

HOWARD SOIL CONSERVATION DISTRICT
STABILIZED CONSTRUCTION ENTRANCE

1. A minimum of 40 hours notice must be given to the Howard County Department of Inspection, Planning and Permitting, Soil Conservation Division prior to the start of any construction.

2. All vegetation and structural protection shall be installed according to the provisions of the Soil Conservation Act, Chapter 11, of the HOWARD COUNTY CODE, and regulations thereunder.

3. Stabilized construction entrances shall be installed on all construction sites where there is a change in elevation of 2 feet or more for all permanent construction and on all other construction or graded areas on the project site.

4. All stabilized construction entrances shall be located and working slopes posted against their placement in accordance with Vol. 1, Chapter 11, of the HOWARD COUNTY CODE, and regulations thereunder.

5. All stabilized construction entrances shall be installed within the time period specified above in accordance with the HOWARD COUNTY CODE, and regulations thereunder, and shall be maintained in good condition until the construction is completed. If any stabilization is required, it shall be installed in accordance with the HOWARD COUNTY CODE, and regulations thereunder.

6. All stabilized construction entrances shall be maintained in good condition until the construction is completed. If any stabilization is required, it shall be installed in accordance with the HOWARD COUNTY CODE, and regulations thereunder.

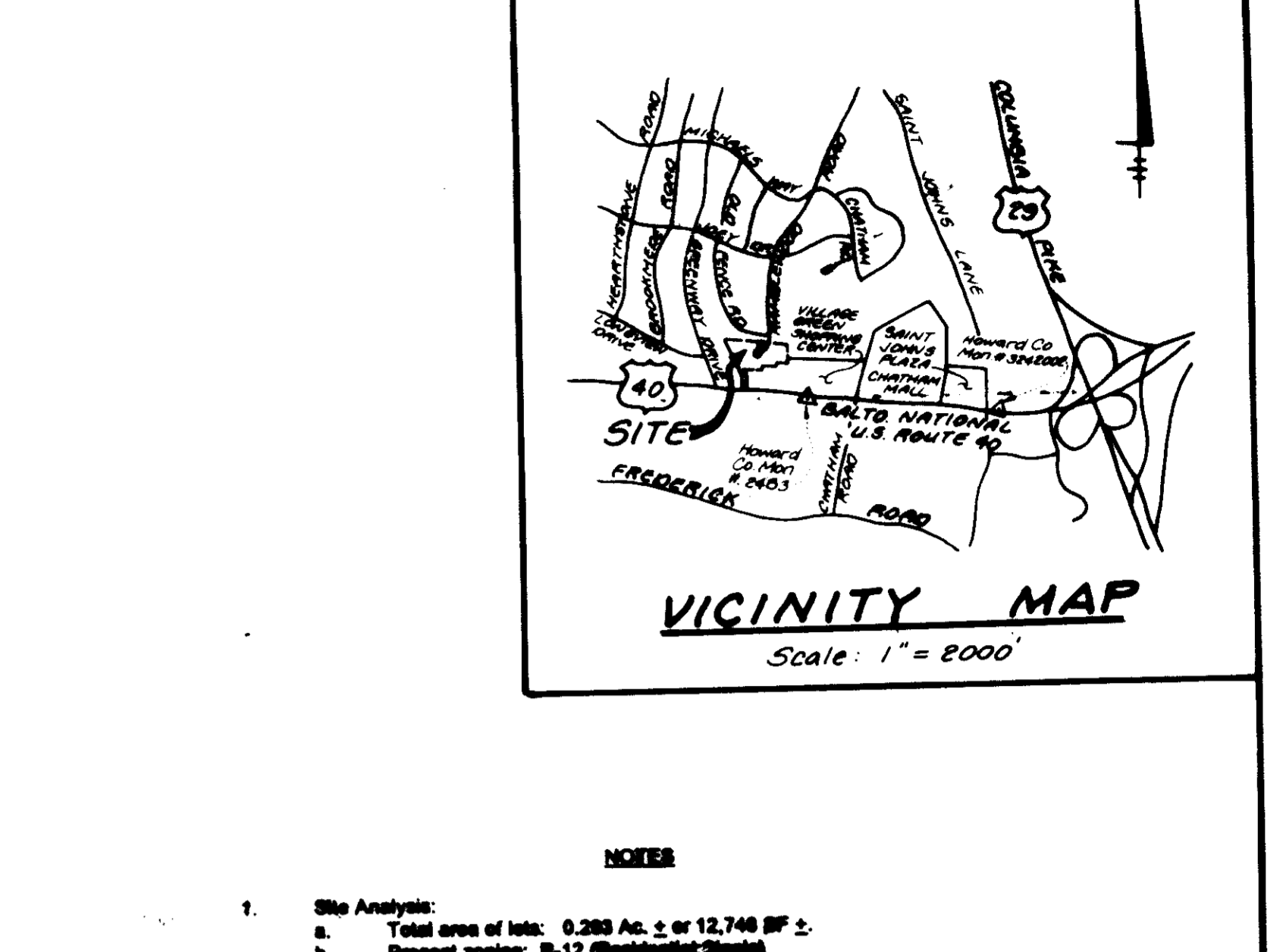
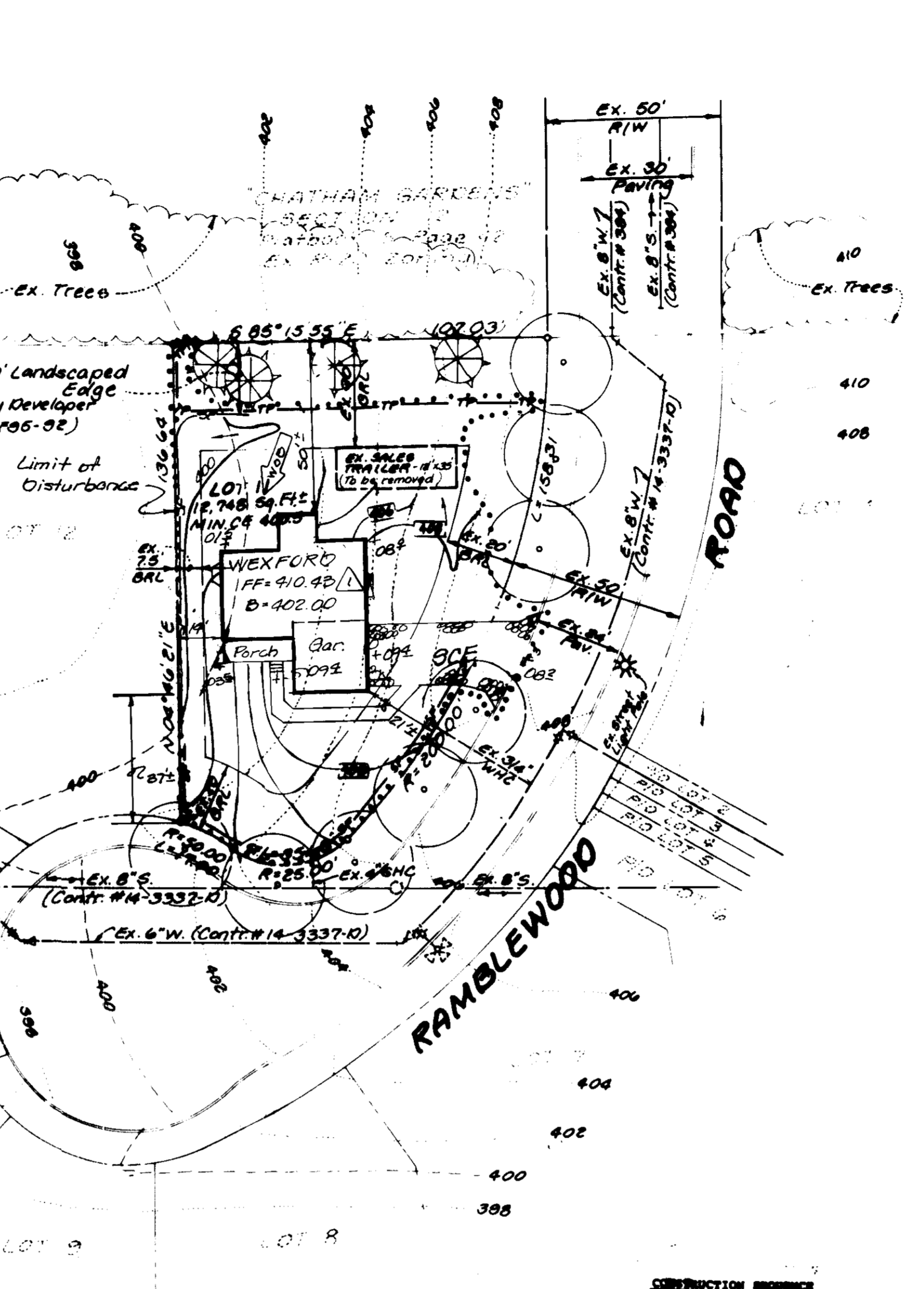
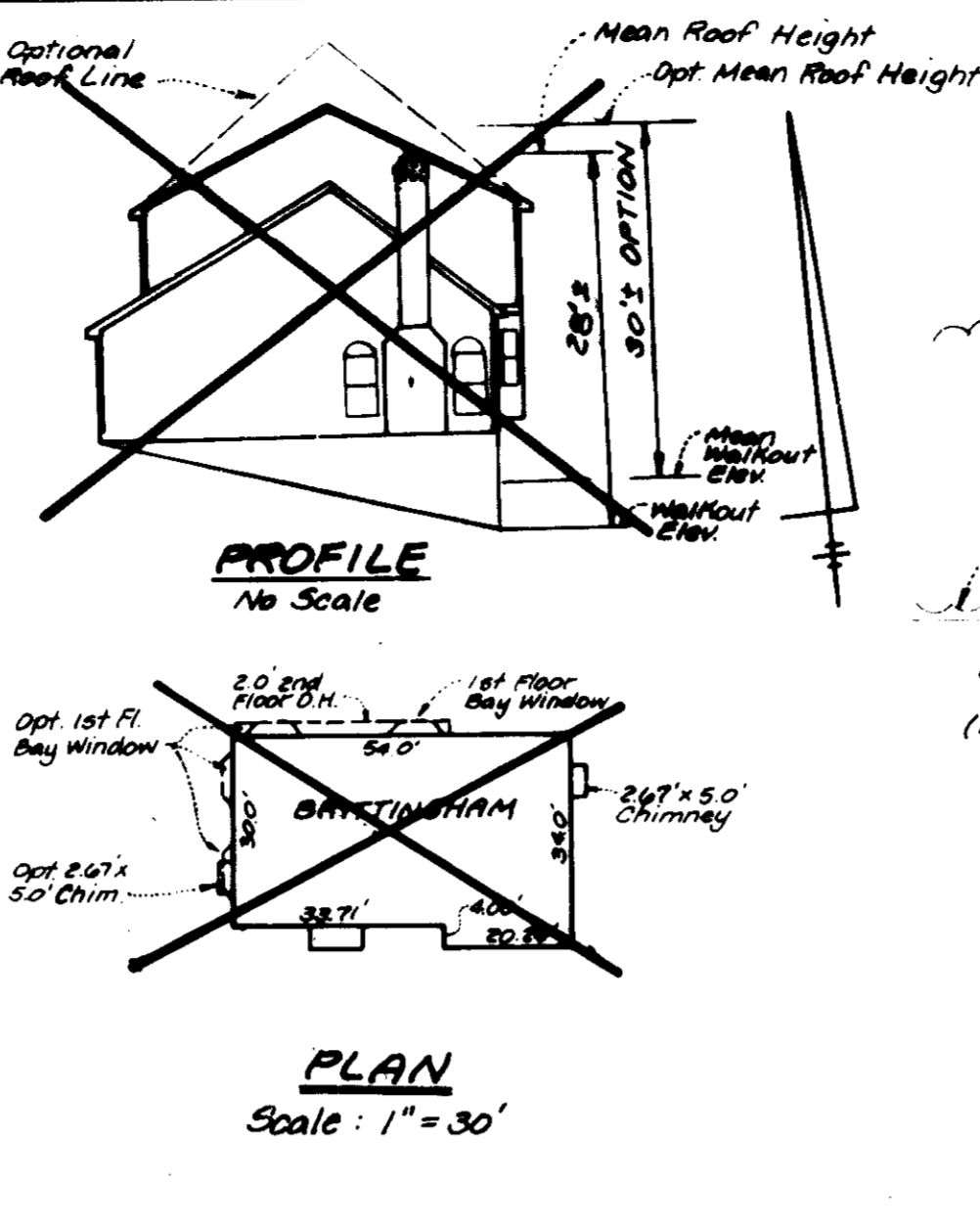
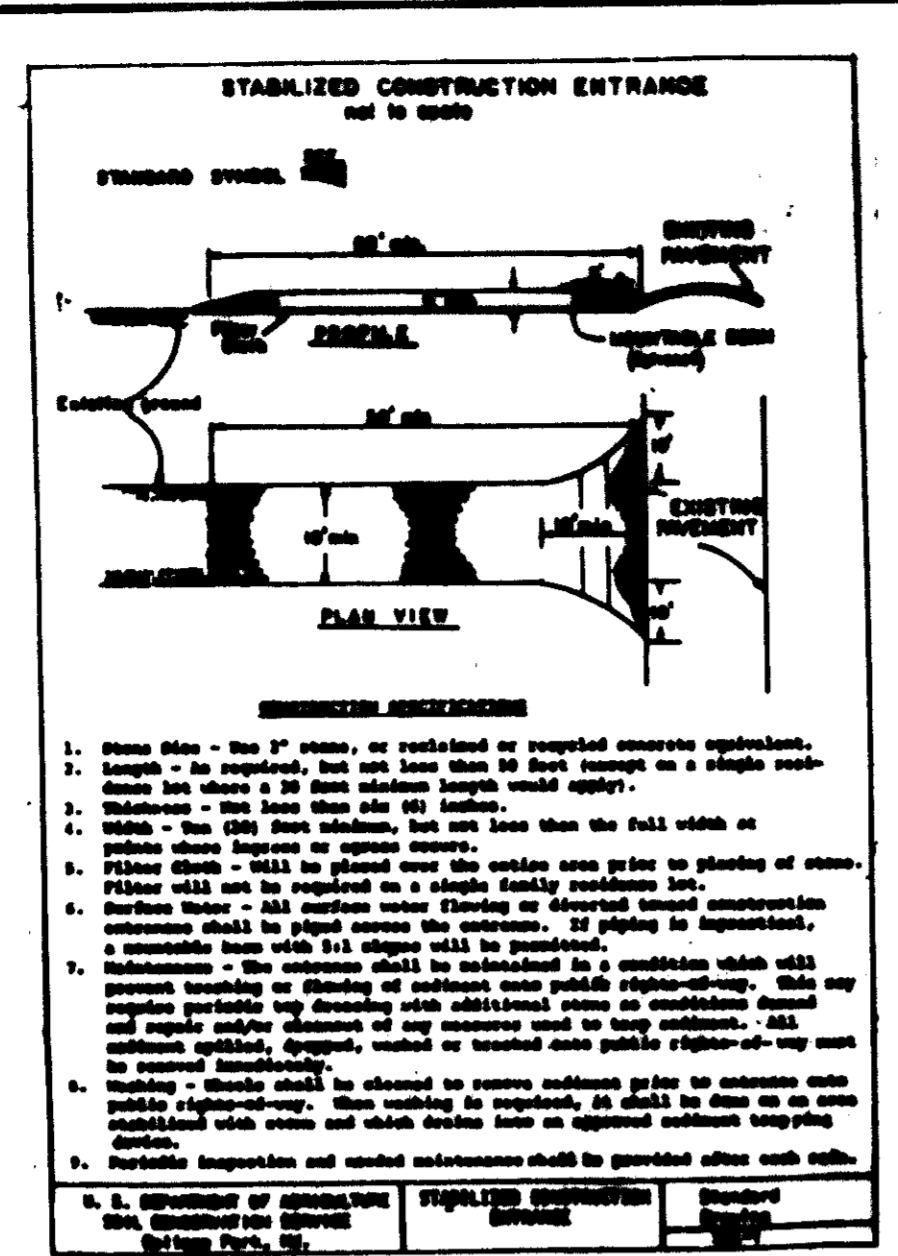
7. Site location:
Total Area: 0.233 Acres
Total Area to be Stabilized: 0.100 Acres
Total Area to be Graded: 0.133 Acres
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Total Area to be Graded: 0.133 Acres

