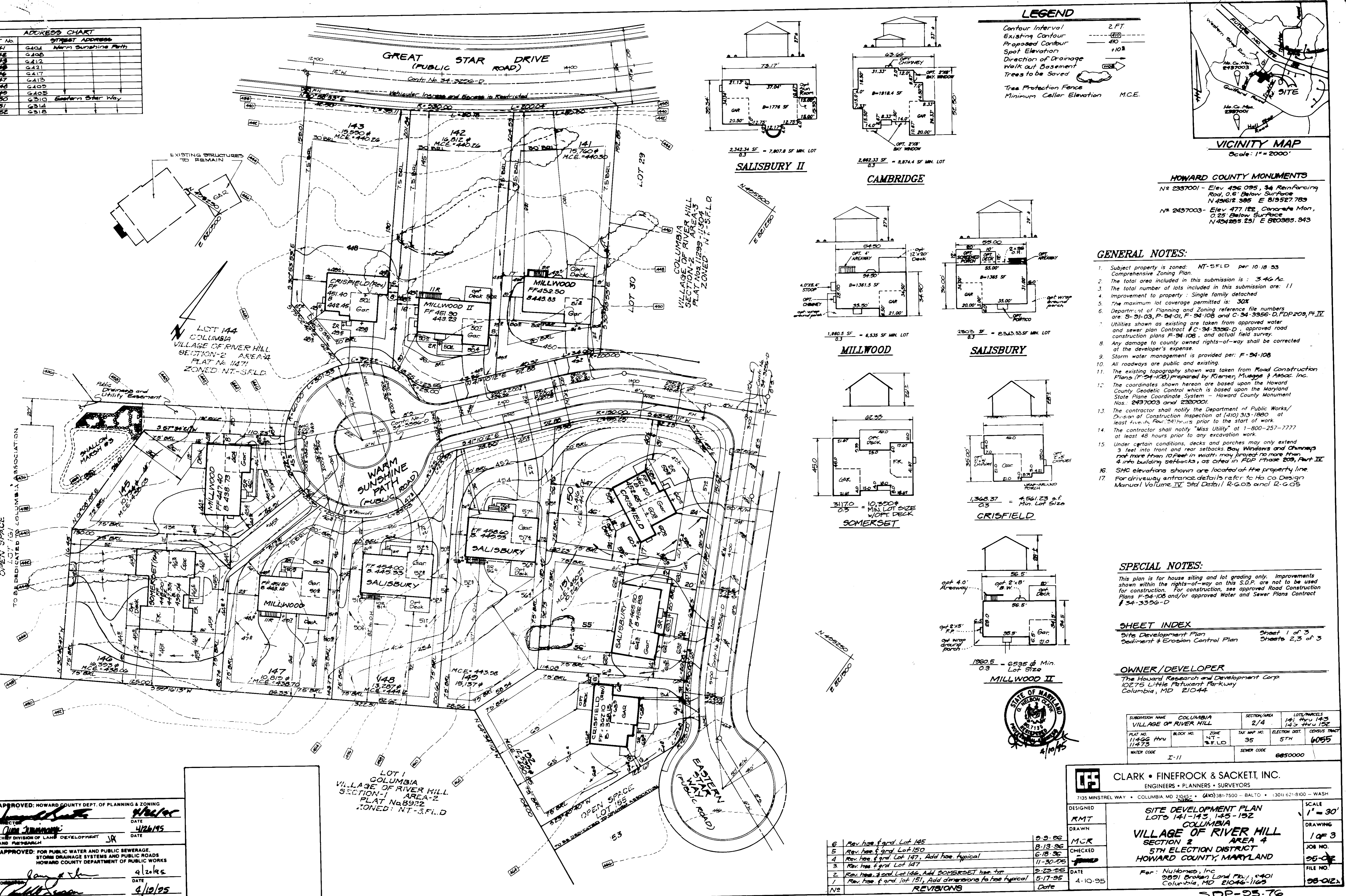
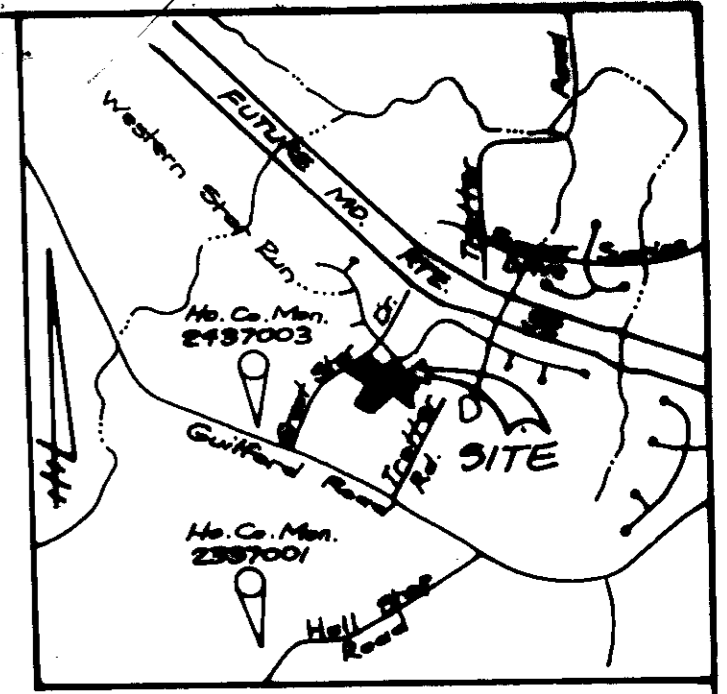


LOT No.	STREET ADDRESS
141	G404 Warm Sunshine Path
142	G405
143	G412
144	G421
145	G417
146	G413
147	G409
148	G405
149	G314
150	G314
151	G314
152	G314



LEGEND

Contour Interval 2 FT
 Existing Contour (---)
 Proposed Contour (---)
 Spot Elevation (+10)
 Direction of Drainage (--->)
 Walk out Basement
 Trees to be Saved (---)
 Tree Protection Fence
 Minimum Cellar Elevation M.C.E.



HOWARD COUNTY MONUMENTS

No. 237001 - Elev. 496.095, 3/4 Reinforcing Rod, 0.6' Below Surface
 N 49612.385 E 819527.783

No. 2437003 - Elev. 477.122, Concrete Mon., 0.25' Below Surface
 N 494285.251 E 820385.343

- GENERAL NOTES:**
- Subject property is zoned: NT-SFLD per 10.18.93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 3.46 Ac.
 - The total number of lots included in this submission are: 11
 - Improvement to property: Single family detached
 - The maximum lot coverage permitted is: 30%
 - Department of Planning and Zoning reference file numbers are: S-91-03, P-94-01, F-94-108 and C-34-3356-D, FDP209, Pt. IV
 - Utilities shown as existing are taken from approved water and sewer plan Contract # C-34-3356-D, approved road construction plans F-94-108, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - Storm water management is provided per: F-94-108
 - All roadways are public and existing
 - The existing topography shown was taken from Road Construction Plans (F-94-108) prepared by Riemer, Muegge & Assoc. Inc.
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos. 2437003 and 237001.
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least five (5) business days prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - Under certain conditions, decks and porches may only extend 3 feet into front and rear setbacks Bay Windows and Chimneys not more than 10 feet in width, may project no more than 4 feet into building setbacks, as cited in FDP Phase 209, Part IV
 - SHC elevations shown are located at the property line.
 - For driveway entrance details refer to Ho Co. Design Manual Volume IV, 3rd Detail R-G-03 and R-G-05

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-94-108 and/or approved Water and Sewer Plans Contract # 34-3356-D

SHEET INDEX

Site Development Plan	Sheet 1 of 3
Sediment & Erosion Control Plan	Sheets 2,3 of 3

OWNER/DEVELOPER

The Howard Research and Development Corp
 10275 Little Patuxent Parkway
 Columbia, MD 21044

SUBDIVISION NAME	COLUMBIA VILLAGE OF RIVER HILL	SECTION/AREA	2/A	LOTS/PARCELS	141 thru 145 147 thru 152
PLAT NO.	114422 HFRU 11473	BLOCK NO.	NT-SFLD	TAX MAP NO.	35
WATER CODE	I-11	SEWER CODE	0650000	ELECTION DIST.	5TH
				CONV. TRACT	6055



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] DATE: 4/26/95

CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH *[Signature]* JR DATE: 4/20/95

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature] DATE: 4/10/95

LOT 1
 COLUMBIA VILLAGE OF RIVER HILL
 SECTION-1 AREA-2
 FLAT No 8922
 ZONED: NT-SFLD

REVISIONS

6	Rev. hse. & grad. Lot 145	8-9-95
5	Rev. hse. & grad. Lot 150	8-13-95
4	Rev. hse. & grad. Lot 147, Add hse. typical	6-18-95
3	Rev. hse. & grad. Lot 147	11-30-95
2	Rev. hse. & grad. Lot 146, Add SOMERSET hse. typ.	2-22-95
1	Rev. hse. & grad. lot 151, Add dimensions to hse. typical	5-17-95
N/S		Date

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED: RMT
 DRAWN: MCR
 CHECKED: JMS
 DATE: 4-10-95

SITE DEVELOPMENT PLAN
 LOTS 141-145, 145-152
 COLUMBIA VILLAGE OF RIVER HILL SECTION 2 AREA 4
 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

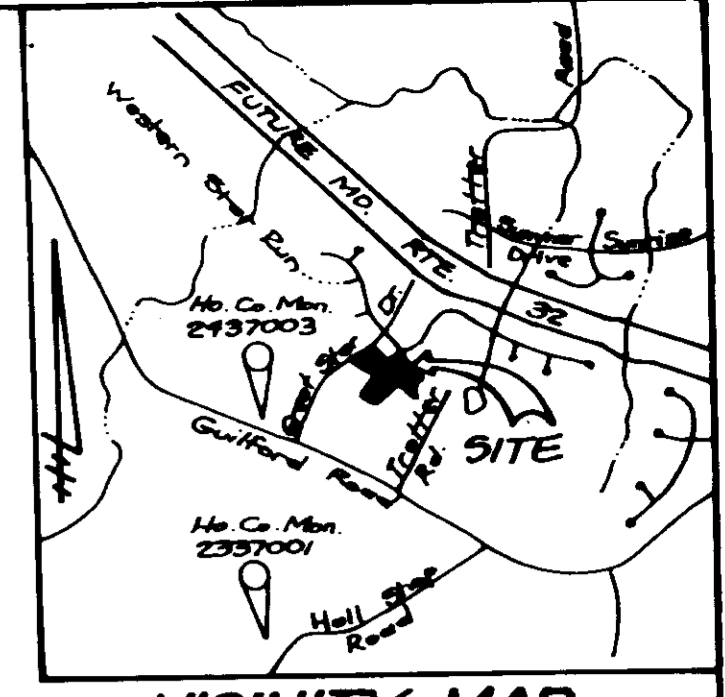
Far: NutHomes, Inc
 9891 Broken Land Pkwy, #401
 Columbia, MD 21046-1163

SCALE: 1" = 30'
 DRAWING: 1 of 3
 JOB NO.: 95-02
 FILE NO.: 95-012

SDP-95-76

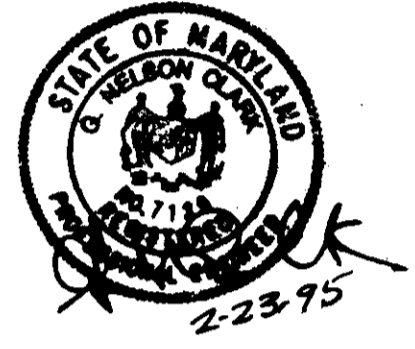
LEGEND

- Contour Interval 2 FT
- Existing Contour (dashed line)
- Proposed Contour (solid line)
- Spot Elevation (+103)
- Direction of Drainage (arrow)
- Walk out Basement (arrow)
- Trees to be Saved (shaded area)
- Tree Protection Fence (dashed line)
- Minimum Cellar Elevation M.C.E.
- Limit of Disturbance (dashed line)
- Silt Fence (line with 'S')
- Ex. Silt Fence (line with 'S')
- Earth Dike (line with 'E.D. (A-1)')
- Ex. Earth Dike (line with 'E.D. (A-1)')
- Stabilized Construction Entrance (shaded area)



VICINITY MAP
Scale: 1" = 2000'

HOWARD COUNTY MONUMENTS
 N 237001 - Elev 436.035, 3/4 Reinforcing Rod, 0.6' Below Surface
 N 43612 385 E 819527.783
 N 2437003 - Elev 477.122, Concrete Mon., 0.25' Below Surface
 N 404255 231 E 820385.343



ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Nelson Clark
 2-23-95
 G. NELSON CLARK DATE

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
 Harry A. Bowie
 2-21-95
 HARRY A. BOWIE, PRESIDENT DATE

Reviewed for HOWARD S.C.D.
 and meets Technical Requirements
 Signature: [Signature]
 US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 John R. [Signature]
 2/23/95

OWNER/DEVELOPER
 The Howard Research and Development Corp.
 10275 Little Patuxent Parkway
 Columbia, MD 21044

SUBDIVISION NAME	COLUMBIA VILLAGE OF RIVER HILL	SECTION/AREA	2/4	LOTS/PARCELS	141 thru 143, 145 thru 152
PLAT NO.	11466 thru 11473	BLOCK NO.	35	ELECTION DIST.	5TH
WATER CODE	I-11	SEWER CODE	6650000	CENSUS TRACT	4055

CLARK • FINEFROCK & SACKETT, INC.		SCALE	1" = 30'
ENGINEERS • PLANNERS • SURVEYORS		DRAWING	2 OF 3
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.		JOB NO.	95-012
DESIGNED	ZAL	FILE NO.	95-012
SEDIMENT and EROSION CONTROL PLAN			
LOTS 141-143, 145-152			
COLUMBIA VILLAGE OF RIVER HILL			
SECTION 2 AREA 4			
5TH ELECTION DISTRICT			
HOWARD COUNTY, MARYLAND			
DATE	2-23-95	For: NuHome, Inc. 2891 Broken Land Pkwy. #401 Columbia, MD 21046-1165	

SDP-95.76

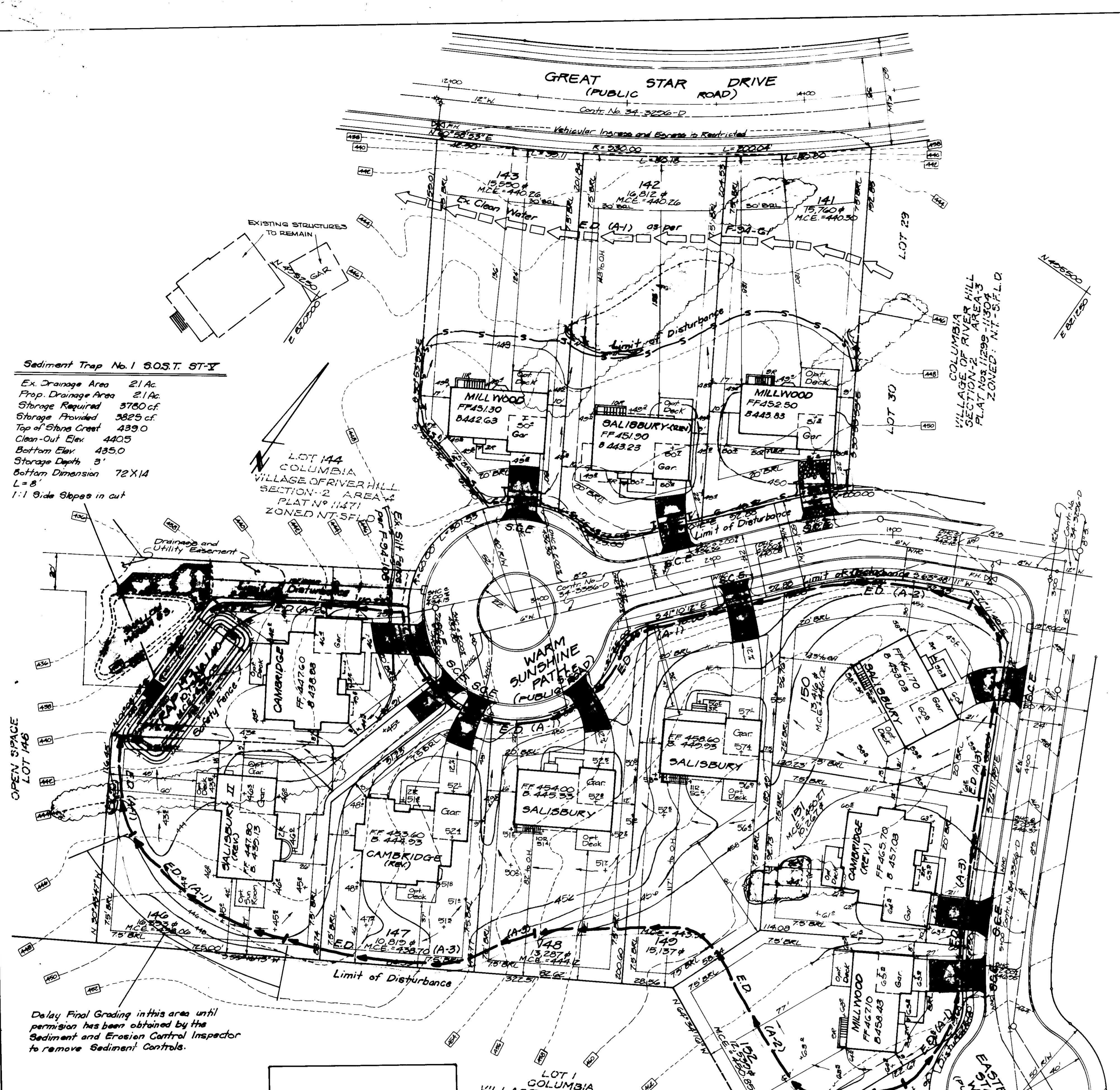
Sediment Trap No. 1 S.O.S.T. ST-1
 Ex. Drainage Area 21 Ac.
 Prop. Drainage Area 2.1 Ac.
 Storage Required 3780 cf.
 Storage Provided 3825 cf.
 Top of Stone Crest 439.0
 Clean-Out Elev. 440.5
 Bottom Elev. 435.0
 Storage Depth 3'
 Bottom Dimension 72X14
 L=8'
 1:1 Side Slopes in cut

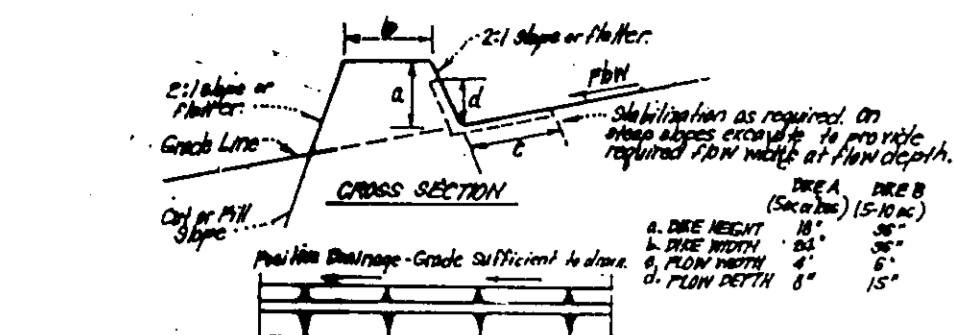
Delay Final Grading in this area until permission has been obtained by the Sediment and Erosion Control Inspector to remove Sediment Controls.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 [Signature]
 DATE 4/26/95
 CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature]
 DATE 4/12/95
 BUREAU OF ENGINEERING

LOT 1 COLUMBIA VILLAGE OF RIVER HILL SECTION-2 AREA-2 PLAT No. 8922 ZONED: NT-S.F.L.D.



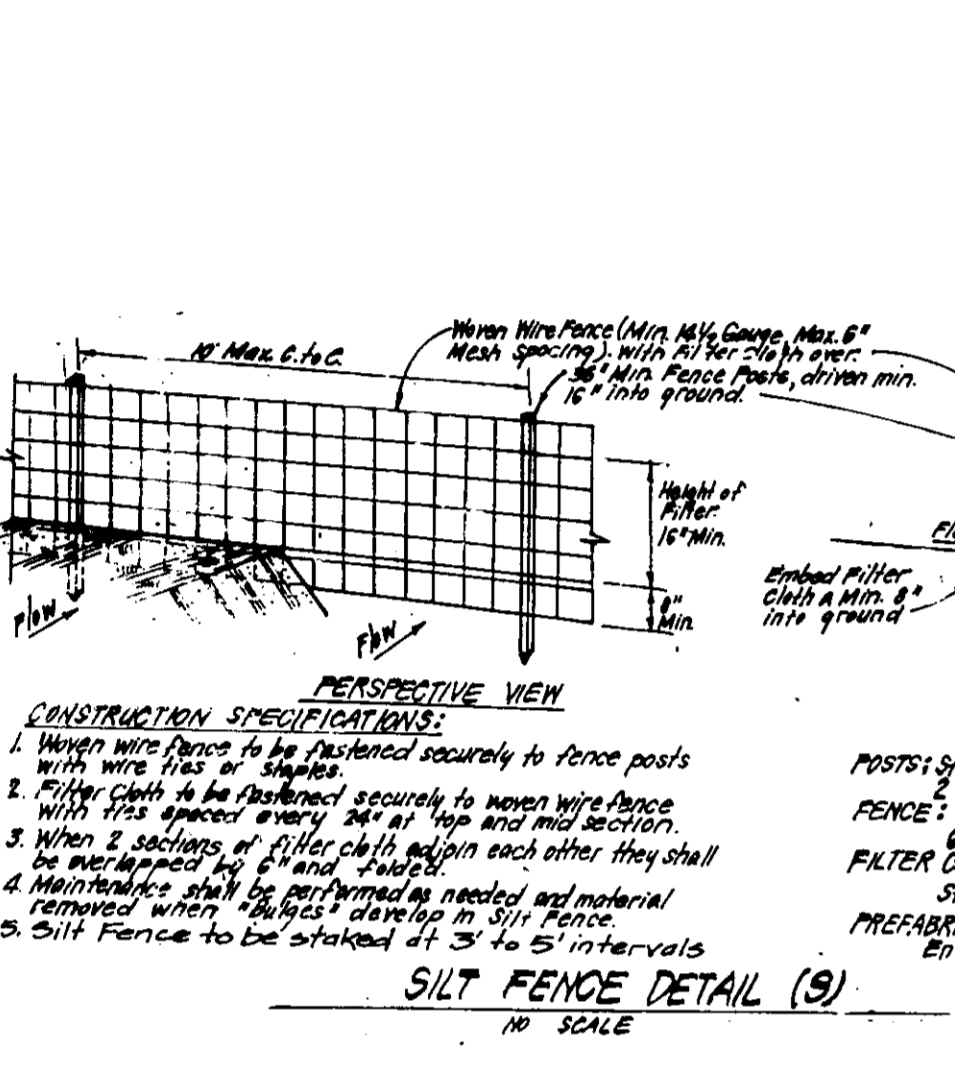


CONSTRUCTION SPECIFICATIONS:

- All pipe shall be installed by earth-moving equipment.
- All pipe shall have a minimum slope of 1/8" per foot.
- The manhole shall be constructed of concrete or masonry and shall be installed in accordance with the design.
- Earth dikes shall have an outlet that functions with a minimum of erosion.
- Earth dikes shall be constructed of compacted earth or stone.
- Structures shall be: (A) in accordance with standard specifications for road and storm water structures, (B) flow capacity as per chart below.

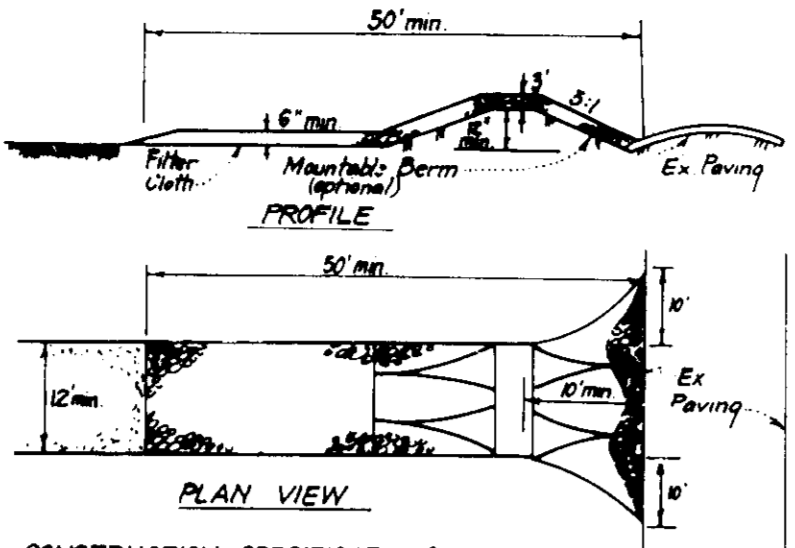
CONSTRUCTION SEQUENCE:

1. Obtain grading permit.
2. Install tree protection fence.
3. Install sediment and erosion control devices and stabilize.
4. Excavate for foundations, rough grade and temporarily stabilize.
5. Construct structures, sidewalks and driveways.
6. Final grade and stabilize in accordance with Stds. and Specs.
7. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.



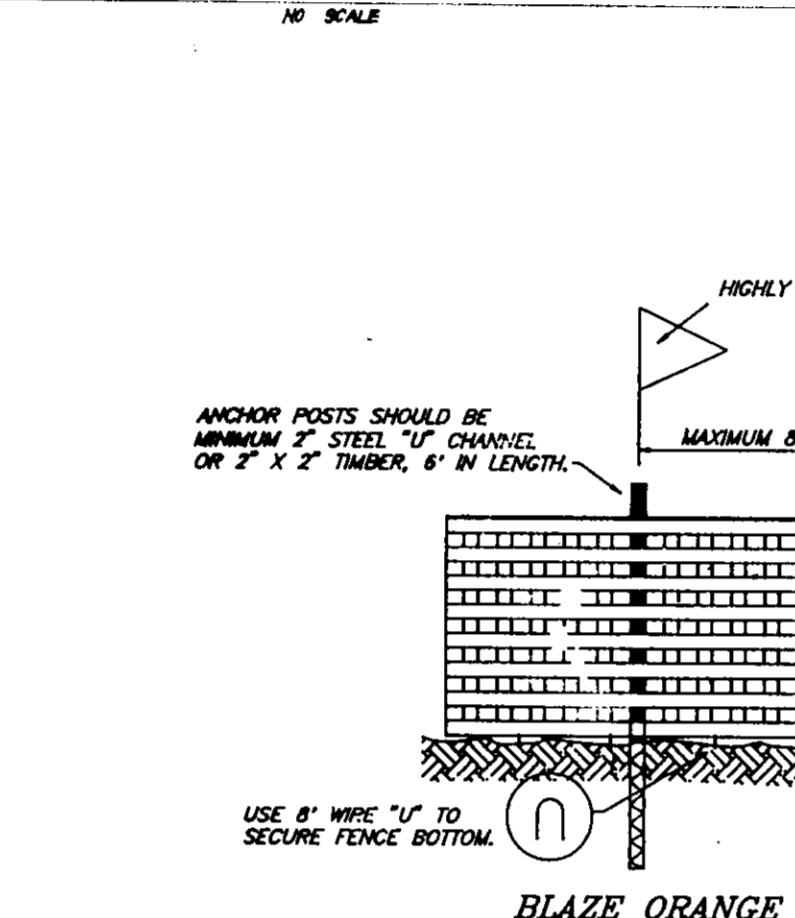
CONSTRUCTION SPECIFICATIONS:

- When wire fence is to be installed, it shall be installed in accordance with the design.
- When a section of filter cloth is to be installed, it shall be installed in accordance with the design.
- When a section of filter cloth is to be installed, it shall be installed in accordance with the design.
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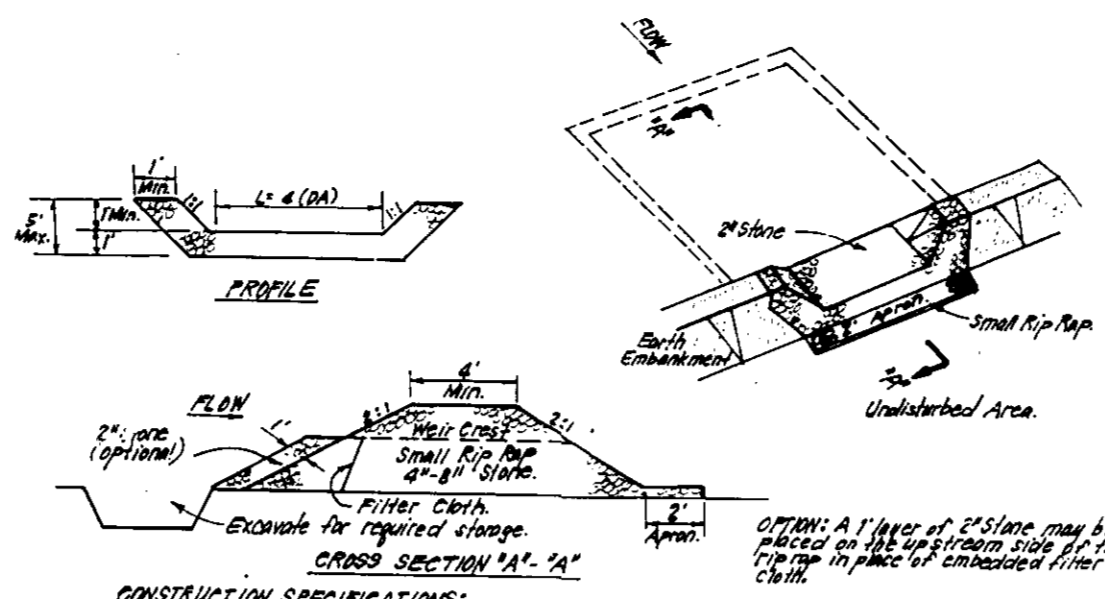
CONSTRUCTION SPECIFICATIONS:

- Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent.
- Length - As required, but not less than 50 feet (exception a single residence lot where a 30 foot maximum length would apply).
- Thickness - Not less than six (6) inches.
- Width - Ten (10) feet minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required over areas heavily eroded.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mounted wheel berm with 5:1 slope will be permitted.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment into public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any repairs used to trap sediment. All sediment applied, dragged, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.



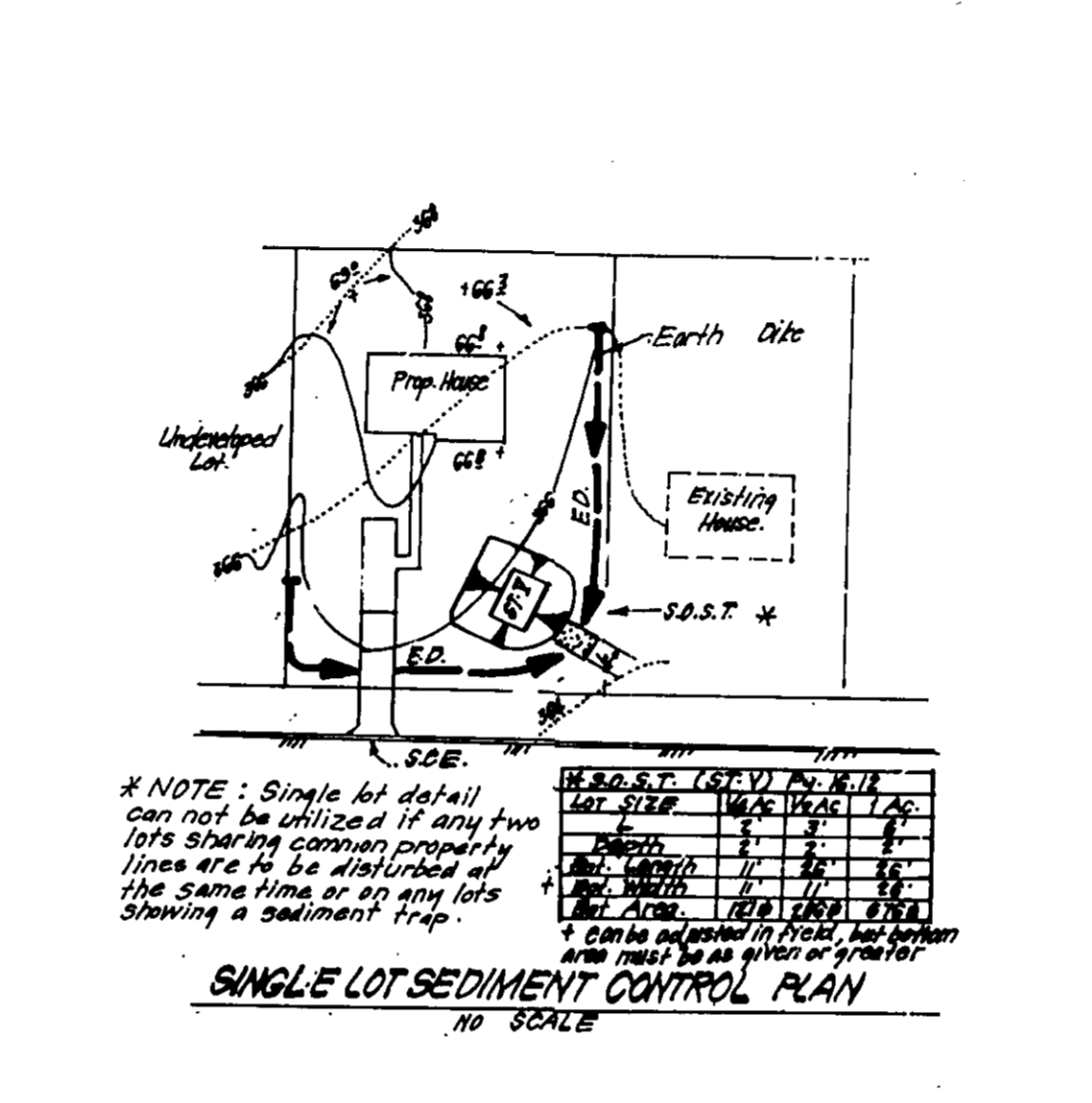
NOTES:

