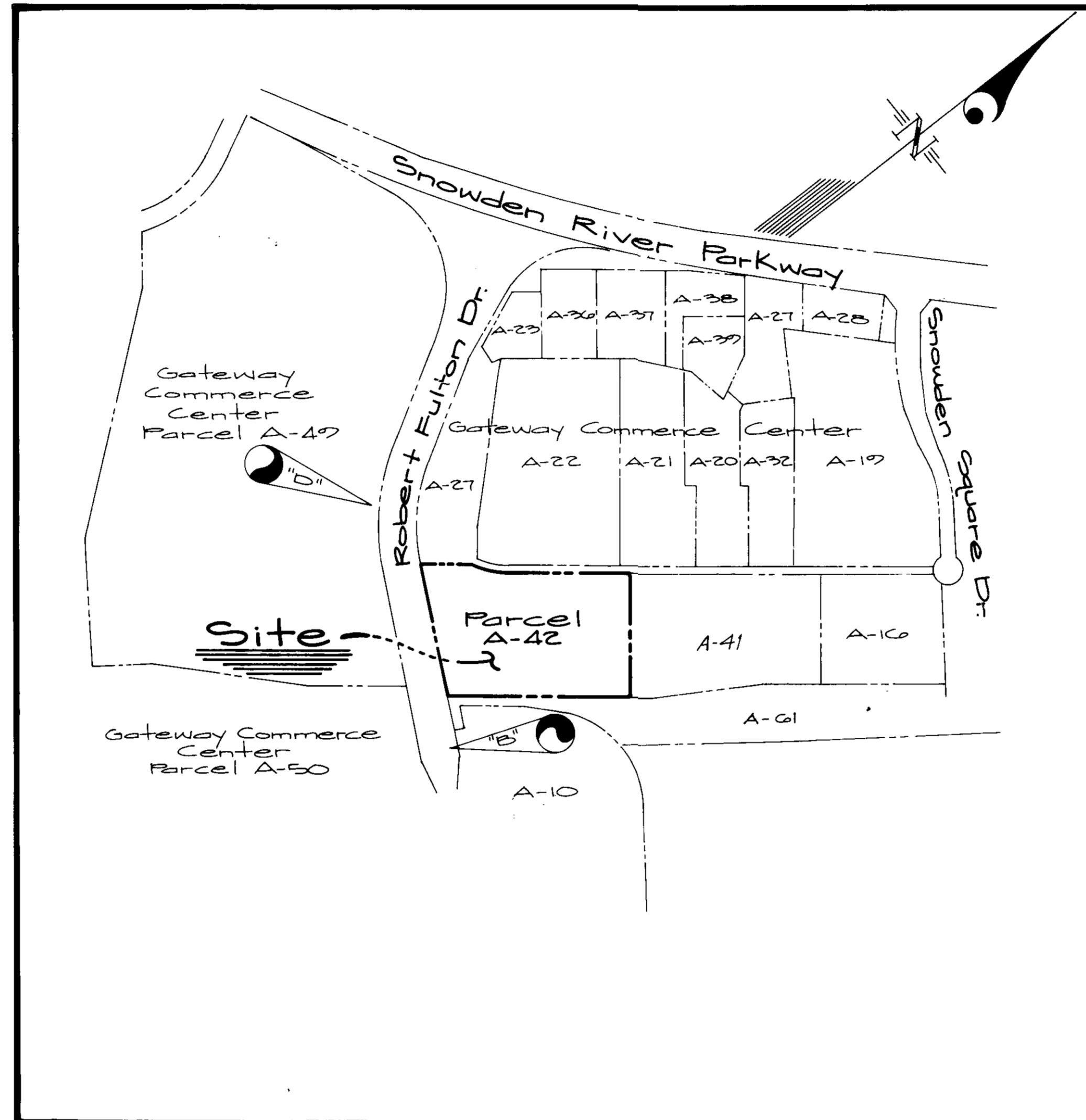
UNITED ARTISTS THEATER

SITE DEVELOPMENT PLAN



VICINITY MAP
1"=200'

- General Notes**
- All construction shall be in accordance with the latest standards and specifications of Howard County plus HSHA standard and specifications if applicable.
 - The contractor shall notify the Department of Public Works/Bureau of Construction Inspection at (410) 313-1855 at least five (5) working days prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five working days prior to starting any excavation work.
 - Site area: 9.0 acre approved mass grading SDP 92-49.
 - Traffic control devices, markings, and signing shall be in accordance with the latest edition of the manual on uniform traffic control devices (MUTCD). All streets and regulatory signs shall be in place prior to the placement of any asphalt.
 - All plan dimensions are to face of curb unless otherwise noted.
 - Existing topography reflects mass grading as shown on SDP 92-49.
 - Coordinates and bearings are based upon the MD State plan system.
 - Water and sewer shown is public.
 - Stormwater management for this site is existing on Parcel A-14. Department of Public Works File No. F-92-1001.
 - All existing water and sewer is per Contracts 24-3185 and 44-5465D.
 - All existing public storm drain is per F-92-140 (Plat No. 10541).
 - All curb radii is 5' unless noted otherwise.
 - Utility information taken from approved final construction plans for development.
 - Sidewalks adjacent to perpendicular parking shall be 6' wide. All other sidewalks shall be 4' wide except where dimensioned otherwise. Provide 3' radius rounding at all angle breaks and intersections.
 - Contractor shall utilize PVC pipe for all sewer house connections. Contractor shall utilize D.I.P. (CL 51) for 4" and 6" water house connections and D.I.P. (CL 50) for 8" water house connections.
 - For all storm drain connections at existing stubs, the contractor shall remove the existing blocking and maintain the same grade and alignment.
 - Use trench bedding class "C" for storm drains.
 - Paved areas indicated are private except as noted.
 - Project background: zoning case ZB-915- see Dept. of Planning & Zoning File Numbers: S-84-44, S-85-55, F-88-91, F-87-96, F-85-55, VP-84-150, VP-85-14, F-90-175, VP-85-15, VP-86-81, VP-88-17, VP-88-63, VP-90-141, AA-91-15, ZB-915, S-90-120, SDP-92-49, F-92-15, F-92-57, FDP-215, F-92-136, F-92-140, SDP 92-113 & WP-92-80, WP-92-113, WP-92-173, F-92-47, ZB-949H, SP 95-01, SP-95-09, WP-95-10, and SDP 95-88, 94-05-25E, BA-95-29-B Special Exception was granted to permit a theatre in an M-1 District.
 - Recording reference: Plat No. 11915.
 - All proposed ramps shall be in accordance with current A.D.A. standards. Maximum sidewalk cross slope shall be two percent. Provide a five-foot by five-foot level (2 percent max.) landing at the top and bottom of all ramps and building entrances and exits.
 - All water meters shall be located inside buildings.
 - The limits of public maintenance for waterhouse connections shall be 7' from the face of curb.
 - The proposed water and sewer house connection alignments indicated on the plans from the existing utilities to the building are to be constructed by the building plumber and are approximate.
 - The proposed roof drain alignment connections indicated on the plans from the stubs to the building are to be constructed by the building plumber and are approximate.
 - Maintain 2% cross-slopes on sidewalks. For sidewalk details: Where sidewalk is adjacent to building, slope away from building, and utilize expansion joint material and sealer in the joint between the sidewalk and the building wall.
 - SUFFICIENT SIGHT DISTANCE PER HOWARD COUNTY DESIGN MANUAL MUST BE PROVIDED AT ALL ACCESS POINTS; ANY LANDSCAPE THAT OBSTRUCTS THE LINE OF SIGHT MUST BE REMOVED.



Bench Marks

B.M. "B" F.H. x-cut bonnet bolt
Elev. = 332.61

B.M. "D" F.H. x-cut bonnet bolt
Elev. = 343.31

Sheet Index

- Cover Sheet
- Site Development Plan
- Site Notes & Details
- Landscape Plan
- Sediment & Control Plan & D.A. Map
- Sediment Control Notes & Details
- Profiles & Schedules
- Notes & Details

SITE ANALYSIS

1. AREA OF PARCEL:	391,870 s.f./8.9961 Ac.
2. ZONING:	M-1
3. PROPOSED USE:	THEATRE
4. BUILDING AREA:	37,000 sq. ft.
5. TOTAL PARKING REQUIRED:	690(per approved study)
6. TOTAL PARKING PROVIDED:	699
7. TOTAL NO. OF HANDICAP SPACES REQUIRED:	14
8. NO. OF HANDICAP VAN SPACES REQUIRED:	2
9. TOTAL NO. OF HANDICAP SPACES PROVIDED:	14
10. NO. OF HANDICAP VAN SPACES PROVIDED:	2
11. PROPOSED LANDSCAPED AREA:	131,768 s.f. (34%)
12. PROPOSED PAVED AREA:	260,102 s.f. (66%)
13. BUILDING COVERAGE OF SITE:	9.4%
14. AREA OF PARKING LOTS:	223,102 s.f.
15. AREA OF LANDSCAPED ISLANDS PROVIDED:	13,837 s.f.
16. No. of proposed seats in theater	2,548

Key Map

Scale: 1" = 400'

Legend

- Ex. Contour
- Prop. Contour
- Inlet Protection
- Silt Fence
- Earth Dike
- Limit of Disturbance
- Sediment Trap
- Stabilized Construction Entrance

PREPARED FOR:
CONTRACT PURCHASER
UNITED ARTISTS THEATRE CIRCUIT, INC.
9110 E. NICHOLS AVENUE, SUITE 200
ENGLEWOOD, CO. 80112-3405
PHONE: (303) 782-3600
ATTN: MR. DANIEL L. OGDEN, VICE PRES.

OWNER:
GEARTE II
10275 LITTLE PATRICKEN PKWY.
COLUMBIA, MARYLAND 21046
PHN: (410) 484-8400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Legend Rutter
Director
Date: 12/21/95

Chris Dammer
Chief, Development Engineering Division
Date: 12/15/95

Aime Murray
Chief, Division of Land Development & Research
Date: 12/21/95

Address Chart

Lot Number	Street Address
Parcel A-42	2161 Commerce Center Drive

Permit Information Chart

Subdivision Name	Section/Area	Parcel #
Gateway Comm. Center	42	A-42

Plat #	Block #	Zone	Tax/Zone Map	Elect Dist	Comm Tract
11915	M-1	42	42	42	6067.03

Water Code: E 100
Sewer Code: 4700000

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20886
TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

PREPARED FOR:
UNITED ARTISTS THEATRE CIRCUIT, INC.
9110 E. NICHOLS AVENUE, SUITE 200
ENGLEWOOD, CO. 80112-3405
PHONE: (303) 782-3600
ATTN: MR. DANIEL L. OGDEN, VICE-PRESIDENT

Cover Sheet

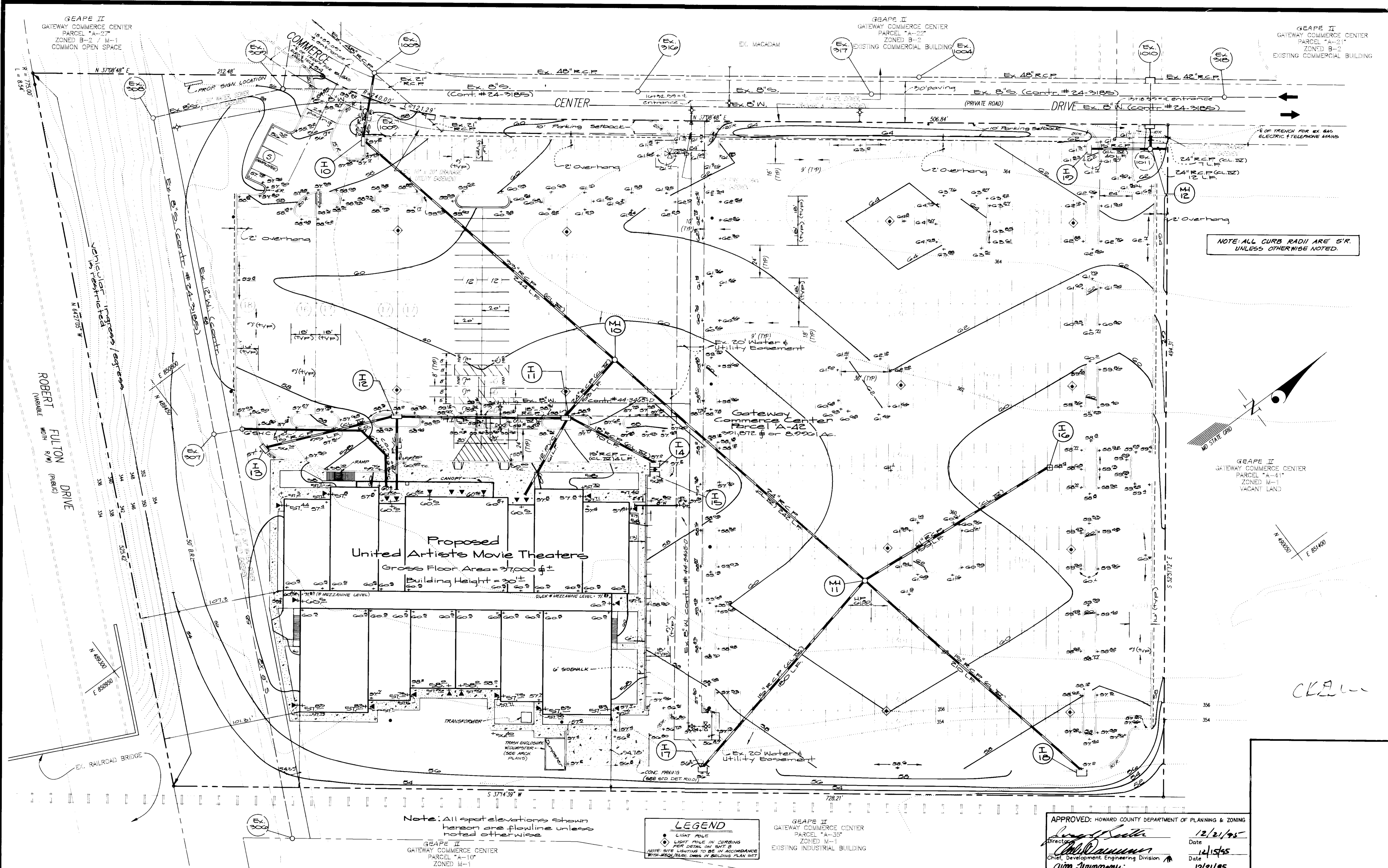
**GATEWAY COMMERCE CENTER
PARCEL "A-42"
UNITED ARTISTS THEATER**

HOWARD COUNTY, MARYLAND

DES.:	SCALE:	ZONING:	G.L.W. FILE NO.:
DRN.:	N/A	M-1	94120
W5J	DATE	TAX MAP No.	SHEET
CHK.:	11-17-95	42	1 of 8
CKG			

DATE	REVISION	BY	APP'R.
12-4-95	ADDED NOTE #22	HKJ	

SDP 96:02



NOTE: ALL CURB RADII ARE 5'. UNLESS OTHERWISE NOTED.

