

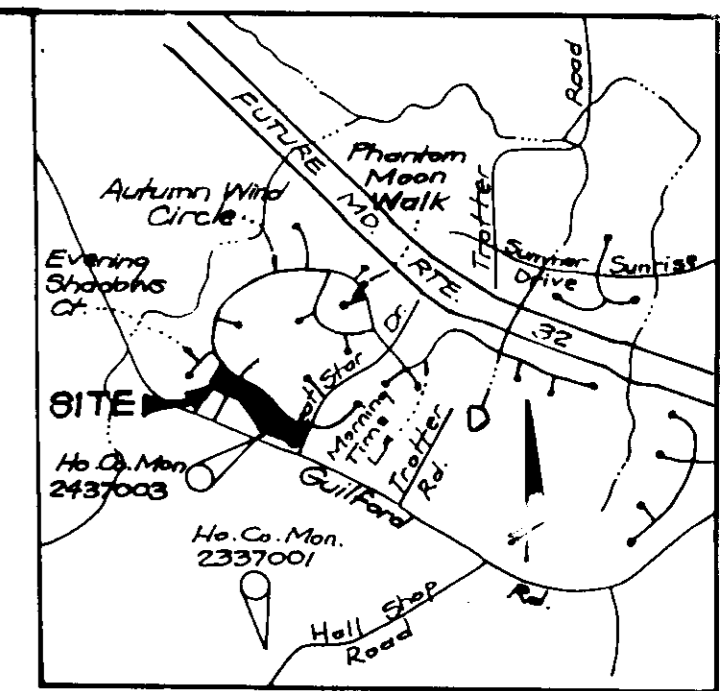
**GUILFORD ROAD (PUBLIC ROAD)**

**LEGEND**

- Contour Interval 2 FT
- Existing Contour - - - - -
- Proposed Contour - - - - -
- Spot Elevation +10%
- Direction of Drainage
- Walk out Basement
- Trees to be Saved
- Tree Protection Fence
- Minimum Cellar Elevation MCE

**STREET ADDRESS CHART**

| LOT | ADDRESS                 |
|-----|-------------------------|
| 1   | 6501 Autumn Wind Circle |
| 2   | 6505                    |
| 3   | 6500                    |
| 4   | 6515                    |
| 5   | 6517                    |
| 6   | 6521                    |
| 7   | 6525                    |
| 8   | 6520                    |
| 9   | 6535                    |
| 10  | 6537                    |
| 11  | 6541                    |
| 12  | 6545                    |
| 13  | 6540                    |



**VICINITY MAP**  
Scale: 1" = 2000'

**HOWARD COUNTY MONUMENTS**  
 N 2337001 - Elev 426.095, 3/4 Reinforcing Rod, 0.6' Below Surface  
 N 491612.385 E 815527.783  
 N 2437003 - Elev 477.122, Concrete Mon., 0.25' Below Surface  
 N 491295.231 E 820389.343

**REVISIONS**

| NO | REVISIONS  | Date    |
|----|--|---------|
| 1  | Rev. hse # 9rd. lot 4 from C box to Enterprise, lot 11 from A box to Mansfield, lot 3 from A box to Enterprise (Rev.), lot from Enterprise to C box. | 6-29-95 |
| 2  | Rev. hse # 3rd. Lot 4  | 8-7-95  |
| 3  | Rev. grd. lot 8 per As-Built Conditions Add Retaining Wall Detail Sheet 2  | 1-20-98 |

**GENERAL NOTES:**

- Subject property is zoned: NT per 10-18-93 Comprehensive Zoning Plan.
- Total project area: 81.95 Ac., Area of this plan submission 2.89 Ac.
- Total No. of buildable lots: 158, Total No. of lot proposed by this plan: 13
- Improvement to property: Single-Family Detached
- The Maximum Lot Coverage permitted is: 30%
- SHC elevations shown are located at the property line.
- Department of Planning and Zoning reference file numbers are: 0-21-03, P-24-01, F-24-10B, 34-3556-D
- Utilities shown as existing are taken from approved Water and Sewer plan Contract # 34-3556-D approved Road Construction Plans F-24-10B and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Stormwater Management is provided per: F-24-10B
- All roadways are public and existing.
- The existing topography shown was field run by CFS, Inc on April, 1995 and taken from Approved Road Construction Plans F-24-10B.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2337001 & 2437003
- The contractor shall notify the Department of Public Works/ Division of Construction Inspection # (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho.Co. Design manual Volume IV detail R-603
- In accordance with FDP Phase 200, Part IV, bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks.
- Stormwater Management will be detention facility at road crossing for quantity control and shallow marshes for quantity control per F-24-10B.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard Code and Landscape Manual. Financial surety for the required 4 landscape trees, in the amount of \$400.00 will be part of builder's grading permit application.

