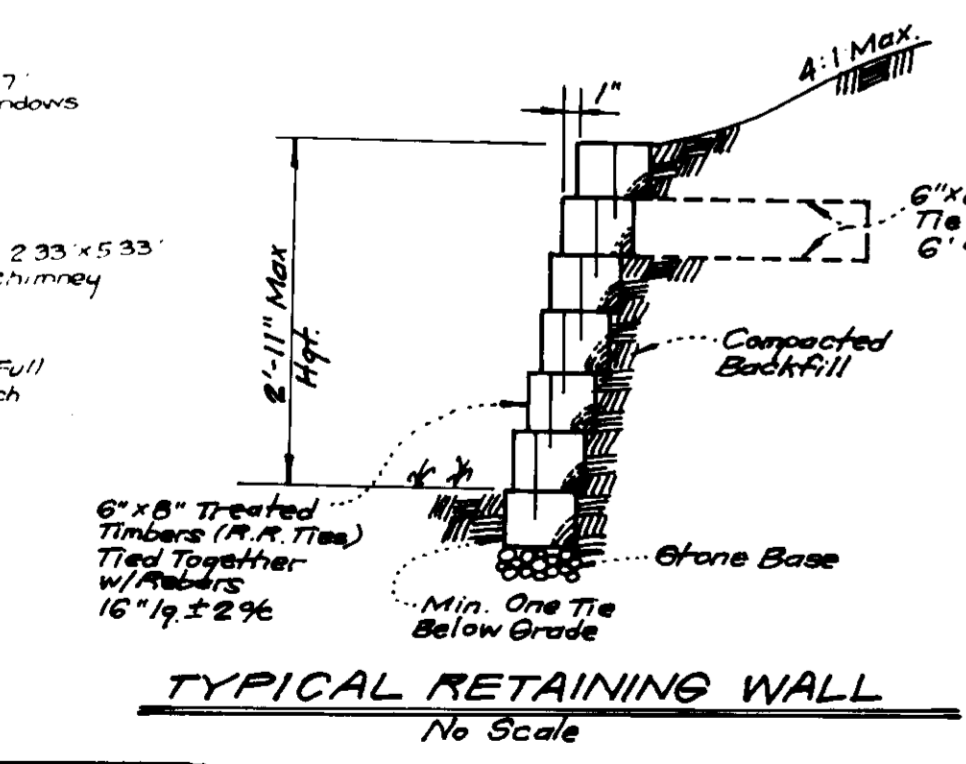


**MINIMUM LOT SIZE CHART**

LOT No.	GROSS AREA	PIPESTEM AREA	SLOPE AREA	FLOODPLAIN AREA	NET AREA
130	11,124 sq'	2280 sq'			8844 sq'
131	12,121 sq'	2280 sq'			9,841 sq'