Proposed
United Artists Movie Theaters
Gross Floor Area = 37,000 sq ft
Building Height = 20 ft

Note: All spot elevations shown hereon are flowline unless noted otherwise.

LEGEND
 LIGHT POLE
 LIGHT POLE IN CURBSIDE PER DETAIL ON SHEET B
 NOTE: SITE LIGHTING TO BE IN ACCORDANCE WITH NEIGHBORING LUMENS IN BUILDING PLAN SET

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 12/21/95
 Date: 12/15/95
 Chief, Development Engineering Division: *[Signature]*
 Date: 12/11/95
 Chief, Division of Land Development & Research: *[Signature]*
 Date:

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA. (301) 989-2524 BALT. (410) 880-1820 FAX: (301) 421-4186 DES. DIV. DRN. DIV. CHK. CLK

DATE	REVISION	BY	APPR.
12-4-95	REV. 15-CAR BAY ON NE SIDE BLDG/CHANGED 2ND FLOOR STAIRS/ADDED RAMP @ DROP OFF	JKJ	
	REVISION		

PREPARED FOR:
 UNITED ARTISTS THEATRE CIRCUIT, INC.
 9110 E. NICHOLS AVENUE, SUITE 200
 ENGLEWOOD, CO 80112-3405
 PHONE: (303) 792-3600
 ATTN: MR. DANIEL L. OGDEN, VICE-PRESIDENT

SITE DEVELOPMENT PLAN
**GATEWAY COMMERCE CENTER
 PARCEL "A-42"
 UNITED ARTISTS THEATER**
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-1	94120
DATE	TAX MAP No.	SHEET
11-17-95	42	2 OF 8

SDPS 86-02

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all trees shall be six feet (6'), maximum eight feet (8').

c. Minimum size for planting shade trees shall be 3-3 1/2" caliper, 14'-15' in height.

d. Minimum size for planting minor or intermediate focus trees (pines, crabapples, etc.) shall be 3"-3 1/2" caliper, 10'-12' in height.

e. Minimum size for planting shrubs shall be 18" - 24" spread unless noted otherwise.

f. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3 1/2"	14'-16'	6'-8'	32" diameter
3 1/2" - 4"	14'-16'	8'-10'	36" diameter
4" - 4 1/2"	16'-18'	8'-10'	40" diameter
4 1/2" - 5"	16'-17'	10'-12'	44" diameter
5" - 5 1/2"	16'-20'	10'-12'	48" diameter
5 1/2" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Digging

All plant material shall be dug, balled and burlapped (B&B) in accordance with the "AAN Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.

b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule:

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3 1/2" cal.	32"	64"	28"
3 1/2" - 4" cal.	36"	72"	32"
4" - 4 1/2" cal.	40"	80"	36"
4 1/2" - 5" cal.	44"	88"	40"
5" - 5 1/2" cal.	48"	96"	44"
5 1/2" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.

b. Wire and Cable: Wire shall be #10 ga. galvanized or bethanized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail". All trees over 3" in caliper are to be planted and guyed in accordance with the attached "Typical Tree Guying Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

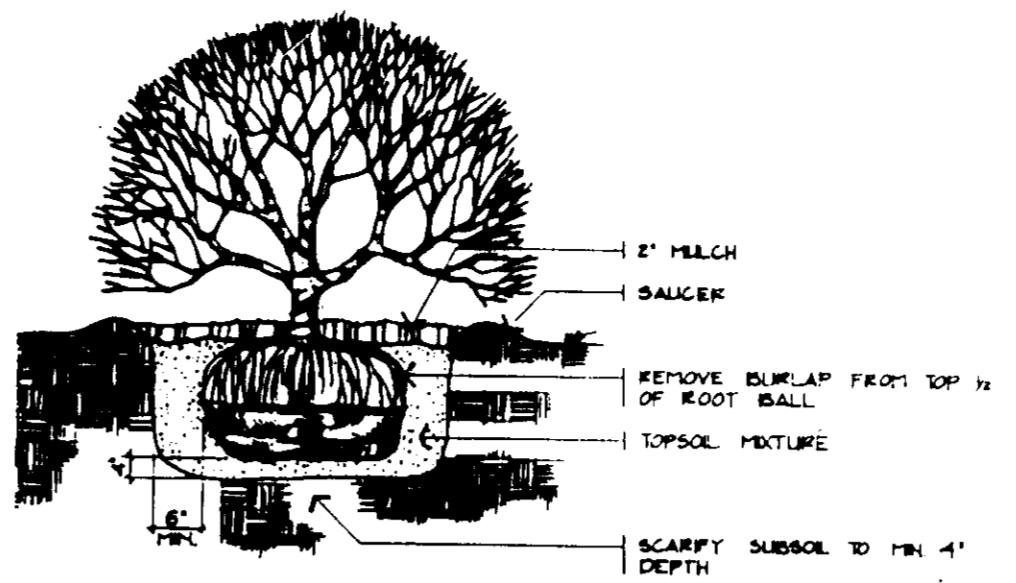
b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

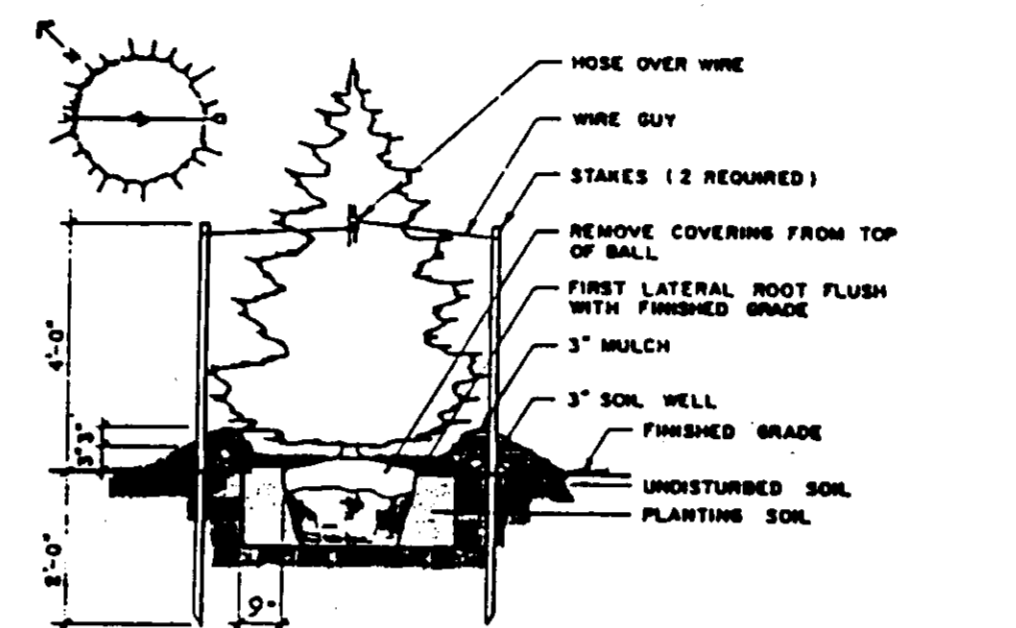
All sodding shall be in accordance with the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable grasses. Provide only sod capable of growth development when planted in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victoria, or Escort.

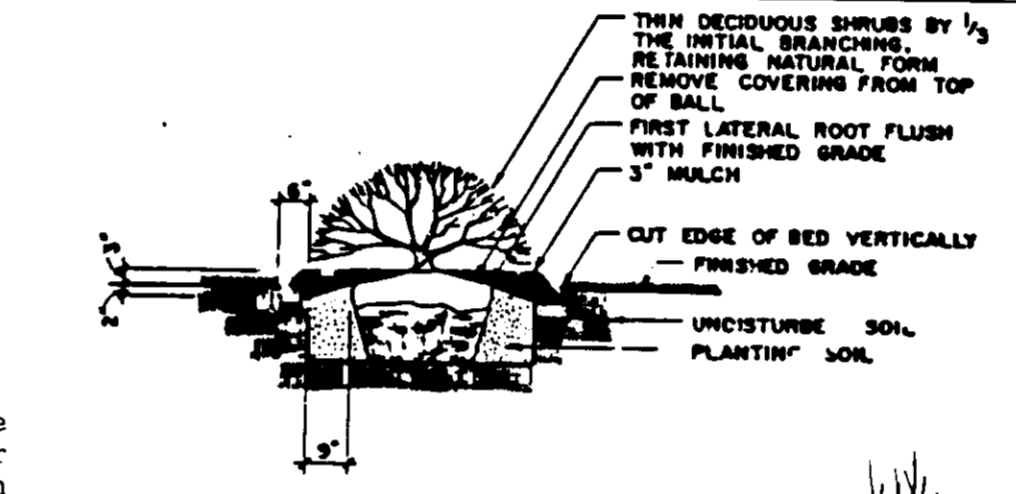
KEY	QUANT.	NAME/BOTANICAL/COMMON	PLANT LIST	SIZE	COND.
1	50	GLADIOLA TRICANTIOS, DIERISIA "SHADEMASTER"/SHADEMASTER HORSEHOLOGRASS		3"-3 1/2" CALIPER 14'-16" HT.	B & B
2	12	PLANTANUS X ACERIFOLIA "BLOODGOOD"/LONDON PLANETREE		3"-3 1/2" CALIPER 14'-16" HT.	B & B
3	42	QUERCUS PALUSTRIS/ PIN OAK		3"-3 1/2" CALIPER 14'-16" HT.	B & B
4	11	CARPINUS BETULUS "MOTIGIATA"/PYRAMIDAL HORNBEAM		3"-3 1/2" CALIPER 12'-14" HT.	MATCHED SPECIMENS B & B
5	2	ACER RUBRUM "ARMSTRONG"/MAPLE		3"-3 1/2" CALIPER 14'-16" HT.	MATCHED SPECIMENS B & B
6	7	CRATAEGUS CRUSGALLI "EVERMIST"/THORNLESS HAWTHORNE		3"-3 1/2" CALIPER 10'-12" HT.	B & B
7	12	PRUNUS CERASIFERA "THUNDERCLOUD"/PURPLELEAF FLOWERING PLUM		3"-3 1/2" CALIPER 10'-12" HT.	B & B
8	10	PINUS STROBILIFERA WHITE PINE		2 1/2"-3" CALIPER 8'-10" HT.	B & B
9	27	CORNUS SERICEA/ RED TWIG DOGWOOD		5"-5 1/2" HT.	CONTAINER 4E' O.C.
10	235	COTONEASTER DAMMER/ CORAL BEAUTY COTONEASTER		10'-24" SPD.	CONTAINER
11	340	EYONYMUS PATENS "PAULI"/ PAULI EYONYMUS		24"-30" HT. 3' O.C.	CONTAINER OR B & B
12	115	ILEX GLABRA "COMPACTA"/ DWARF HICKBERRY		18"-24" HT. 3' O.C.	B & B OR CONT.
13	320	JUNIPERUS CONERTA "BLUE PACIFIC"/ BLUE PACIFIC JUNIPER		18"-24" HT. 30' O.C.	CONTAINER