**SPECIAL NOTES:**

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-24-10B, and/or approved Water and Sewer Plans Contract # 34-3556-D

**SHEET INDEX**

| DESCRIPTION                     | SHEET NO. |
|---------------------------------|-----------|
| SITE DEVELOPMENT PLAN           | 1 OF 3    |
| SEDIMENT & EROSION CONTROL PLAN | 2, 3 OF 3 |

**OWNER/DEVELOPER**

HOWARD RESEARCH AND DEVELOPMENT CORP  
 10275 Little Patuxent Parkway  
 Columbia, Maryland 21044

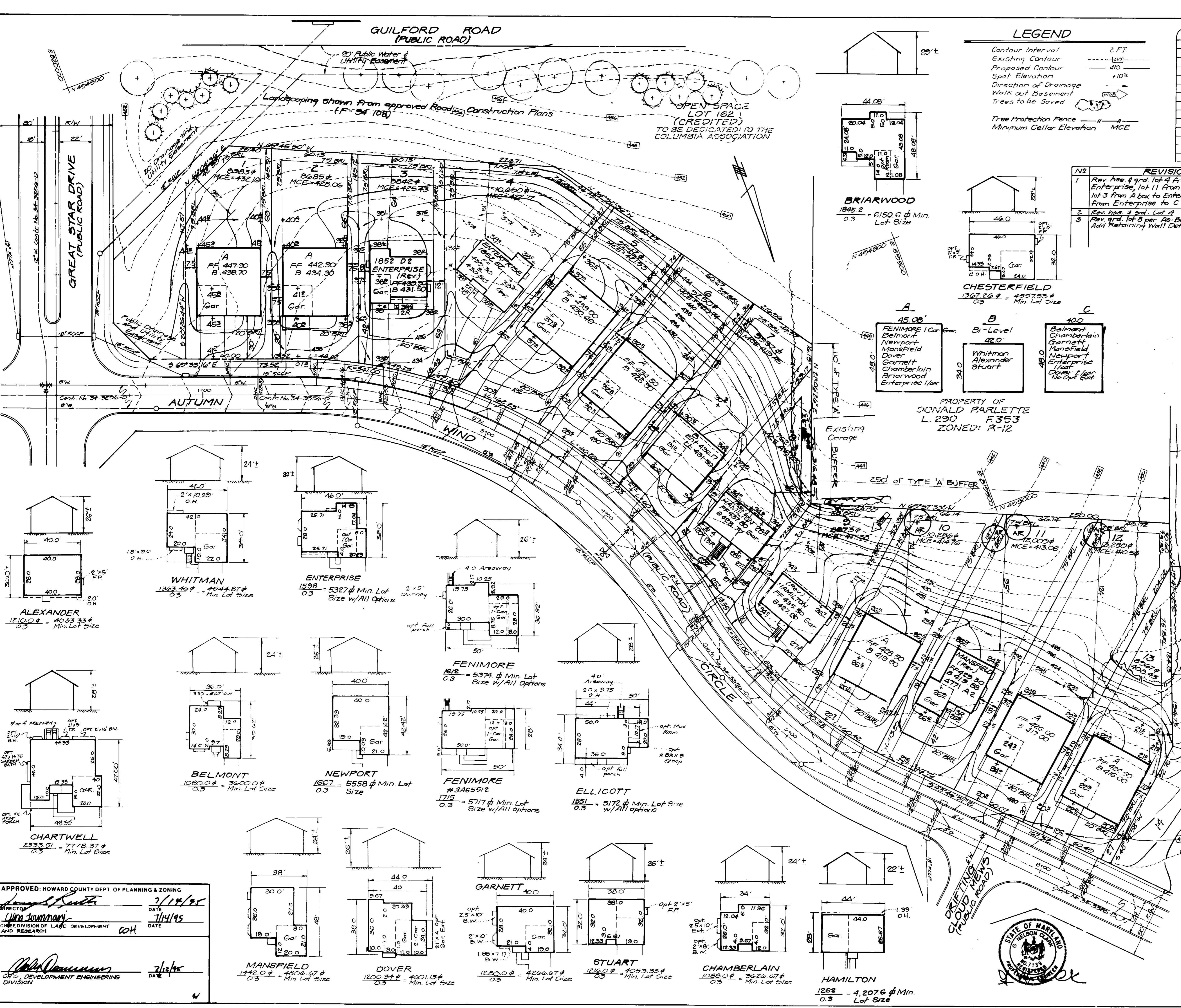
| SUBDIVISION NAME | COLUMBIA VILLAGE OF RIVER HILL | SECTION/AREA | LOTS/PARCELS |                |              |
|------------------|--------------------------------|--------------|--------------|----------------|--------------|
|                  |                                | 2/4          | 1 thru 13    |                |              |
| PLAT NO.         | BLOCK NO.                      | ZONE         | TAX MAP NO.  | ELECTION DIST. | CENSUS TRACT |
| 11470            | 19                             | NT SFLD      | 35           | 5TH            | 6055         |
| WATER CODE       | SEWER CODE                     |              |              |                |              |
| I-11             | 6650000                        |              |              |                |              |

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH

**SITE DEVELOPMENT PLAN**  
 LOTS 1 thru 13  
**COLUMBIA VILLAGE OF RIVER HILL**  
 SECTION 2 AREA 4  
 5TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 FOR: THE RYLAND GROUP, INC.  
 1447 York Road #706  
 Lutherville, MD 21095

