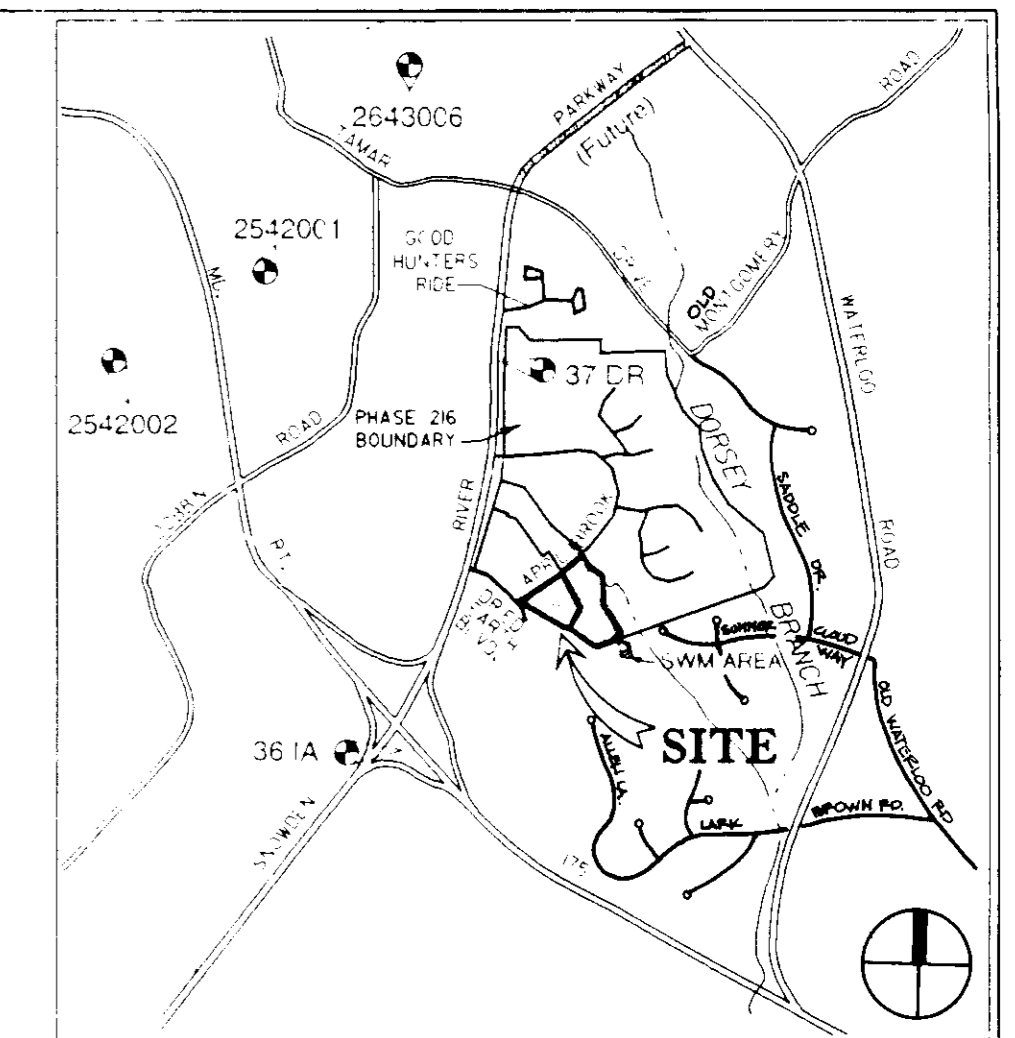


# VILLAGE OF LONGREACH SECTION 4 AREA 2 LOTS E1-E98 & F1-F59 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA CHART	
1. General Site Data	
a. Present Zoning	NT-SFA
b. Applicable DPZ Reference	FDP Phase 26, 93-117-R, SP-95-04, F-95-126, S-93-16, P-94-16, F-95-25, #24-3422-D, #24-3355-D, #20-3352-D, Deed Ref. L. 1535 F. 103, SP-95-02
c. Proposed Use of Site or Structures	SFA
d. Proposed Water and Sewer Systems	PUBLIC Public Private
e. N/A: Parcel to be a Rental Community and will have a single owner.	
2. Area Tabulation	
a. Total Project Area	7.94 Acres
b. Net Area of Site	4.337 Acres
c. Area of This Plan Submissions	4.337 Acres
d. Limit of Disturbed Area	4.337 Acres
e. Building Coverage of Site	0.000 Acres and 0% of Gross Area Permitted (As Read by Zoning Regs)
3. Unit / Lot Tabulation	
a. Total Number of Residential Units / Lots Allowed for Project	N/A
b. Total Number of Residential Units / Lots Proposed on This Submission	93 UNITS / 93 LOTS
c. Density of Project per Net Area	21.4 UNITS / AC.
d. Total Number of Non-Residential Units / Parcels on This Submission	2 LOTS
e. Overall Total Number of Lots / Parcels on This Submission	95 LOTS
4. Open Space Data	
a. Community Open Area on Site	0.327 Acres 7.34% of Gross Area Proposed on This Submission
b. Area of Recreation Open Space Required by Subdivision and Land Development Regulations	N/A
5. Parking Space Data	
a. Number of Parking Spaces Required by FDP Criteria at 2 spaces/unit	190
b. Total Number of Parking Spaces Provided on Site (21.50 SP, 14 GARAGE SP, 14 DRIVEWAY SP, TOTAL 50)	50

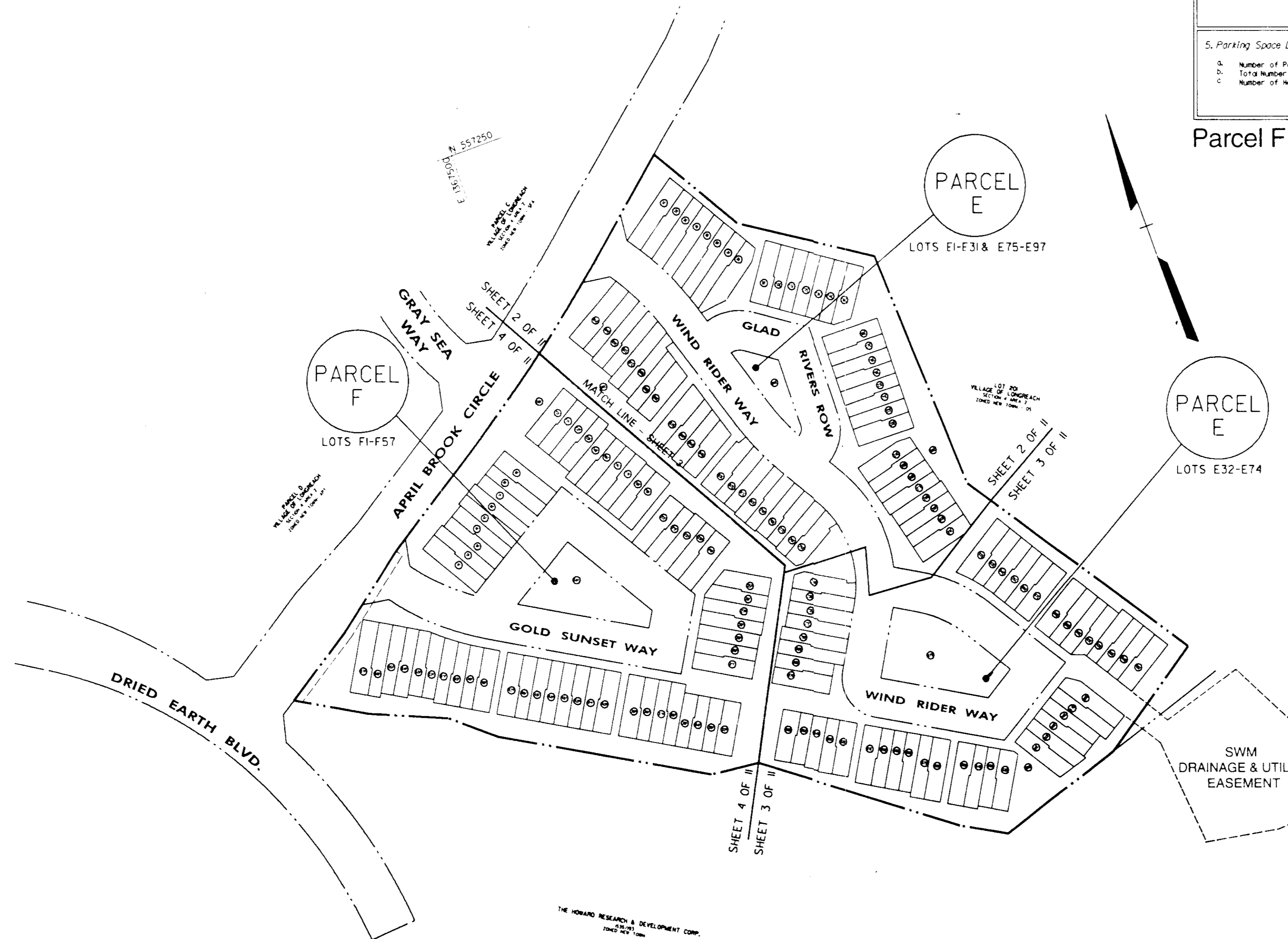
SITE ANALYSIS DATA CHART	
1. General Site Data	
a. Present Zoning	NT-SFA
b. Applicable DPZ Reference	FDP Phase 26, 93-117-R, SP-95-04, F-95-126, S-93-16, P-94-16, F-95-25, #24-3422-D, #24-3355-D, #20-3352-D, Deed Ref. L. 1535 F. 103, SP-95-02
c. Proposed Use of Site or Structures	SFA
d. Proposed Water and Sewer Systems	PUBLIC Public Private
2. Area Tabulation	
a. Total Project Area	4.337 Acres
b. Net Area of Site	4.337 Acres
c. Area of This Plan Submissions	4.337 Acres
d. Limit of Disturbed Area	4.337 Acres
e. Building Coverage of Site	0.000 Acres and 0% of Gross Area Permitted (As Read by Zoning Regs)
3. Unit / Lot Tabulation	
a. Total Number of Residential Units / Lots Allowed for Project	N/A
b. Total Number of Residential Units / Lots Proposed on This Submission	57 UNITS / 57 LOTS
c. Density of Project per Net Area	13.1 UNITS / AC.
d. Total Number of Non-Residential Units / Parcels on This Submission	2 LOTS
e. Overall Total Number of Lots / Parcels on This Submission	59 LOTS
4. Open Space Data	
a. Community Open Area on Site	0.526 Acres 15.84% of Gross Area Proposed on This Submission
b. Area of Recreation Open Space Required by Subdivision and Land Development Regulations	N/A
5. Parking Space Data	
a. Number of Parking Spaces Required by FDP Criteria at 2 spaces/unit	114
b. Total Number of Parking Spaces Provided on Site (21.50 SP, 14 GARAGE SP, 14 DRIVEWAY SP, TOTAL 50)	50
c. Number of Handicapped Parking Spaces Provided	N/A



Vicinity Map Scale 1" = 2000'

Parcel E

Parcel F



LOCATION MAP  
SCALE 1" = 100'

- The subject property is zoned NT-SFA.
- The coordinates shown herein are based on NAD 83 Maryland Coordinate System as projected by Howard County Geodetic Control Station Numbers 361A, E, W, 400.81 and 37 CR Elev. 380.34
- All roadways are public and are existing.
- Total area included in this submission is 504,904 S.F. or 11.591 Ac.
- There are 152 units on 152 residential lots plus 5 community open areas for a total of 157 lots.
- The contractor shall verify all locations, dimensions and grades before proceeding with construction.
- Any damage to county-owned right-of-way shall be corrected at the developer's expense.
- Reference plans: FDP Phase 216, 93-117-R, SP-95-04, F-95-126, S-93-16, P-94-16, F-95-25, #24-3422-D, #24-3355-D, #20-3352-D, Deed Ref. L. 1535 F. 103, SP-95-02
- The contractor or developer shall contact the construction/inspection survey division 24 hours in advance of commencement of work at 313-1880.
- Topography shown herein is taken from aerial maps dated 1963 from Howard Research & Development Corp. supplemented topographic data by Clark, Finetrock & Sackett, Inc. SEC & grading plan and field data by Daft McCune & Walker 5/94.
- All road construction, storm drainage facilities, and public water and sewer are shown for reference only. Refer to F-95-126 & Contract # 24-3422-D plans for all phases of construction.
- All work shall be performed in accordance with the latest version of Howard County Standards, Specifications, and Details for Construction.
- All driveway entrances shall be constructed in accordance with Howard County Standard Details R-6-03.
- Community Open Space Lots: 58F, 59F, 96E, 97E, and 98E.
- Decks, open or closed, may extend not more than 3 feet into a required front or rear yard. Bay windows, porches, vestibules, balconies, or chimneys not more than 10 feet in width may project not more than 4 feet into the setback area. Refer to FDP Phase 216 for all setback provisions.
- Miss Utility Note  
Contractor to notify the following utilities or agencies at least five days before starting work shown on these drawings:  
Miss Utility: 1-800-257-7777  
CAP Telephone Company: 726-9876  
Howard County Bureau of Utilities: 313-4900  
AT&T Cable Location Division: 393-3553  
Baltimore Gas & Electric Company: 685-0123  
State Highway Administration: 531-5533
- SWM quantity and quality will be provided by F-95-25 in adjacent open space. Open Space Lot 201 is part of FDP Phase 216.
- Wetlands shown have been determined by field delineation by Kidd Consultants and surveyed by Finser, Collins and Carter, and by field delineation by GTA and surveyed by Gutschick, Little and Weber.
- Floods: an study for tributaries to Dorsey Run prepared by Clark Finetrock & Sackett, Inc. Floodplain study for Dorsey Run taken from previously approved study by Purdom & Jeschke, dated March 1987.
- There are no known burial grounds or cemeteries located within the site.

- Garages shall be used for parking purposes only in accordance with Section 133.C(1)(a) of the Zoning Regulations.
- Refuse to be picked up at curb side.