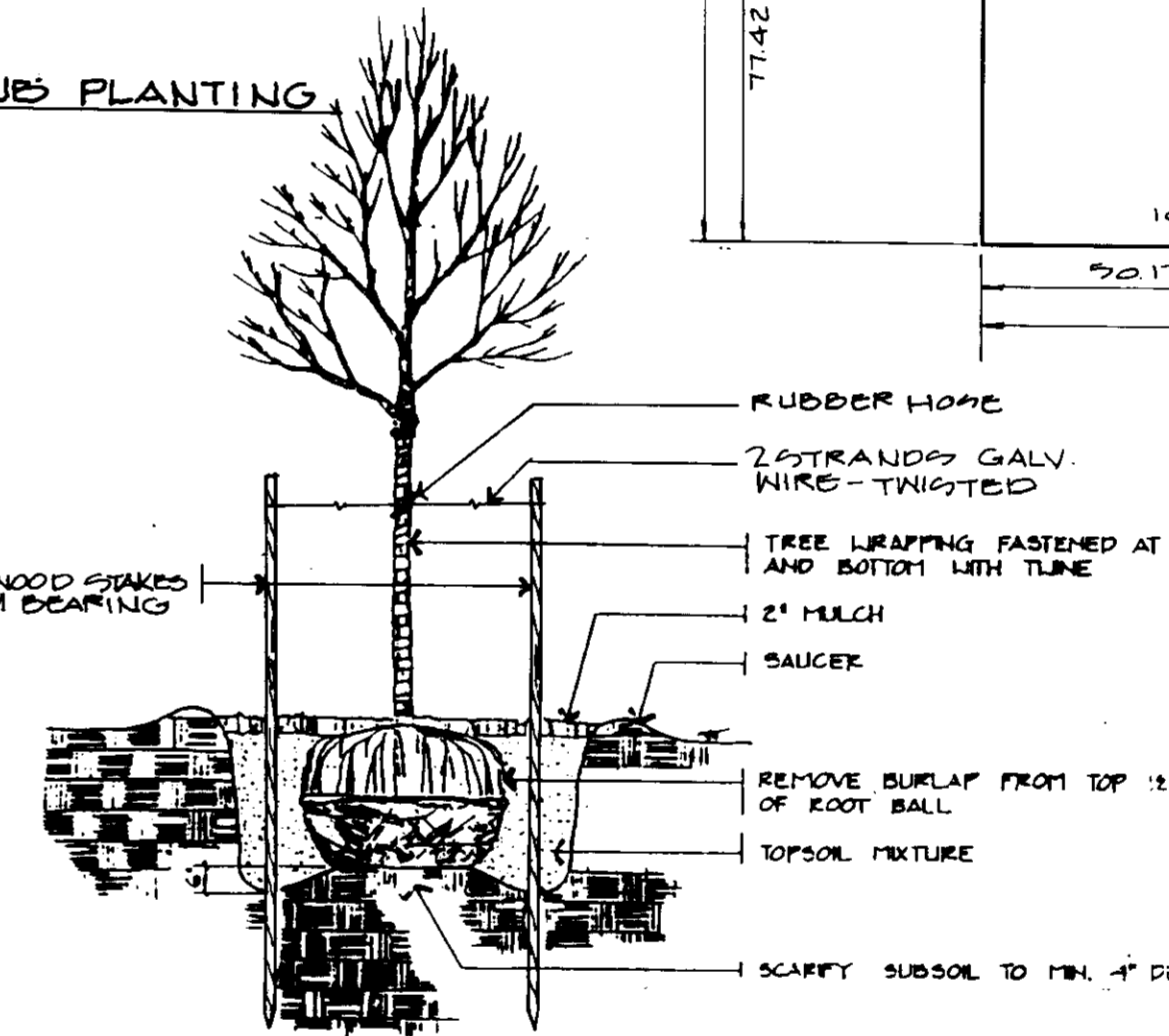
TYPICAL B&B SHRUB PLANTING
NO SCALE



EVERGREEN TREE PLANTING & STAKING DETAIL

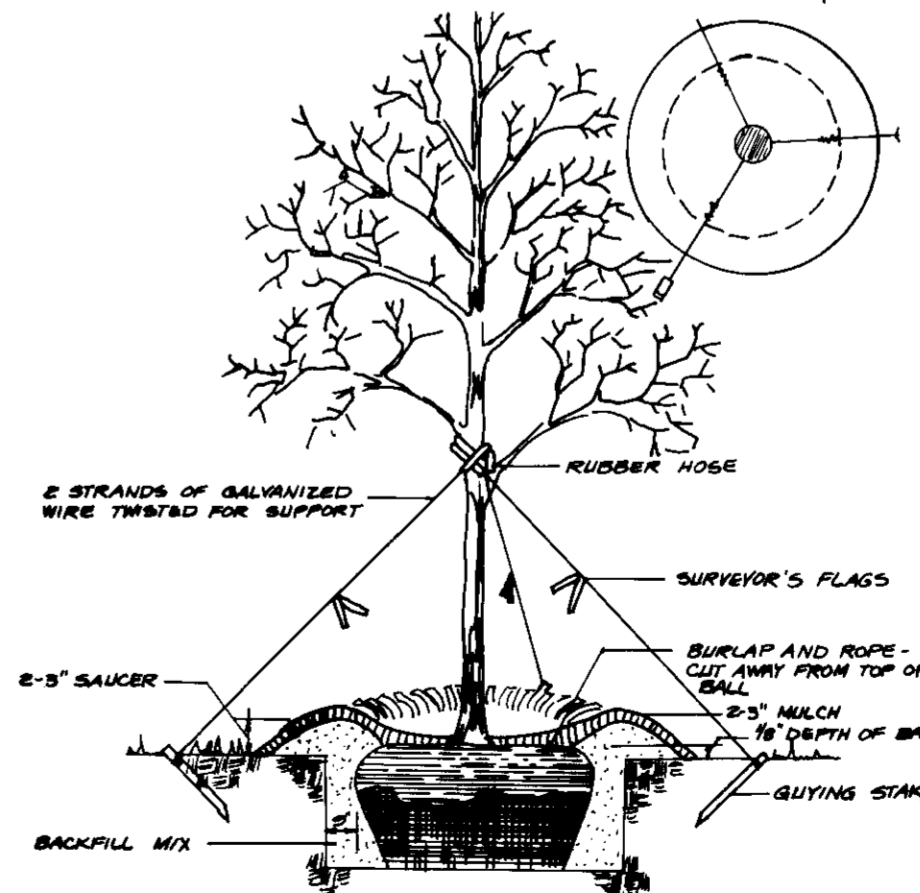


CONTAINER SHRUB PLANTING



TYPICAL DECIDUOUS TREE PLANTING & STAKING DETAIL
NO SCALE

TYPICAL TREE GUYING DETAIL FOR TREES 3" CALIPER AND GREATER



Tree Requirement

No. of Shade Trees Required Per Acre = 26
Grass Acres = 8.9 x 26 = 231 Total Required
Provided: 159 Shade + 25 Equiv. Flowering + Evergreen = 184

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] 12/21/95
Date: 12/15/95
Chief, Development Engineering Division: [Signature] 12/21/95
Date: 12/21/95
Chief, Division of Land Development & Research: [Signature] 12/21/95
Date: 12/21/95

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS

3900 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20886
TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REV.	PLANT SCHEDULE TO MATCH NEW LANDSCAPE PLAN	BY	APP'R.
12-4-95			HKJ	

PREPARED FOR:
UNITED ARTISTS THEATRE CIRCUIT, INC.
9110 E. NICHOLS AVENUE, SUITE 200
ENLEWOOD, CO. 80112-3405
PHONE: (303) 782-3800
ATTN: MR. DANIEL L. OGDEN, VICE-PRESIDENT

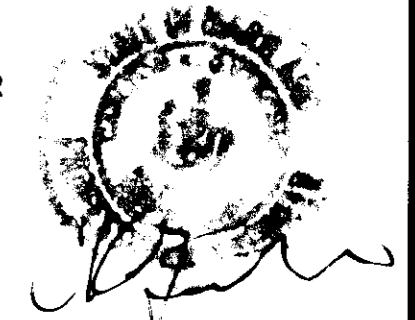
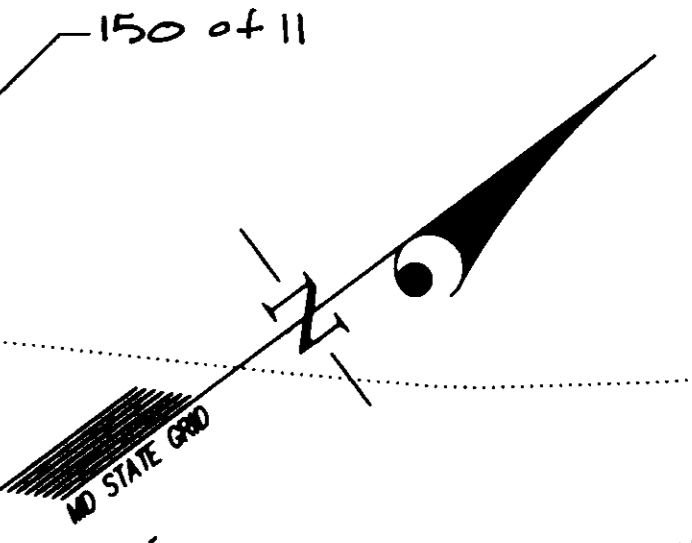
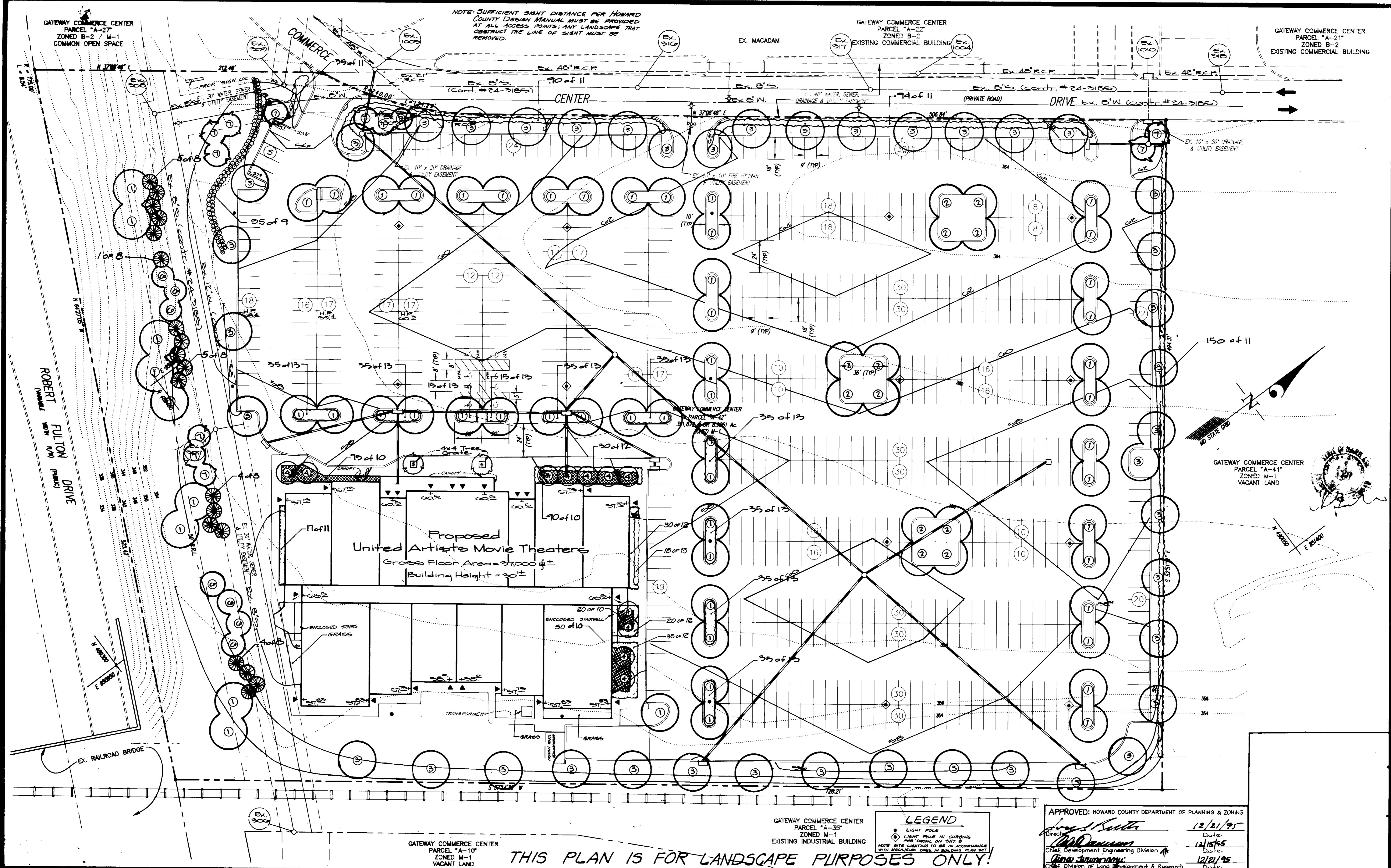
Site Notes and Details

GATEWAY COMMERCE CENTER
PARCEL "A-42"
UNITED ARTISTS THEATER

DES.:	SCALE	ZONING	G.L.W. FILE NO.
DEV:	N/A	M-1	94120
DRN.:	DATE	TAX MAP NO.	SHEET
GT:	11-17-95	42	2 of 8
CHK.:	DATE	TAX MAP NO.	SHEET
CKG:	11-17-95	42	2 of 8

SDP 86 902

NOTE: SUFFICIENT SIGHT DISTANCE PER HOWARD COUNTY DESIGN MANUAL MUST BE PROVIDED AT ALL ACCESS POINTS; ANY LANDSCAPE THAT OBSTRUCTS THE LINE OF SIGHT MUST BE REMOVED.



THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY!