DATE: 6-30-95  
 SCALE: 1" = 30'  
 DRAWING: 1 OF 3  
 JOB NO.: 95-031  
 FILE NO.: 95-031 X

SDP 95-10B



**APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING**  
 DATE: 7/14/95  
 DATE: 7/14/95  
 DATE: 7/12/95

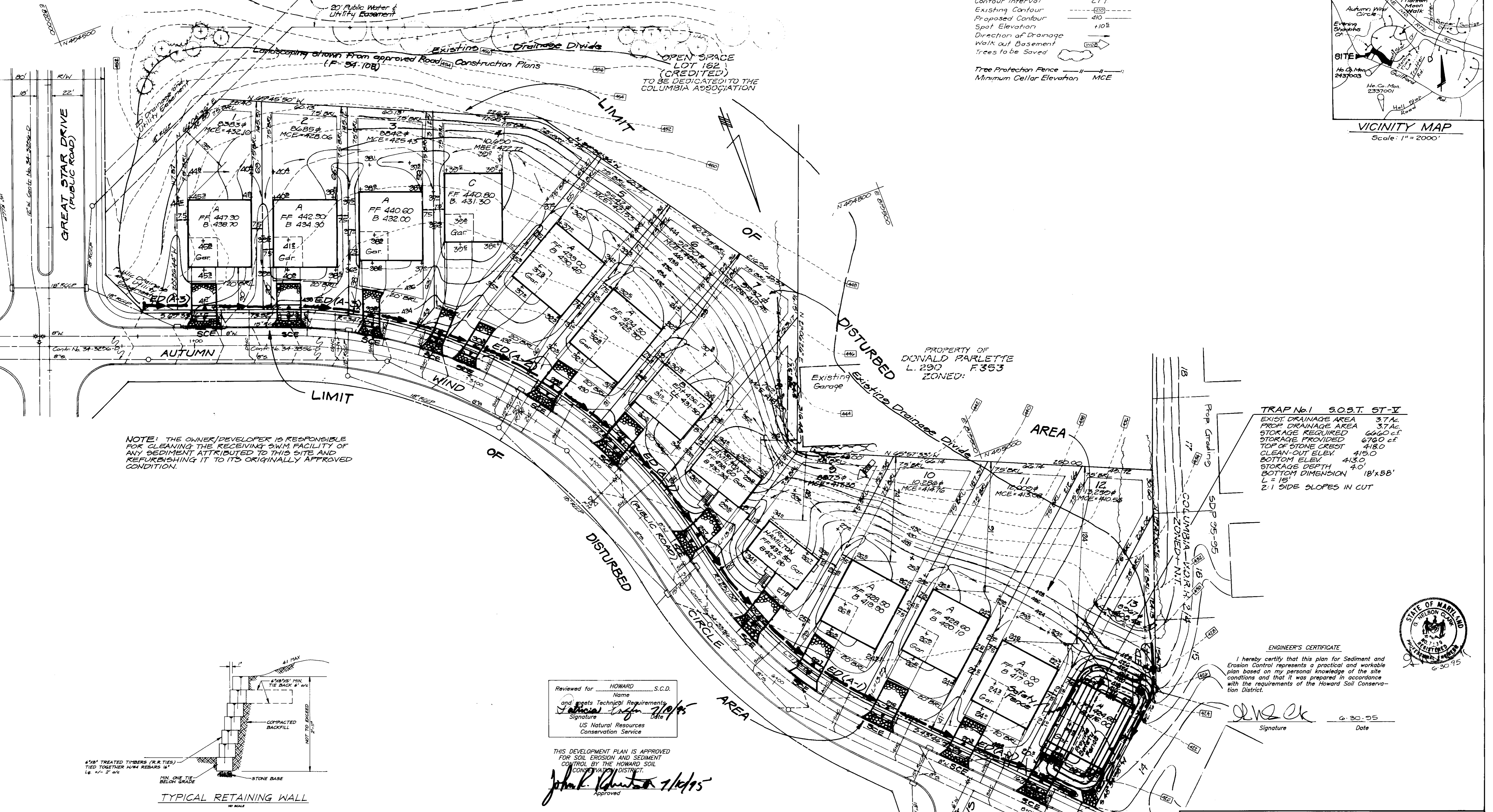
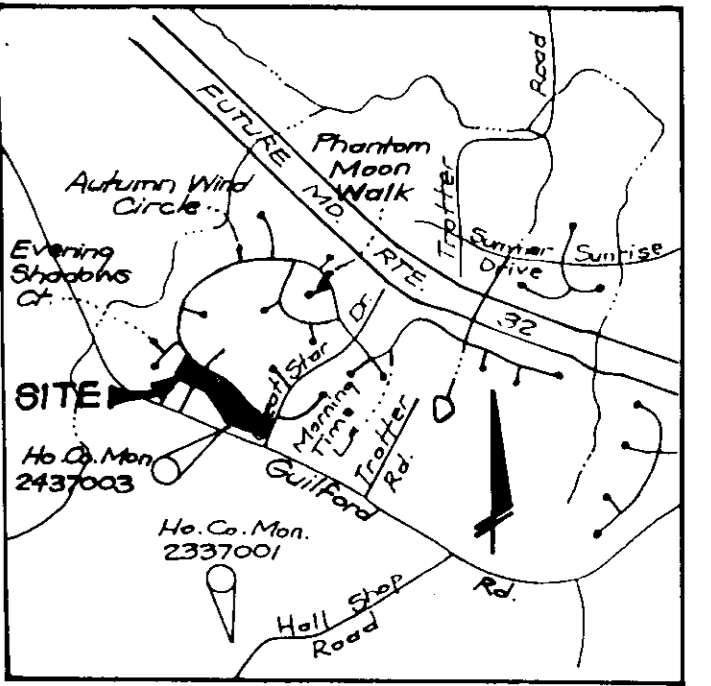
- BRIARWOOD**  
1845 sq ft = 6150 sq ft Min. Lot Size
- CHESTERFIELD**  
1327 sq ft = 4975 sq ft Min. Lot Size
- WHITMAN**  
12100 sq ft = 40333 sq ft Min. Lot Size
- ENTERPRISE**  
1598 sq ft = 5327 sq ft Min. Lot Size w/All Options
- ALEXANDER**  
12100 sq ft = 40333 sq ft Min. Lot Size
- WHITMAN**  
1363 sq ft = 4544 sq ft Min. Lot Size
- ENTERPRISE**  
1598 sq ft = 5327 sq ft Min. Lot Size
- FENIMORE**  
1672 sq ft = 5374 sq ft Min. Lot Size w/All Options
- FENIMORE**  
1715 sq ft = 5717 sq ft Min. Lot Size w/All Options
- ELLICOTT**  
1551 sq ft = 5172 sq ft Min. Lot Size w/All Options
- BELMONT**  
10800 sq ft = 36000 sq ft Min. Lot Size
- NEWPORT**  
1667 sq ft = 5558 sq ft Min. Lot Size
- FENIMORE**  
1715 sq ft = 5717 sq ft Min. Lot Size w/All Options
- ELLICOTT**  
1551 sq ft = 5172 sq ft Min. Lot Size w/All Options
- CHARTWELL**  
2333 sq ft = 7778 sq ft Min. Lot Size
- MANSFIELD**  
1442 sq ft = 4806 sq ft Min. Lot Size
- DOVER**  
1200 sq ft = 4001 sq ft Min. Lot Size
- GARNETT**  
12000 sq ft = 42000 sq ft Min. Lot Size
- STUART**  
12000 sq ft = 42000 sq ft Min. Lot Size
- CHAMBERLAIN**  
10800 sq ft = 36000 sq ft Min. Lot Size
- HAMILTON**  
1262 sq ft = 4207 sq ft Min. Lot Size