BENCHMARK	BENCHMARK
DESCRIPTION: STATION 37DR (14" REBAR) N16988U794, E416566, 7551 FOR HORIZONTAL CONTROL ONLY)	DESCRIPTION: STATION 2542002 (CONCRETE MONUMENT) ELEV. 426.9711 FOR VERTICAL CONTROL ONLY) STATION IS LOCATED 0.45 MILES NORTH OF RTE. 175 AND 46' EAST OF THE EAST CURB OF SNOWDEN RIVER PARKWAY
DESCRIPTION: STATION 361A (CONCRETE MONUMENT) N169205, S2553, E416333, 519 (FOR HORIZONTAL CONTROL ONLY) STATION IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF SNOWDEN RIVER PARKWAY AND RTE. 175 3' FROM CURB AND 5.7' FROM GUARDRAIL END	DESCRIPTION: STATION 2542002 (CONCRETE MONUMENT) ELEV. 363.634 (FOR VERTICAL CONTROL ONLY) STATION IS LOCATED 1000' WEST OF RTE. 175 ON TRANSMISSION LINE AT G. & E. TOWER 19-E NEAR HANOVERS RESTAURANT ENTRANCE

BENCHMARK	BENCHMARK
DESCRIPTION: STATION 37DR (14" REBAR) N16988U794, E416566, 7551 FOR HORIZONTAL CONTROL ONLY)	DESCRIPTION: STATION 2542002 (CONCRETE MONUMENT) ELEV. 426.9711 FOR VERTICAL CONTROL ONLY) STATION IS LOCATED 0.45 MILES NORTH OF RTE. 175 AND 46' EAST OF THE EAST CURB OF SNOWDEN RIVER PARKWAY
DESCRIPTION: STATION 361A (CONCRETE MONUMENT) N169205, S2553, E416333, 519 (FOR HORIZONTAL CONTROL ONLY) STATION IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF SNOWDEN RIVER PARKWAY AND RTE. 175 3' FROM CURB AND 5.7' FROM GUARDRAIL END	DESCRIPTION: STATION 2542002 (CONCRETE MONUMENT) ELEV. 363.634 (FOR VERTICAL CONTROL ONLY) STATION IS LOCATED 1000' WEST OF RTE. 175 ON TRANSMISSION LINE AT G. & E. TOWER 19-E NEAR HANOVERS RESTAURANT ENTRANCE

NO.	SHEET TITLE
1 OF 11	COVER SHEET
2 OF 11	SITE/GRADING PLAN
3 OF 11	SITE/GRADING PLAN
4 OF 11	SITE/GRADING PLAN
5 OF 11	LANDSCAPE PLAN
6 OF 11	LANDSCAPE PLAN
7 OF 11	LANDSCAPE PLAN
8 OF 11	SEDIMENT AND EROSION CONTROL PLAN
9 OF 11	SEDIMENT AND EROSION CONTROL PLAN
10 OF 11	SEDIMENT AND EROSION CONTROL PLAN
11 OF 11	SEDIMENT AND EROSION CONTROL DETAILS

APPROVED: DEPARTMENT OF PLANNING & ZONING  
*John J. Walker* 9/2/95  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE  
*Anna J. Swartz* 10/5/95  
 CHIEF, DIVISION OF LAND DEVELOPMENT & RESEARCH SA DATE  
*John J. Walker* 10/5/95  
 DIRECTOR DATE

10/20/96 1 ELIMINATE ALL 23' LOW LEVEL GRADE ACCESS UNITS.  
 MAKE SITE ANALYSIS DATA CHART & GENERAL NOTES.

## VILLAGE OF LONGREACH

SECTION 4 AREA 2  
 LOTS E1 - E98 & F1 - F59  
 152 UNITS

OWNER/DEVELOPER  
 H.M. GEORGE, CO. LLC  
 P.O. BOX 1272  
 COLUMBIA, MD. 21044

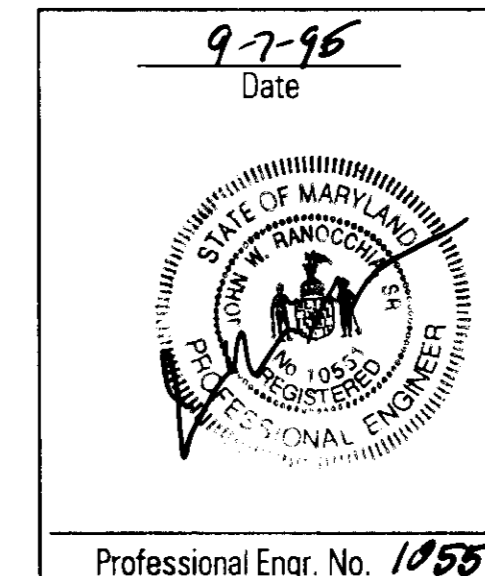
**DMW**  
 Daft McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 286-3333  
 Fax 286-4706

A Team of Land Planners,  
 Landscape Architects,  
 Engineers, Surveyors &  
 Environmental Professionals

SECTION NAME	SECTION NO.	SECTION	SECTION	SECTION
LONGREACH	SEC 4 AREA 2	LOT 255	E F	
DATE	DATE	DATE	DATE	DATE
10/20/96	10/20/96	10/20/96	10/20/96	10/20/96

TITLE  
**COVER SHEET**

Des By	Scale	1" = 100'	Proj. No.	94020C
Drn By	Date	6/8/95		
Chk By	Approved			<b>1 OF 11</b>

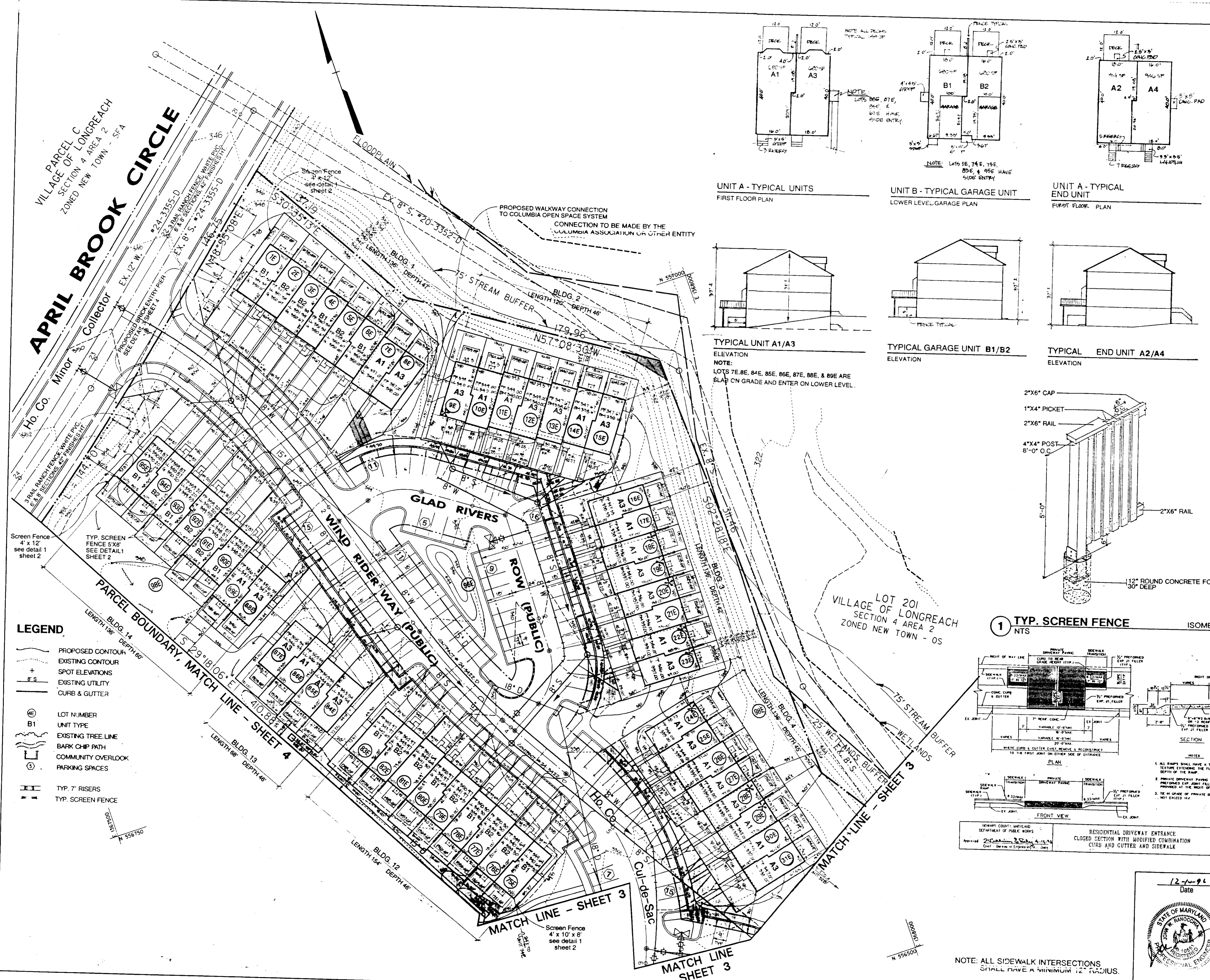


CV-94020C-4  
 5/27/95-120

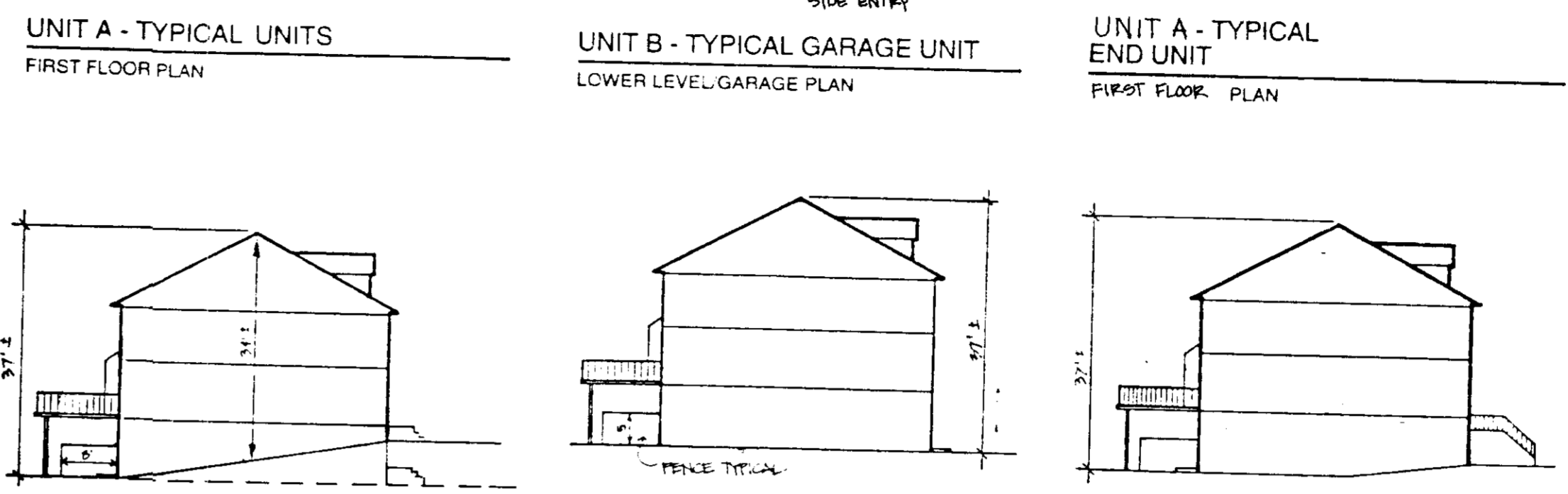
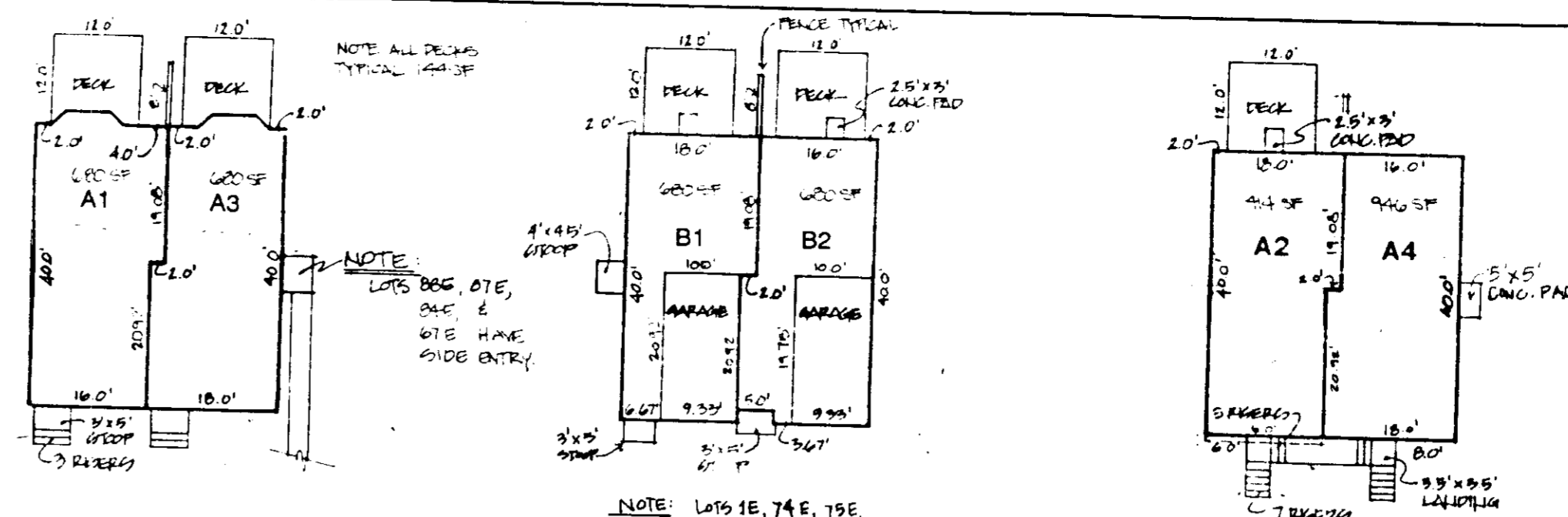


PARCEL C  
SECTION 4 AREA 2  
ZONED NEW TOWN - SFA

**APRIL BROOK CIRCLE**



- LEGEND**
- PROPOSED CONTOUR
  - - - EXISTING CONTOUR
  - SPOT ELEVATIONS
  - - - EXISTING UTILITY
  - CURB & GUTTER
  - ④ LOT NUMBER
  - B1 UNIT TYPE
  - EXISTING TREE LINE
  - BARK CHIP PATH
  - COMMUNITY OVERLOOK
  - PARKING SPACES
  - TYP. 7" RISERS
  - TYP. SCREEN FENCE



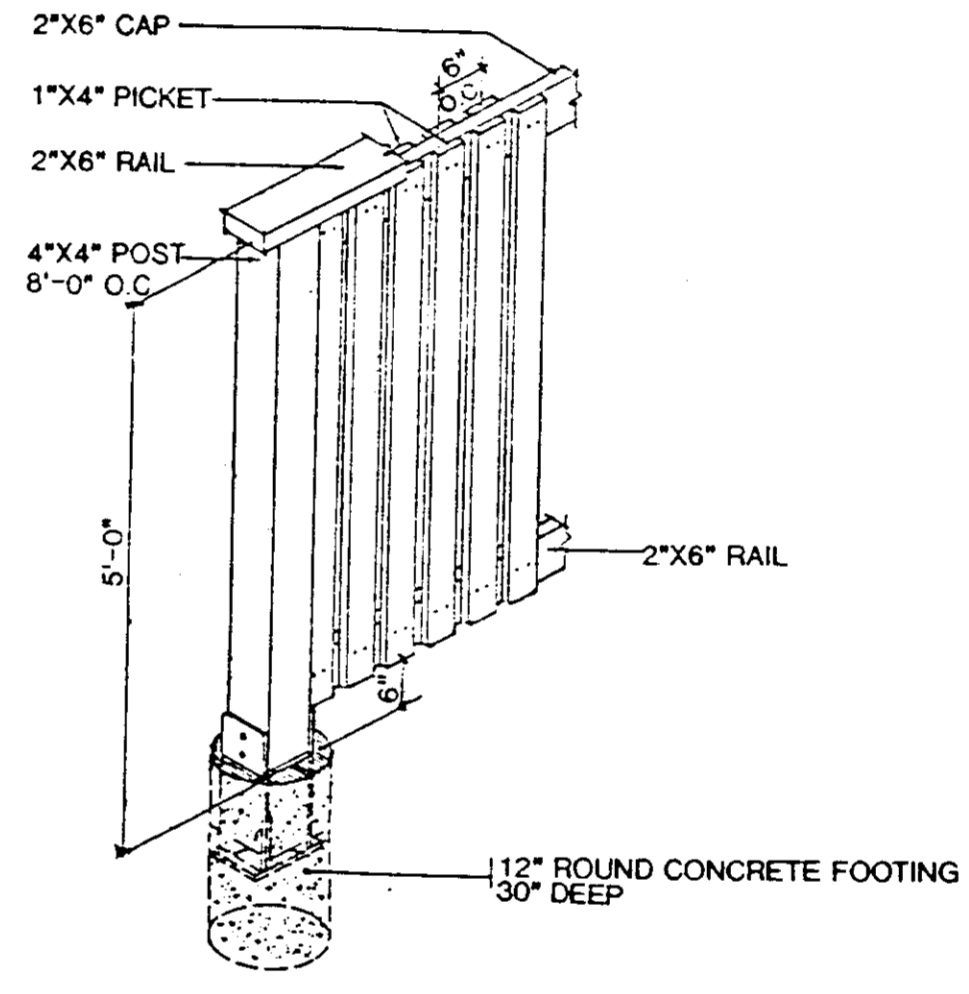
**TYPICAL UNIT A1/A3 ELEVATION**  
NOTE: LOTS 7E, 8E, 84E, 85E, 86E, 87E, 88E, & 89E ARE SLAB ON GRADE AND ENTER ON LOWER LEVEL.