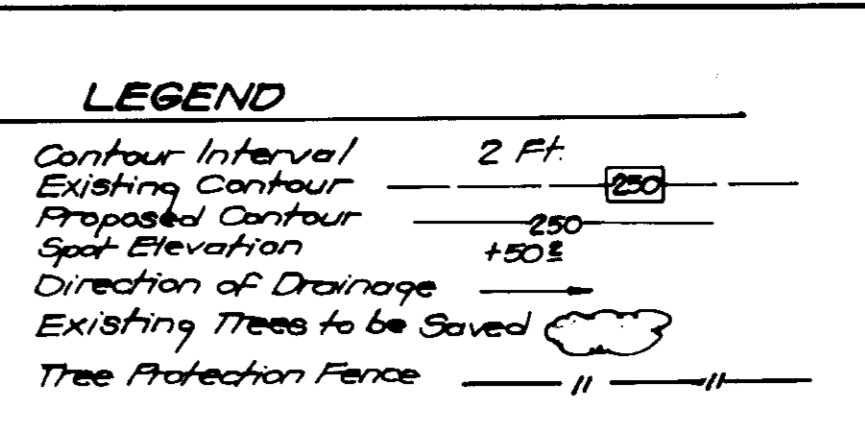


**PLANT SCHEDULE**

KEY	QTY	PLANT NAME	SIZE	REMARKS
AR	3	ACER RUBRUM 'Red Sunset'	2 1/4" - 3" C	B&B
		RED SUNSET MAPLE		

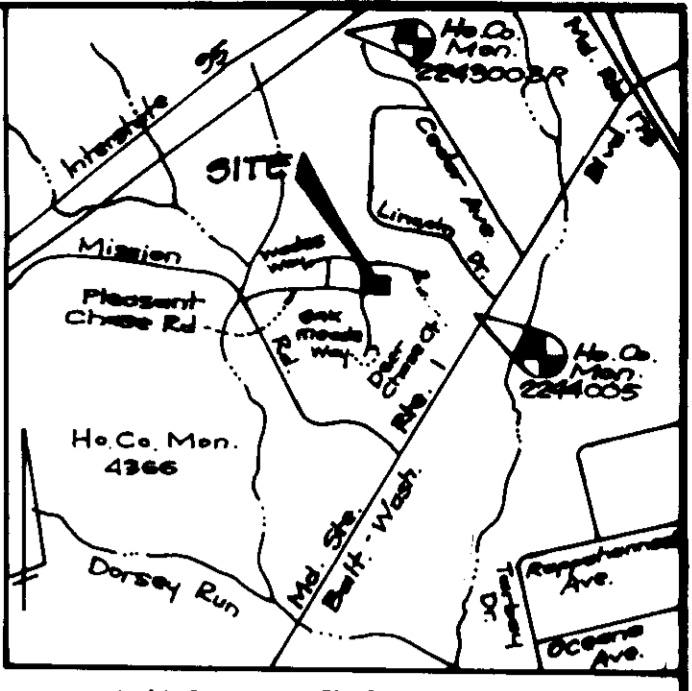
**NOTES**

- This plan has been prepared in accordance with the Provisions of Section 16.124 of the Ho. Co. Code and Landscape Manual. Financial Surety for the required 3 Landscape Trees in the amount of \$300.00 shall be part of the Builders Grading Permit Application.
- Contractor shall verify location of all underground utilities prior to digging.



**BENCHMARKS**

- No. 2243003 R Elev. 301.486  
Flush 4.5' East of East Edge Macadam of North Bound Lane N 487448.365 E 886755.255
- No. 2244005 Elev. 217.572  
2' Below Surface, 10.8' West of Nail Cap on Edge Macadam South Bound Lane N. 485175.988 E. 889142.530



**GENERAL NOTES:**

- Subject property is zoned: R-SC per 10-18-93 Comprehensive Zoning Plan.
- Total No. of Buildable Lots: 14. Total No. of Buildable Lots Proposed: 4.
- Total Area of Buildable Lots: 7.6 Ac. Total Area of Proposed Buildable Lots: 0.24 Acres or 20,738 sq. ft.
- Improvement to property: Single family detached.
- SHC elevations shown are located at the property line.
- Department of Planning and Zoning reference file numbers: 98-23-24, 98-22-25, 98-23-26, 98-23-27, 98-23-28, 98-23-29, 98-23-30, 98-23-31, 98-23-32, 98-23-33, 98-23-34, 98-23-35, 98-23-36, 98-23-37, 98-23-38, 98-23-39, 98-23-40, 98-23-41, 98-23-42, 98-23-43, 98-23-44, 98-23-45, 98-23-46, 98-23-47, 98-23-48, 98-23-49, 98-23-50, 98-23-51, 98-23-52, 98-23-53, 98-23-54, 98-23-55, 98-23-56, 98-23-57, 98-23-58, 98-23-59, 98-23-60, 98-23-61, 98-23-62, 98-23-63, 98-23-64, 98-23-65, 98-23-66, 98-23-67, 98-23-68, 98-23-69, 98-23-70, 98-23-71, 98-23-72, 98-23-73, 98-23-74, 98-23-75, 98-23-76, 98-23-77, 98-23-78, 98-23-79, 98-23-80, 98-23-81, 98-23-82, 98-23-83, 98-23-84, 98-23-85, 98-23-86, 98-23-87, 98-23-88, 98-23-89, 98-23-90, 98-23-91, 98-23-92, 98-23-93, 98-23-94, 98-23-95, 98-23-96, 98-23-97, 98-23-98, 98-23-99, 98-23-100.
- Utilities shown as existing are taken from approved water and sewer plan Contract # 24-3203-D and 24-3201-D, and Approved Road construction plans F-92-146 and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Storm water management is consists of Extended Detention for Dry Well Ponds.
- All roadways are public and existing.
- The existing topography shown was taken from road construction plans F-92-146 prepared by TECH GROUP, INC. Inc.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2243003 and 2244005.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hrs. prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- In accordance with Sections 12B.A, B and C of the Zoning Regulations, bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 10 feet into the front or rear setback.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume III, Sd. Detail R 605.
- No clearing, grading or construction is permitted within wetlands, stream buffers or wetland buffers except as approved per WP-93-08.