LEGEND
 LIGHT POLE
 LIGHT POLE IN CURBING
 PER DETAIL ON SHEET B
 NOTE: SITE LIGHTING TO BE IN ACCORDANCE WITH MECHANICAL CODES IN BUILDING PLAN SET

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 12/21/95 Date
 Chief Development Engineering Division: *[Signature]* 12/15/95 Date
 Chief, Division of Land Development & Research: *[Signature]* 12/21/95 Date

G.W. GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 2800 GREENBELT DRIVE - SUITE 200 - GREENBELT, MARYLAND 20886
 TEL: (301) 441-1111 FAX: (301) 441-1114

DATE: 12-4-95	REVISION: SUBSTANTIALLY REDUCED PLANTINGS 1 ADDED NOTE	BY: HKJ	CHECKED: []
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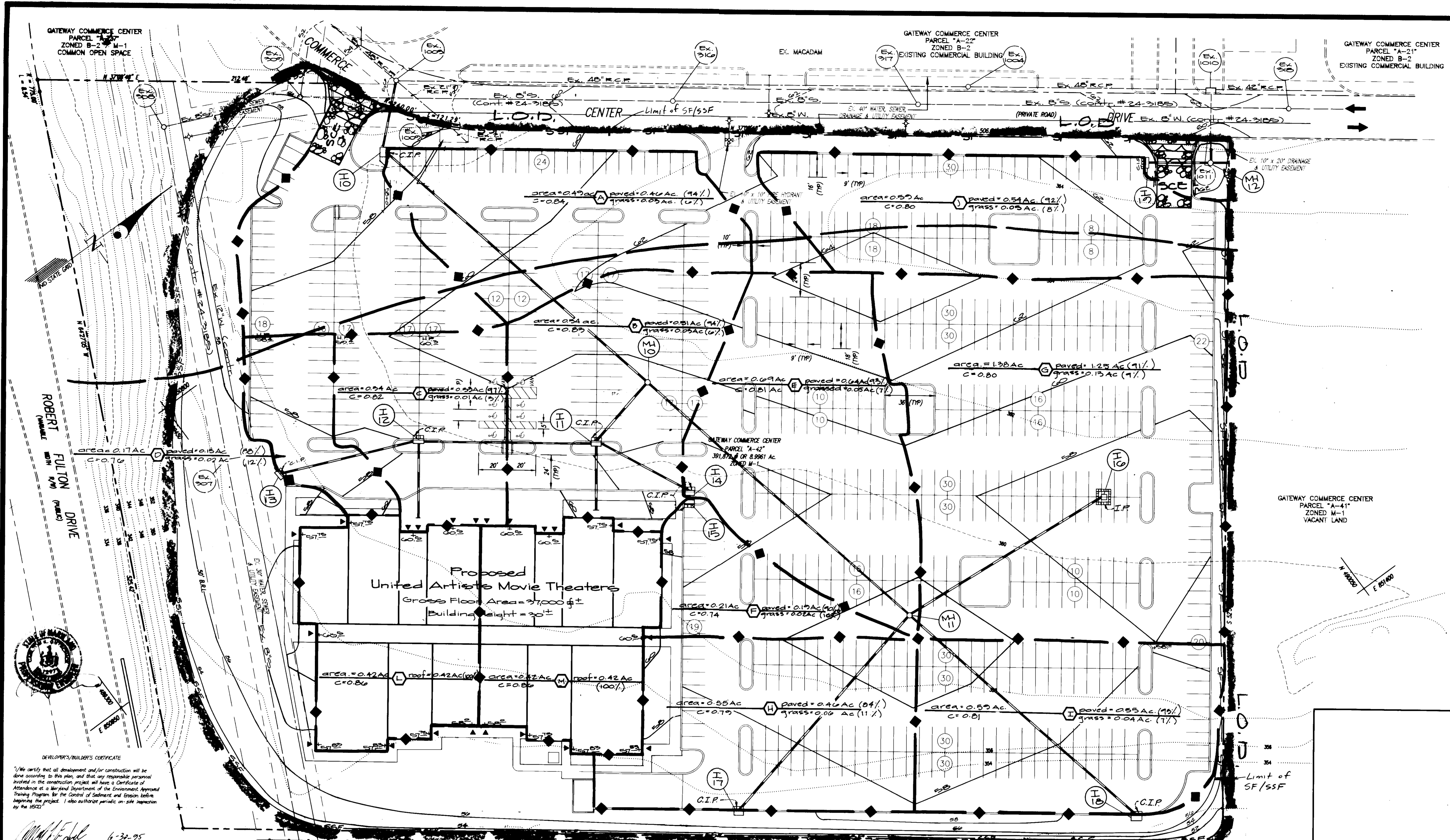
PREPARED FOR:
UNITED ARTISTS THEATRE CIRCUIT, INC.
 8110 E. NICHOLS AVENUE, SUITE 200
 ENGLEWOOD, CO. 80112-3405
 PHONE: (303) 782-3889
 ATR: MR. DANIEL L. OSBORN, VICE-PRESIDENT

LANDSCAPE PLAN
GATEWAY COMMERCE CENTER
PARCEL "A-42"
UNITED ARTISTS THEATER

SCALE: 1"=30'	ZONING: M-1	G. L. W. FILE No.: 94120
DATE: 11-17-95	TAX MAP No.: 42	SHEET: 4 of 8

HOWARD COUNTY, MARYLAND

SDP26-02



DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

[Signature]
 Signature of Developer/Builder
 6-30-95
 Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.
 U.S. Soil Conservation Service
 12/15/95
[Signature]
 Howard S.C.D.
 12/15/95

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY!

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature]
 Date
 6-29-95

GATEWAY COMMERCE CENTER
 PARCEL "A-35"
 ZONED M-1
 EXISTING INDUSTRIAL BUILDING

Legend
 Existing Contour
 Proposed Contour
 Before Development
 Drainage Divide
 After Development
 Drainage Divide

Legend
 INLET PROTECTION
 Silt Fence
 Stabilized Cont.
 Entrance
 Limit of Disturbance
 Silt Fence

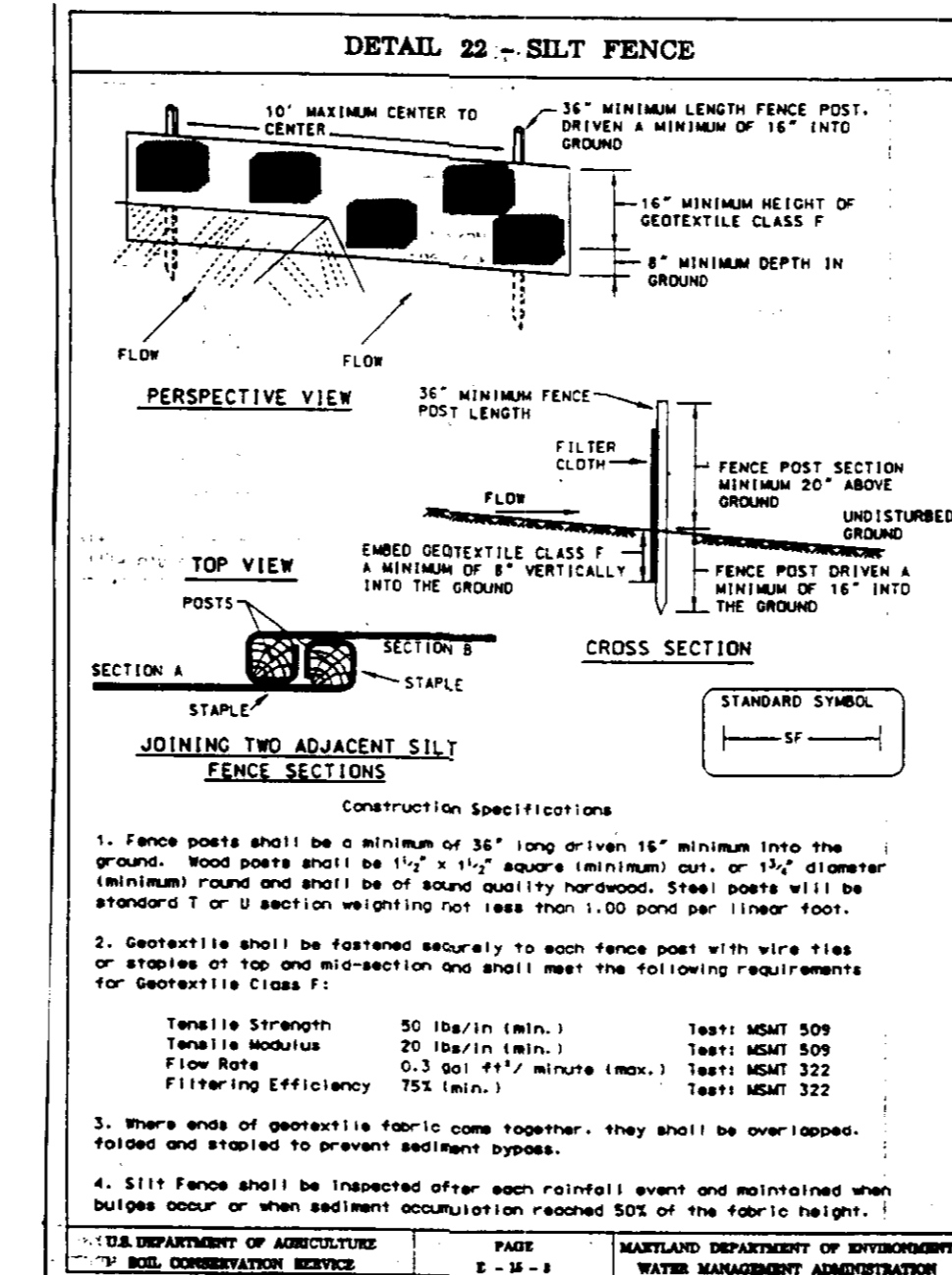
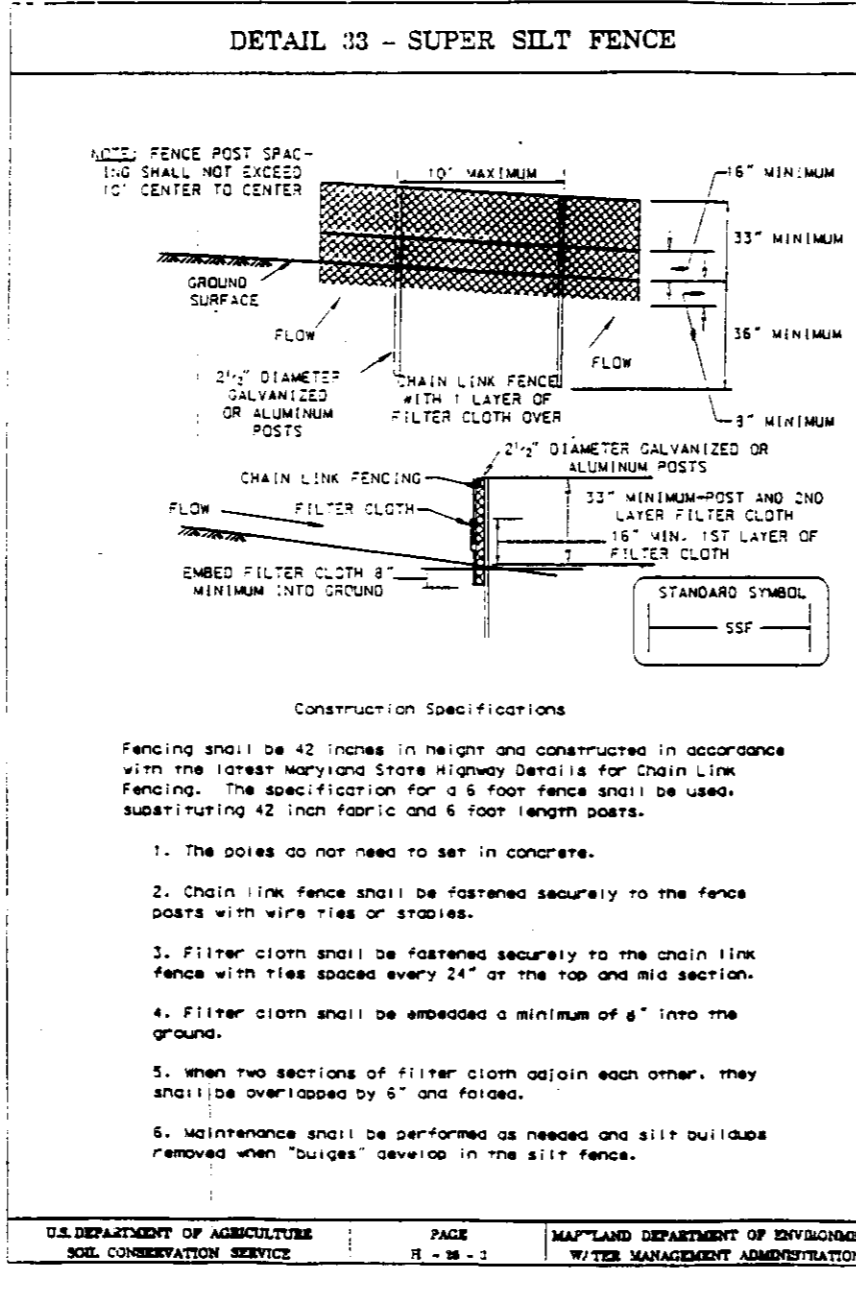
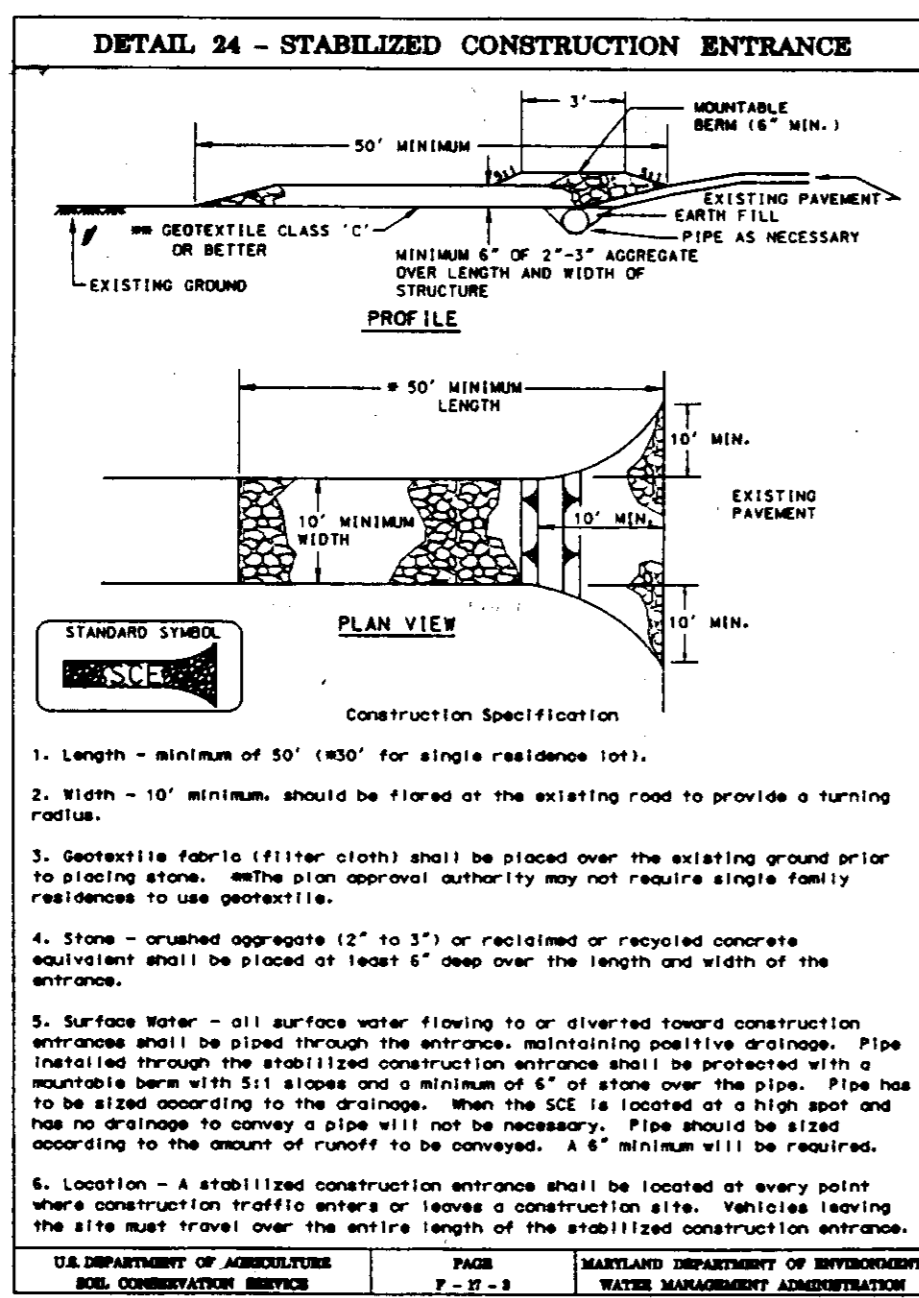
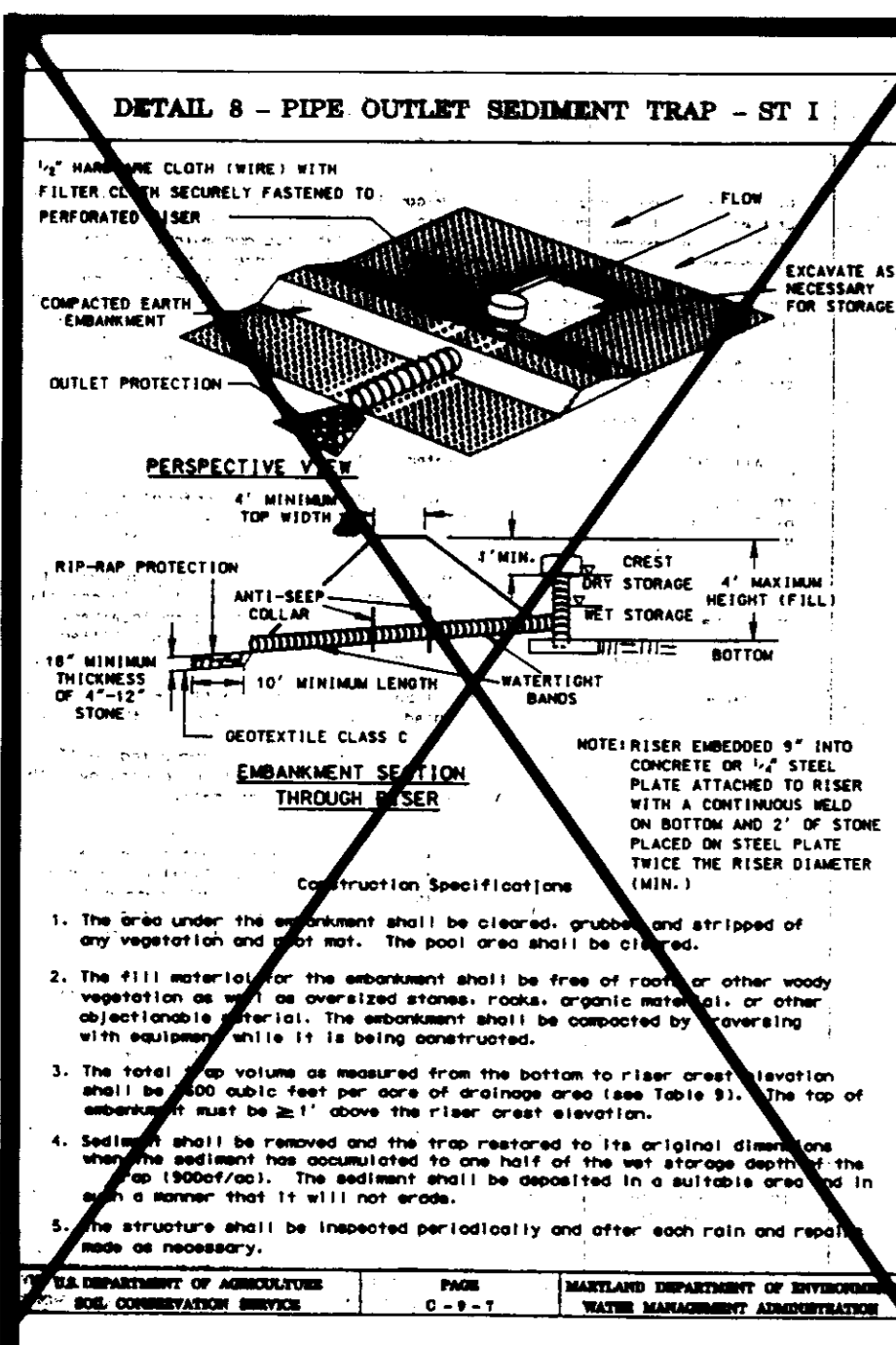
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature]
 Date
 12/21/95
[Signature]
 Date
 12/15/95
[Signature]
 Date
 12/21/95