**TYPICAL GARAGE UNIT B1/B2 ELEVATION**

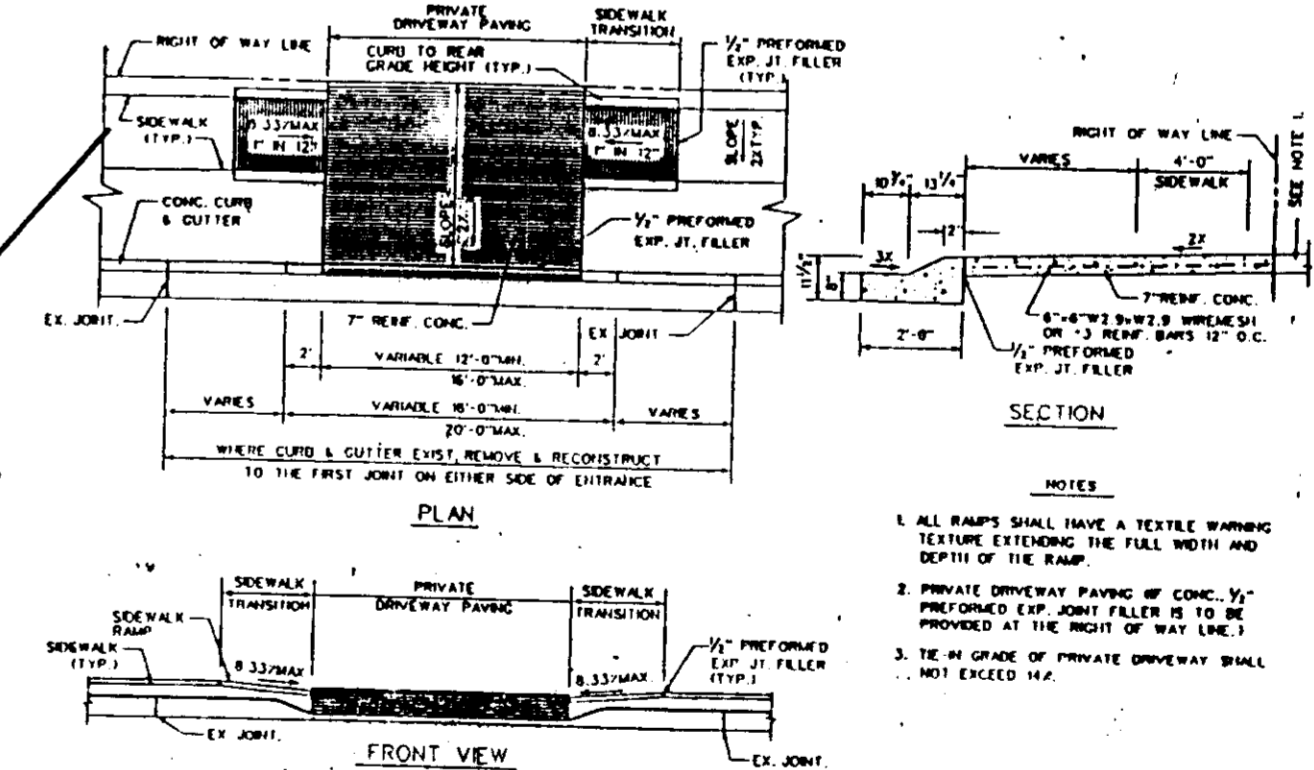
**TYPICAL END UNIT A2/A4 ELEVATION**

Lot #	Min. Sewerable Elevation	Sewer Invert Proposed Elev.	Base Elev. Provided	Lot #	Address
1E	345.7	340.9	351.34	5E	2501 WIND RIDER WAY
2E	344.5	340.5	351.34	6E	2505 WIND RIDER WAY
3E	344.3	339.9	351.34	7E	2507 WIND RIDER WAY
4E	343.9	339.8	350.47	8E	2509 WIND RIDER WAY
5E	343.9	339.3	349.87	9E	2511 WIND RIDER WAY
6E	343.0	338.9	348.00	10E	2513 WIND RIDER WAY
7E	343.0	338.9	348.00	11E	2515 WIND RIDER WAY
8E	339.9	335.6	340.00	12E	2517 WIND RIDER WAY
9E	339.9	334.9	340.00	13E	2519 WIND RIDER WAY
10E	339.9	334.5	340.00	14E	2521 WIND RIDER WAY
11E	339.9	333.9	338.00	15E	2523 WIND RIDER WAY
12E	337.5	332.9	338.00	16E	2525 WIND RIDER WAY
13E	337.5	332.9	338.00	17E	2527 WIND RIDER WAY
14E	337.2	332.9	336.87	18E	2529 WIND RIDER WAY
15E	337.2	332.9	336.87	19E	2531 WIND RIDER WAY
16E	336.8	332.2	336.87	20E	2533 WIND RIDER WAY
17E	336.8	332.2	336.87	21E	2535 WIND RIDER WAY
18E	336.2	332.4	337.00	22E	2537 WIND RIDER WAY
19E	336.2	332.2	337.00	23E	2539 WIND RIDER WAY
20E	336.2	332.1	337.00	24E	2541 WIND RIDER WAY
21E	336.0	331.9	337.00	25E	2543 WIND RIDER WAY
22E	336.2	332.1	337.00	26E	2545 WIND RIDER WAY
23E	336.1	332.1	337.00	27E	2547 WIND RIDER WAY
24E	334.5	329.8	336.00	28E	2549 WIND RIDER WAY
25E	333.5	329.8	336.00	29E	2551 WIND RIDER WAY
26E	333.0	329.0	335.00	30E	2553 WIND RIDER WAY
27E	333.0	329.0	335.00	31E	2555 WIND RIDER WAY
28E	332.5	328.8	335.00	32E	2557 WIND RIDER WAY
29E	332.4	328.1	335.00	33E	2559 WIND RIDER WAY
30E	331.6	327.8	333.00	34E	2561 WIND RIDER WAY
31E	331.2	327.7	332.00	35E	2563 WIND RIDER WAY
32E	331.0	327.7	332.00	36E	2565 WIND RIDER WAY
33E	330.4	327.4	331.84	37E	2567 WIND RIDER WAY
34E	329.4	327.0	331.84	38E	2569 WIND RIDER WAY
35E	329.4	327.0	331.84	39E	2571 WIND RIDER WAY
36E	329.1	326.8	331.20	40E	2573 WIND RIDER WAY
37E	328.7	326.8	331.20	41E	2575 WIND RIDER WAY
38E	328.2	326.5	331.20	42E	2577 WIND RIDER WAY
39E	328.2	326.5	331.20	43E	2579 WIND RIDER WAY
40E	328.2	326.5	331.20	44E	2581 WIND RIDER WAY
41E	328.2	326.5	331.20	45E	2583 WIND RIDER WAY
42E	328.2	326.5	331.20	46E	2585 WIND RIDER WAY
43E	328.2	326.5	331.20	47E	2587 WIND RIDER WAY
44E	328.2	326.5	331.20	48E	2589 WIND RIDER WAY
45E	328.2	326.5	331.20	49E	2591 WIND RIDER WAY
46E	328.2	326.5	331.20	50E	2593 WIND RIDER WAY
47E	328.2	326.5	331.20	51E	2595 WIND RIDER WAY
48E	328.2	326.5	331.20	52E	2597 WIND RIDER WAY
49E	328.2	326.5	331.20	53E	2599 WIND RIDER WAY
50E	328.2	326.5	331.20	54E	2601 WIND RIDER WAY
51E	328.2	326.5	331.20	55E	2603 WIND RIDER WAY
52E	328.2	326.5	331.20	56E	2605 WIND RIDER WAY
53E	328.2	326.5	331.20	57E	2607 WIND RIDER WAY
54E	328.2	326.5	331.20	58E	2609 WIND RIDER WAY
55E	328.2	326.5	331.20	59E	2611 WIND RIDER WAY
56E	328.2	326.5	331.20	60E	2613 WIND RIDER WAY
57E	328.2	326.5	331.20	61E	2615 WIND RIDER WAY
58E	328.2	326.5	331.20	62E	2617 WIND RIDER WAY
59E	328.2	326.5	331.20	63E	2619 WIND RIDER WAY
60E	328.2	326.5	331.20	64E	2621 WIND RIDER WAY
61E	328.2	326.5	331.20	65E	2623 WIND RIDER WAY
62E	328.2	326.5	331.20	66E	2625 WIND RIDER WAY
63E	328.2	326.5	331.20	67E	2627 WIND RIDER WAY
64E	328.2	326.5	331.20	68E	2629 WIND RIDER WAY
65E	328.2	326.5	331.20	69E	2631 WIND RIDER WAY
66E	328.2	326.5	331.20	70E	2633 WIND RIDER WAY
67E	328.2	326.5	331.20	71E	2635 WIND RIDER WAY
68E	328.2	326.5	331.20	72E	2637 WIND RIDER WAY
69E	328.2	326.5	331.20	73E	2639 WIND RIDER WAY
70E	328.2	326.5	331.20	74E	2641 WIND RIDER WAY
71E	328.2	326.5	331.20	75E	2643 WIND RIDER WAY
72E	328.2	326.5	331.20	76E	2645 WIND RIDER WAY
73E	328.2	326.5	331.20	77E	2647 WIND RIDER WAY
74E	328.2	326.5	331.20	78E	2649 WIND RIDER WAY
75E	328.2	326.5	331.20	79E	2651 WIND RIDER WAY
76E	328.2	326.5	331.20	80E	2653 WIND RIDER WAY
77E	328.2	326.5	331.20	81E	2655 WIND RIDER WAY
78E	328.2	326.5	331.20	82E	2657 WIND RIDER WAY
79E	328.2	326.5	331.20	83E	2659 WIND RIDER WAY
80E	328.2	326.5	331.20	84E	2661 WIND RIDER WAY
81E	328.2	326.5	331.20	85E	2663 WIND RIDER WAY
82E	328.2	326.5	331.20	86E	2665 WIND RIDER WAY
83E	328.2	326.5	331.20	87E	2667 WIND RIDER WAY
84E	328.2	326.5	331.20	88E	2669 WIND RIDER WAY
85E	328.2	326.5	331.20	89E	2671 WIND RIDER WAY
86E	328.2	326.5	331.20	90E	2673 WIND RIDER WAY
87E	328.2	326.5	331.20	91E	2675 WIND RIDER WAY
88E	328.2	326.5	331.20	92E	2677 WIND RIDER WAY
89E	328.2	326.5	331.20	93E	2679 WIND RIDER WAY
90E	328.2	326.5	331.20	94E	2681 WIND RIDER WAY
91E	328.2	326.5	331.20	95E	2683 WIND RIDER WAY
92E	328.2	326.5	331.20	96E	2685 WIND RIDER WAY
93E	328.2	326.5	331.20	97E	2687 WIND RIDER WAY
94E	328.2	326.5	331.20	98E	2689 WIND RIDER WAY
95E	328.2	326.5	331.20	99E	2691 WIND RIDER WAY
96E	328.2	326.5	331.20	99E	2693 WIND RIDER WAY

**NOTE:**  
FOR THE FOLLOWING LOTS, THE BASEMENT SLAB ELEVATION IS LESS THAN ONE FOOT ABOVE THE MINIMUM SEWERABLE ELEVATION: 9E, 18E, 19E, 20E, 22E, 23E, 24E, 28E, 29E. CONTRACTOR TO VERIFY SEWER INVERT AT PROPERTY LINE PRIOR TO THE START OF ANY CONSTRUCTION.



**1 TYP. SCREEN FENCE**  
ISOMETRIC



**RESIDENTIAL DRIVEWAY ENTRANCE**  
CLOSED SECTION WITH MODIFIED COMBINATION CURB AND GUTTER AND SIDEWALK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE 2/22/96

*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 2/6/97

*[Signature]*  
DIRECTOR DATE 2/6/97

Date	No.	Revision Description
10/30/94	1	ESTIMATE ALL LOWER LEVEL BND UNITS, NOTRS, HC, RAMPS, REVISE GRADING AND ADDRESS CHART

**VILLAGE OF LONGREACH**  
SECTION 4 AREA 2  
LOTS 1E - 95E & 1F - 57F  
152 UNITS  
COMMUNITY OPEN SPACE LOTS: 86E, 87E & 90E, 58F & 59F  
OWNER/DEVELOPER  
H.M. GEORGE, CO. LLC  
P.O. BOX 1272  
COLUMBIA, MD. 21044