**SPECIAL NOTES:**

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-92-146 and/or approved Water and Sewer Plans Contract # 24-3201-D and 24-3203-D.

**SHEET INDEX**

Sheet 1 - Site Development & Landscape Plan
Sheet 2 - Sediment and Erosion Control Plan

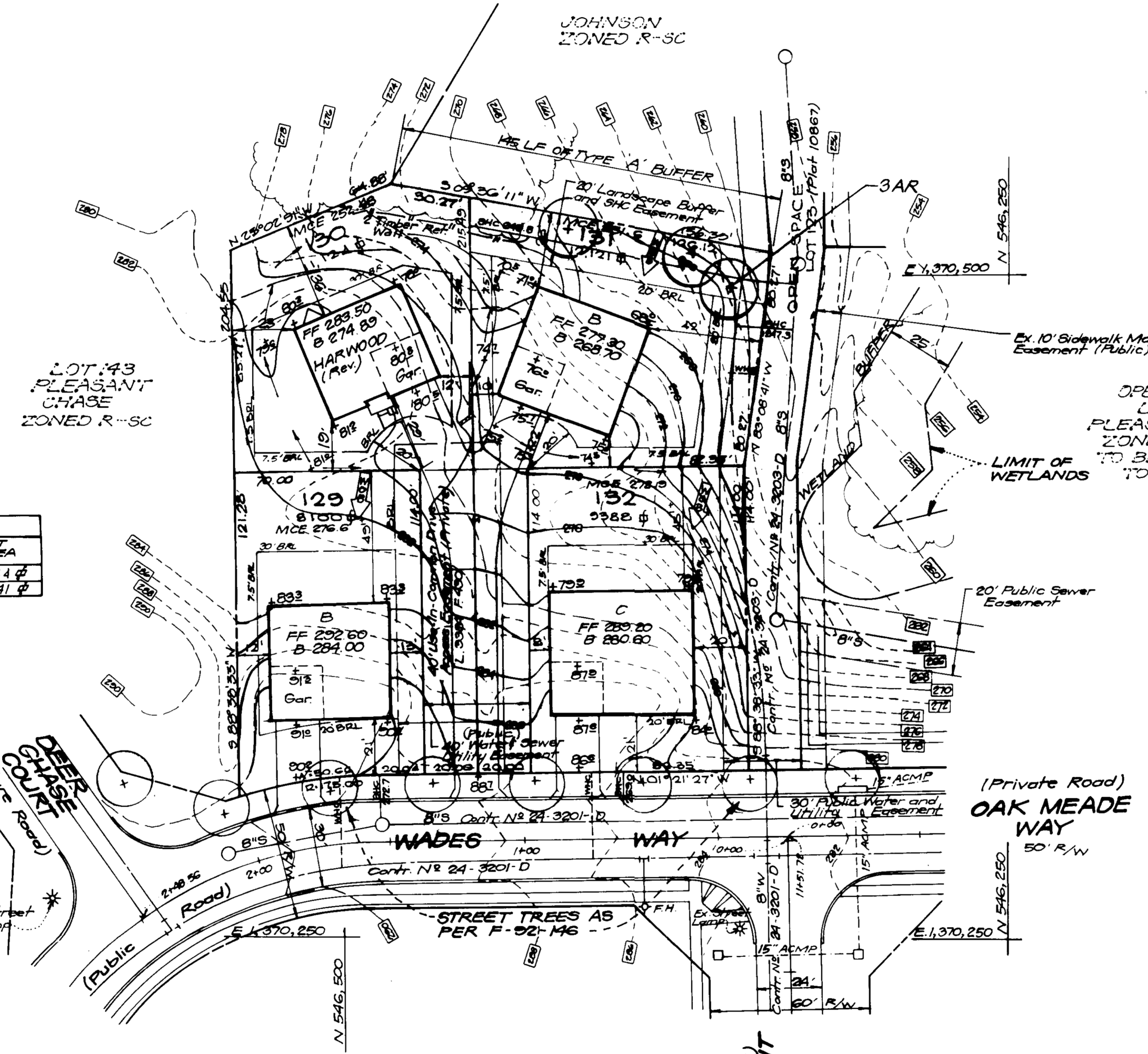
**OWNER / DEVELOPER**  
NEW PANORAMA DEVELOPMENT CORP.  
13255 Baltimore Avenue  
Laurel, Md. 20707  
(301-369-4000)