8. Any stabilized construction entrance shall be installed by grading activity by the placement of a minimum of 12 inches of soil over the entrance.

9. All stabilized construction entrances shall be installed in accordance with the HOWARD COUNTY CODE, and regulations thereunder.

10. All stabilized construction entrances shall be installed in accordance with the HOWARD COUNTY CODE, and regulations thereunder.

11. The contractor shall be responsible for the maintenance of the stabilized construction entrance until the construction is completed.



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Apply to graded or cleared areas likely to be reworked where a short-term vegetative cover is needed.

1. Apply 2 tons per acre (20,000 lbs/1000 sq. ft.) of untreated small grain mulch immediately after grading. Further mulch immediately after application using such mulching tool as 20 gal per acre (200 lbs/1000 sq. ft.) of untreated small grain mulch on slopes 8 feet or higher, use 30 gal per acre (300 lbs/1000 sq. ft.) for steeper.

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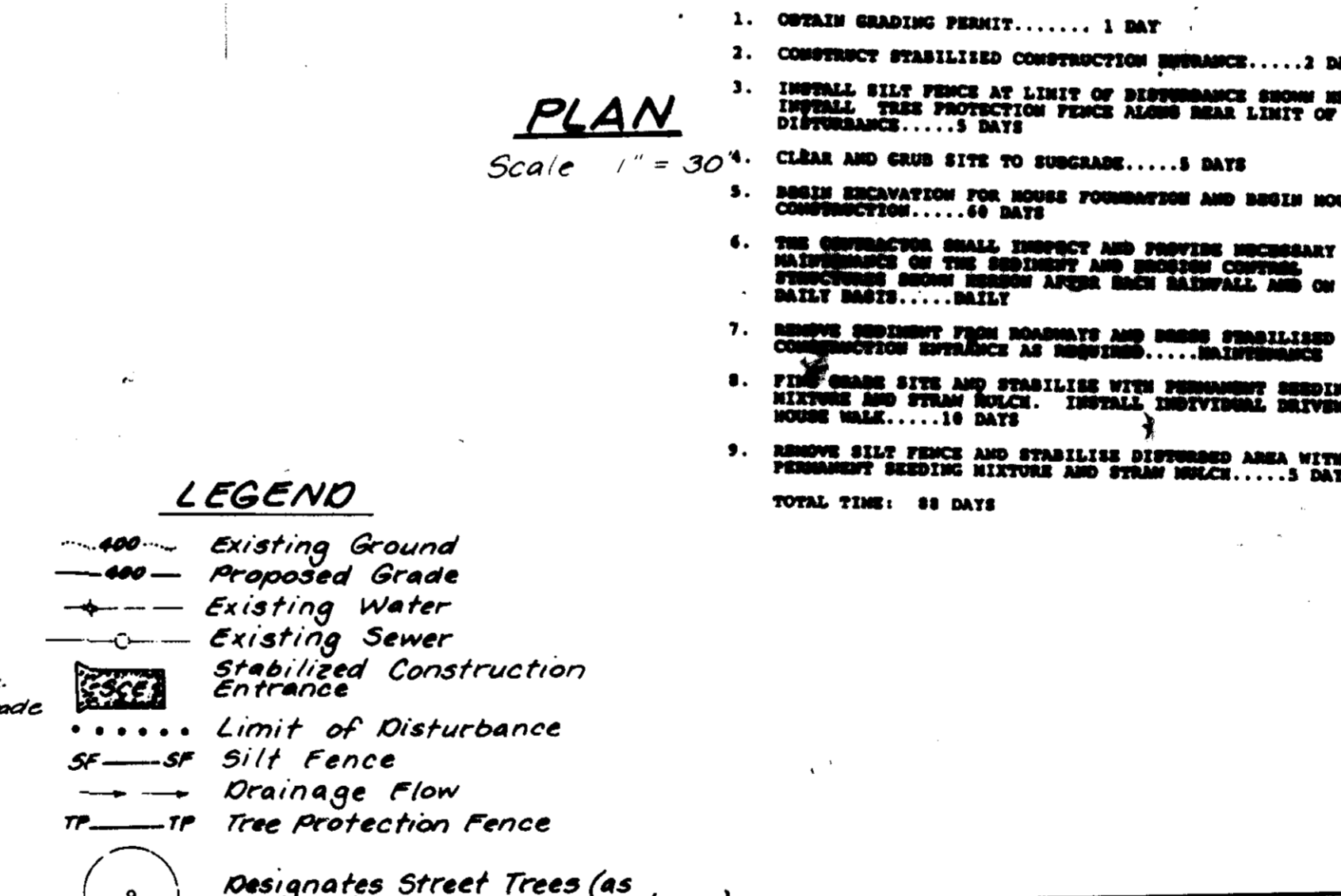