**DMW**  
Duff MacCune-Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 286-5333  
Fax 286-4705

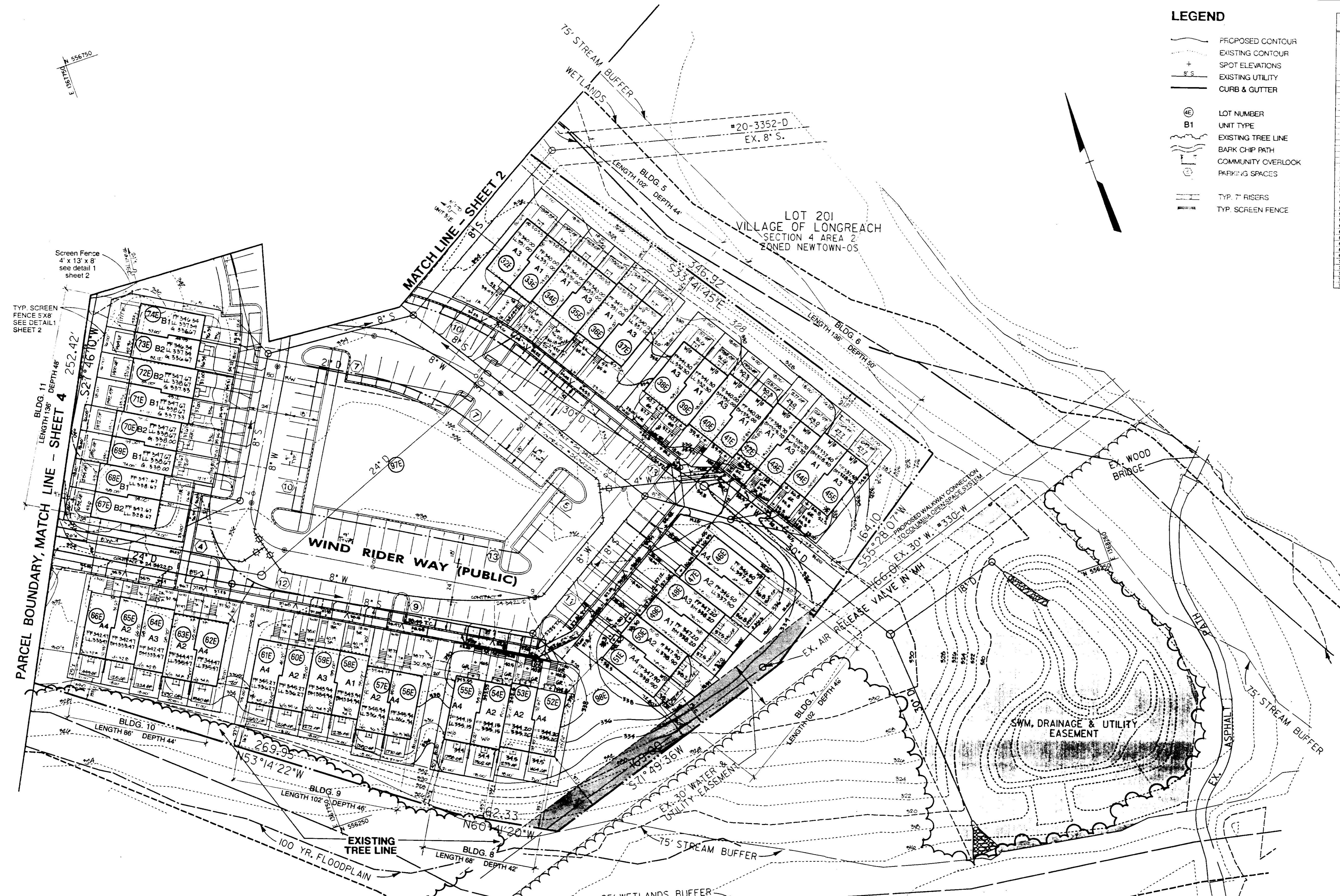
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBDIVISION NAME	LONGREACH	SECTION	SEC 4 AREA 2	LOT/BLK	255
PLAT OR REF.	BOOK 97	PLAT/REF.	DATE	DATE	DATE
WARRANTY	E 07	SEWER DIST.	3460000	OWNER	6067.03
<b>AMENDED SITE/GRADING PLAN</b>					
Des By	M:CP	Scale	1" = 30'	Proj. No.	94020C
Dim By	M:CP	Date	6/8/95		
Chk By	THR	Approved			<b>2 OF 11</b>

12-1-96  
Date  
Professional Engr. No. 10557

**NOTE:** ALL SIDEWALK INTERSECTIONS SHALL HAVE A MINIMUM 12" RADIUS.





**LEGEND**

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATIONS
- EXISTING UTILITY
- CURB & GUTTER
- LOT NUMBER
- UNIT TYPE
- EXISTING TREE LINE
- BARK CHIP PATH
- COMMUNITY OVERLOOK
- PARKING SPACES
- TYP. 7" RISERS
- TYP. SCREEN FENCE

Lot #	Min. Sewerable Elevation	Sewer Invert #1 Proposed Line	Basin Slab Elevation Provided	Lot #	Address
32E	326.5	322.4	331.00	32E	626.5
33E	326.7	322.8	331.00	33E	626.5
34E	326.8	322.7	331.00	34E	626.5
35E	326.9	322.8	331.00	35E	626.5
36E	327.0	322.9	331.00	36E	626.5
37E	327.2	323.1	331.00	37E	626.5
38E	327.2	323.2	331.00	38E	626.5
39E	327.4	323.6	332.00	39E	626.5
40E	327.8	323.6	331.00	40E	626.5
41E	327.7	323.6	331.00	41E	626.5
42E	327.8	323.7	329.70	42E	626.5
43E	328.0	324.0	329.70	43E	626.5
44E	328.4	324.4	328.00	44E	626.5
45E	327.2	323.2	327.00	45E	626.5
47E	328.0	323.7	327.00	47E	626.5
48E	328.2	324.1	328.20	48E	626.5
49E	328.6	324.5	328.50	49E	626.5
50E	328.9	324.8	328.90	50E	626.5
51E	329.3	325.3	329.30	51E	626.5
52E	329.1	325.1	329.00	52E	626.5
53E	329.9	325.9	329.80	53E	626.5
54E	329.8	325.8	328.18	54E	626.5
55E	330.1	326.0	328.18	55E	626.5
56E	330.3	326.1	328.34	56E	626.5
57E	330.2	326.2	328.34	57E	626.5
58E	330.5	326.4	328.34	58E	626.5
60E	330.6	326.5	328.27	60E	626.5
61E	330.8	326.8	328.27	61E	626.5
62E	331.2	327.2	328.47	62E	626.5
63E	331.5	327.5	328.47	63E	626.5
64E	331.9	327.9	328.47	64E	626.5
65E	332.1	328.1	328.47	65E	626.5
66E	332.6	328.6	328.47	66E	626.5
67E	334.4	330.3	328.47	67E	626.5
68E	334.3	330.1	328.47	68E	626.5
69E	333.9	329.3	328.47	69E	626.5
70E	332.6	328.7	328.47	70E	626.5
71E	332.3	328.2	328.47	71E	626.5
72E	331.7	327.6	328.47	72E	626.5
73E	331.3	327.2	327.34	73E	626.5
74E	331.3	327.2	327.34	74E	626.5

\* NOTE:  
THE BASEMENT SLAB ELEVATION FOR LOT 45E IS LESS THAN ONE FOOT ABOVE THE MINIMUM SEWERABLE ELEVATION. CONTRACTOR TO VERIFY SEWER INVERT AT PROPERTY LINE PRIOR TO THE START OF ANY CONSTRUCTION.

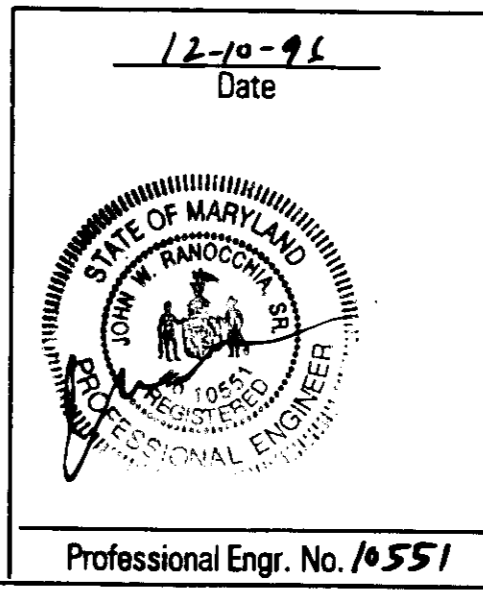
APPROVED  
DATE 3 August 1995

11-4-91 2 REVISE LOTS 38E TO 59E  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division MK 12/2/94  
Chief, Division of Land Development 2/6/97  
Director 2/6/97

10-30-96 1 ELIMINATE ALL LOWER LEVEL END UNITS, NOTES, E.C. RAMP, REVISE GRADING, FLOOD ELEVATIONS, & CHDPT.  
Date No. Revision Description

**VILLAGE OF LONGREACH**  
SECTION 4 AREA 2  
LOTS 1E - 9E & 1F - 57F  
152 UNITS  
COMMUNITY OPEN SPACE LOTS: 96E, 97E & 98E; 58F & 59F  
OWNER/DEVELOPER  
H.M. GEORGE, CO. LLC  
P.O. BOX 1272  
COLUMBIA, MD 21044

**DMW**  
Date 12-10-96  
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

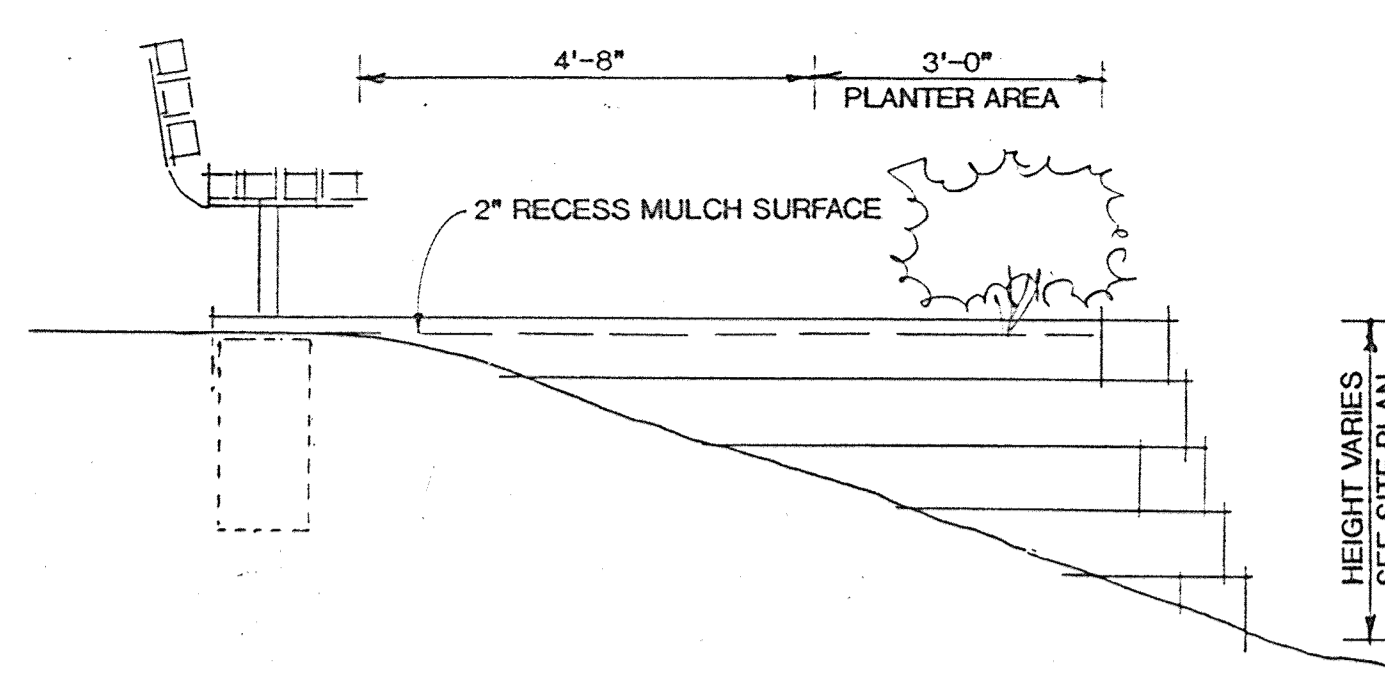
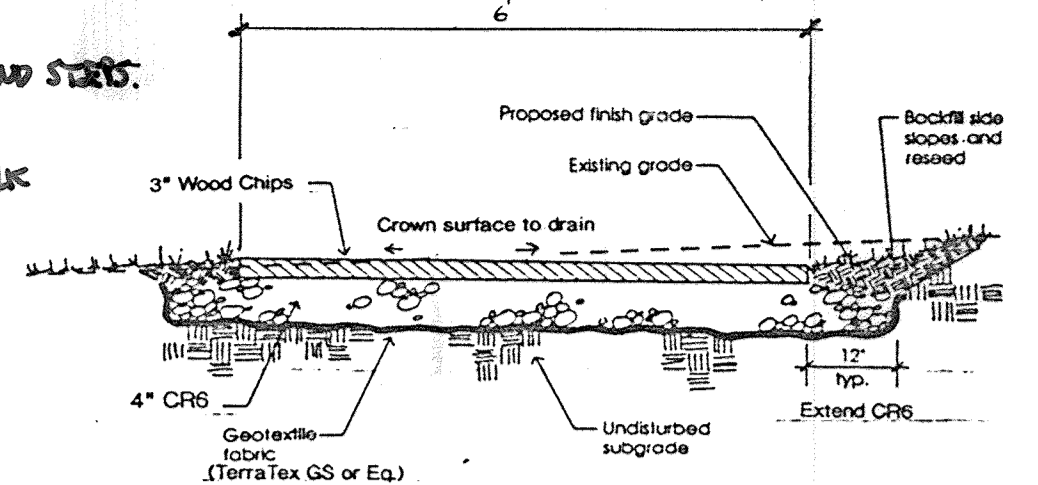
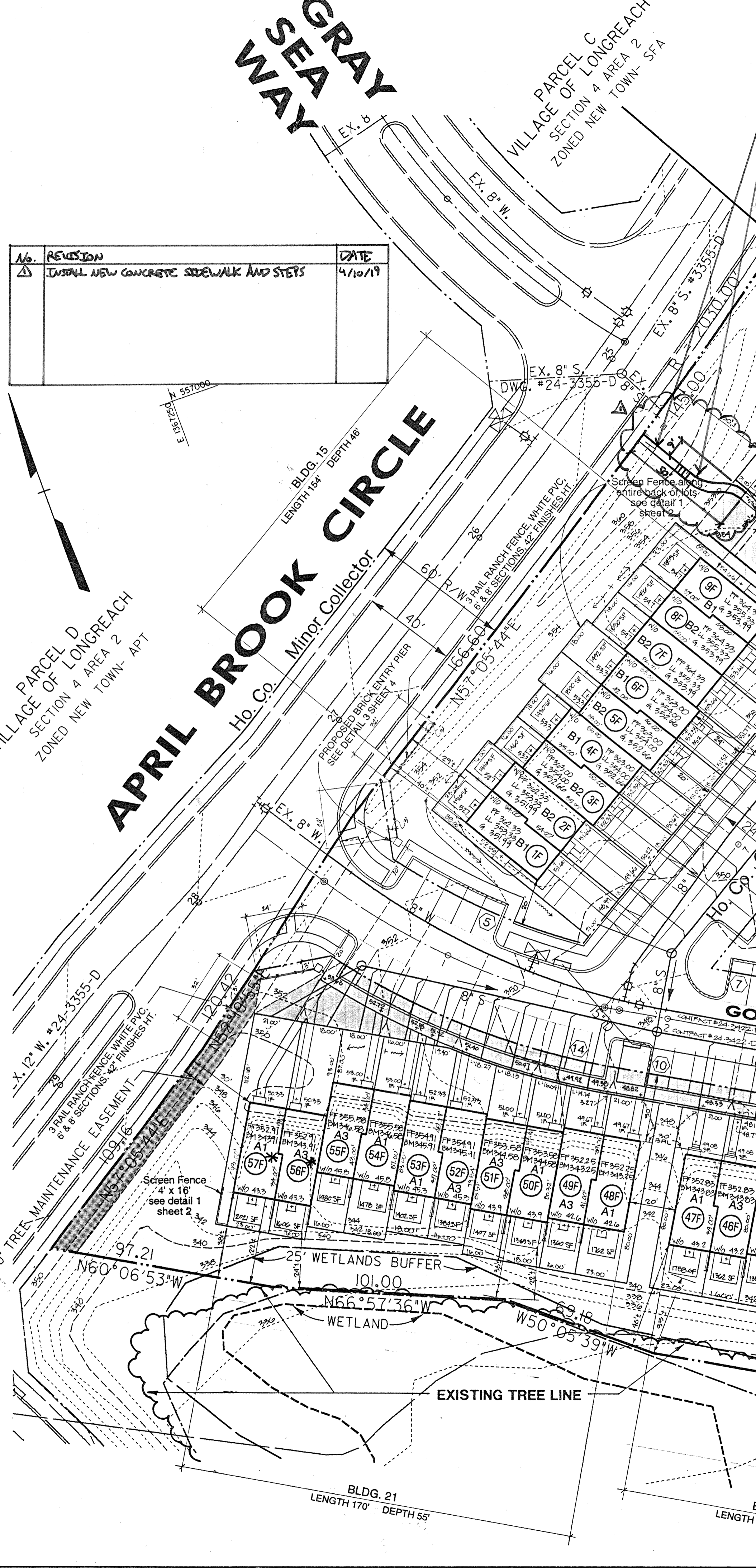