**LANDSCAPE NOTE:**  
ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE BALT. WASH. LANDSCAPE SPECS OF L.C.A.M.W. (\$300 surety, part of Grading Permit Application)

SUBDIVISION NAME	SECTION/PARCEL	LOTS/PARCELS
PLEASANT CHASE	1/4	129-132

PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
HT57-117G0	14	R-SC	43	6TH	6069.01F

WATER CODE	SEWER CODE
B02	32A000



**SCHEDULE A PERIMETER LANDSCAPE EDGE**

CATEGORY	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type		A
Linear Feet of Roadway Frontage / Perimeter		240
Credit For Ex. Vegetation		60
Credit For Wall, Fence or Barn		
Number of Plants Required		Based on 180 L.F.
Shade Trees		3
Evergreen Trees		
Shrubs		
Number of Plants Provided		3
Shade Trees		
Evergreen Trees		
Other Trees (2:1 Substitution)		
Shrubs (10:1 Substitution)		

**ADDRESS CHART**

LOT NUMBER	STREET ADDRESS
129	8315 WADES WAY
130	8305 WADES WAY
131	8305 WADES WAY
132	8301 WADES WAY

**APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING**  
 Director: [Signature] DATE: 7/19/95  
 Chief Division of Development and Research: [Signature] DATE: 7/19/95

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS**  
 Director: [Signature] DATE: 7/19/95  
 Chief Bureau of Engineering: [Signature] DATE: 7/19/95



**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
1135 MINSTREL WAY • COLUMBIA MD 21045 • (410) 361-7500 BALTO. • (301) 621-8100 WASH.

DESIGNED	SITE DEVELOPMENT & LANDSCAPE PLAN	SCALE
RMT	LOTS 129 Thru 132	1" = 30'
DRAWN	PLEASANT CHASE	DRAWING
MCR	SECTION ONE PHASE THREE	1 OF 2
BAL	6TH ELECTION DISTRICT	JOB NO.
CHK'D BY	HOWARD COUNTY MARYLAND	24-127
DATE	For: LOVELL REGENCY HOMES	FILE NO.
6-30-95	48 Old Baltimore National Rd. No. 301 Annapolis, Maryland 21401	24-127-X

**PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

**SEEDING PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:  
 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft), and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.  
 Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft.)

2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding.  
 Harrow or disc into upper three inches of soil.

**SEEDING:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.5 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (3 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

**MAINTENANCE:** Inspect all seeded areas and make needed repairs, replacements and reseeding.

**TEMPORARY SEEDING NOTES**

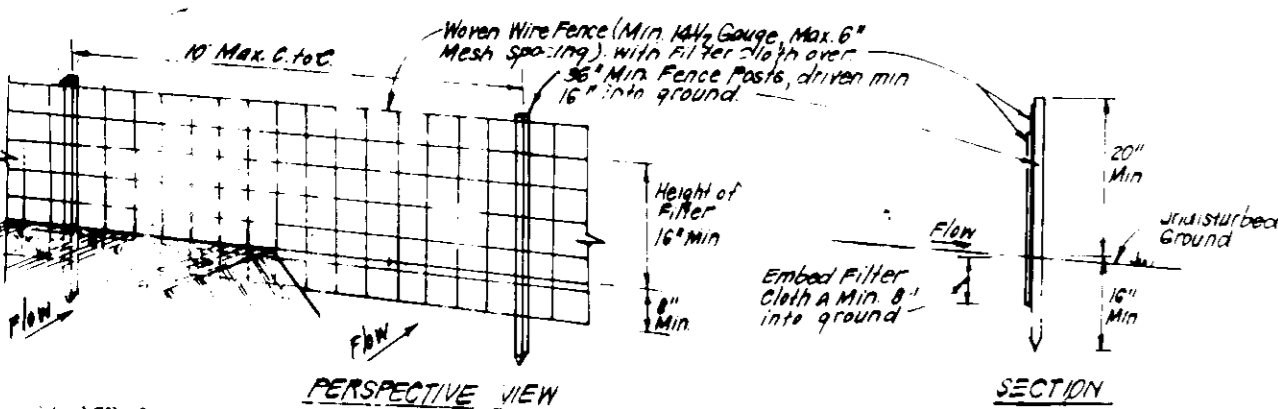
**SEEDING PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