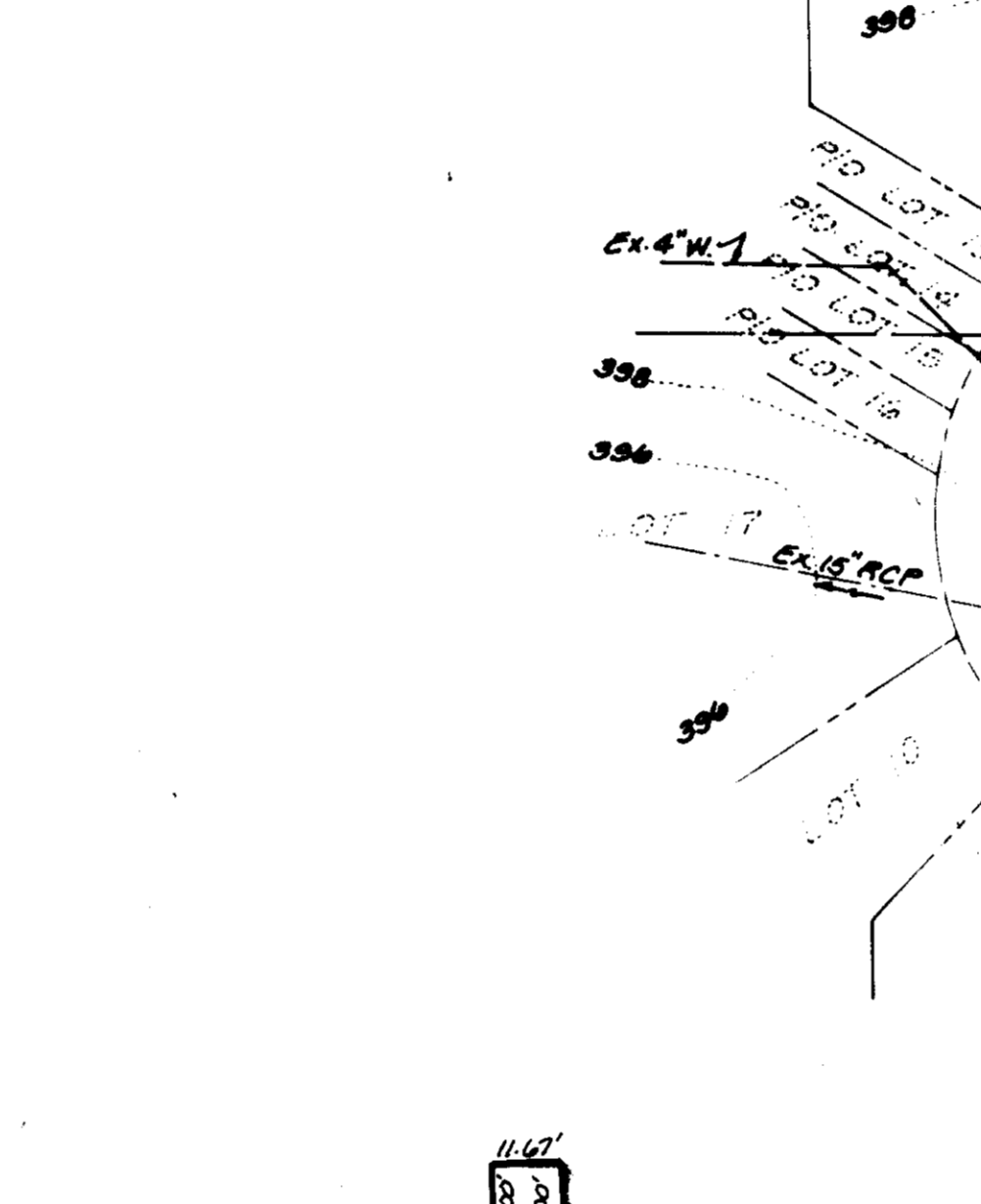
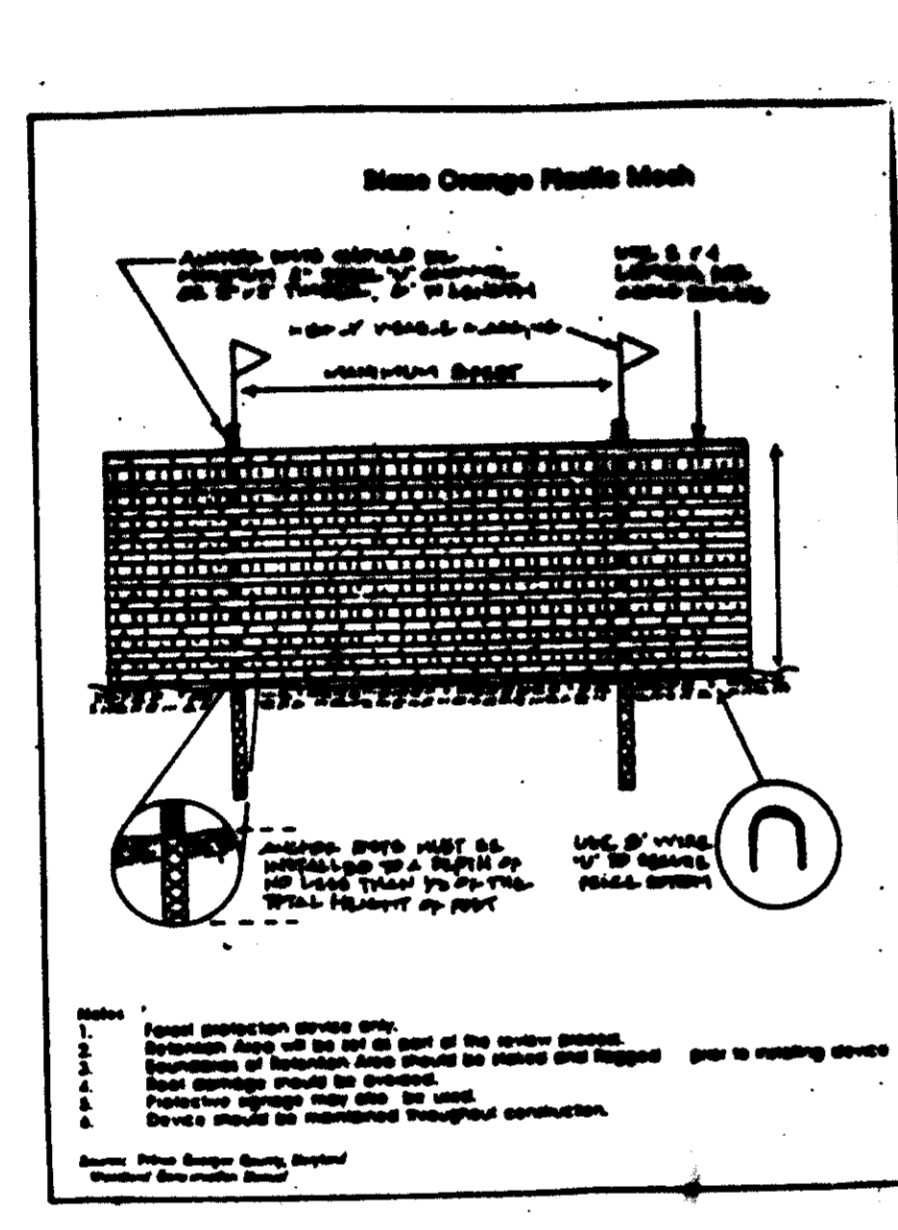
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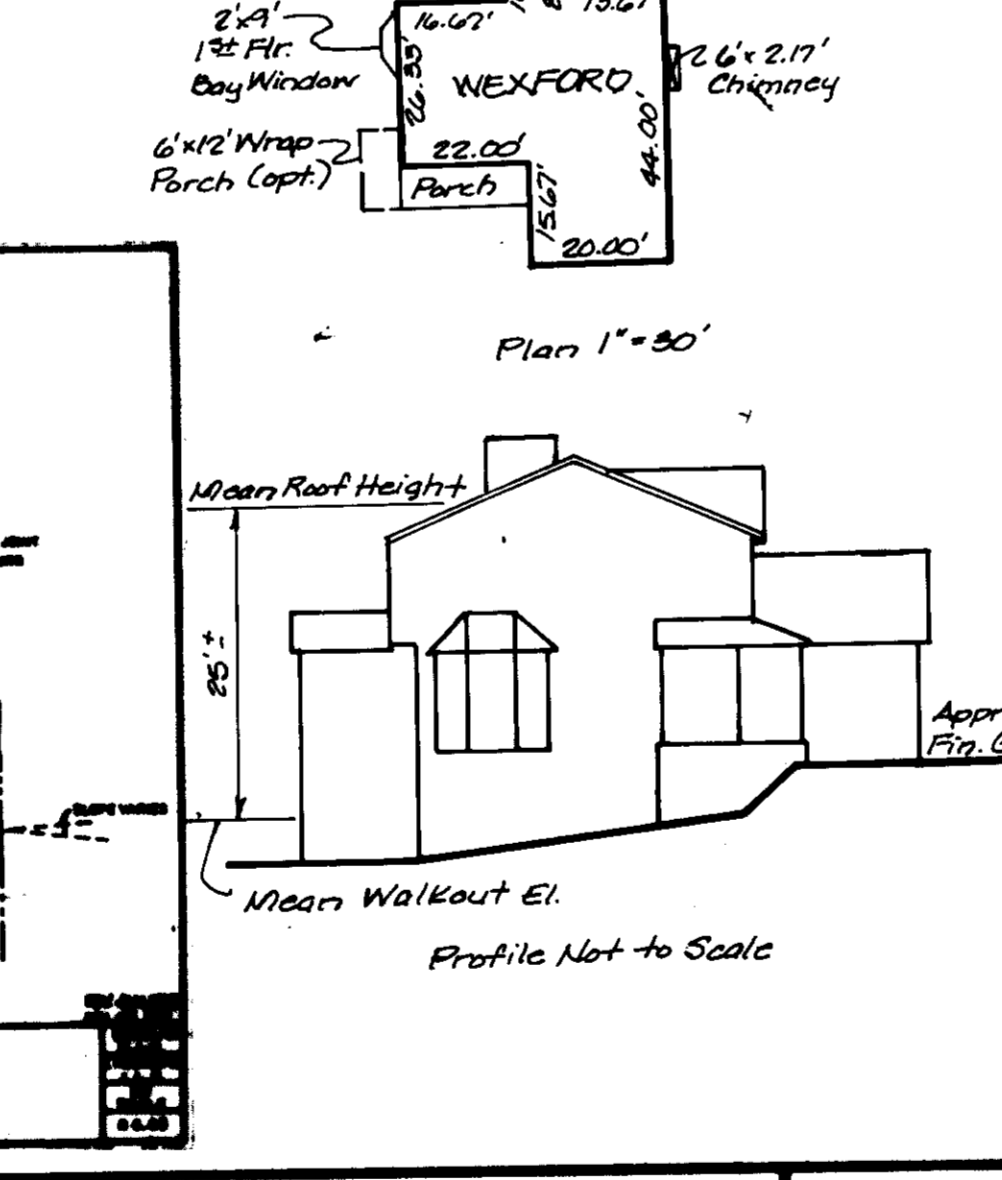
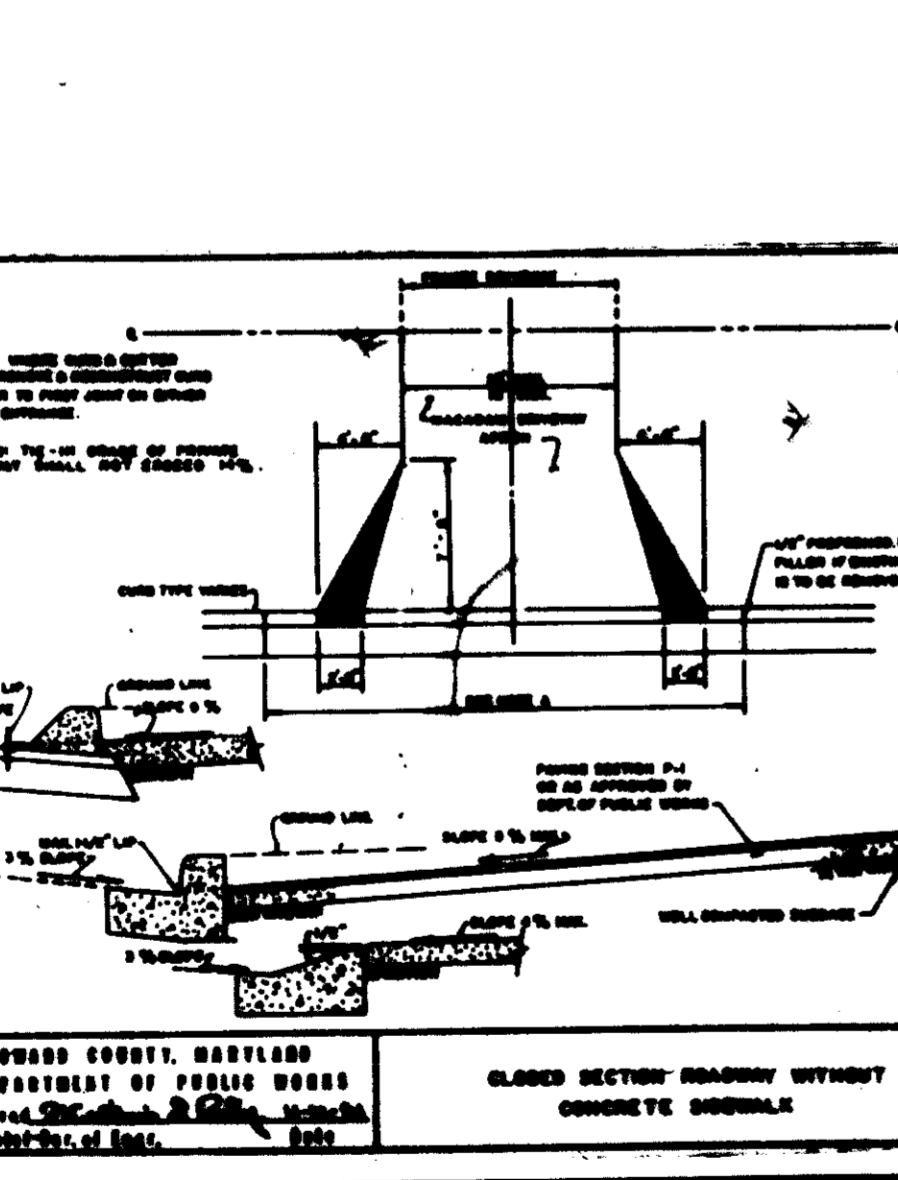
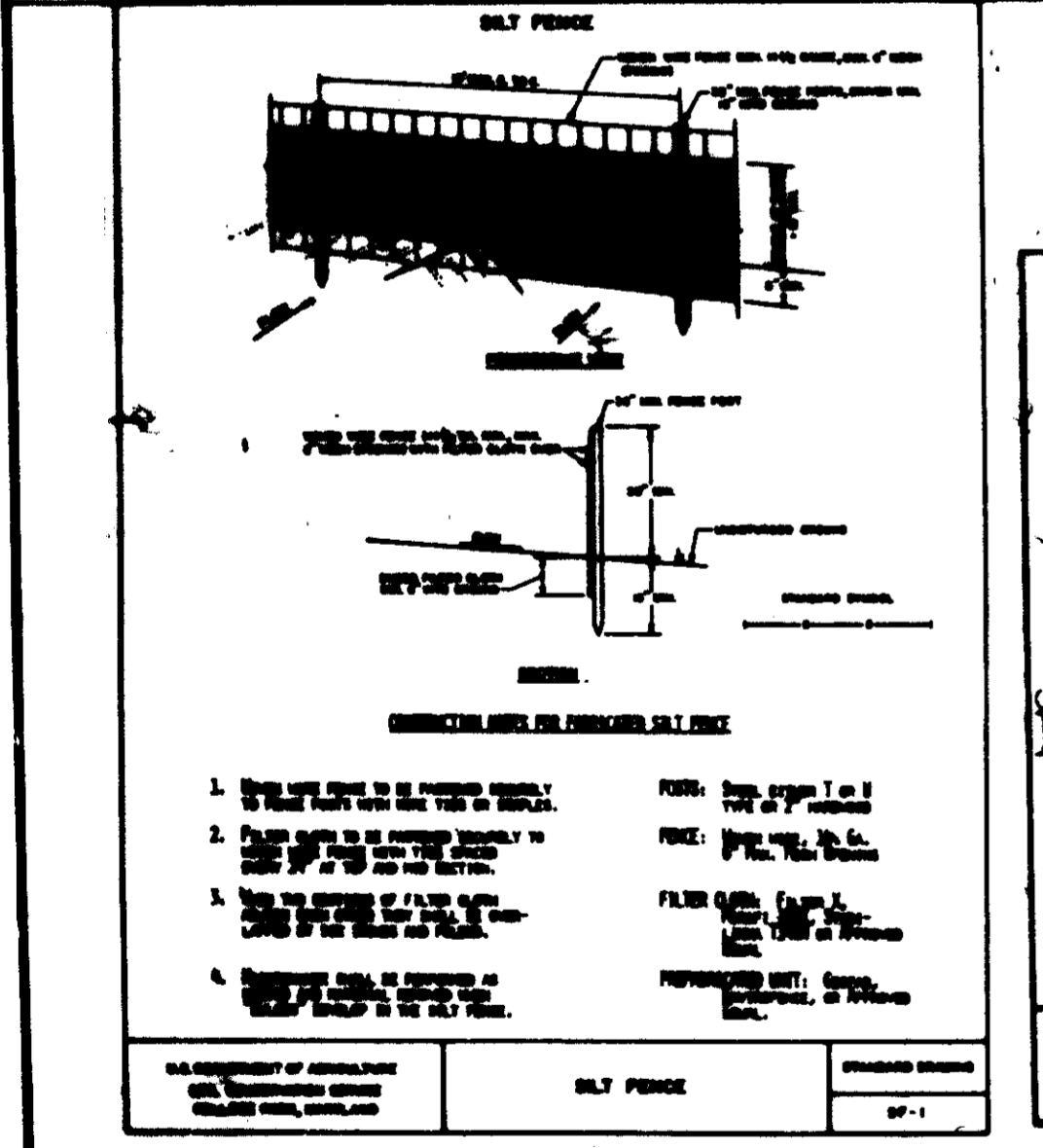
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NOTES