SECTION NAME	SECTION NO.	SHEET NO.
LONGREACH	SEC 4 AREA 2	255
DATE OF ISSUE	DATE OF REVISION	DATE OF REVISION
12/10/96	NT	8th
WATER CODE	SEWER CODE	
E 07	3460000	6067.03
<b>AMENDED SITE/GRADING PLAN</b>		
Des By	Scale	Proj. No.
MEP	1" = 30'	94020C
Drn By	Date	
MEP	6/8/95	
Chk By	Approved	
THR		<b>3 OF 11</b>

THE HOWARD RESEARCH & DEVELOPMENT CORP.  
1535/193  
ZONED NEW TOWN



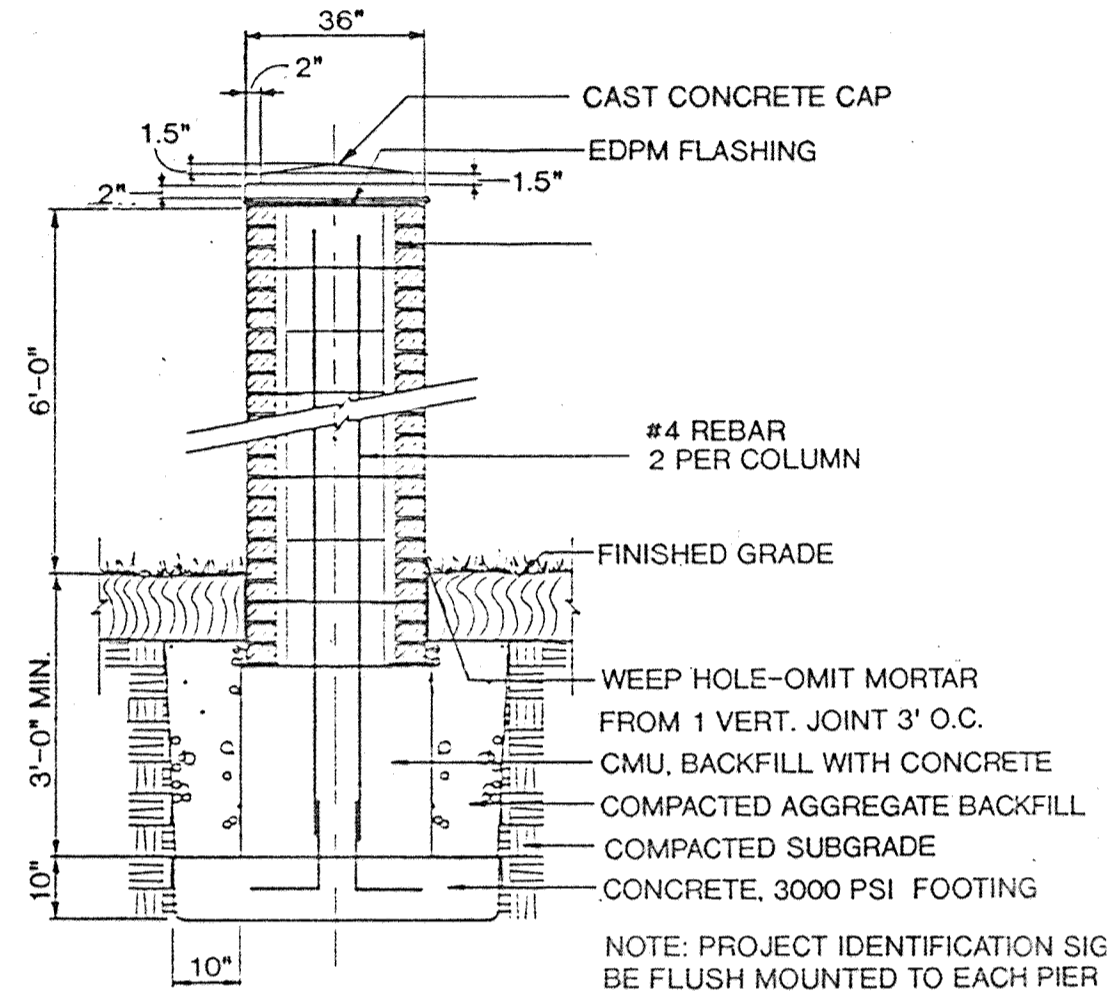
No.	REVISION	DATE
1	INSTALL NEW CONCRETE SIDEWALK AND STEPS	9/10/95



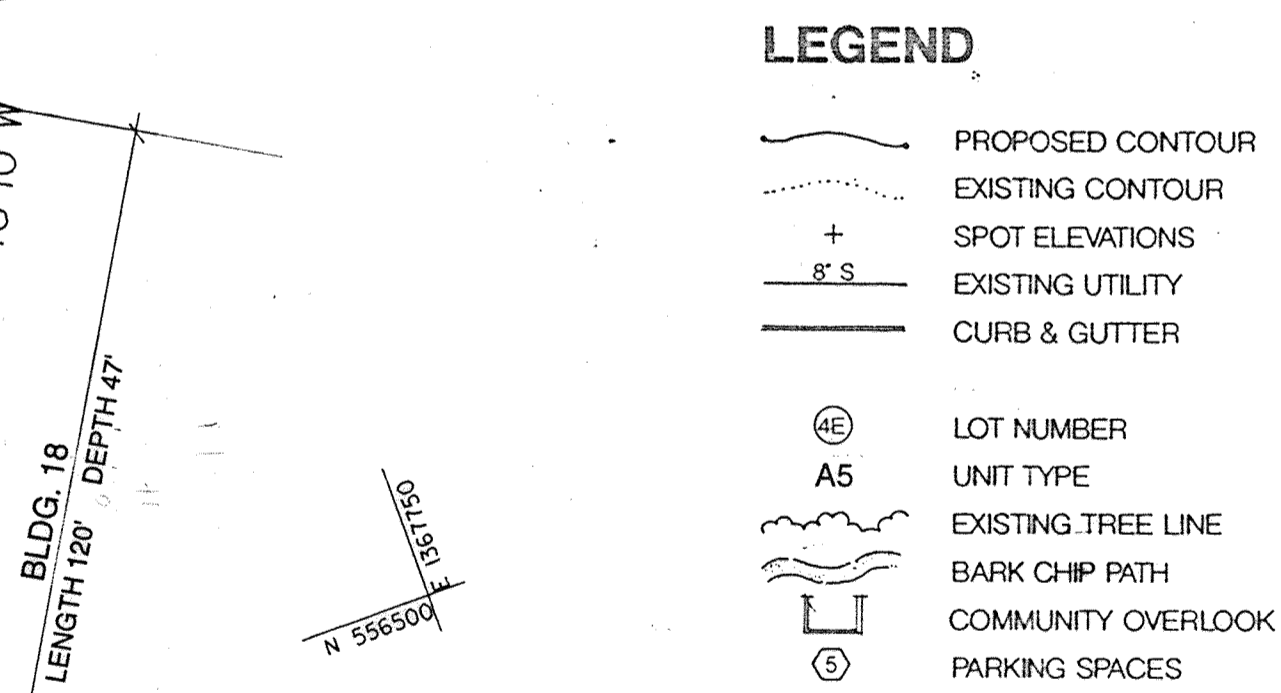
**1 BARK CHIP PATH**  
NTS

**2 OVERLOOK SECTION**  
1/2" = 1'-0"

BENCH: VICTOR STANLEY, INC. MODEL 28, 6' LONG, MAHOGANY, STANDARD IN GROUND MOUNTING DETAIL OR EQUAL.



**3 BRICK PIER**  
NTS



**4 CONCRETE STEP & SIDEWALK DETAIL**  
1/4" = 1'-0"

Lot #	Min. Sewerable Elevation	Sewer Invert at Property Line	Barnt. Slab Elevation Provided	Lot #	Address
1F	345.6	341.2	353.33	1F	9401 GOLD SUNSET WAY
2F	345.6	341.2	353.33	2F	9402 GOLD SUNSET WAY
3F	345.9	341.6	354.00	3F	9403 GOLD SUNSET WAY
4F	346.2	341.9	354.00	4F	9404 GOLD SUNSET WAY
5F	346.5	342.3	354.00	5F	9405 GOLD SUNSET WAY
6F	346.8	342.6	354.00	6F	9406 GOLD SUNSET WAY
7F	347.2	342.9	355.33	7F	9407 GOLD SUNSET WAY
8F	347.5	343.2	355.33	8F	9408 GOLD SUNSET WAY
9F	347.8	343.5	355.33	9F	9409 GOLD SUNSET WAY
10F	348.1	343.8	355.33	10F	9410 GOLD SUNSET WAY
11F	348.4	344.1	355.33	11F	9411 GOLD SUNSET WAY
12F	348.7	344.4	355.33	12F	9412 GOLD SUNSET WAY
13F	349.0	344.7	355.33	13F	9413 GOLD SUNSET WAY
14F	349.3	345.0	355.33	14F	9414 GOLD SUNSET WAY
15F	349.6	345.3	355.33	15F	9415 GOLD SUNSET WAY
16F	349.9	345.6	355.33	16F	9416 GOLD SUNSET WAY
17F	350.2	345.9	355.33	17F	9417 GOLD SUNSET WAY
18F	350.5	346.2	355.33	18F	9418 GOLD SUNSET WAY
19F	350.8	346.5	355.33	19F	9419 GOLD SUNSET WAY
20F	351.1	346.8	355.33	20F	9420 GOLD SUNSET WAY
21F	351.4	347.1	355.33	21F	9421 GOLD SUNSET WAY
22F	351.7	347.4	355.33	22F	9422 GOLD SUNSET WAY
23F	352.0	347.7	355.33	23F	9423 GOLD SUNSET WAY
24F	352.3	348.0	355.33	24F	9424 GOLD SUNSET WAY
25F	352.6	348.3	355.33	25F	9425 GOLD SUNSET WAY
26F	352.9	348.6	355.33	26F	9426 GOLD SUNSET WAY
27F	353.2	348.9	355.33	27F	9427 GOLD SUNSET WAY
28F	353.5	349.2	355.33	28F	9428 GOLD SUNSET WAY
29F	353.8	349.5	355.33	29F	9429 GOLD SUNSET WAY
30F	354.1	349.8	355.33	30F	9430 GOLD SUNSET WAY
31F	354.4	350.1	355.33	31F	9431 GOLD SUNSET WAY
32F	354.7	350.4	355.33	32F	9432 GOLD SUNSET WAY
33F	355.0	350.7	355.33	33F	9433 GOLD SUNSET WAY
34F	355.3	351.0	355.33	34F	9434 GOLD SUNSET WAY
35F	355.6	351.3	355.33	35F	9435 GOLD SUNSET WAY
36F	355.9	351.6	355.33	36F	9436 GOLD SUNSET WAY
37F	356.2	351.9	355.33	37F	9437 GOLD SUNSET WAY
38F	356.5	352.2	355.33	38F	9438 GOLD SUNSET WAY
39F	356.8	352.5	355.33	39F	9439 GOLD SUNSET WAY
40F	357.1	352.8	355.33	40F	9440 GOLD SUNSET WAY
41F	357.4	353.1	355.33	41F	9441 GOLD SUNSET WAY
42F	357.7	353.4	355.33	42F	9442 GOLD SUNSET WAY
43F	358.0	353.7	355.33	43F	9443 GOLD SUNSET WAY
44F	358.3	354.0	355.33	44F	9444 GOLD SUNSET WAY
45F	358.6	354.3	355.33	45F	9445 GOLD SUNSET WAY
46F	358.9	354.6	355.33	46F	9446 GOLD SUNSET WAY
47F	359.2	354.9	355.33	47F	9447 GOLD SUNSET WAY
48F	359.5	355.2	355.33	48F	9448 GOLD SUNSET WAY
49F	359.8	355.5	355.33	49F	9449 GOLD SUNSET WAY
50F	360.1	355.8	355.33	50F	9450 GOLD SUNSET WAY
51F	360.4	356.1	355.33	51F	9451 GOLD SUNSET WAY
52F	360.7	356.4	355.33	52F	9452 GOLD SUNSET WAY
53F	361.0	356.7	355.33	53F	9453 GOLD SUNSET WAY
54F	361.3	357.0	355.33	54F	9454 GOLD SUNSET WAY
55F	361.6	357.3	355.33	55F	9455 GOLD SUNSET WAY
56F	361.9	357.6	355.33	56F	9456 GOLD SUNSET WAY
57F	362.2	357.9	355.33	57F	9457 GOLD SUNSET WAY
58F	362.5	358.2	355.33	58F	9458 GOLD SUNSET WAY
59F	362.8	358.5	355.33	59F	9459 GOLD SUNSET WAY
60F	363.1	358.8	355.33	60F	9460 GOLD SUNSET WAY

\* NOTE: FOR THE FOLLOWING LOTS, THE FINISH SLAB ELEVATION IS LESS THAN 1 FOOT ABOVE THE MINIMUM SEWERABLE ELEVATION: 10F, 11F, 12F, 14F, 15F, 16F, 17F, 18F, 19F, 20F, 21F, 22F, 23F, 24F, 25F, 26F, 27F, 28F, 29F, 30F, 31F, 32F, 33F, 34F, 35F, 36F, 37F, 38F, 39F, 40F, 41F, 42F, 43F, 44F, 45F, 46F, 47F, 48F, 49F, 50F, 51F, 52F, 53F, 54F, 55F, 56F, 57F, 58F, 59F, 60F. CONTRACTOR TO VERIFY OWNER INVERT AT PROPERTY LINE PRIOR TO ANY CONSTRUCTION.

APPROVED  
PLANNING BOARD  
of HOWARD COUNTY  
DATE 8 August 95

- LEGEND**
- - - PROPOSED CONTOUR
  - EXISTING CONTOUR
  - + SPOT ELEVATIONS
  - - - EXISTING UTILITY
  - - - CURBS & GUTTER
  - ⊙ LOT NUMBER
  - ⊙ UNIT TYPE
  - EXISTING TREE LINE
  - BARK CHIP PATH
  - COMMUNITY OVERLOOK
  - PARKING SPACES
  - TYP. 7" RISERS
  - TYP. SCREEN FENCE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Chia D. ...* 9/2/95  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

*Chia D. ...* 10/5/95  
CHIEF, DIVISION OF LAND DEVELOPMENT & RESEARCH DATE

*...* 10/6/95  
DIRECTOR DATE

10-30-90 | REVISE LEGEND/TITLE BLOCK, ADD NOTE TO SEWER ELEV. GAGE

Date	No.	Revision Description

**VILLAGE OF LONGREACH**  
SECTION 4 AREA 2  
LOTS E1 - E95 & 1F - 57F  
152 UNITS  
COMMUNITY OPEN SPACE LOTS: 58F & 59F 90 FT. 97 FT. 80 FT.

OWNER/DEVELOPER  
H.M. GEORGE, CO. LLC  
P.O. BOX 1272  
COLUMBIA, MD. 21044

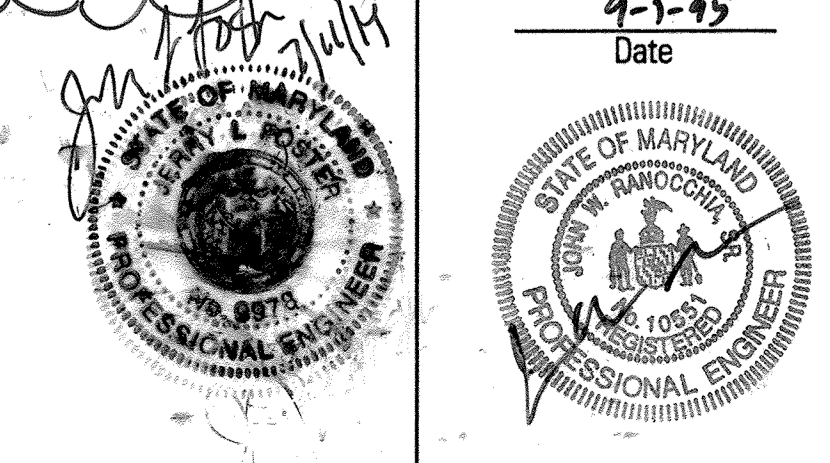
**DMW**  
DRAFT-MA-CUNNE-WALKER, INC.  
200 East Pennsylvania Avenue  
Lanham, Maryland 21086  
(410) 396-3333  
Fax 296-4706

A Team of Land Planners,  
Engineers, Surveyors &  
Environmental Professionals

DATE: 9-1-95

**SITE/GRADING PLAN**

Des By	MEP	Scale	1" = 30'	Proj. No.	94020C
Dm By	MEP	Date	6/8/95	<b>4 OF 11</b>	
Chk By	THR	Approved			





SEE FIG. 5.A  
THIS SHEET  
FOR DETAILED SHRUB  
AND BED PLANTING

VILLAGE OF LONGREACH  
SECTION 4 AREA 2  
ZONED NEW TOWN - SFA

APRIL BROOK CIRCLE

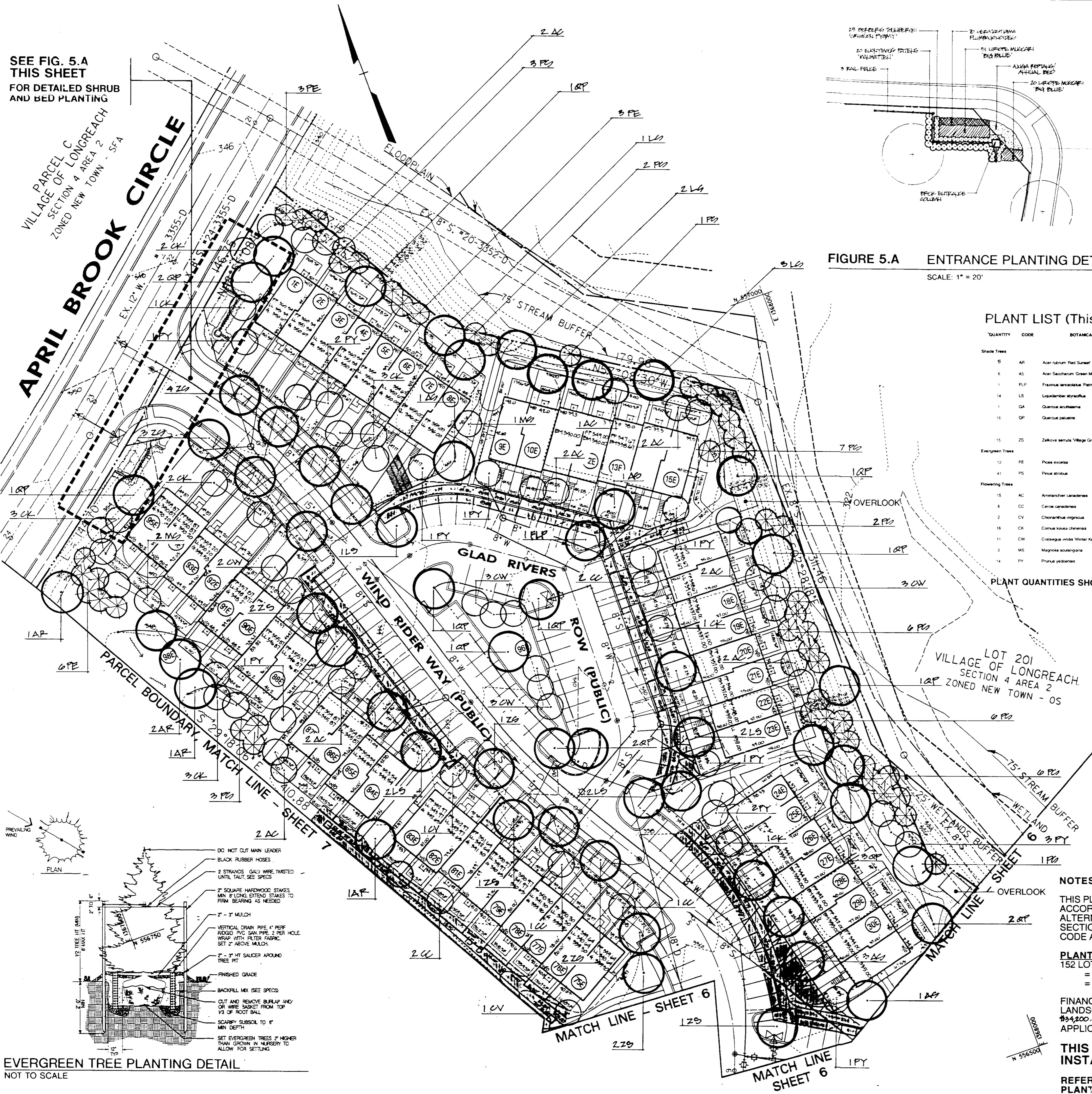


FIGURE 5.A ENTRANCE PLANTING DETAIL

SCALE: 1" = 20'

PLANT LIST (This Sheet Only)

QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
5	AR	Acer rubrum Red Sunburst	Red Sunburst Maple	2 1/2-3' Cal	B&B	
5	AS	Acer saccharum Green Mountain	Green Mountain Sugar Maple	2 1/2-3' Cal	B&B	Full Crown
1	FLP	Fragaria virginiana Florence	Florence Ann	2 1/2-3' Cal	B&B	
14	LS	Liquidambar styraciflua	Sweetgum	2 1/2-3' Cal	B&B	
1	QA	Quercus acutissima	Sawtooth Oak	2 1/2-3' Cal	B&B	
16	OP	Quercus palustris	Pin Oak	2 1/2-3' Cal	B&B	
15	ZS	Zelkova serrata Village Green	Village Green Zelkova	2 1/2-3' Cal	B&B	Full Crown
12	PE	Pinus strobus	White Pine	6-8	B&B	Heavy
41	PS	Pinus strobus	White Pine	6-8	B&B	Heavy
15	AC	Amelanchier canadensis	Downy Shadbush	8-10	B&B	Single stem
6	CC	Cornus canadensis	American Redbud	8-10	B&B	
2	CV	Chionodoxa virginica	White Froglily	8-10	B&B	
18	CK	Cornus lousiana chinensis	Kissel Dogwood	8-10	B&B	Heavy Multistem
11	OW	Crataegus virens Winter King	Winter King Hawthorn	8-10	B&B	
3	MS	Magnolia soulangiana	Sauvier Magnolia	8-10	B&B	
14	PY	Prunus yedoensis	Yoshino Cherry	8-10	B&B	Heavy

PLANT QUANTITIES SHOWN ARE FOR THIS SHEET ONLY.

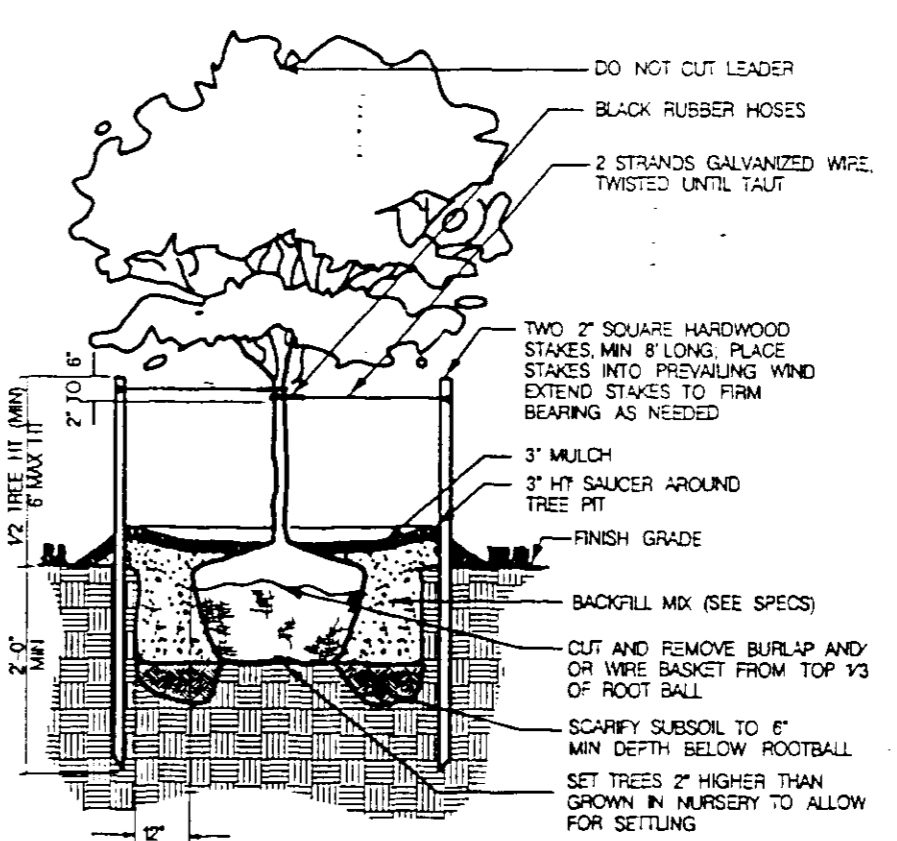
ENTRY PLANTING

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
150	Aspidistra	Castel Rugel	2 1/4" x 6"		B & C
50	Berberis thunbergii Compacta	Compacta Japanese Barberry	18" x 24"	1 year	
140	Caraxifolium	Flamingo	1 1/2"		107 x 1
40	Euphorbia palustris	Spreading Composites	2 1/2" x 3"	B & B	
142	Lonicera maackii	Big Blue Lily	1 1/2"		18 x 1

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATIONS
- EXISTING UTILITY
- CURB & GUTTER
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB
- EXISTING TREE LINE

APPROVED  
DATE 8 August 95



DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE

NOTES:

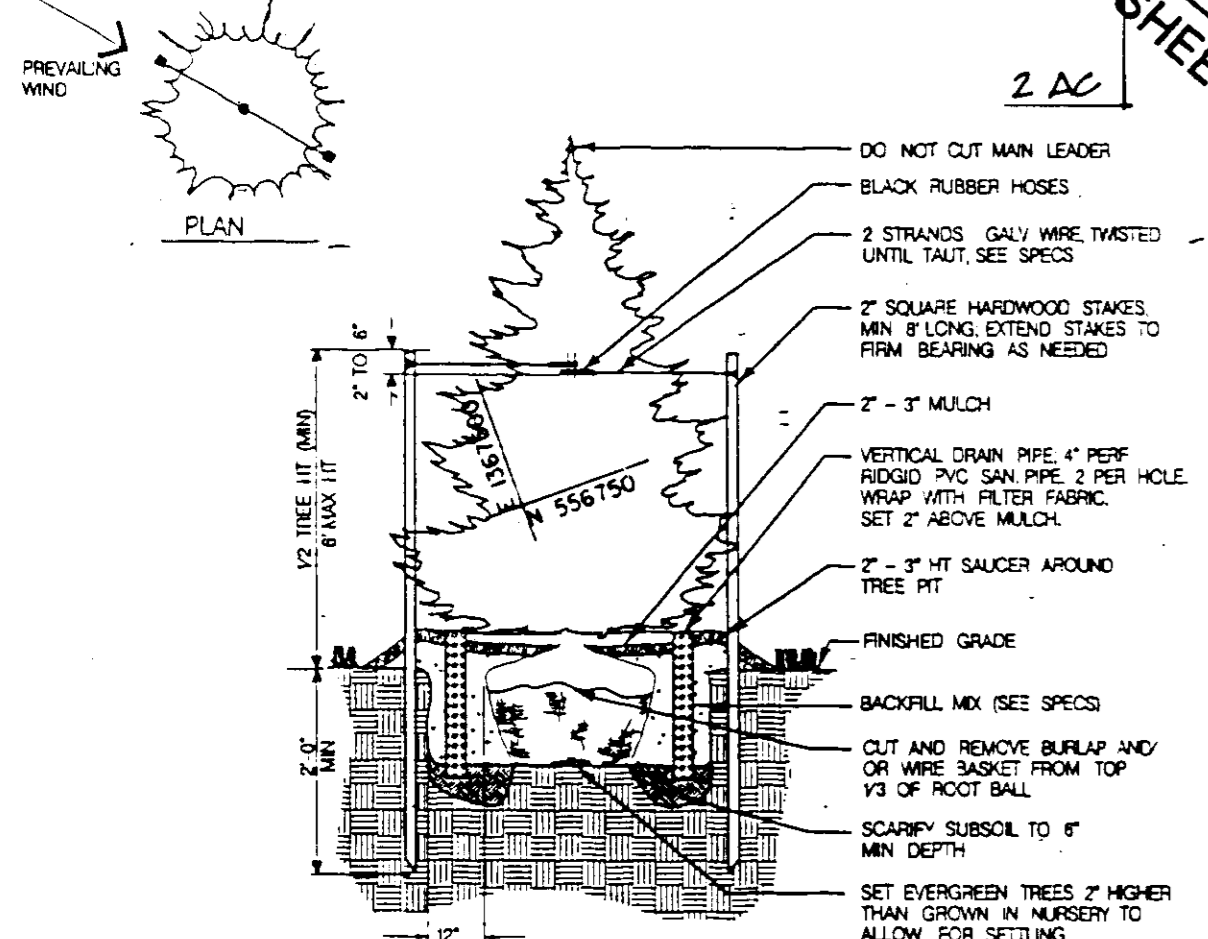
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

PLANT MATERIAL REQUIRED CALCULATION  
152 LOTS X 2.25 TREES PER LOT  
= 342 TREES REQUIRED  
= 342 TREES PROVIDED

FINANCIAL SURETY FOR THE REQUIRED 342 LANDSCAPE TREES IN THE AMOUNT OF \$34,200.00 IS PART OF THE GRADING PERMIT APPLICATION.

THIS PLAN IS FOR LANDSCAPE INSTALLATION PURPOSES ONLY.

REFER TO SHEET 6 OF 11 FOR SHRUB PLANTING DETAILS.



EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*John P. ...* 9/2/95  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

*Uma Shrivastava* 10/5/95  
CHIEF, DIVISION OF LAND DEVELOPMENT & RESEARCH JA DATE

*James ...* 10/1/95  
DIRECTOR DATE

10/30/95 1 REVISE TITLE BLOCK

REVISION DESCRIPTION

**VILLAGE OF LONGREACH**  
SECTION 4 AREA 2  
LOTS E1 - E95 & 1F - 57F  
192 UNITS

OWNER/DEVELOPER  
H.M. GEORGE, CO. LLC  
P.O. BOX 1272  
COLUMBIA, MD. 21044

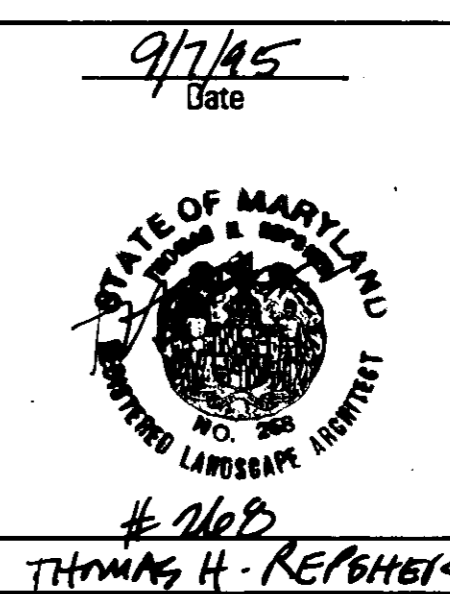
**DMW**  
200 East Pennsylvania Avenue  
Pawcatent, Maryland 21088  
(410) 396-4333  
Fax 396-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SECTION	NO.	DATE	BY	REVISION
LANDSCAPE PLAN	SEC 4 AREA 2	255		
DATE	NO.	DATE	BY	REVISION
10/1/95	1	10/1/95	JA	REVISE TITLE BLOCK

LANDSCAPE PLAN

Des By DKC Scale 1" = 30' Proj. No. 94020C  
 Dim By DKC Date 6/8/95  
 Chk By JHR Approved 5 OF 11









GRAY  
WAY  
SEAGRAY

PARCEL C  
SECTION 4 AREA 2  
VILLAGE OF LONGREACH  
ZONED NEW TOWN-5FA

NO.	REVISION	DATE
1	INSTALL NEW CONCRETE SIDEWALK AND STEPS	4/10/19

APRIL BROOK CIRCLE

VILLAGE D  
SECTION 4 AREA 2  
ZONED NEW TOWN-APT

SEE FIG. 7.A THIS SHEET  
FOR DETAILED SHRUB AND  
BED PLANTING



QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
60	Berberis thunbergii 'Grimson Pygmy'	Grimson Pygmy Barberry	18-24"	Cont.	
44	Euonymus palata 'Manhattan'	Spreading Euonymus	24-30"	BAB	
32	Hemerocallis 'Black-Eyed Stella'	Black-Eyed Stella Daylily	2 1/4" p.p.		8" o.c.
2	Ilex crenata 'Chesapeake'	Upright Chesapeake Holly	30-36"	BAB	
50	Lilippe muscari 'Big Blue'	Big Blue Lily Turf	1 quart		18" o.c.
14	Lilippe muscari 'Gold Band'	Gold Band Lily Turf	1 qt		18" o.c.
200	Verbena X 'Homestead Purple'	Homestead Purple Vervain	1 qt		8" o.c.

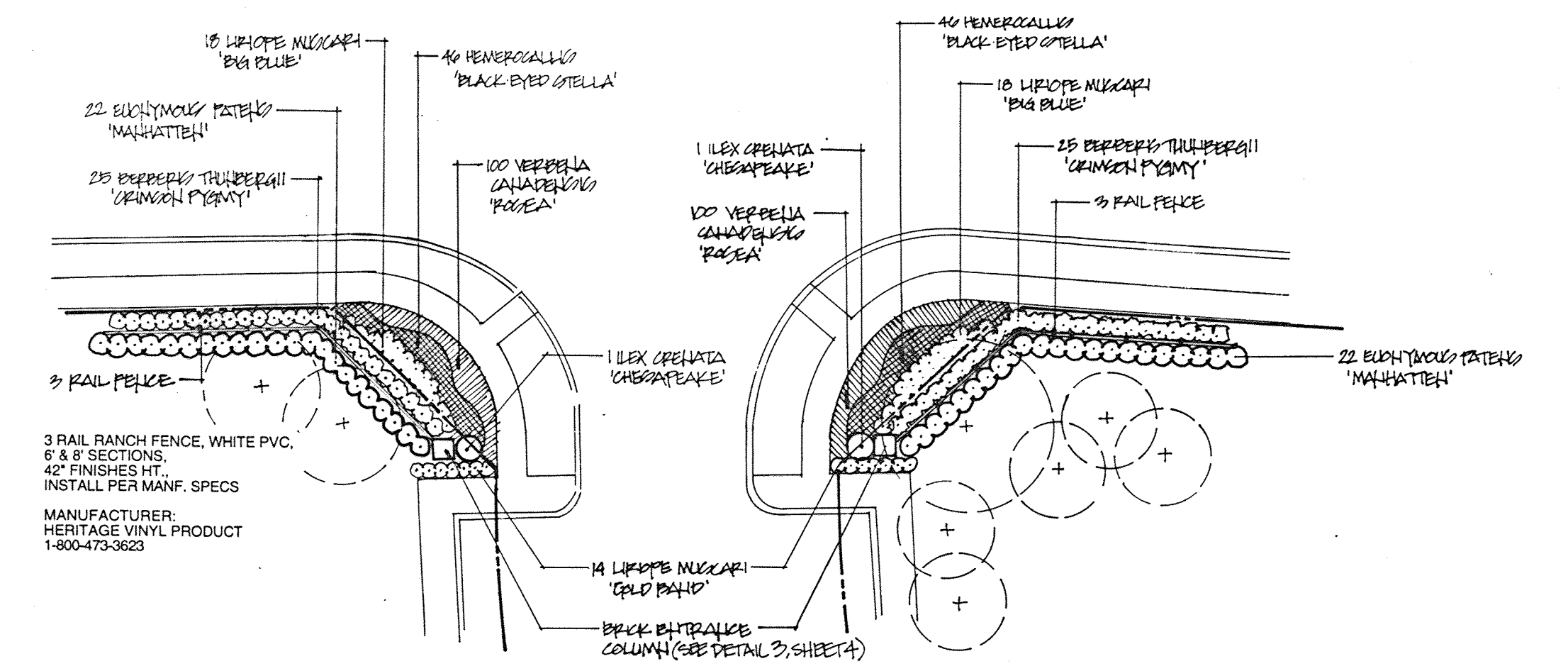


FIGURE 7.A ENTRANCE PLANTING DETAIL

SCALE: 1" = 20'

QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
<b>Shade Trees</b>						
11	AR	Acer rubrum 'Red Sunset'	Red Sunset Maple	2 1/2-3" Cal.	BAB	
20	AS	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2 1/2-3" Cal.	BAB	Full Crown
3	CLK	Cladostis kentuckia	American Yellowwood	2 1/2-3" Cal.	BAB	
7	FLP	Fraxinus lanceolata 'Patmore'	Patmore Ash	2 1/2-3" Cal.	BAB	
8	LS	Liquidambar styraciflua	Sweetgum	2 1/2-3" Cal.	BAB	
4	QA	Quercus acutissima	Sawtooth Oak	2 1/2-3" Cal.	BAB	
2	QP	Quercus palustris	Pin Oak	2 1/2-3" Cal.	BAB	
0	SJ	Sophora japonica 'Regent'	Regent Scholar Tree	2 1/2-3" Cal.	BAB	
1	ZS	Zelkova serrata 'Village Green'	Village Green Zelkova	2 1/2-3" Cal.	BAB	Full Crown
<b>Evergreen Trees</b>						
32	PE	Picea excelsa	Norway Spruce	6-8'	BAB	Heavy
47	PS	Pinus strobus	White Pine	6-8'	BAB	Heavy
<b>Flowering Trees</b>						
8	AC	Amalanchier canadensis	Downy Shadblow	8-10'	BAB	Single stem
16	CC	Cercis canadensis	American Redbud	8-10'	BAB	
3	CV	Chionanthus virginicus	White Fringetree	8-10'	BAB	
18	CK	Cornus kousa chinensis	Kousa Dogwood	8-10'	BAB	Heavy, Multi-stem
4	OW	Crataegus viridis 'Winter King'	Winter King Hawthorn	8-10'	BAB	
4	MS	Magnolia soulangiana	Sauvier Magnolia	8-10'	BAB	
13	PY	Prunus yedoensis	Yoshino Cherry	8-10'	BAB	Heavy

PLANT QUANTITIES SHOWN ARE FOR THIS SHEET ONLY.

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 9 August '95

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Michael J. ...* 9/25/95  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

*Dimi J. ...* 10/5/95  
CHIEF, DIVISION OF LAND DEVELOPMENT & RESEARCH DATE

*Joseph ...* 10/2/95  
DIRECTOR DATE

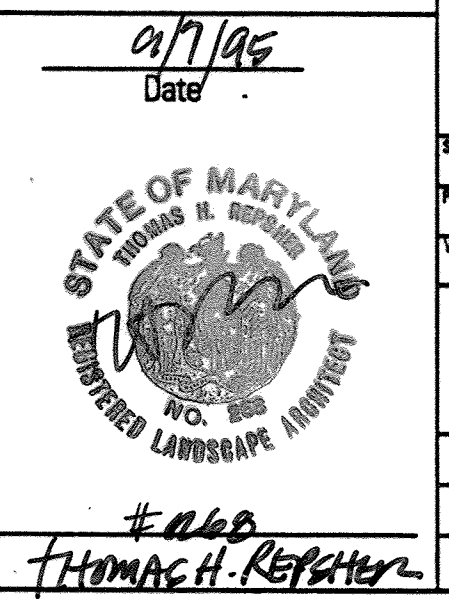
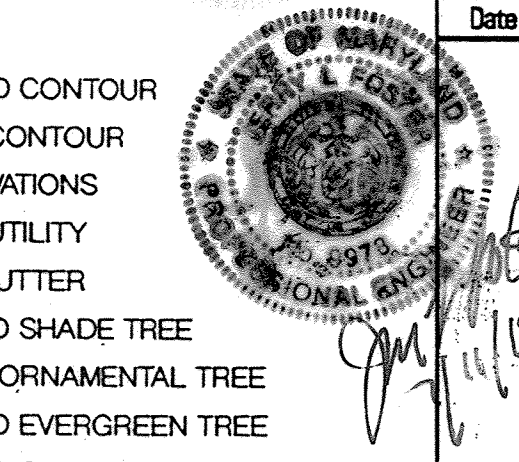
LEGEND

- PROPOSED CONTOUR
- - - EXISTING CONTOUR
- + SPOT ELEVATIONS
- - - EXISTING UTILITY
- - - CURB & GUTTER
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB
- EXISTING TREE LINE

NOTE: REFER TO SHEET 5 OF 11  
FOR TREE PLANTING DETAILS.

NOTE: THIS PLAN HAS BEEN PREPARED IN  
ACCORDANCE WITH THE NEW TOWN  
ALTERNATIVE COMPLIANCE PROVISIONS OF  
SECTION 16.124 OF THE HOWARD COUNTY  
CODE AND THE LANDSCAPE MANUAL.

THIS PLAN IS FOR LANDSCAPE  
INSTALLATION PURPOSES ONLY.



10-30-94 REVISE TITLE BLOCK

Date	No.	Revision Description

**VILLAGE OF LONGREACH**  
SECTION 4 AREA 2  
LOTS E1 - E95 & 1F - 57F  
152 UNITS

OWNER/DEVELOPER  
H.M. GEORGE, CO. LLC  
P.O. BOX 1272  
COLUMBIA, MD. 21044

**DMW**  
Dank-McCune-Walsh, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-6700

A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

SECTION NAME	SECTION	SHEET NO.	TOTAL SHEETS
LONGREACH	SECTION 4 AREA 2	255	255
DATE	DATE	DATE	DATE
7/1/95	7/1/95	7/1/95	7/1/95

**LANDSCAPE PLAN**

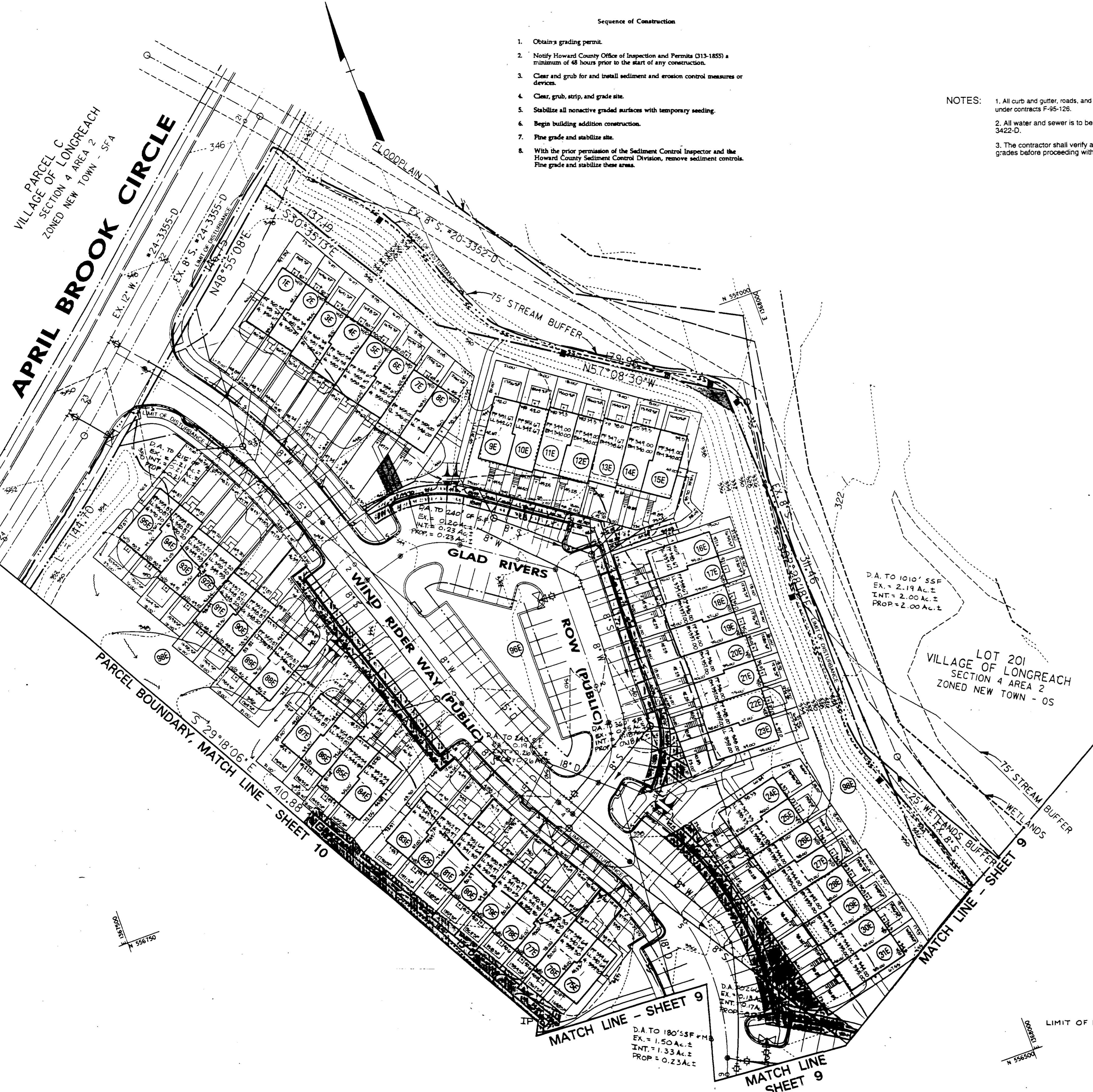
Des By DKC	Scale 1" = 30'	Proj. No. 94020C
Dim By DKC	Date 6/8/95	7 OF 11
Chk By THF	Approved	