**SEEDING:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

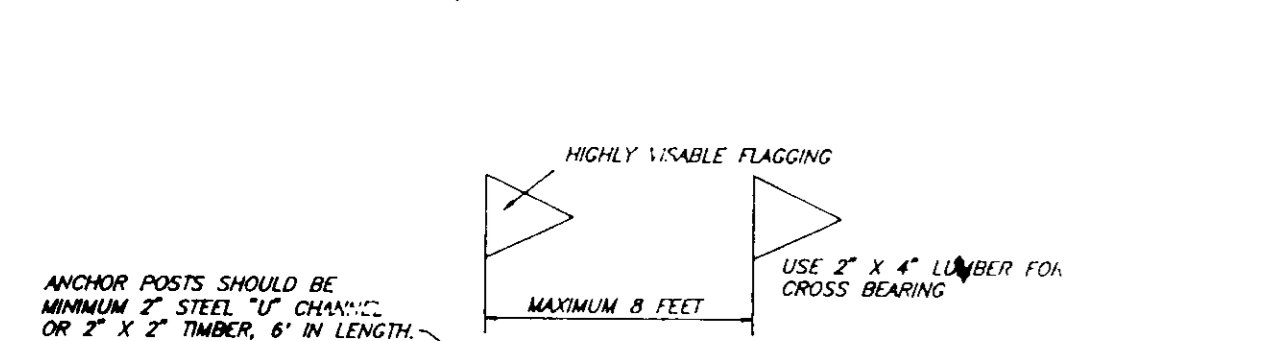
**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (3 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

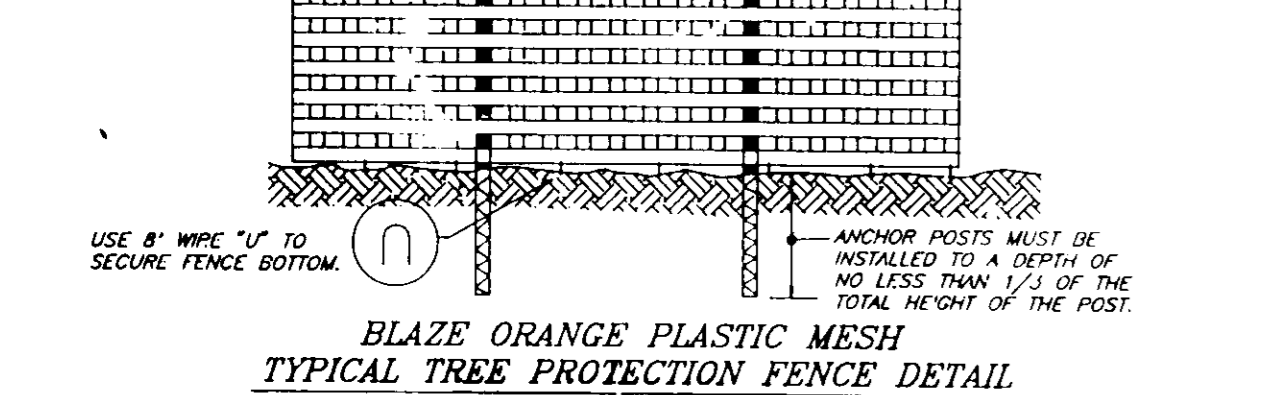


**CONSTRUCTION SPECIFICATIONS:**  
 1. Chain link fence to be fastened securely to fence posts with wire ties or staples.  
 2. Filter cloth to be fastened securely to chain link fence with ties spaced every 24 inches at top and mid section.  
 3. When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded.  
 4. Maintenance shall be performed as needed and material removed when bulges develop in the silt fence.