G.L.W. GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3000 NATIONAL BLVD - SUITE 200 - BETHESDA OFFICE PARK - BETHESDA, MARYLAND 20814

PREPARED FOR:
 UNITED ARTISTS THEATRE CIRCLUT, INC.
 8110 E. NICHOLS AVENUE, SUITE 200
 ENLEWOOD, CO. 80112-3405
 PHONE: (303) 780-3800
 ATTN: MR. DANIEL L. OGDEN, VICE-PRESIDENT

Sediment Control Plan & Drainage Area Map
 GATEWAY COMMERCE CENTER
 PARCEL "A-42"
 UNITED ARTISTS THEATER

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-1	94120
DATE	TAX MAP No.	SHEET
11-17-95	42	5 OF 8



SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (301) 992-2437
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51), sod (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization, with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	: 2.0	Acres
Area Disturbed	: 7.56	Acres
Area to be roofed or paved	: 3.57	Acres
Area to be vegetatively stabilized	: 1.93	Acres
Total Cut	: 11,450	Cu. Yds.
Total Fill	: 11,450	Cu. Yds.
Off-site waste/borrow area location:	N/A	
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

PERMANENT SEEDING NOTES

- Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: In lieu of soil test recommendations, use one of the following schedules
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
 - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
- Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
- Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
- Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
- Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.
- Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

SEQUENCE OF CONSTRUCTION

- Obtain grading permit.
- Arrange on-site pre-construction meeting with Sediment Control Inspector.
- Install stone construction entrance, super silt fence, and silt fence as shown on these plans.
- Rough grade site, install storm drains and provide inlet protection.
- Fine grade site.
- Construct water and sewer from existing stubs to the building.
- Construct building.
- Install curb and gutter, sidewalk and base paving except in areas near the sediment trap. Stabilize remaining areas with grass seed and mulch.
- When areas draining to sediment control measures have been stabilized and permission is granted from the Sediment Control Inspector, flush storm drain system. Seed and mulch all remaining areas.
- Install surface paving.
- Install landscaping.
- Remove all remaining sediment controls.

Note:
Contractor may perform items 4, 6, 7, and 8 in any reasonable order.

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

[Signature] 6-30-95
Date

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 6/29/95
Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.
U.S. Soil Conservation Service Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
Howard S.C.D. Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 12/21/95
Date
[Signature] 12/15/95
Date
[Signature] 12/1/95
Date
Chief, Division of Land Development & Research Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 NO. VA.: (301) 980-2524 BALT. (410) 880-1820 FAX: (301) 421-4186 DES. DRG. CHK. CKG.

DATE	12-4-95	CHANGED SEQ. OF CONSTRUCTION	FKJ
REVISION			
BY			
APP'R			

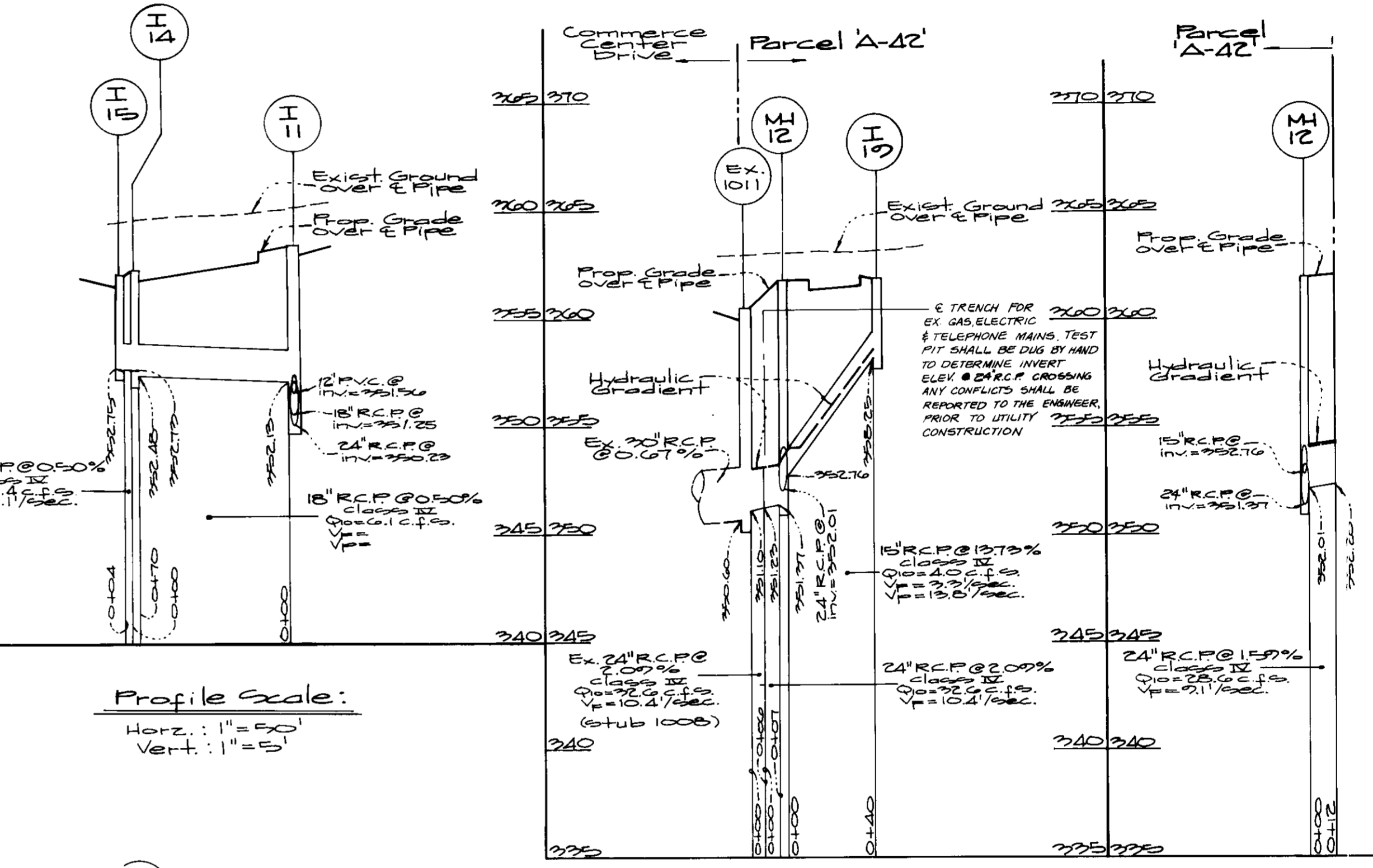
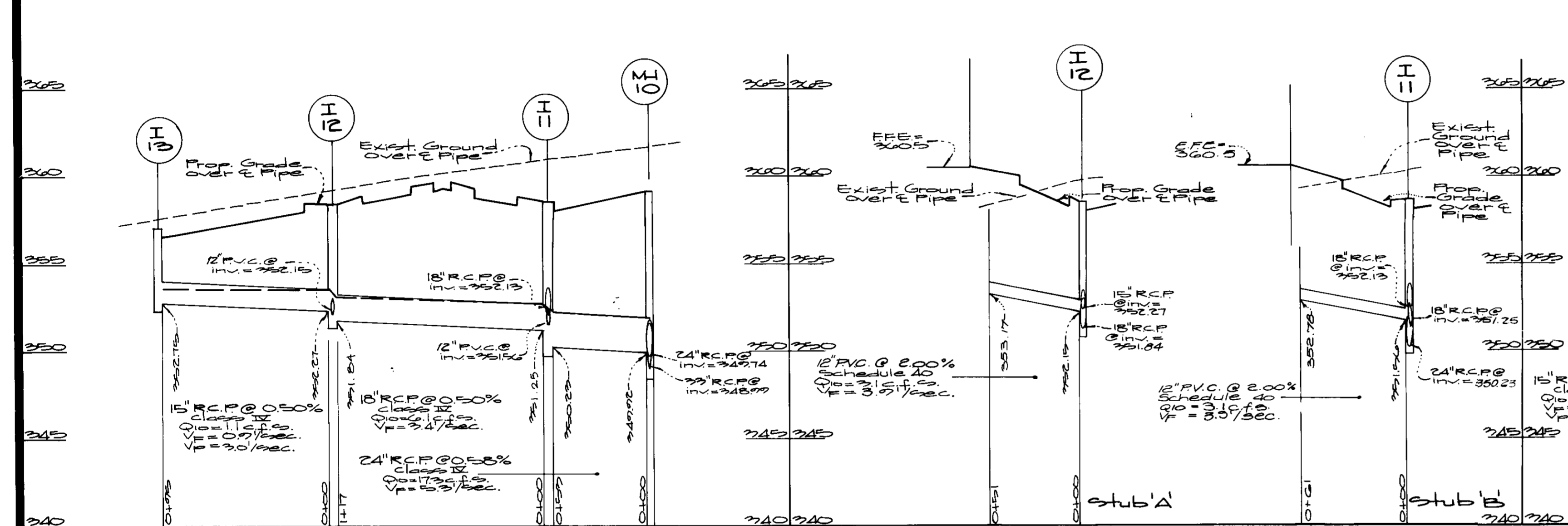
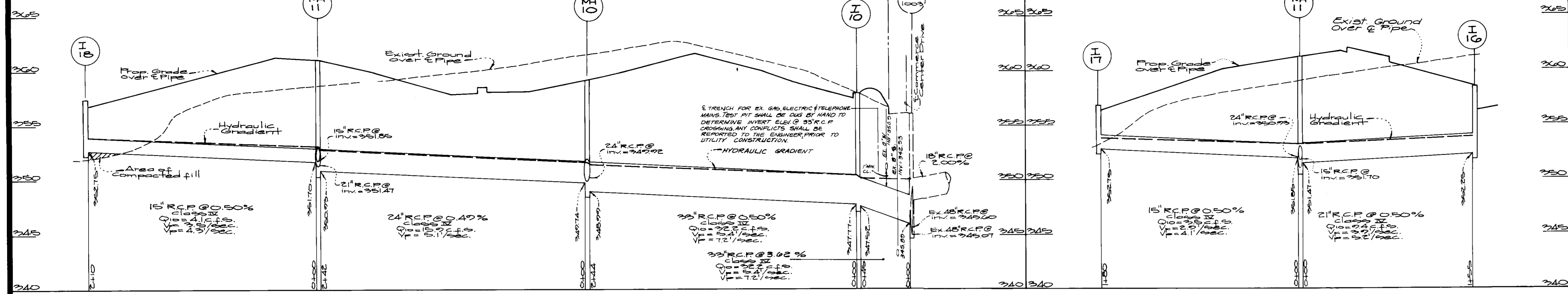
PREPARED FOR:
UNITED ARTISTS THEATRE CIRCUIT, INC.
9110 E. NICHOLS AVENUE, SUITE 200
ENGLEWOOD, CO. 80112-3405
PHONE: (303) 792-3600
ATTN: MR. DANIEL L. OGDEN, VICE-PRESIDENT