1. Forest protection device only.
2. Retention area will be set as part of the grading process.
3. Boundaries of retention area should be staked and flagged prior to installing device.
4. Root damage should be avoided.
5. Protection signage may also be used.
6. Device should be maintained throughout construction.



CONSTRUCTION SPECIFICATIONS:

- Any under-embankment shall be cleared, graded and stripped of any vegetation and root mat. The fill material for the embankment shall be free of rocks and other woody vegetation as well as any debris, trash, or other objectionable material. The embankment shall be compacted to a minimum of 95% relative compaction.
- The stone used in the outlet shall be hard, clean, and free of any organic matter.
- The stone shall be placed on the slope with a thickness of 24 inches placed in a layer of 12 inches.
- The structure shall be constructed of concrete or masonry.
- The structure shall be maintained in a condition which will prevent tracking or flowing of sediment into public rights-of-way.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.



NOTES:

1. Single lot detail can not be utilized if any two lots sharing common property lines are to be disturbed at the same time or any lots showing a sediment trap.
2. Single lot detail can not be utilized if any two lots sharing common property lines are to be disturbed at the same time or any lots showing a sediment trap.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 urea-form fertilizer (9 lbs./1000 sq ft.)
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs./1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs./1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 30 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq ft).

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushels per acre of annual ryegrass (3.2 lbs./1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs./1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT AND EROSION CONTROL NOTES

1. A minimum of 24 hrs. notice must be given to the Howard County Office of Inspection and Permitting prior to the start of any construction. (1983-1985).
2. All vegetation and structural practices are to be installed in accordance with the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, culverts, ditches and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with sod or grass can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. **SITE ANALYSIS:**
Total Area of Site: 3.44 A
Area Disturbed: 2.70 A
Area to be seeded or paved: 0.74 A
Area to be vegetatively stabilized: 0.96 A
Total Cut: 5500 CF
Total Fill: 1120 CF
Off-site Waste/Borrow Area Location: 4
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. All pipes to be blocked at the end of each day (see detail this sheet).
12. The total amount of silt fence is 585 LF.

* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and its grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:	NO. OF DAYS
1. Obtain grading permit	7
2. Install tree protection fence	7
3. Install sediment and erosion control devices and stabilize	14
4. Excavate for foundations, rough grade and temporarily stabilize	30
5. Construct structures, sidewalks and driveways	60
6. Final grade and stabilize in accordance with Stds. and Specs.	14
7. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

OWNER/DEVELOPER
The Howard Research and Development Corp.
10275 Little Patuxent Parkway
Columbia, MD 21044

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21046 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.

DESIGNED ZAL	SEDIMENT AND EROSION CONTROL DETAILS LOTS 141-143, 145-152 COLUMBIA VILLAGE OF RIVER HILL SECTION 2 AREA 4 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE AS NOTED
DRAWN MGR		3 OF 3
CHECKED KM		JOB NO. 95-012
DATE 2-23-95		FILE NO. 95-0123
		For: NulHomes, Inc. 2821 Brookland Plaza, #401 Columbia, MD 21046-1165

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
Lynell Baulte 4/26/95
DATE
4/26/95

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
John P. Patton 4/10/95
DATE
4/10/95

DEVELOPER'S/BUILDER'S CERTIFICATE
Reviewed for HOWARD S.C.D.
and meets Technical Requirements
Signature: John P. Patton 4/10/95
Date
US Soil Conservation Service

ENGINEER'S CERTIFICATE
I hereby certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
Harry A. Bowie 2-21-95
DATE
Harry A. Bowie, PRESIDENT

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
G. Nelson Clark 2-23-95
DATE
G. Nelson Clark



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John P. Patton 4/10/95
Approved