10/19/2019 10:42:00 AM SIP 95-132



PARCEL C  
SECTION 4 AREA 2  
ZONED NEW TOWN - SFA

APRIL BROOK CIRCLE



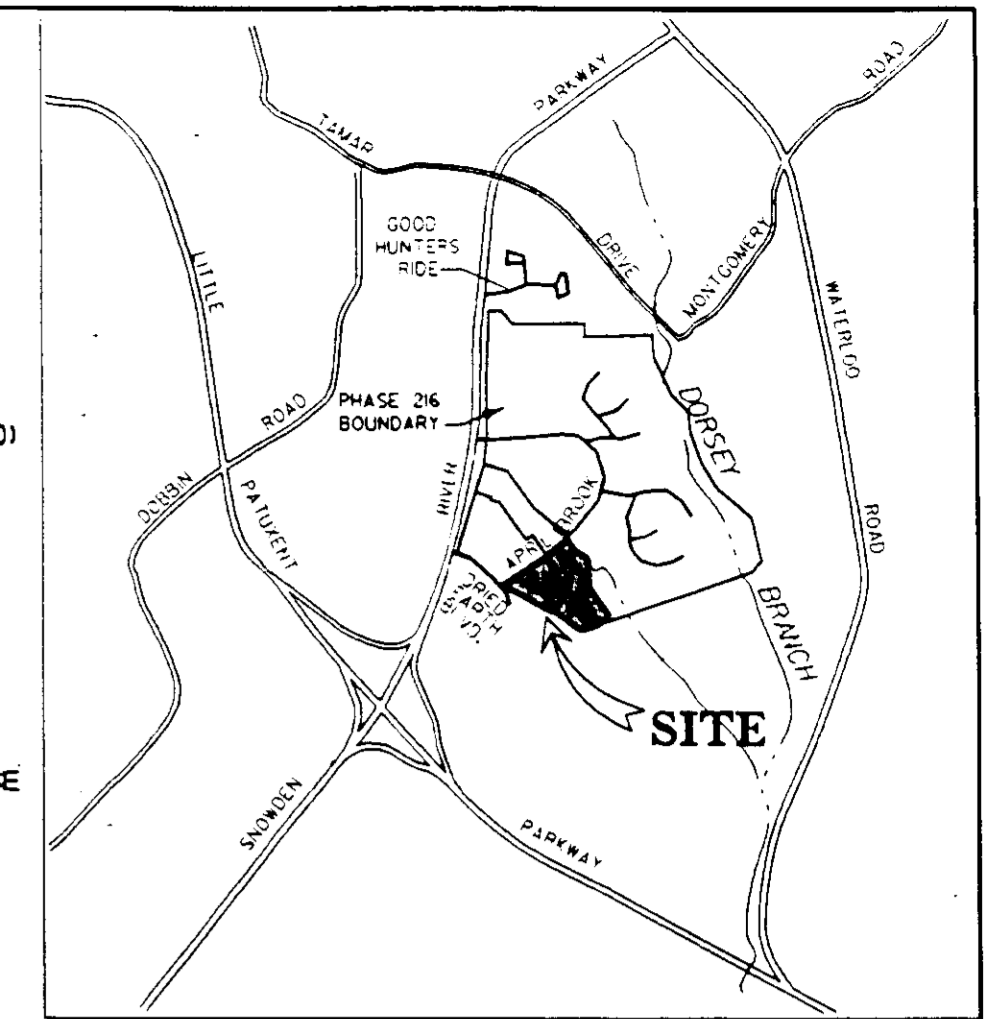
Sequence of Construction

1. Obtain a grading permit.
2. Notify Howard County Office of Inspection and Permits (313-1855) a minimum of 48 hours prior to the start of any construction.
3. Clear and grub for and install sediment and erosion control measures or devices.
4. Clear, grub, strip, and grade site.
5. Stabilize all nonactive graded surfaces with temporary seeding.
6. Begin building addition construction.
7. Fine grade and stabilize site.
8. With the prior permission of the Sediment Control Inspector and the Howard County Sediment Control Division, remove sediment controls. Fine grade and stabilize these areas.

- NOTES:
1. All curb and gutter, roads, and storm drains are to be constructed under contracts F-95-126.
  2. All water and sewer is to be constructed under contract 24-3422-D.
  3. The contractor shall verify all locations, dimensions, and grades before proceeding with construction.

LEGEND

- SS—SS— SUPER SILT FENCE
- S—S— SILT FENCE
- — — — EXISTING D.A. I TERM D.A.
- — — — PROPOSED D.A.
- — — — LIMIT OF DISTURBANCE (LOD)
- (INLET PROTECTION)
- ▲▲▲▲ MOUNTABLE BERM
- \*2 STONE CHECK DAM
- - - - - EXISTING SILT FENCE
- - - - - EXISTING SUPER SILT FENCE



HOWARD SOIL CONSERVATION DISTRICT

DEVELOPER & ENGINEER CERTIFICATES

By The Developer:

"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

*Lawrence I. Rosenberg* 9/2/95  
Signature of Developer Date  
Print name below signature  
Lawrence I. Rosenberg

By The Engineer:

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

*John M. Ranocchia, Sr.* 9-7-95  
Signature of Engineer Date  
Print name below signature  
John M. Ranocchia, Sr.

Reviewed for Howard Soil Conservation District and meets Technical Requirements.

*Patricia Engler* 9/20/95  
The National Resource Conservation Service Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.  
*John R. Robertson* 9/20/95  
Howard Soil Conservation District Date

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 3 Aug. 95

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Michael P. ...</i>	9/2/95
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK	DATE
<i>Jim ...</i>	10/5/95
CHIEF, DIVISION OF LAND DEVELOPMENT & RESEARCH DATE	DATE
<i>...</i>	10/27/95
DIRECTOR	DATE

10-90-416	1	REVISE TITLE BLOCK & ADD NOTE
Date	No.	Revision Description
<b>VILLAGE OF LONGREACH</b>		
SECTION 4 AREA 2		
LOTS E1 - E96 & 1F - 57F		
192 UNITS		
OWNER/DEVELOPER H.M. GEORGE, CO. LLC P.O. BOX 1272 COLUMBIA, MD. 21044		

8-7-95  
Date

Professional Engr. No. 10057

THIS PLAN IS FOR  
SEDIMENT & EROSION  
CONTROL INSTALLATION  
PURPOSES ONLY.

<b>DMW</b>		A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals	
255	255	255	255
6067.03	6067.03	6067.03	6067.03
<b>SEDIMENT AND EROSION CONTROL PLAN</b>			
Des By PSN	Scale 1" = 30'	Proj. No. 94020C	
Drn By DBS	Date 6/8/95		
Chk By JWR	Approved		
			<b>8 OF 11</b>



**LEGEND**

- SS- SUPER SILT FENCE
- S- SILT FENCE
- - - - - EXISTING DA
- - - - - INTERIM DA
- - - - - PROPOSED DA
- - - - - LIMIT OF DISTURBANCE (LOD)
- INLET PROTECTION
- ▲ MOUNTABLE BERM
- \*2 STONE CHECK DAM
- - - - - EXISTING SILT FENCE
- - - - - EXISTING SUPER SILT FENCE

**NOTES:**

1. All curb and gutter, roads, and storm drains are to be constructed under contracts F-95-126.
2. All water and sewer is to be constructed under contract 24-3422-D.
3. The contractor shall verify all locations, dimensions, and grades before proceeding with construction.

**DEVELOPER & ENGINEER CERTIFICATES**

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Reviewed for Howard Soil Conservation District and meets Technical Requirements.

*Patricia Eagle* 9/2/95  
The National Resource Construction Service Date

*Lawrence J. Roseberry* 9/2/95  
Signature of Developer Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

*John R. Blanton* 9/2/95  
Howard Soil Conservation District Date

By the Engineer:

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

*John W. Ramocchia, Sr.* 9-7-95  
Signature of Engineer Date  
Print name below signature  
John W. Ramocchia, Sr.

**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY  
DATE 9 August '95

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Mike* 9/5/95  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MKK DATE

*Jim Johnson* 10/5/95  
CHIEF, DIVISION OF LAND DEVELOPMENT & RESEARCH JF DATE

*David Smith* 9/5/95  
DIRECTOR DATE

10/30/96 1 REVISE TITLE BLOCK & ADD NOTE

Date No. Revision Description

**VILLAGE OF LONGREACH**

SECTION 4 AREA 2  
LOTS E1 - E95 & 1F - 57F  
192 UNITS

OWNER/DEVELOPER  
H.M. GEORGE, CO. LLC  
P.O. BOX 1272  
COLUMBIA, MD. 21044

**DMW**

David M. Williams, Inc.  
200 East Pennsylvania Avenue  
Thorton, Maryland 21286  
(410) 286-2329  
Fax 286-4708

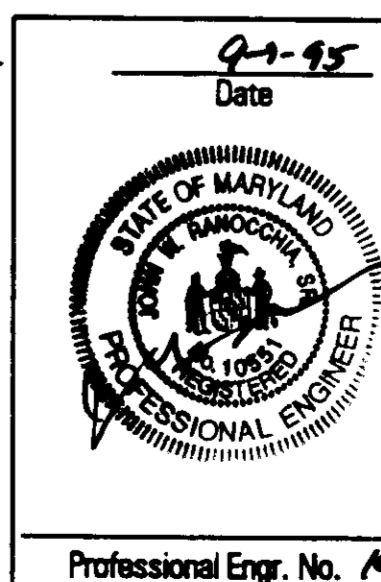
A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

PROJECT NAME	LONGREACH	SECTION	SEC 4 AREA 2	UNITS	255
LOT NO.	E 07	LOT AREA	37	DATE	6/8/95
DATE	6/8/95	SCALE	1" = 30'	PROJECT NO.	94020C
DATE	6/8/95	SCALE	1" = 30'	PROJECT NO.	94020C

**SEDIMENT AND EROSION CONTROL PLAN**

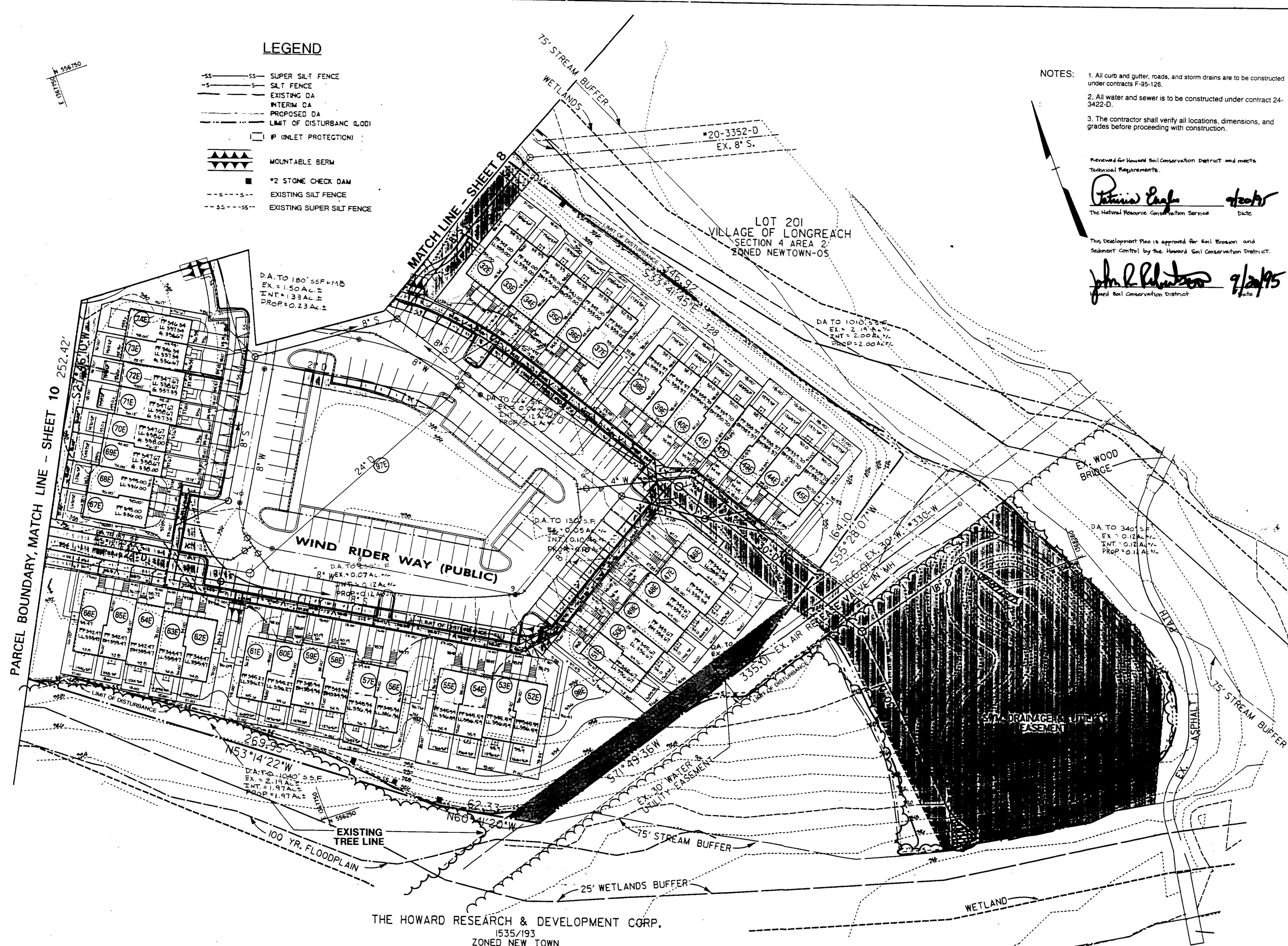
Des By	PSN	Scale	1" = 30'	Proj. No.	94020C
Dwn By	DBS	Date	6/8/95		
Chk By	JWR	Approved			

**9 OF 11**



**THIS PLAN IS FOR SEDIMENT & EROSION CONTROL INSTALLATION PURPOSES**

LIMIT OF DISTURBANCE (THIS SHEET) = 135,940 SF ± OR 3.12 AC ± ONLY.



THE HOWARD RESEARCH & DEVELOPMENT CORP.  
1535/193  
ZONED NEW TOWN