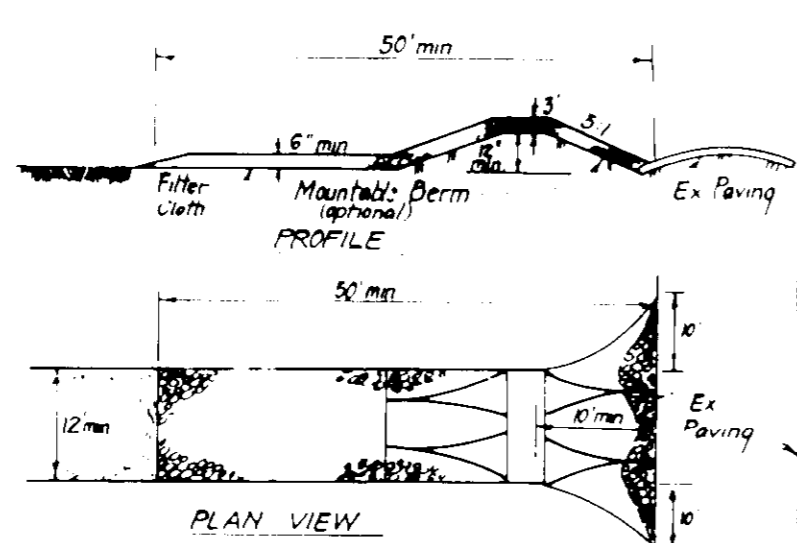
**SILT FENCE DETAIL (S)**  
 NO. 3242E



**BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL**  
 NO. 304E



**NOTES:**  
 1. Forest protection device only.  
 2. Retention area will be set as part of the review process.  
 3. Boundaries of retention area should be staked and flagged prior to installing device.  
 4. Root damage should be avoided.  
 5. Protection signage may also be used.  
 6. Device should be maintained throughout construction.



**CONSTRUCTION SPECIFICATIONS:**  
 1. Stone size - Use 2" stone or equivalent or recycled concrete equipment.  
 2. Length - As required, but not less than 50 feet, except in a single residence of where a 30 foot minimum length would apply.  
 3. Thickness - Not less than six (6) inches.  
 4. Width - Ten (10) feet minimum, but not less than the R<sub>2</sub> width at points where ingress or egress occurs.  
 5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence.  
 6. Surface Water - All surface water flowing or diverted from construction entrances shall be passed across the entrance. If piping is impractical, a mound side berm with 5' slopes will be permitted.  
 7. Maintenance - The entrance shall be maintained in a condition when will prevent tracking or blowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as construction demand and repair and or cleanup of any measures used to trap sediment. All sediment applied, dropped, washed or tracked onto public rights-of-way must be removed immediately.  
 8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains to an approved sediment trapping device.  
 9. Periodic inspection and needed maintenance shall be provided after each rain.

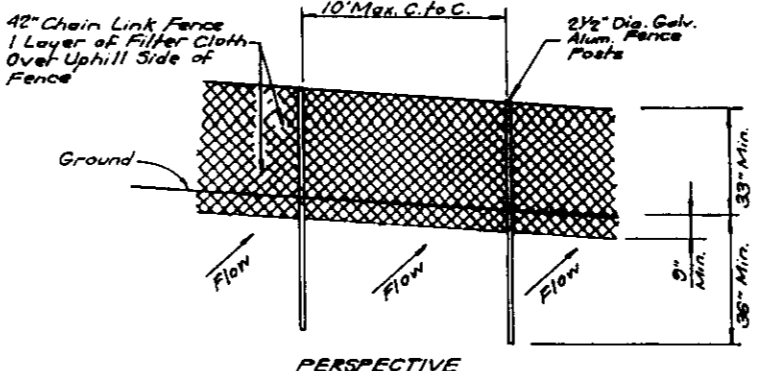
**STABILIZED CONSTRUCTION ENTRANCE (SCE)**  
 NO. SCALE

**Fencing**

Fencing shall be 42" high chain link fence constructed in accordance with the latest Maryland State Highway Administration Standard Details 690.01 and 690.02. The specifications for a 3'-6" fence shall be used, substitute 42 inch fabric and posts. Posts shall be placed without concrete embedment.

- Chain link fence to be fastened securely to fence posts with ties or staples.
- Filter cloth to be fastened securely to chain link fence with ties spaced every 24 inches at top and mid section.
- When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded.
- Maintenance shall be performed as needed and material removed when bulges develop in the silt fence.