- Site Analysis:
 - Total area of site: 0.233 Ac. ± or 12,740 SF ±
 - Proposed zoning: R-12 (Residential Single-Family)
 - Proposed use of structures: Residential single family detached dwellings
 - Total number of units allowed: 1
 - Total number of units provided: 1
 - Number of parking spaces required: 2.000, or 2 x 1 (4) = 2
 - Number of parking spaces provided:
 - Regular - 2 (2 car garages)
 - Handicapped: 0
 - Open space (green area) to remain on site: 10,570 SF ± or 0.24 Ac. ± (83%)
- Building coverage of site: 2,170 SF ± or 0.05 Ac. ± (17%)
- Minimum building setbacks (typical):
 - Front: 20 feet
 - Rear: 30 feet
 - Side: 75 feet (corner lot: 20 feet)
- All work shown on these plans shall be done in accordance with Howard County Standards, Specifications and Details for Construction, Volume IV.
- The Contractor shall notify the Department of Public Works, Construction Inspection Division at (410) 313-1880 at least five (5) days prior to the start of any work.
- The Contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work.
- All work shown on these plans shall be done in accordance with Howard County Standards, Specifications and Details for Construction, Volume IV.
- The existing utilities shown hereon are located from construction drawings of record and Water and Sewer Contract No. 14-337-D. The approximate location of existing utilities are shown for Contractor's information and convenience. The Contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the Contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service.
- Topography shown is taken from a field-run survey dated December, 1993 by Riemer Muegge & Associates, Inc. Two foot contour intervals are shown.
- Horizontal and vertical datum shown are related to the Maryland State Plane Coordinate System as projected from Howard County Station 2483 (NAD83) and 3242002 (NA827).
- Stormwater management for this site is provided by F36-92. (Excluded Detention)
- Contractor to place protection fence around existing specimen trees and landscaped areas prior to beginning construction shown hereon.
- The existing grades shown reflect the post-graded condition as approved by F36-92.