Sediment Control Notes and Details
GATEWAY COMMERCE CENTER
PARCEL "A-42"
UNITED ARTISTS THEATRE
HOWARD COUNTY, MARYLAND

SCALE	N/A	ZONING	M-1	G. L. W. FILE NO.	94120
DATE	11-17-95	TAX MAP NO.	42	SHEET	6 of 8

SDP-96-02

Parcel 'A-42'



Profile Scale:
 Horz. : 1" = 50'
 Vert. : 1" = 5'

Size	Type	Length
12"	PVC, sch'd. 40	112
15"	RCP, class IX	529
18"	RCP, class IX	187
21"	RCP, class IX	155
24"	RCP, class IX	314
33"	RCP, class IX	289

No.	Type	Width (Grade)	Top Elevation		Invert Elevation		Std. Detail	Locations	Remarks
			Upper	Lower	Upper	Lower			
I-10	A-5	4'-0"	357.83	357.70	347.71	347.52	SD 4.40	See Plan	
I-11	"	3'-0"	358.00	-	352.12	352.03	"	"	
I-12	"	3'-0"	358.54	-	352.27	351.84	"	"	
I-13	"	2'-0"	357.20	-	352.75	-	"	"	
I-14	"	2'-0"	357.00	-	352.75	352.48	"	"	
I-15	"	2'-0"	357.19	357.14	352.75	-	"	"	
I-16	Double 's'	-	358.40	-	352.25	352.23	SD 4.23	"	
I-17	A-5	2'-0"	356.70	-	352.75	-	SD 4.40	"	
I-18	"	2'-0"	357.00	-	352.75	-	"	"	
I-19	"	2'-0"	356.90	356.84	352.75	-	"	"	
M10	Std Manhole	5'-0"	359.13	-	349.92	348.99	G.5.02	See Plan	
M11	"	4'-0"	361.14	-	351.89	350.92	G.5.01	"	
M12	"	4'-0"	361.72	-	352.76	351.97	"	"	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature]
 Director
 [Signature]
 Chief, Development Engineering Division
 [Signature]
 Chief, Division of Land Development & Research
 Date: 12/21/95
 Date: 12/15/95
 Date: 12/21/95