GUILFORD ROAD

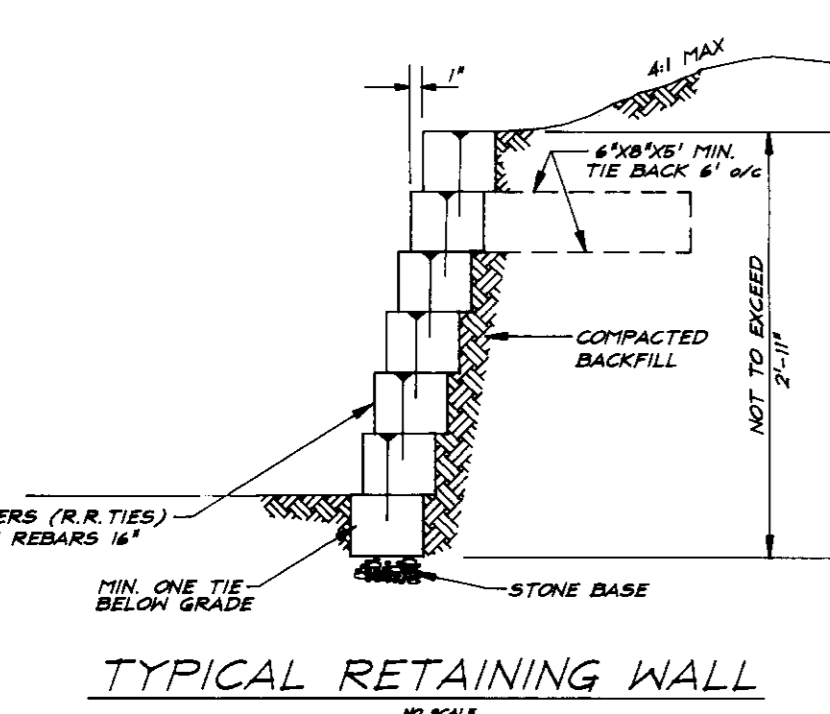
LEGEND

- Contour Interval 2 FT
- Existing Contour 410
- Proposed Contour 410
- Spot Elevation 410
- Direction of Drainage
- Walk out Basement
- Trees to be Saved
- Tree Protection Fence
- Minimum Cellar Elevation MCE



NOTE: THE OWNER/DEVELOPER IS RESPONSIBLE FOR CLEANING THE RECEIVING SWM FACILITY OF ANY SEDIMENT ATTRIBUTED TO THIS SITE AND REFRESHING IT TO ITS ORIGINALLY APPROVED CONDITION.

TRAP No. 1 S.O.S.T. ST-V  
 EXIST DRAINAGE AREA 3.7 Ac  
 PROP DRAINAGE AREA 3.7 Ac  
 STORAGE REQUIRED 60660 cu ft  
 STORAGE PROVIDED 6760 cu ft  
 TOP OF STONE CREST 418.0  
 CLEAN-OUT ELEV 415.0  
 BOTTOM ELEV 413.0  
 STORAGE DEPTH 4.0'  
 BOTTOM DIMENSION 18'x58'  
 L = 15'  
 2:1 SIDE SLOPES IN CUT



Reviewed for HOWARD S.C.D.  
 Name  
 and meets Technical Requirements  
 Signature  
 Date  
 US Natural Resources Conservation Service

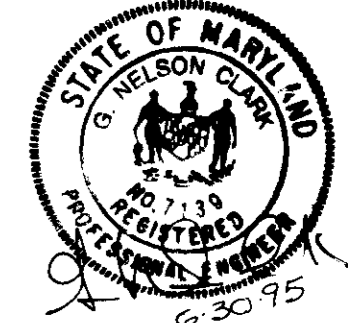
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Approved  
 Date

DEVELOPER'S/BUILDER'S CERTIFICATE  
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Signature  
 Date

ENGINEER'S CERTIFICATE  
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature  
 Date



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Signature  
 Date

Signature  
 Date

OWNER/DEVELOPER  
 HOWARD RESEARCH AND DEVELOPMENT CORP  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MD 21044

CLARK • FINEFROCK & SACKETT, INC.  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH

|          |         |      |         |
|----------|---------|------|---------|
| DESIGNED | ZAL     | DATE | 7/14/95 |
| DRAWN    | BAL     | DATE | 7/14/95 |
| CHECKED  | JFB     | DATE | 7/12/95 |
| DATE     | 6-30-95 |      |         |

SEDIMENT & EROSION CONTROL PLAN  
 LOTS 1 thru 13  
 COLUMBIA VILLAGE OF RIVER HILL  
 SECTION 2 AREA 4  
 5TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

FOR: THE RYLAND GROUP, INC.  
 1447 York Road, # 705  
 Lutherville, MD 21095

SCALE 1" = 30'  
 DRAWING ? OF 3  
 JOB NO. 95-031  
 FILE NO. 95-031SE

SDP 95-108



**SEDIMENT AND EROSION CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
  - 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes graded on 3:1.
  - 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above, in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51), sod (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seedings do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:
 

|                                     |              |
|-------------------------------------|--------------|
| Total Area of Site:                 | 2.82 AC.     |
| Area Disturbed:                     | 2.64 AC.     |
| Area to be roofed or paved:         | 0.55 AC.     |
| Area to be vegetatively stabilized: | 2.09 AC.     |
| Total Fill:                         | 8420 cu. yd. |
| Offsite Waste/Borrow Area Location: | *            |
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- The total amount of silt fence = 0

\* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

**CONSTRUCTION SEQUENCE:**

|  | NO. OF DAYS |
|--|-------------|
| 1. Obtain grading permit.  | 7           |
| 2. Install tree protection fence.  | 7           |
| 3. Install sediment and erosion control devices and stabilize.   | 14          |
| 4. Excavate for foundations, rough grade and temporarily stabilize.  | 30          |
| 5. Construct structures, sidewalks and driveways.  | 60          |
| 6. Final grade and stabilize in accordance with S.D.s. and Specs.  | 14          |
| 7. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize. | 7           |

\* Delay construction of houses on lots: 13  
See single lot sediment control detail, this sheet.

**PERMANENT SEEDING NOTES**

- APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
- SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
- SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:
- 1) Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.)
  - 2) Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.5 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

**TEMPORARY SEEDING NOTES**

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.)

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.7 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq.ft.) for anchoring.

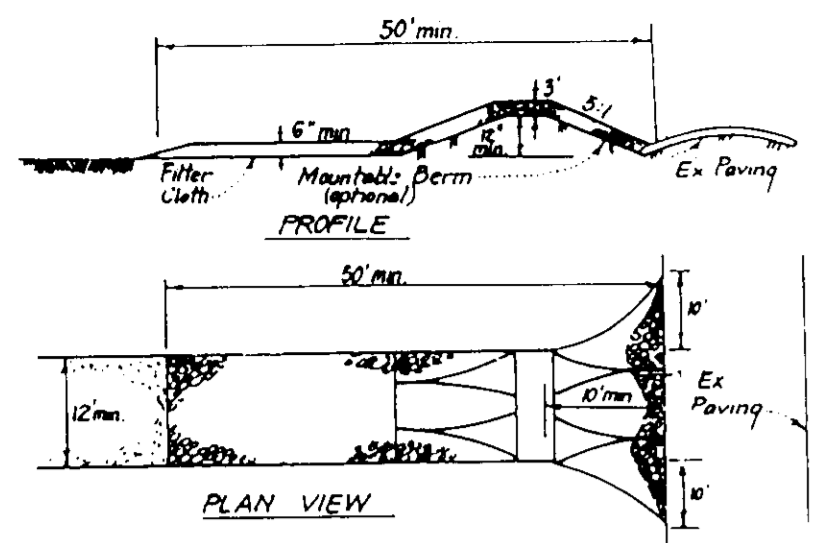
REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

**LANDSCAPE BONDING NOTE**

This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho. Co. Code and the Landscape Manual Financial Surety for the required 4 landscape trees, in the amount of \$400.00 will be part of builder's grading permit application.

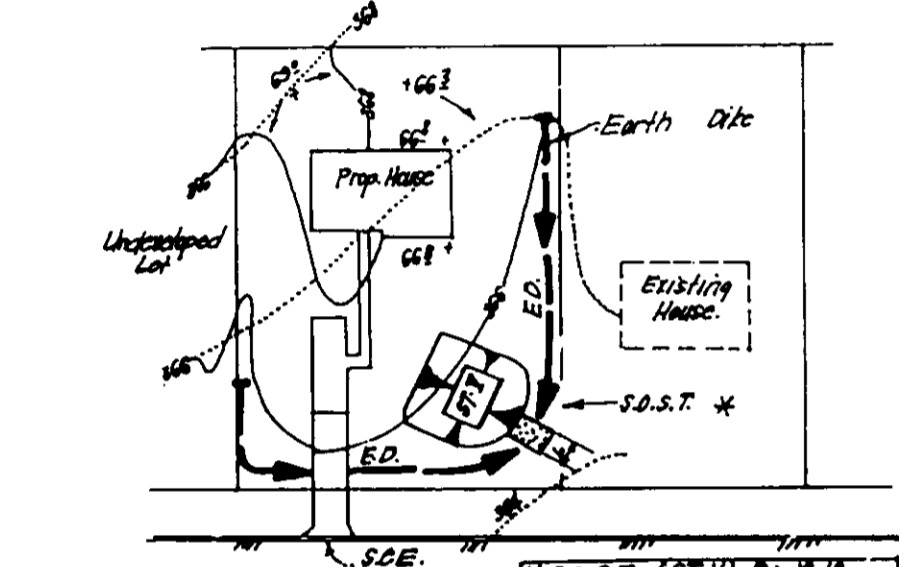
**OWNER/DEVELOPER**

HOWARD RESEARCH AND DEVELOPMENT CORP.  
10275 Little Patuxent Parkway  
Columbia, Maryland 21044



- CONSTRUCTION SPECIFICATIONS:**
1. Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent.
  2. Length - As required, but not less than 50 feet (except on a simple residence lot where a 30 foot minimum length would apply).
  3. Thickness - Not less than six (6) inches.
  4. Width - Ten (10) feet minimum, but not less than the full width of points where ingress or egress occurs.
  5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be covered with a concrete finish.
  6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5' slope will be provided.
  7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or blowing of sediment onto public rights-of-way. This may require periodic blowing with additional stone be considered necessary and/or cleanup if any measures used to trap sediment. All sediment applied, dropped, washed or tracked onto public rights-of-way must be removed immediately.
  8. Weeping - Weeds shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When weeding is required, it shall be done on an area stabilized with stone and which obtain entry an approved sediment trapping device.
  9. Periodic inspection and needed maintenance shall be provided after each rain.

**STABILIZED CONSTRUCTION ENTRANCE (SCE)**  
NO SCALE



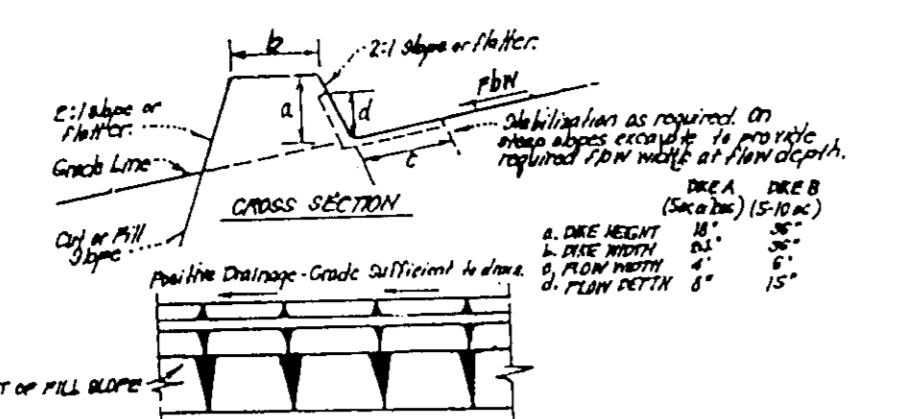
\* NOTE: Single lot detail can not be utilized if any two lots sharing common property lines are to be disturbed at the same time or any lots sharing a sediment trap. A date and/or other information must be as given or greater.

**SINGLE LOT SEDIMENT CONTROL PLAN**  
NO SCALE

**SCHEDULE A PERIMETER LANDSCAPE EDGE**

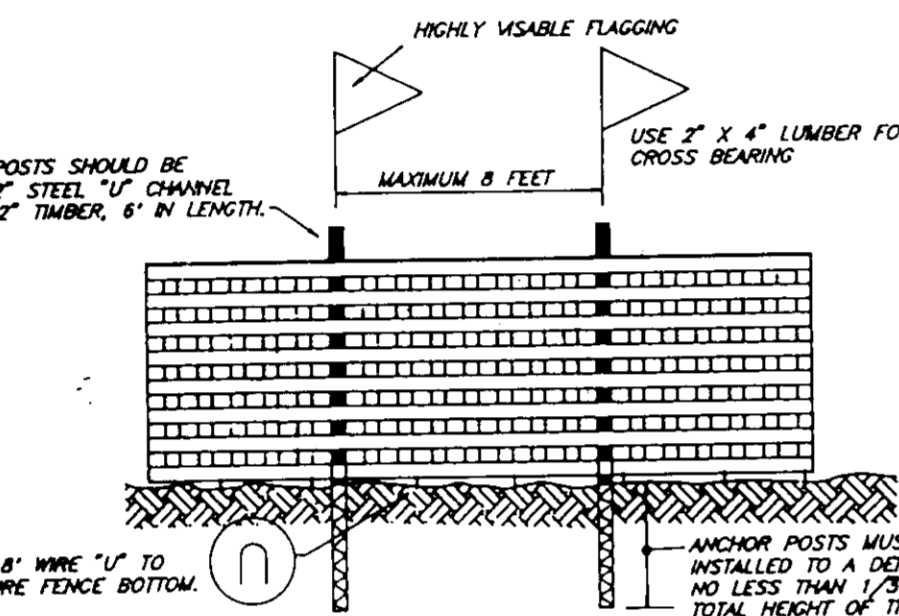
| Category   | Adjacent to Roadways | Adjacent to Perimeter Properties |
|--|----------------------|----------------------------------|
| Landscape Type   |                      | A                                |
| Linear Feet of Roadway Frontage/Perimeter  |                      | 360                              |
| Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed) |                      | 130                              |
| Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed) |                      | -                                |
| Number of Plants Required  |                      | 4 (1 Tree/60')                   |
| Shade Trees  |                      | (Based on 230 L.F.)              |
| Evergreen Trees  |                      |                                  |
| Shrubs   |                      |                                  |
| Number of Plants Provided  |                      | 4                                |
| Shade Trees  |                      |                                  |
| Evergreen Trees  |                      |                                  |
| Other Trees (2:1 substitution)   |                      |                                  |
| Shrubs (10:1 substitution)   |                      |                                  |
| (Describe plant substitution credits below if needed)                            |                      |                                  |

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
7/14/95  
DIRECTOR  
7/14/95  
CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH  
7/14/95  
CHIEF, DEVELOPMENT ENGINEERING DIVISION



- CONSTRUCTION SPECIFICATIONS:**
1. All dikes shall be constructed by earth-moving equipment.
  2. All dikes shall have positive drainage to an outlet.
  3. Top width may be wider and side slopes may be flatter if desired, to facilitate driving by construction traffic.
  4. Peak location should be adjusted as needed to utilize a stabilized soil with adequate erosion resistance.
  5. Earth dikes shall have an outlet that functions with a minimum of erosion. Outlet shall be equipped to a sediment trapping device such as a sediment trap or sediment basin where dikes are located in the drainage area above the dike are not adequately stabilized.
  6. Sedimentation shall be: (A) in accordance with standard specifications for sand and stone mulch or straw mulch, or (B) flow channel as per chart below.

**EARTH DIKE DETAIL (E.D.)**  
NO SCALE



**BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL**  
NO SCALE

- NOTES:
1. Forest protection device only.
  2. Retention area will be set as part of the review process.
  3. Boundaries of retention area should be staked and flagged prior to installing device.
  4. Root damage should be avoided.
  5. Protection signage may also be used.
  6. Fence should be maintained throughout construction.

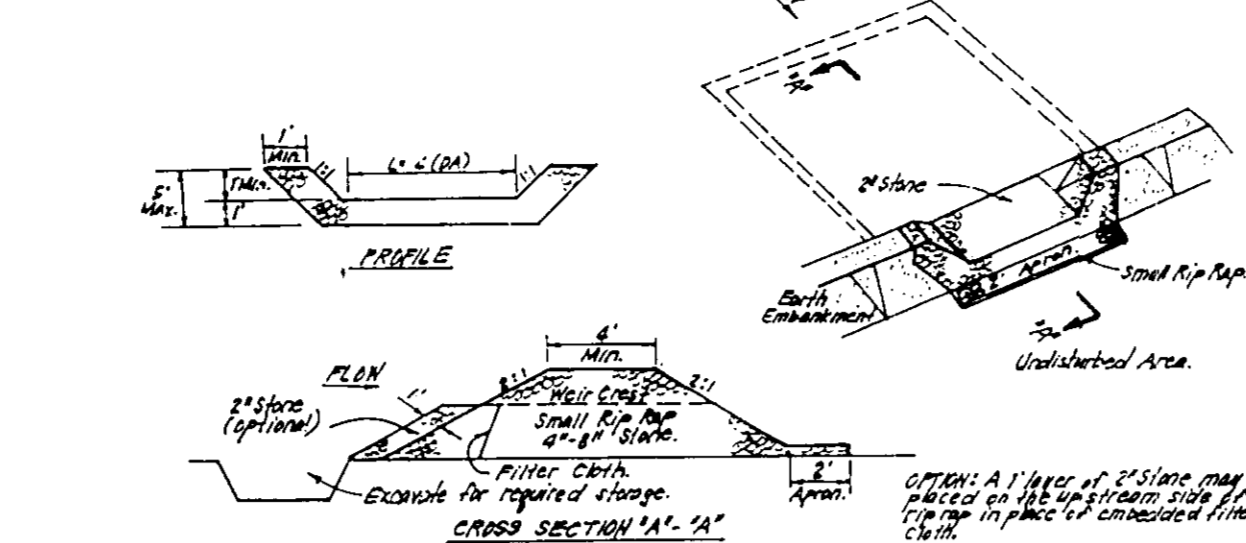
**PLANT SCHEDULE**

| KEY | QTY | PLANT NAME               | SIZE         | REMARKS |
|-----|-----|--------------------------|--------------|---------|
| AR  | 4   | ACER RUBRUM 'RED SUNSET' | 2 1/2 - 3'0" | B 3 B   |
|     |     | RED SUNSET MAPLE         | 12' - 14' H  |         |

Reviewed for: HOWARD S.C.D.  
Signature: [Signature]  
Date: 7/14/95  
Natural Resources Conservation Service

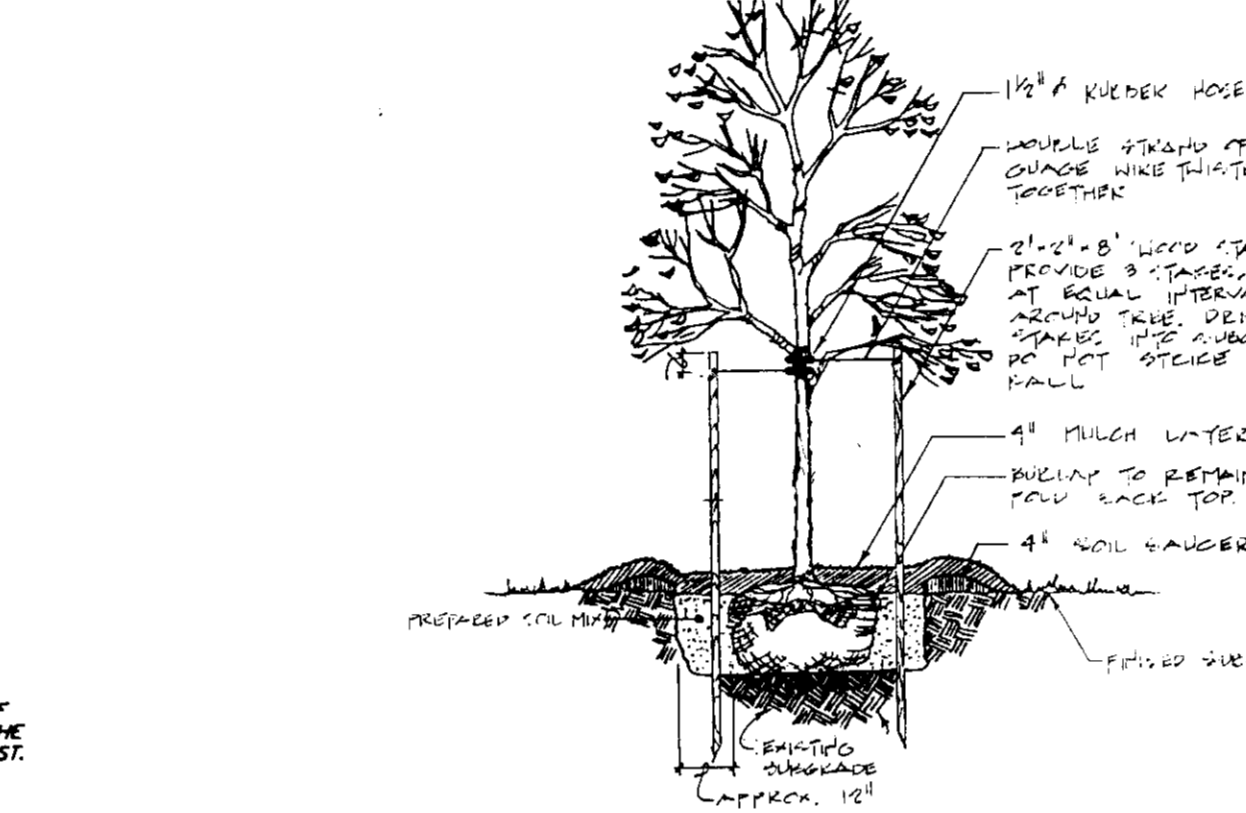
DEVELOPER'S/BUILDER'S CERTIFICATE  
"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."  
Signature: [Signature]  
Date: 6/13/95  
NAME: Derek McDaniel

ENGINEER'S CERTIFICATE  
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
Signature: [Signature]  
Date: 6-30-95  
G. NELSON CLARK



- CONSTRUCTION SPECIFICATIONS:**
1. Any under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The stone shall be placed on a prepared subgrade.
  2. The S.O.S.T. shall be constructed with a minimum of 18" of stone and a maximum of 24" of stone. The stone shall be placed in a minimum of 18" of stone and a maximum of 24" of stone.
  3. All S.O.S.T. shall be constructed with a minimum of 18" of stone and a maximum of 24" of stone.
  4. The stone shall be placed in a minimum of 18" of stone and a maximum of 24" of stone.
  5. The stone shall be placed in a minimum of 18" of stone and a maximum of 24" of stone.
  6. The stone shall be placed in a minimum of 18" of stone and a maximum of 24" of stone.
  7. The stone shall be placed in a minimum of 18" of stone and a maximum of 24" of stone.
  8. The stone shall be placed in a minimum of 18" of stone and a maximum of 24" of stone.

**STONE OUTLET SEDIMENT TRAP (S.O.S.T.) STY.**  
NO SCALE



**SHADE TREE PLANTING DETAIL**  
NO SCALE

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED: ZAL  
DRAWN: BAL  
CHECKED: [Signature]  
DATE: 6-30-95

**SEDIMENT & EROSION CONTROL PLAN**  
LOTS 1 THRU 13  
COLUMBIA  
VILLAGE OF RIVER HILL  
SECTION 2 AREA 4  
5TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

FOR: THE RYLAND GROUP, INC.  
1447 York Road, #705  
Lutherville, MD 21005

SCALE: AS NOTED  
DRAWING: 3 OF 3  
JOB NO.: 95-031  
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