**SUPER SILT FENCE**

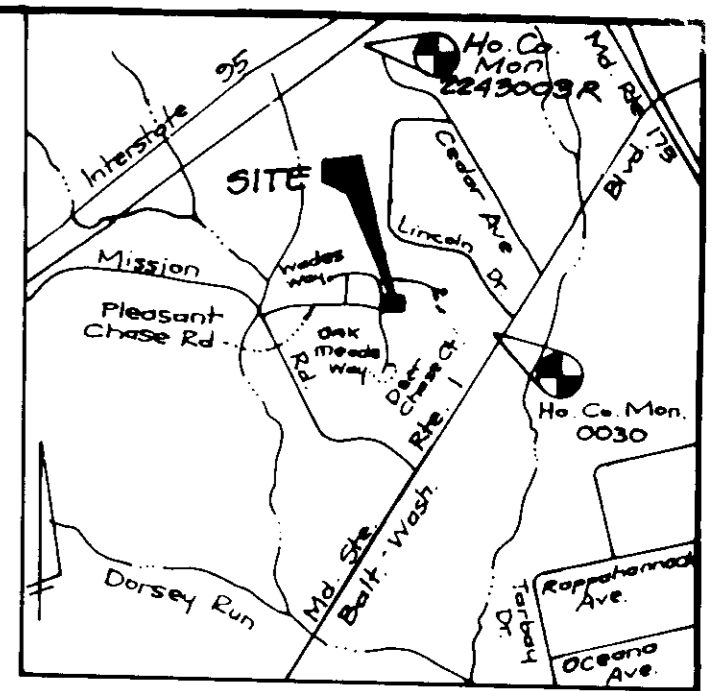


**PERSPECTIVE**

**SECTION VIEW**

**LEGEND**

- Contour Interval: 2 Ft.
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Ex. Trees to be Saved
- Tree Protection Fence
- Silt Fence
- Stabilized Construction Entrance
- Super Silt Fence



**VICINITY MAP**  
 Scale: 1" = 2000'

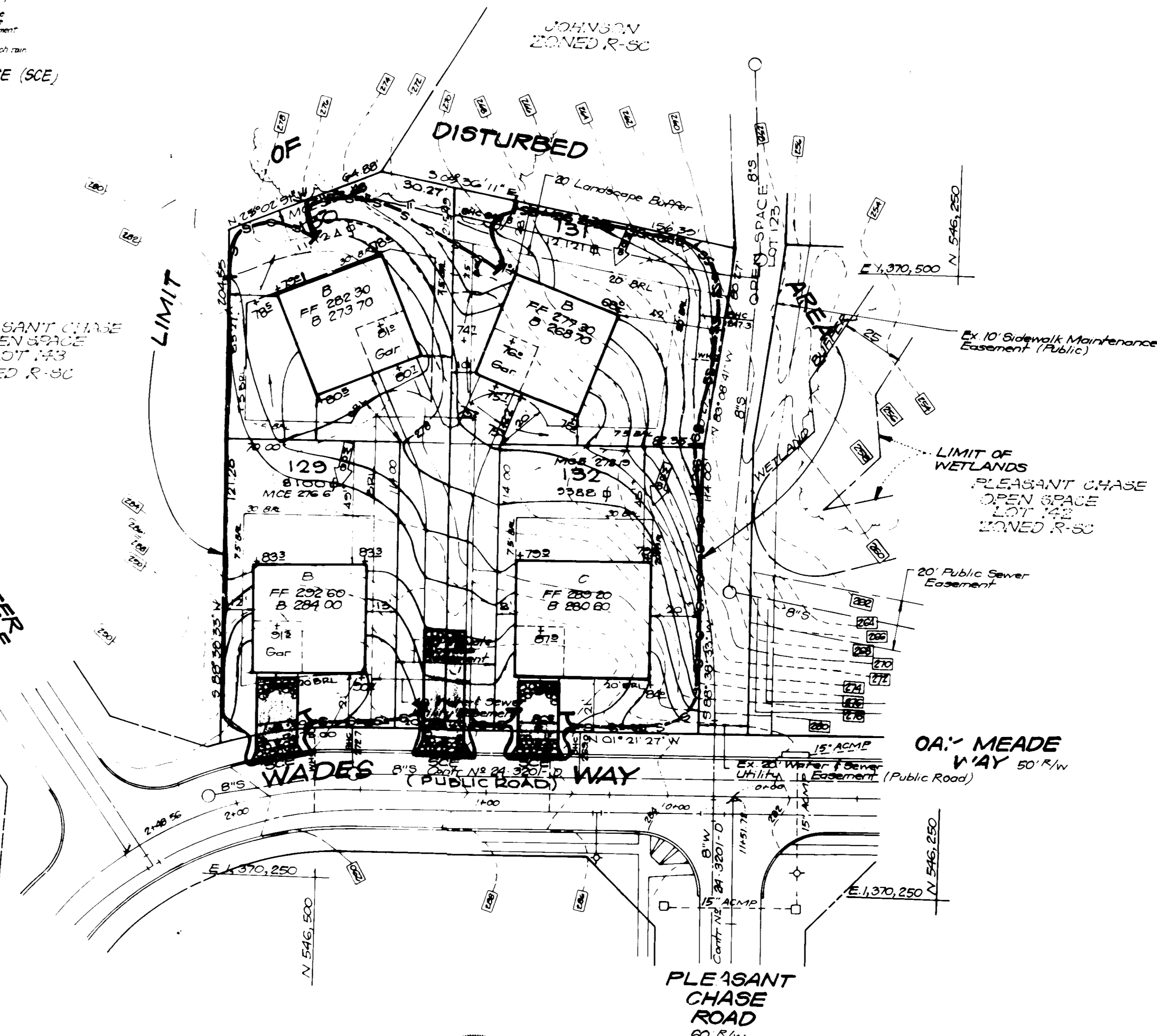
**SEDIMENT AND EROSION CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permit prior to the start of any construction. (313-1895).
- All silt fences and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance, redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all silt fences greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec.51) and (Sec.52), temporary seeding (Sec.50) and mulching (Sec.52). Temporary stabilization with sod alone can only be done when recommended seeding dikes do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:**  
 Total Area of Site: 0.34 AC  
 Area Disturbed: 0.25 AC  
 Area to be roofed or paved: 0.25 AC  
 Area to be vegetatively stabilized: 0.62 AC  
 Total Fill: 850 CY  
 Offsite Waste/Borrow Tree Location:  
 1) All pipes to be blocked at the end of each day (see detail this sheet).  
 2) The total amount of silt fence = 540 LF.

\*It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

**CONSTRUCTION SEQUENCE:**

NO.	DESCRIPTION	NO. OF DAYS
1	Obtain grading permit	7
2	Install tree protection fence	7
3	Install sediment and erosion control devices and stabilize	14
4	Excavate for foundations, rough grade and temporarily stabilize	30
5	Construct structures, sidewalks and driveways	60
6	Final grade and stabilize in accordance with Specs. and Specs.	14
7	Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize	7



Reviewed for HOWARD COUNTY and meets Technical Requirements  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Natural Resources Conservation Service

**ENGINEER'S CERTIFICATE**  
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 Signature: G. Nelson Clark Date: 6-30-95



**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.  
 Signature: \_\_\_\_\_ Date: 5-11-95

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 DIRECTOR: \_\_\_\_\_ DATE: 7/19/95  
 CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: \_\_\_\_\_ DATE: 7/13/95  
 CHIEF BUREAU OF ENGINEERING: \_\_\_\_\_ DATE: 7/18/95

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Signature: John R. Schubert Date: 7/16/95

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 735 Annetel Way • Columbia, Md. 21045 • (410) 981-7500 (301) (301) 621-8100 FAX

DESIGNED BY: JLS	<b>SEDIMENT &amp; EROSION CONTROL PLAN</b> LOTS 129 thru 132	SCALE: 1" = 30'
DRAWN BY: BAL	<b>PLEASANT CHASE</b> SECTION ONE PHASE THREE	DRAWING: 2 OF 2
CHECKED BY: JLS	6TH ELECTION DISTRICT HOWARD COUNTY MARYLAND	JOB NO: 24-127
DATE: 6-30-95	FOR: LOVELL REGENCY HOMES 46 Old Solomons Island Rd. No 301 Annapolis, Maryland 21401	FILE NO: 24-127-2