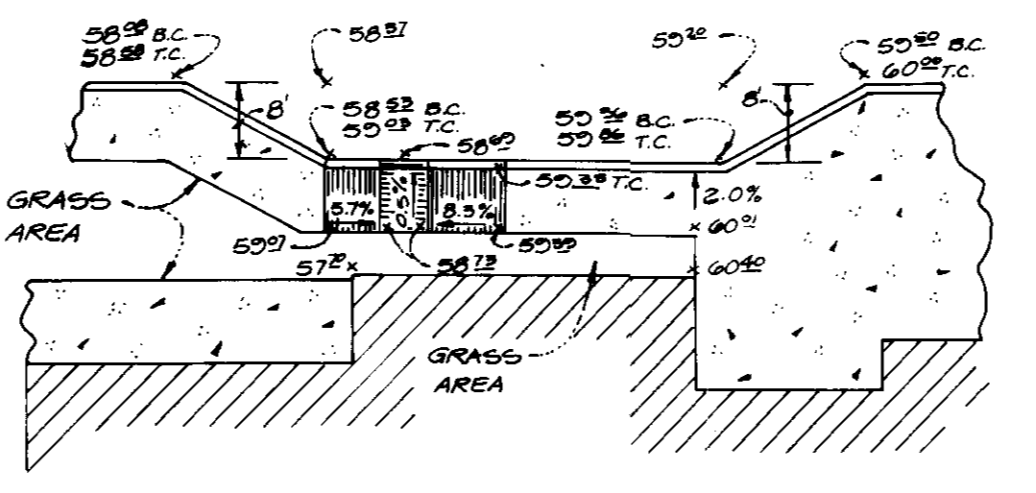
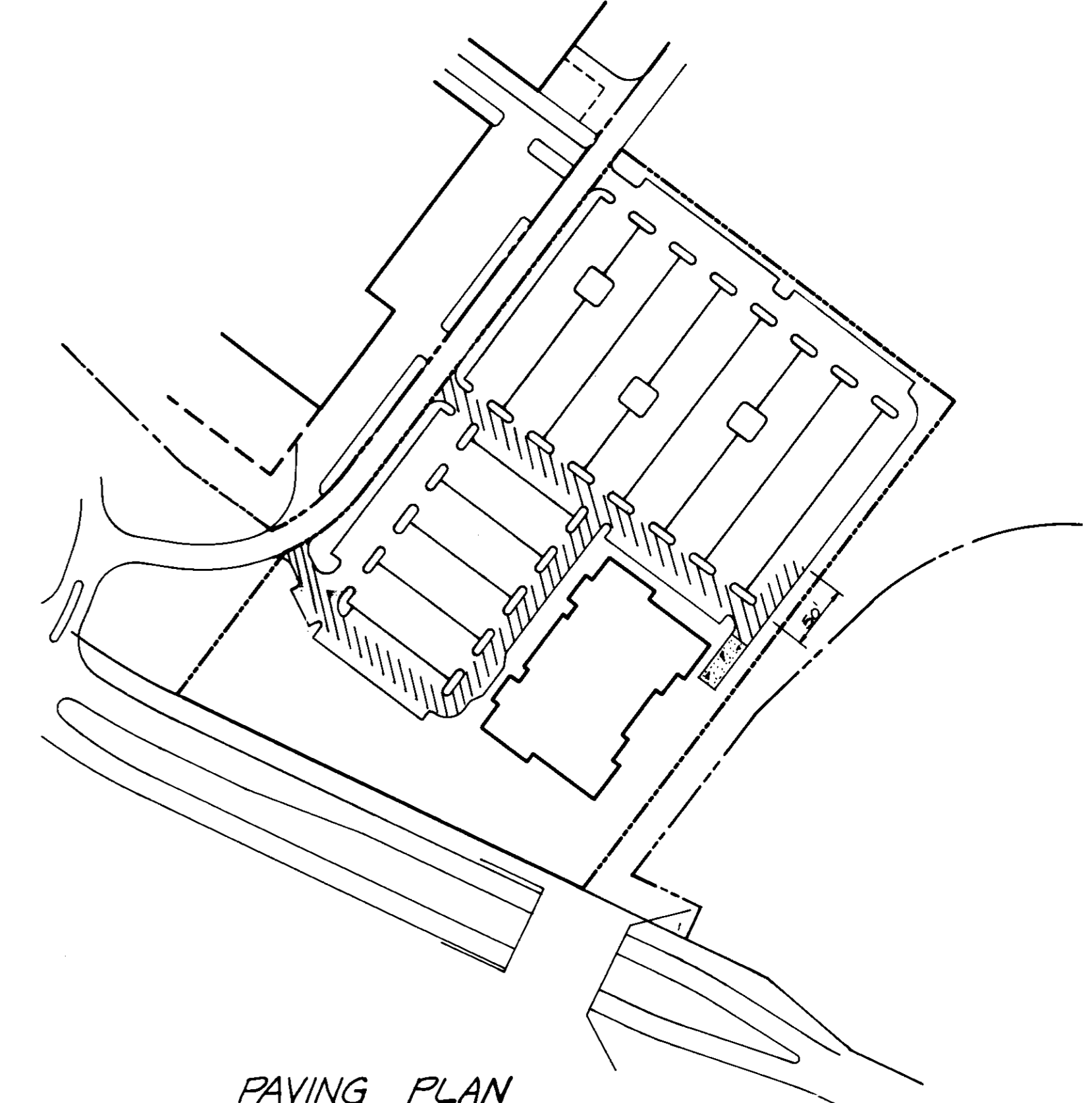
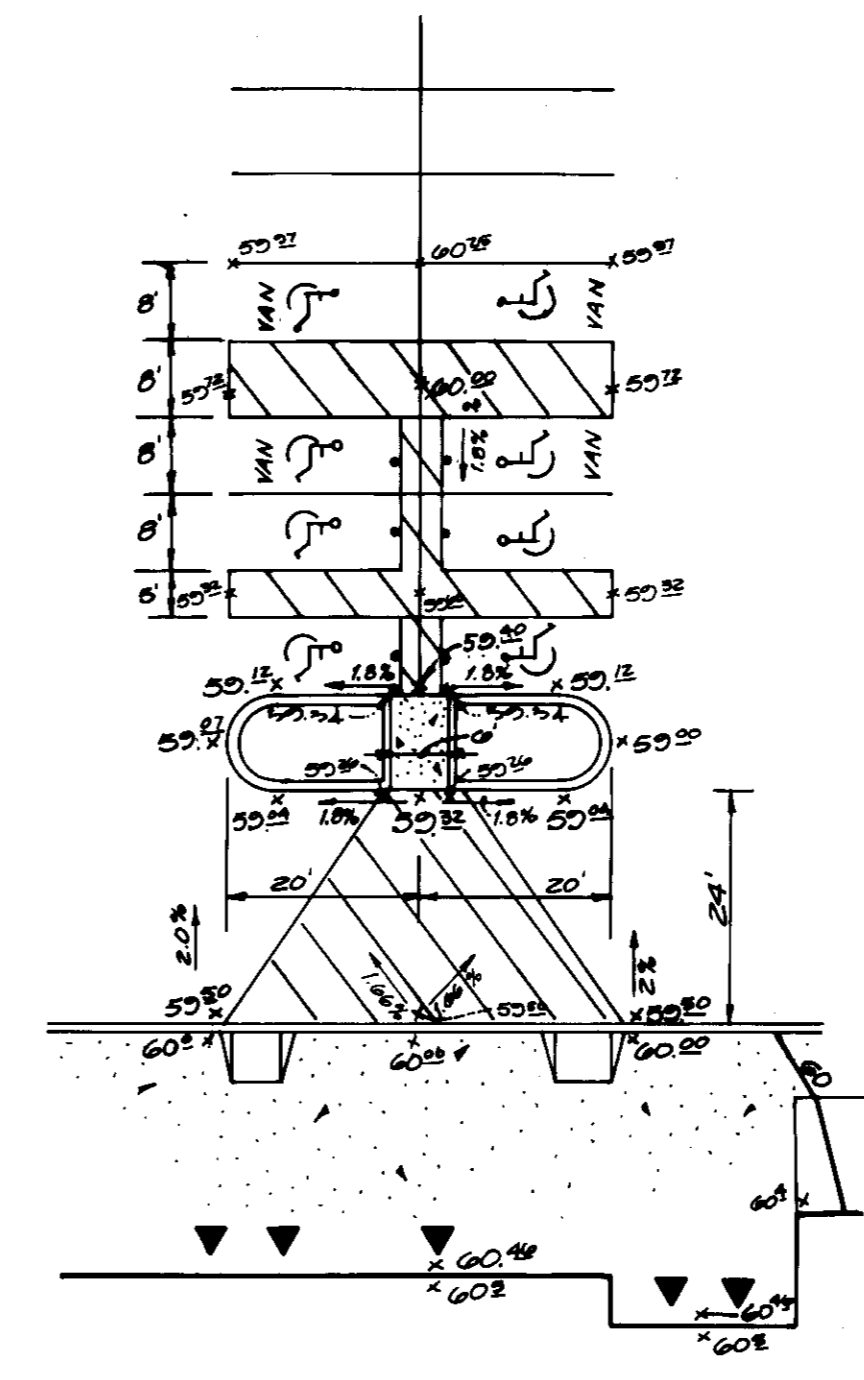
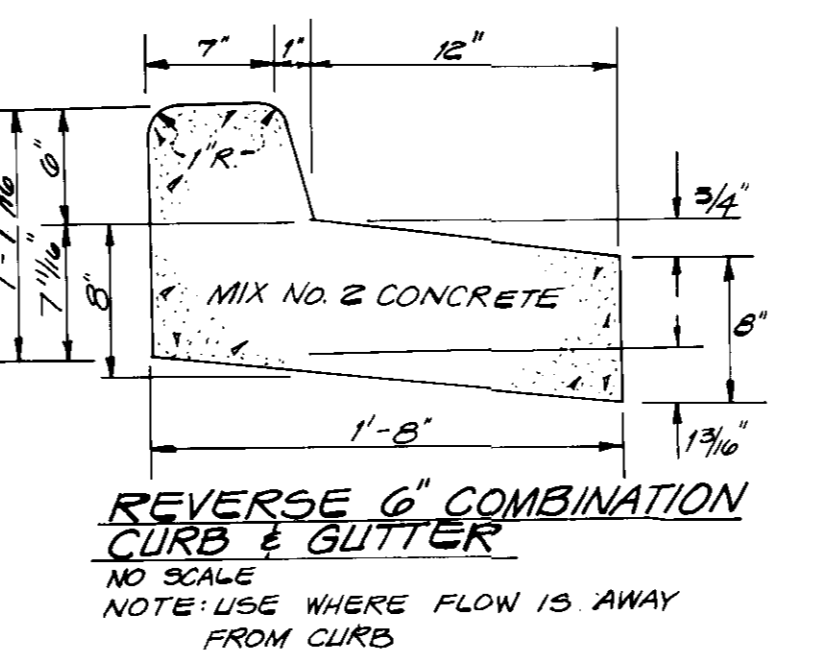
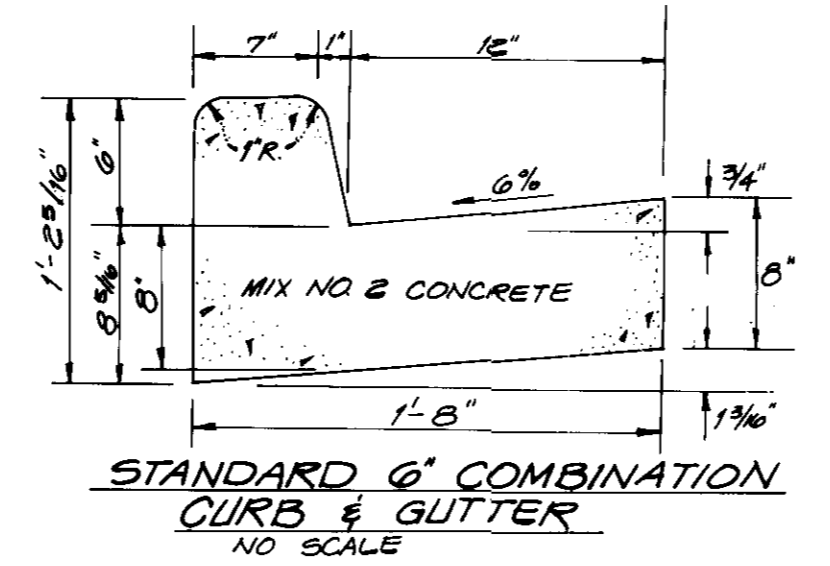
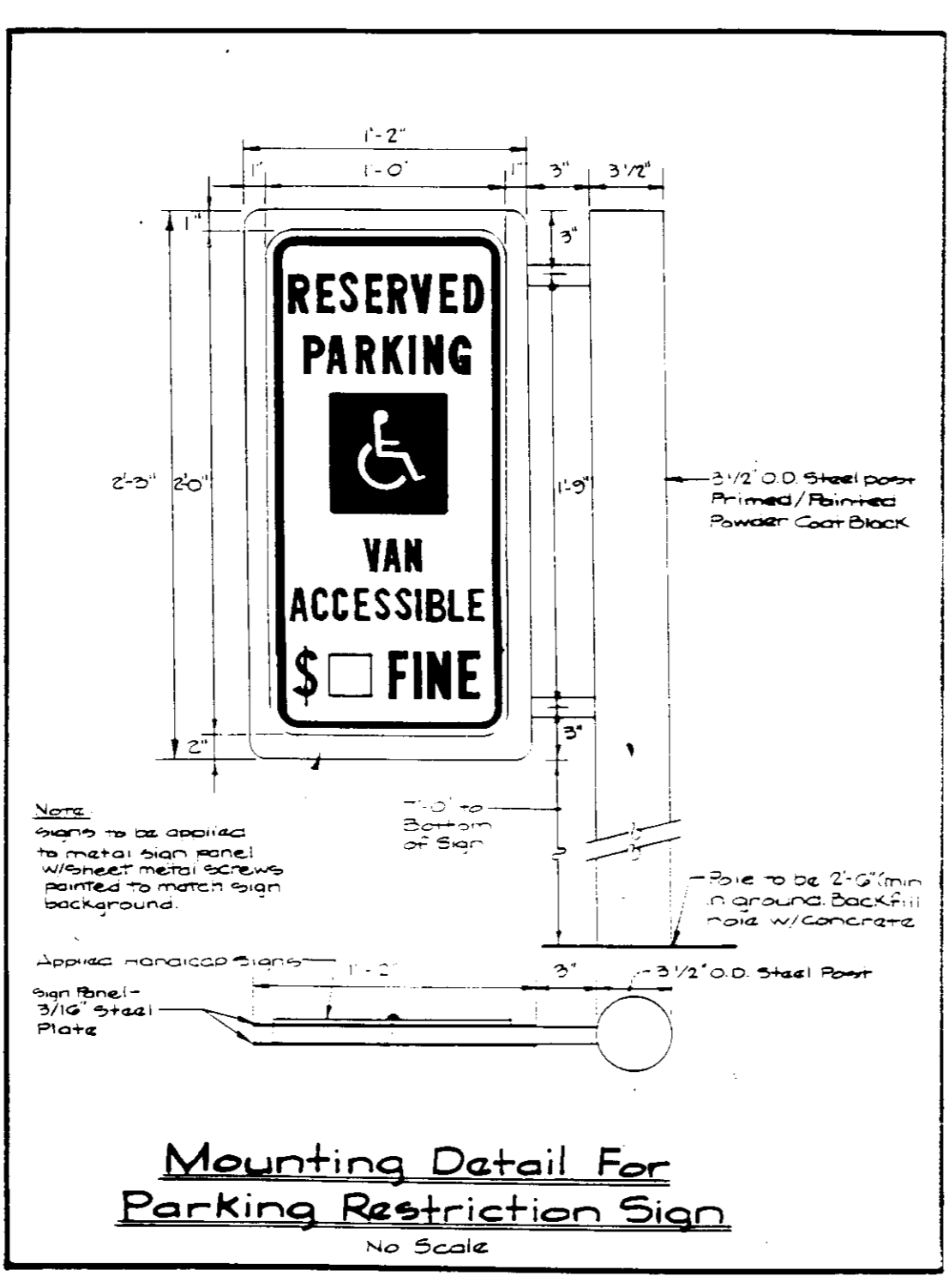
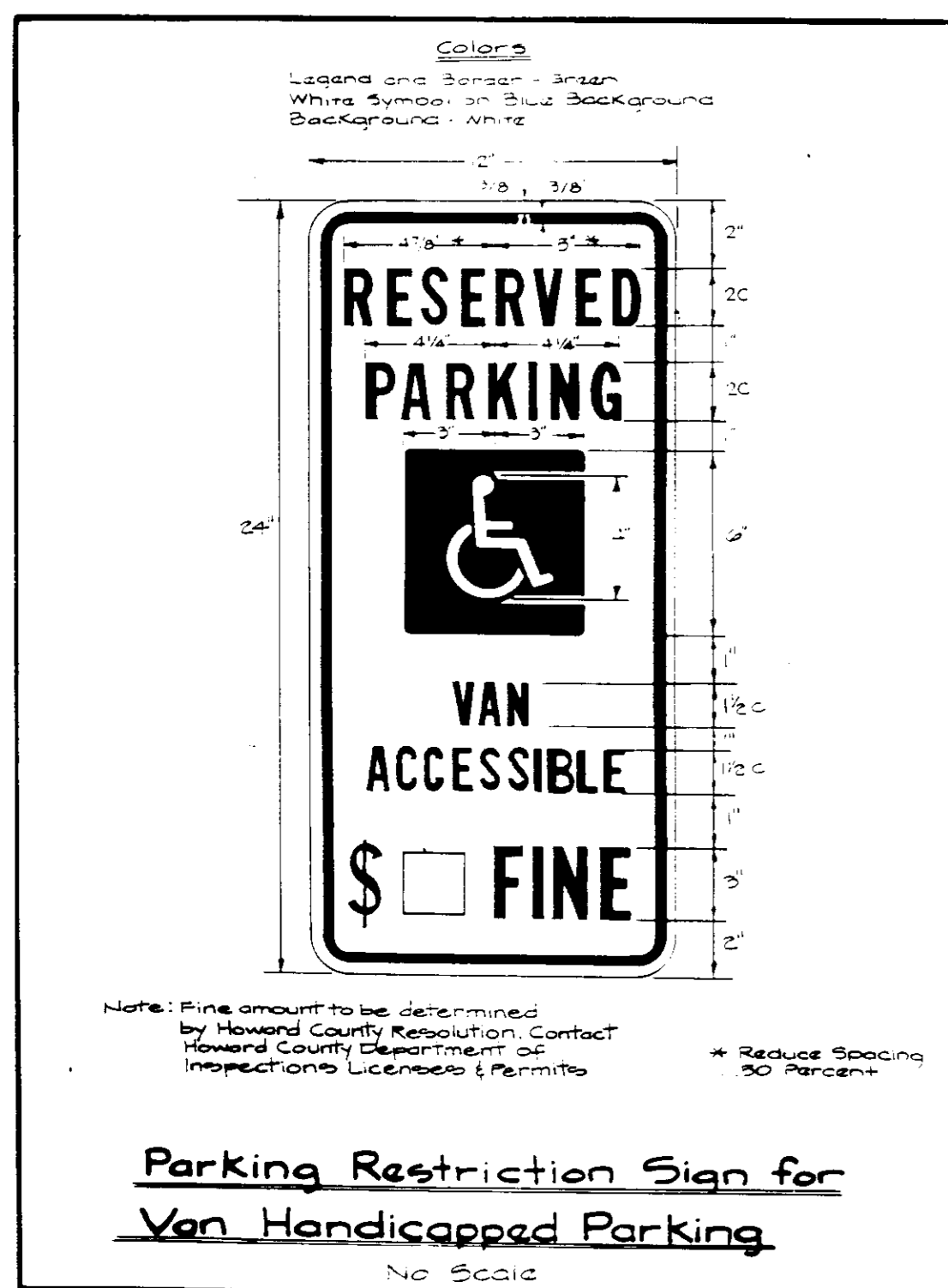
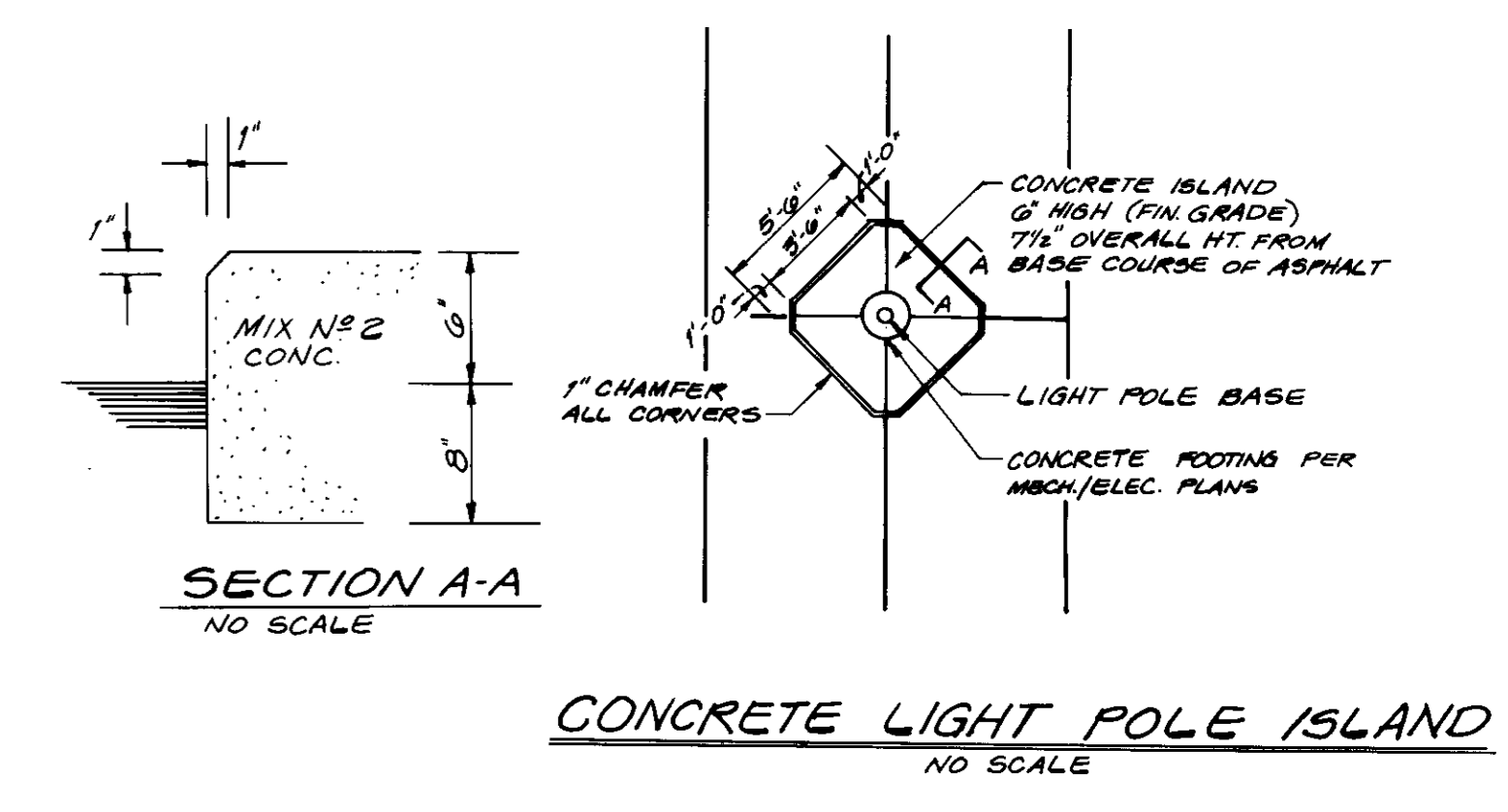
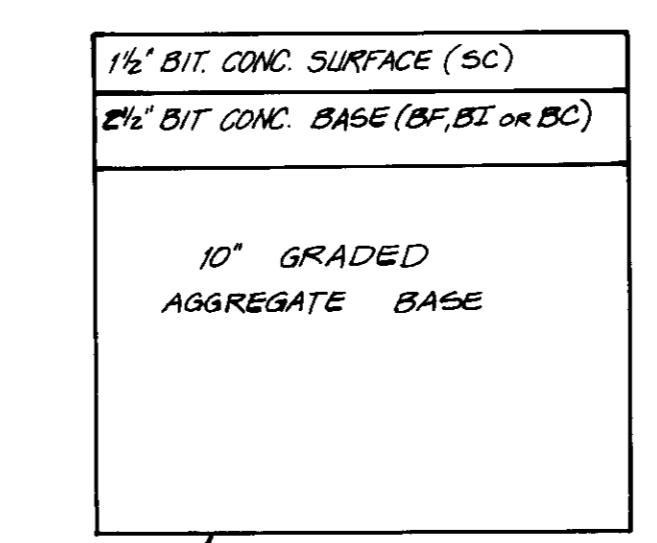
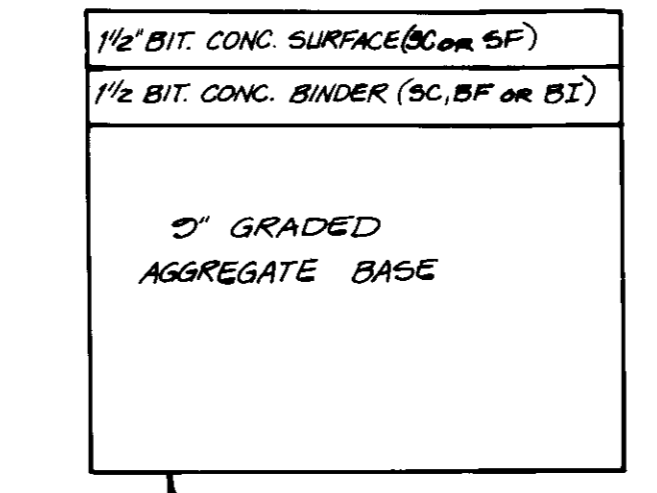
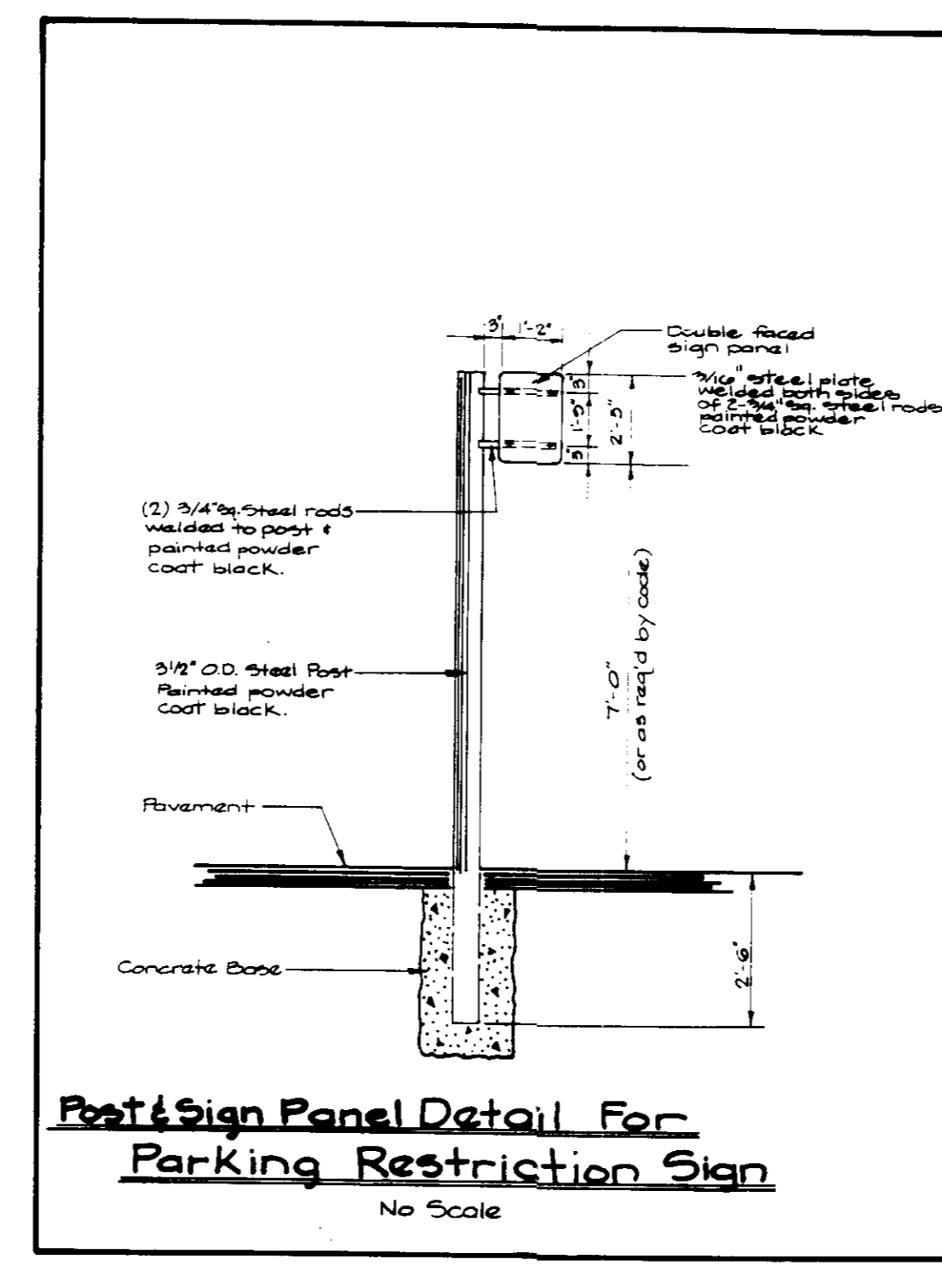
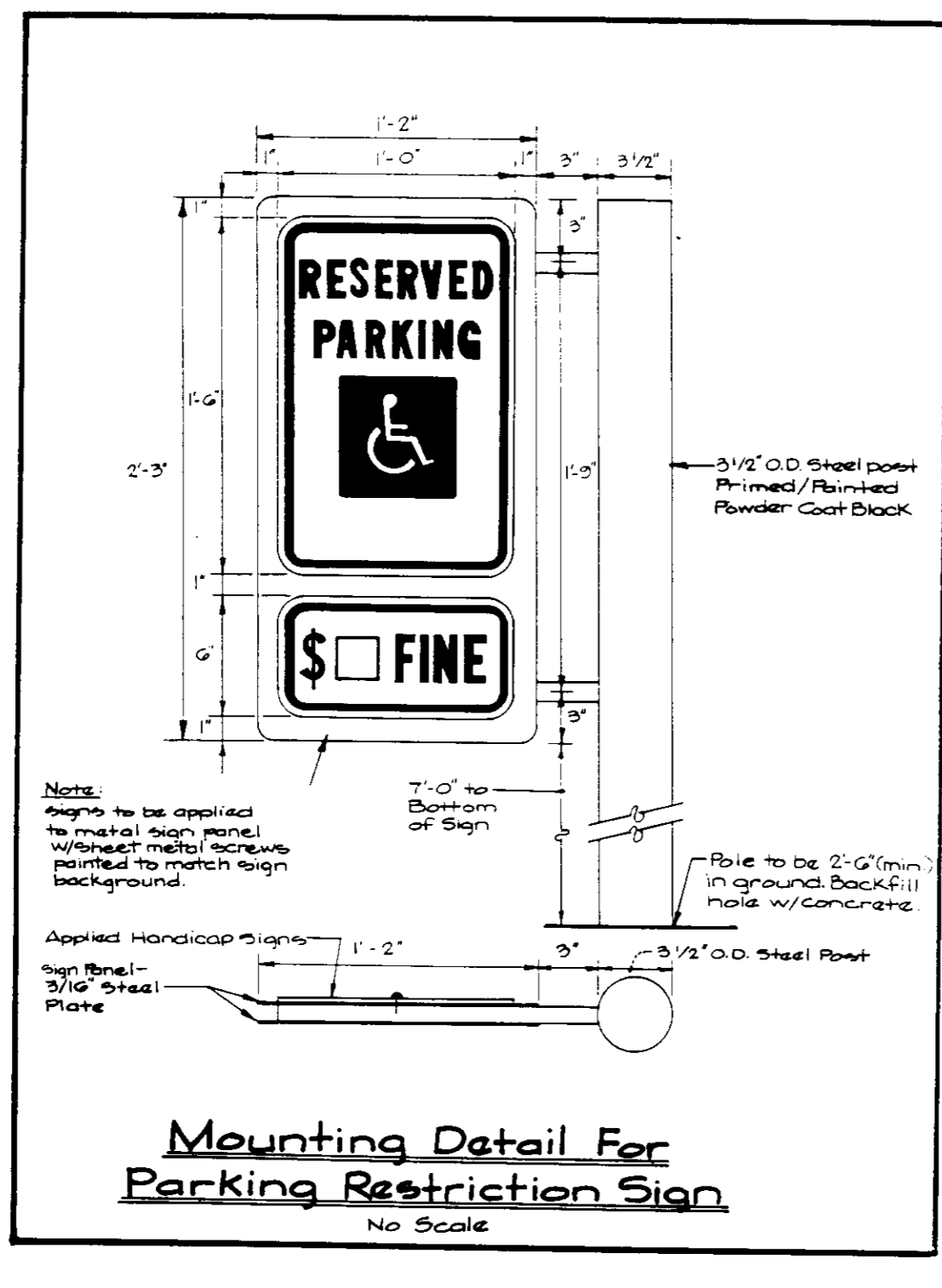
GW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20886
 TELEPHONE (301)421-4024 NO.VA (301)989-2524 BALTO (301)880-1820 FAX (301)421-4186

PREPARED FOR:
 UNITED ARTISTS THEATRE CIRCUIT, INC.
 9110 E. NICHOLS AVENUE, SUITE 200
 ENGLEWOOD, CO. 80112-3405
 PHONE: (303) 792-3600
 ATTN: MR. DANIEL L. ODGEN, VICE-PRESIDENT

PROFILES & SCHEDULES
 GATEWAY COMMERCE CENTER
 PARCEL "A-42"
 UNITED ARTISTS THEATRE
 HOWARD COUNTY, MARYLAND

DES.:	SCALE	ZONING	G.L.W. FILE No.
D.E.V.	AS SHOWN	M-1	9A-120
DRN.:	DATE	TAX MAP No.	SHEET
W.F.L.	11-7-95	42	7 OF 8
CHK.:	C.K.G.		

SDP 96-02



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard Kuttler 12/21/95
Director

John Summers 12/15/95
Chief, Development Engineering Division

Anna Stumm 12/21/95
Chief, Division of Land Development & Research

CKJ

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
TELEPHONE (301)421-4024 NO VA (301)989-2524 BALTO (301)880-1820 FAX (301)421-4186

12-4-95 ADDED DETAIL OF RAMP & DROP-OFF DATE

HKJ
BT

PREPARED FOR:
UNITED ARTISTS THEATRE CIRCUIT, INC.
9110 E. NICHOLS AVENUE, SUITE 200
ENGLEWOOD, CO. 80112-3405
PHONE: (303) 792-3600
ATTN: MR. DANIEL L. OGDEN, VICE-PRESIDENT

NOTES & DETAILS
GATEWAY COMMERCE CENTER
PARCEL "A-42"
UNITED ARTISTS THEATER

DES.: DEV	SCALE: AS SHOWN	ZONING: M-1	GL.W FILE No.: 24-120
DRN.: HKJ	DATE: 11-17-95	TAX MAP No.: 42	SHEET: 8 OF 8
CHK.: DEV			

SDP 96.02