APPROVED: Department of Public Works for Public Water, Public Sewerage, Storm Drainage Systems and Roads.

John M. Long 7/24/95
Director, Public Works

John R. Roberts 7/24/95
Director, Soil Conservation

APPROVED: Department of Planning and Zoning.

John R. Roberts 7/24/95
Director, Planning and Zoning

APPROVED: Howard County Department of Public Works and Department of Planning and Zoning.

John R. Roberts 7/24/95
Director, Planning and Zoning

OWNER:
SARGENT DEVELOPMENT CORP III
13243 Westmeath Lane
Clarksville, Maryland 21029
Phone (301) 854-0338

DEVELOPER:
American Homes, Inc.
5230 Bethany Lane
Suite 8
Ellicott City, MD 21035
(410) 203-0500

LDE, INC.
8836 Columbia 100 Parkway, Unit N, Columbia, MD 21045
(410) 715-1070 • (301) 596-3434 • (410) 715-8881 (fax)

SITE DEVELOPMENT PLAN AND SEDIMENT AND EROSION CONTROL PLAN
CHATHAM MEWS
LOT 11

Tax Map 24 Parcel# 87041137
2nd Election District Howard County, MD.
Previous Submittals: 93-03, 93-13, 94-06, 94-13

DEVELOPER

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Erosion and Sediment Control represents a practical and verifiable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

John R. Roberts 7/10/95
Signature of Engineer

DEVELOPER'S CERTIFICATE

"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved training program for the control of sediment and erosion before beginning the project. I also authorize periodic audits by inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

John R. Roberts 7/24/95
Signature of Developer

APPROVED: Department of Public Works for Public Water, Public Sewerage, Storm Drainage Systems and Roads.

John M. Long 7/24/95
Director, Public Works

John R. Roberts 7/24/95
Director, Soil Conservation

APPROVED: Department of Planning and Zoning.

John R. Roberts 7/24/95
Director, Planning and Zoning

APPROVED: Howard County Department of Public Works and Department of Planning and Zoning.

John R. Roberts 7/24/95
Director, Planning and Zoning

DESIGNED:

DRAWN: HDW

CHECKED: BOB

DATE: May 1995

Scale: 1" = 30'

Drawing: 1 of 1

Job #: 95-049

File #: