

VICINITY MAP
SCALE 1"=2,000'

GENERAL NOTES

1. BEARING, DISTANCES AND COORDINATES ARE BASED ON THE MARYLAND STATE GRID MERIDIAN AS REFERENCED FROM HOWARD COUNTY SURVEY CONTROL STATIONS:
4382: NORTH 551.655 0086 EAST 1,378.176 9408
4386: NORTH 550.601 5927 EAST 1,376.866 0468
2. ELEVATIONS AS SHOWN HEREON ARE BASED ON HOWARD COUNTY TRAVERSE STATIONS: (1988 NVD).
3. UTILITIES AND OTHER OBSTRUCTIONS AS SHOWN HEREON HAVE BEEN LOCATED BY ACTUAL FIELD MEASUREMENTS SUPPLEMENTED BY INFORMATION OBTAINED FROM THE VARIOUS AGENCIES INVOLVED. HOWEVER, WE DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF THE INFORMATION RECEIVED. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION AND MUST NOTIFY THE UTILITY COMPANIES INVOLVED PRIOR TO THE START OF WORK.
4. LOCATION OF INDIVIDUAL ELECTRIC, TELEPHONE, GAS, WATER AND SANITARY SEWER SERVICE CONNECTIONS AS SHOWN HEREON ARE UNCERTAIN. THE LOCATION OF SAID CONNECTIONS HAS BEEN FIELD LOCATED WHERE POSSIBLE, BUT IN CASES WHERE THE LINES HAVE BEEN CONSTRUCTED AND PAVED OVER, THE CONNECTIONS SHOWN ARE BASED ON PROPOSED SITE PLANS OR AN ESTIMATION OF POSSIBLE LOCATION. SHOULD EXCAVATION BECOME NECESSARY FOR MAINTENANCE OR REPAIR OF THESE LINES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCURATELY DETERMINE THE LOCATION OF THESE LINES BEFORE COMMENCING WORK.
5. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE SEARCH BY AN EXPERT TITLE ABSTRACTOR. THE TITLE INFORMATION SHOWN HEREON WAS DERIVED FROM THE BEST AVAILABLE LAND RECORDS AT THE TIME OF THE SURVEY. A TITLE REPORT COULD REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, OR RIGHTS-OF-WAY NOT SHOWN HEREON.
6. SITE AREA: 10.0000 ACRES = 435,600.0 SQ. FT. =
7. OWNER/DEED REFERENCE: ADRIE PYLE LIBER 14251, FOLIO 00151 DATE: APRIL 9, 2015 TO 7070 BROOKDALE DR. ELK RIDGE, MD. 21075
8. PROPERTY ADDRESS: 7070 BROOKDALE ROAD HALETHORPE, MARYLAND 21227
9. PLAT REFERENCE: PARCEL B BROOKDALE INDUSTRIAL PARK PLAT BOOK 26, FOLIO 57
10. TAX MAP NO. 43, GRID 5, PARCEL 628 TAX ACCOUNT 0.175300 ELECTION DISTRICT NO. 1
11. EXISTING ZONING CLASSIFICATION: M-2; MANUFACTURING, HEAVY
SETBACK REQUIREMENTS:
A. FROM ANY EXTERNAL PUBLIC STREET RIGHT-OF-WAY EXCEPT FOR FENCES AND PARKING USES 50'
30'
B. FROM ANY INTERNAL PUBLIC STREET RIGHT-OF-WAY EXCEPT FOR FENCES AND PARKING USES 50'
10'
C. FROM ANY RESIDENTIAL DISTRICT OTHER THAN PUBLIC STREET RIGHT-OF-WAY 150'
12. THE SURVEYED PREMISES INDICATED HEREON IS LOCATED WITHIN A "ZONE C AREA OF MINIMAL FLOODING" AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NO. 240044 0040 B, DATED DECEMBER 4, 1986.
13. SOILS INFORMATION WAS OBTAINED FROM SOIL MAP NO. 31, HOWARD COUNTY SOILS BOOK.
14. BOUNDARY & TOPOGRAPHIC SURVEY AND GRID TICKS BY STV-GROUP, 21 GOVERNOR'S COURT, BALTIMORE, MARYLAND 21244.
15. PREVIOUS RELATED FILE NUMBERS: F-74-50, SDP 74-107 & SDP 77-39, WP-13-171, F-14-003

ADDITIONAL NOTES:
1. IN ACCORDANCE WITH WP-13-171 A FEE-IN-LIEU OF FOREST CONSERVATION OBLIGATIONS BASED ON THE AREA OF DISTURBANCE FOR PROPOSED REDLINE REVISION NUMBER 1, IMPROVEMENTS IN THE AMOUNT OF 7,197.00 FOR 0.22 AC. OF PLANTING REQUIRED SHALL BE PROVIDED TO THE FOREST CONSERVATION FUND.

2. NO LANDSCAPING IS REQUIRED FOR PROPOSED REDLINE REVISION NUMBER 1. CREDIT IS TAKEN FOR EXISTING VEGETATION AND PREVIOUS LANDSCAPING. NO ADDITIONAL LANDSCAPING IS REQUIRED FOR LOT RESTRIPING AND NO PARKING ISLANDS ARE PROPOSED.

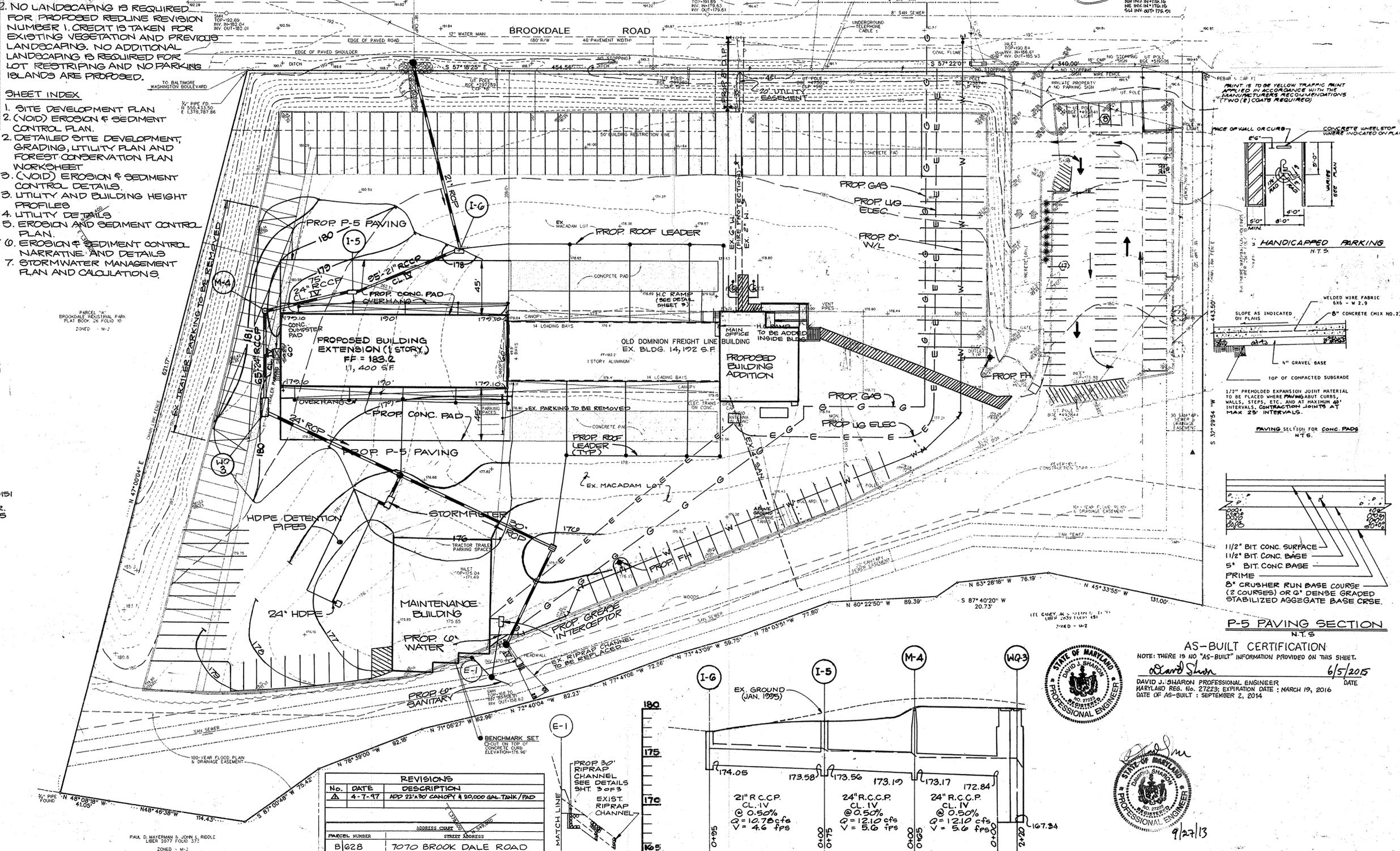
SHEET INDEX

1. SITE DEVELOPMENT PLAN
2. (VOID) EROSION & SEDIMENT CONTROL PLAN
3. DETAILED SITE DEVELOPMENT, GRADING, UTILITY PLAN AND FOREST CONSERVATION PLAN WORKSHEET
3. (VOID) EROSION & SEDIMENT CONTROL DETAILS
3. UTILITY AND BUILDING HEIGHT PROFILES
4. UTILITY DETAILS
5. EROSION & SEDIMENT CONTROL PLAN
6. EROSION & SEDIMENT CONTROL NARRATIVE AND DETAILS
7. STORMWATER MANAGEMENT PLAN AND CALCULATIONS

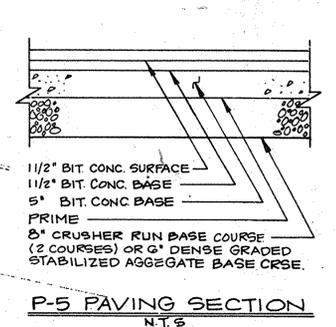
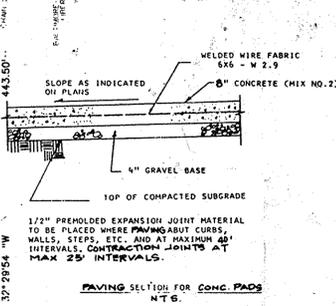
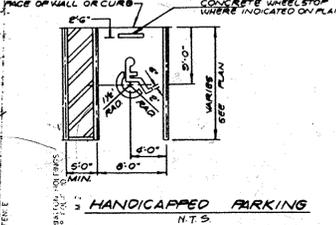
10. PARKING REQUIREMENTS
OFFICE = 10 (3.3 SPACES/1000 SF) x (4,604 SF)
WAREHOUSE = 21 (.5 SPACES/1000 SF) x (20,350 SF)
MAINTENANCE BLDG. = 12 (3+3x3 BAYS)
TOTAL REQUIRED: = 49
TOTAL PROVIDED = 67 (INCLUDED 3 HANDICAP)

NO.	TYPE	INV. IN	INV. OUT	TOP OF GRATE	REMARKS
E-1	STD. PRECAST	169.00			SD - 5.51
I-2	DOUBLE 'S'	170.27	169.75	170.04	SD - 4.23
WQ-3	CAST-IN-PLACE	172.84	171.37	173.90	SEE DETAIL ON SH. 202.3
M-4	STD. PRECAST	173.17	173.17	180.20	G 5.11
I-5	DOUBLE 'S'	173.58	173.56	178.00	SD - 4.23
I-6	DOUBLE 'S'		174.05	177.60	SD - 4.23

NO.	REVISION	DATE
1	REDLINE REVISION TO SHOW BLDG #2	
2	ADDITION, MAINTENANCE BLDG. AND RESTRIPE PARKING LOT	5/29/13
3	REVISED AS-BUILT PER HOWARD COUNTY COMMENTS	3/11/15



NOTE: THIS IS TO BE YELLOW TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS (TWO (2) COATS REQUIRED)



NO.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	EROSION & SEDIMENT CONTROL PLAN
3	EROSION & SEDIMENT CONTROL DETAILS

STV GROUP
ENGINEERS, ARCHITECTS • PLANNERS
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21201-7722
(410) 528-1112 • FAX (410) 298-2717

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

Signature: [Signature]
DATE: 11/27/15

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: [Signature]
DATE: 4/17/15

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: Patricia English
DATE: 5/26/15

Signature: John R. Robertson
DATE: 5/26/15

APPROVED: DEPT. OF PLANNING AND ZONING
PLANNING DIRECTOR
Signature: [Signature]
DATE: 7/19/15

APPROVED: DIVISION OF PLANNING AND RESEARCH
CHIEF, DIVISION OF PLANNING AND RESEARCH
Signature: [Signature]
DATE: 7/16/15

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS.
HEALTH OFFICER
Signature: [Signature]
DATE: [Signature]

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

DIRECTOR PUBLIC WORKS
Signature: [Signature]
DATE: 6/30/15

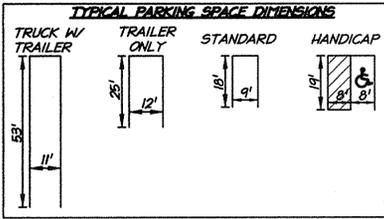
CHIEF, BUREAU OF ENGINEERING
Signature: [Signature]
DATE: 6/30/15

SUBDIVISION NAME	SECTION/AREA	PARCEL
BROOKDALE INDUSTRIAL PARK	1	9/628
PLAT NO	BLOCK NO	ZONE
26/57	5	M-2
MAP	TAX/ZONE	ELEC DIST
43	1	6012
WATER CODE	SEWER CODE	
2 B01	2350000	

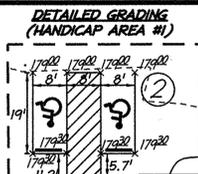
BROOKDALE INDUSTRIAL PARK SECTION 1, AREA 1, PARCEL 'B'
HOWARD COUNTY, MARYLAND
AS-BUILT
SITE DEVELOPMENT PLAN
OLD DOMINION FREIGHT LINE
7070 BROOKDALE ROAD HALETHORPE, MD 21227

SHEET NO. 1 OF 7
SCALE: 1" = 40'
DATE: 1/30/15
1ST ELECTION DISTRICT

SDP-95-67



AS-BUILT CERTIFICATION
 I HEREBY CERTIFY, BY MY SEAL, THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS 'AS-BUILT' PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS.
 David Sharon
 DAVID J. SHARON, PROFESSIONAL ENGINEER
 MARYLAND REG. NO. 17193 EXPIRATION DATE: MARCH 13, 2016
 DATE OF AS-BUILT: SEPTEMBER 2, 2014



GRANTED TO HOWARD COUNTY, MARYLAND FOR FIRE HYDRANT AND UTILITIES 20' WIDE EASEMENT LIBER M.D.R. 3550, FOLIO 699

No.	REVISION	DATE
1	RED-LINE REVISIONS TO SHOW BLDG. #2 ADDITION, MAINTENANCE BLDG. AND RESTRIPE PARKING AREA	5/29/13
2	STORM DRAIN AS-BUILTS	9/15/14
3	REVISED AS-BUILTS PER HOWARD COUNTY COMMENTS	3/11/15

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *J.R.*
 Chief, Division of Land Development: *Ketshel*
 Director: *Mark M. Ugle*
 Date: 11-21-13
 Date: 11-22-13
 Date: 11/22/15

OWNER / DEVELOPER
 A. DUJE PYLE
 P.O. BOX 564
 WEST CHESTER, PA 19381
 (610) 696-5800

PURPOSE STATEMENT
 THE PURPOSE OF THIS REVISION TO THE SITE DEVELOPMENT PLAN IS TO UPGRADE THE EXISTING TRUCKING FACILITY. UPGRADES INCLUDE A NEW MAINTENANCE BUILDING, NEW UTILITIES, STORMWATER MANAGEMENT AND RESURFACING THE EXISTING LOT.

A Revised Plat of Easement has been Recorded as Plat # 022493/F-14-005.

ROOF DRAIN CLEANOUT SCHEDULE

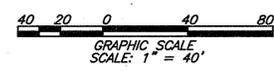
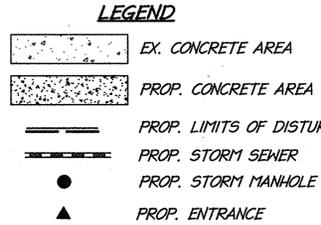
Cleanout #	Invert	Diameter of Pipe (In.)	
		In	Out
1	175.45	6	6
2	176.76	6	8
3	176.99	6	6
4	177.22	6	6
5	177.45	6	6
6	176.59	6	8
7	176.89	6	8
8	177.09	6	8
9	177.22	6	8
10	177.42	6	6
11	177.19	6	6
12	176.96	6	8
13	177.19	6	6
14	177.42	6	6
15	176.22	6	8
16	176.47	6	8
17	176.72	6	8
18	176.87	6	8
19	173.25	8	8

- NOTES:**
- ALL ROOF DRAIN PIPES ARE TO BE PVC.
 - MINIMUM SLOPE OF PIPE IS 0.5% WITH A MINIMUM COVER OF 2'.
 - INVERT OUT OF TERMINAL AND BUILDING ADDITION IS 177.50.
 - INVERT OUT OF MAINTENANCE BUILDING IS 175.00.
 - ALL 'DIAMETER OF PIPE IN' SHOW THE DIAMETER OF THE PIPE FROM THE BUILDING TO THAT CLEANOUT.

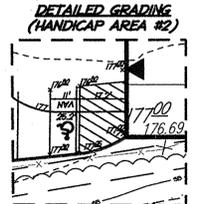
N/E ANGLIO AMERICAN PROPERTY HOLDINGS INC. L 2508/F 10 ZONE: M-2

FOREST CONSERVATION WORKSHEET

STATE OF MARYLAND FOREST CONSERVATION WORKSHEET		Acres
Net Tract Area		
A. Total Tract Area		1.44
B. Deductions (Critical area, road, floodplain, etc...)		0.00
C. Net Tract Area		1.44
Land Use Category C/I		
D. Afforestation Threshold	15% x Net Tract	0.22
E. Conservation Threshold	15% x Net Tract	0.22
Existing Forest Cover		
F. Existing Forest Cover Within Net Tract Area		0.00
G. Area of Forest Above Conservation Threshold (If F is greater than E), then G = F - E; otherwise G = 0		0.00
Breakover Point		
H. Breakover point (Amount of forest that must be retained so that no mitigation is required)		0.00
(1) If (G) is greater than 0, then H = (0.2 X G) + E		
(2) If (G) is equal to 0, then H = F		
Proposed Forest Clearing		
J. Total Area of Forest To Be Cleared		0.00
Planting Requirements		
If (K) is greater than or equal to H, no planting is required and no further calculations are necessary. (L=0, M=0, N=0, P=0, Q=0, R=0)		
Otherwise, calculate the planting requirements as follows:		
L. Reforestation for clearing above the conservation threshold		0.00
(1) If (K) is greater than E, then L = (J X 0.25)		
(2) If (K) is less than or equal to E, then L = (G X 0.25)		
M. Reforestation for clearing below the conservation threshold		0.00
(1) If (F) is greater than (E) and (K) is less than or equal to (E), then M = (2.0 X (E - K))		
(2) If (F) is less than or equal to (E), then M = (2.0 X J)		
Planting Requirements		
N. Credit for Retention Above the Conservation Threshold		0.00
(1) If (K) is greater than (E), then N = K - E; otherwise N = 0		
P. Total Reforestation required (P = L + M - N)		0.00
Q. Total Afforestation required		0.22
(1) If (F) is less than (D), then (Q) = (D - F)		
R. Total Planting Requirement (R = P + Q)		0.22



- NOTES:**
- EXISTING FENCES ON SITE TO BE REPAIRED OR REPLACED AS NEEDED.
 - ASPHALT IN THE MAIN LOT IS TO BE RESURFACED.
 - EXISTING GRADES SHALL BE MAINTAINED FOR ALL PAVEMENT MAINTENANCE AREAS.
 - ACCORDING TO HOWARD COUNTY SOILS MAPS, THERE ARE NO HIGHLY EROSION SOILS LOCATED ON THIS SITE.
 - NO WORK IS TO BE DONE ON THE OUTFALL. STORM MANHOLE #13 TO TIE INTO EXISTING 30" RCP PIPE. STORM SEWER TO THE NORTH OF PROPOSED MANHOLE IS TO BE REMOVED AND THE SEWER TO THE OUTFALL IS TO REMAIN.
 - THE AREA OF DISTURBANCE PROPOSED WITH THIS RED-LINE REVISION IS 62,600 SF (1.44 AC.)
 - NO GRADING, REMOVAL OF VEGETATION OR PLACEMENT OF STRUCTURES WILL OCCUR IN THE FLOOD PLAIN OR STREAM BANK BUFFER.
 - ALL MDE PERMITS THAT APPLY TO THIS PROJECT HAVE BEEN APPLIED FOR.
 - A WAIVER PETITION (WP-13-171) TO SECTION 16.120(h) WAS APPROVED ON 6/6/13 TO ALLOW THE 'LIMITS OF DISTURBANCE' TO COUNT AS THE 'NET TRACT AREA'. THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: NOTES ADDED TO PLAN, MINIMUM NECESSARY DISTURBANCE TO THE SITE AND A FEE-IN-LIEU OF \$7,188.00 PAID TO THE HOWARD COUNTY CONSERVATION FUND.
 - EXISTING DOMESTIC AND FIRE WATERLINES SHALL BE COMBINED INTO ONE WATER HOUSE CONNECTION.



N/E MAYERMAN, PAUL D. W 171.42/F 225 ZONE: M-2

christopher consultants
 engineering · surveying · land planning
 5900 main street (fourth floor) · fairfax va. 22031-3907
 703.273.6820 · fax: 703.273.7636

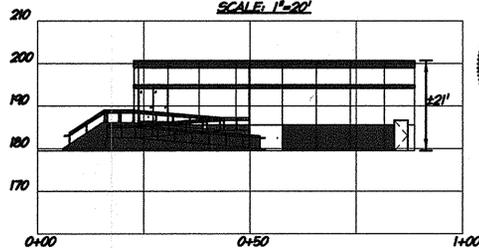


AS-BUILT DETAILED SITE DEVELOPMENT, GRADING, UTILITY PLAN AND FOREST CONSERVATION WORKSHEET

REVISD SITE DEVELOPMENT PLAN
 Brookdale Industrial Park, 1/1
 A. DUJE PYLE FACILITY "PARCEL B"
 7070 BROOKDALE DRIVE
 HOWARD COUNTY, MD
 1ST ELECTION DISTRICT

PROJECT NO: 13042.001.00
 SCALE: 1" = 40'
 DATE: 5/29/13
 DESIGN: EG
 DRAWN: EG
 CHECKED: DS
 SHEET No.

**SECTION A-A
OFFICE ADDITION**
SCALE: 1"=20'



AS-BUILT CERTIFICATION

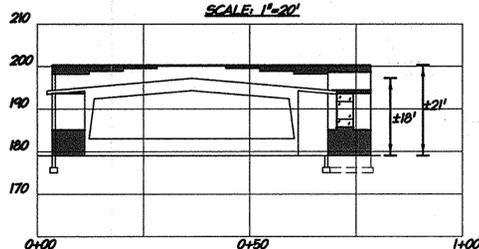
I HEREBY CERTIFY, BY MY SEAL, THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS

David J. Shaaron
DAVID J. SHAROON, PROFESSIONAL ENGINEER
MARYLAND REG. NO. 27223; EXPIRATION DATE: MARCH 19, 2016
DATE OF AS-BUILT: SEPTEMBER 2, 2014
DATE: 6/5/2015

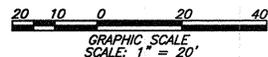
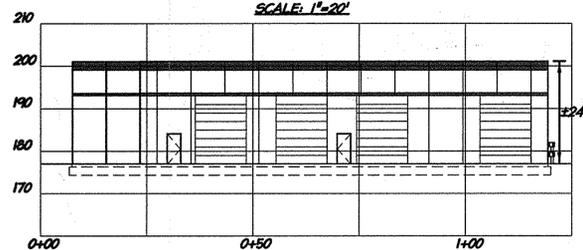
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APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *J.P.* Date: 11-21-13
 Chief, Division of Land Development: *W.D. O'Connell* Date: 11-22-13
 Director: *Marlene A. Coyle* Date: 11/22/15
 OWNER / DEVELOPER:
 A. DUIE PYLE
 P.O. BOX 564
 WEST CHESTER, PA 19381
 (610) 696-5800

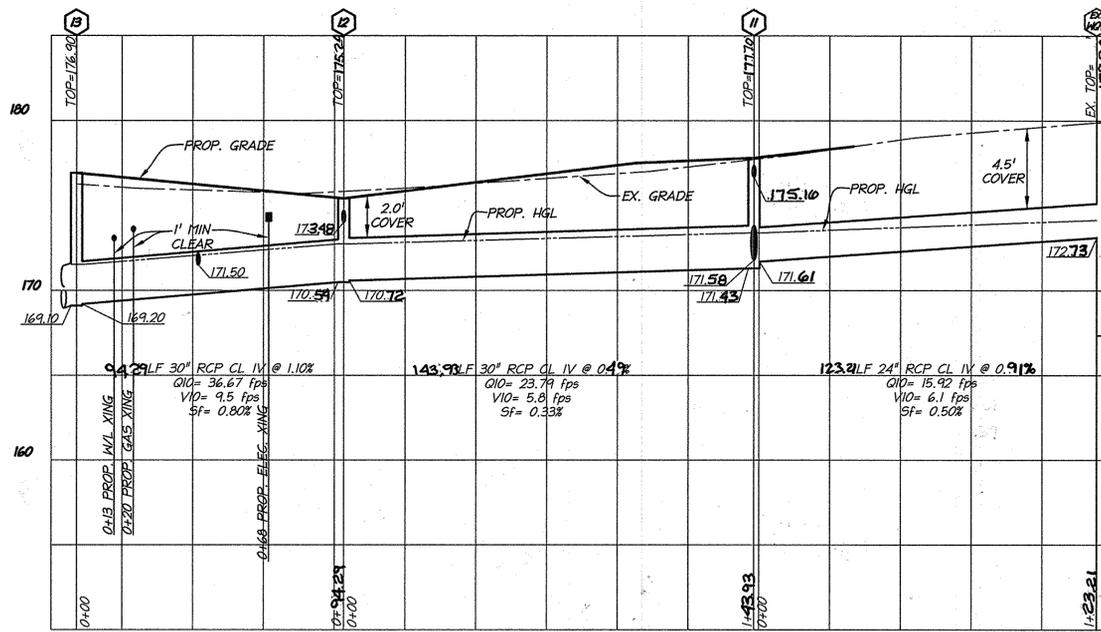
**SECTION B-B
EXISTING TRUCK TERMINAL**
SCALE: 1"=20'



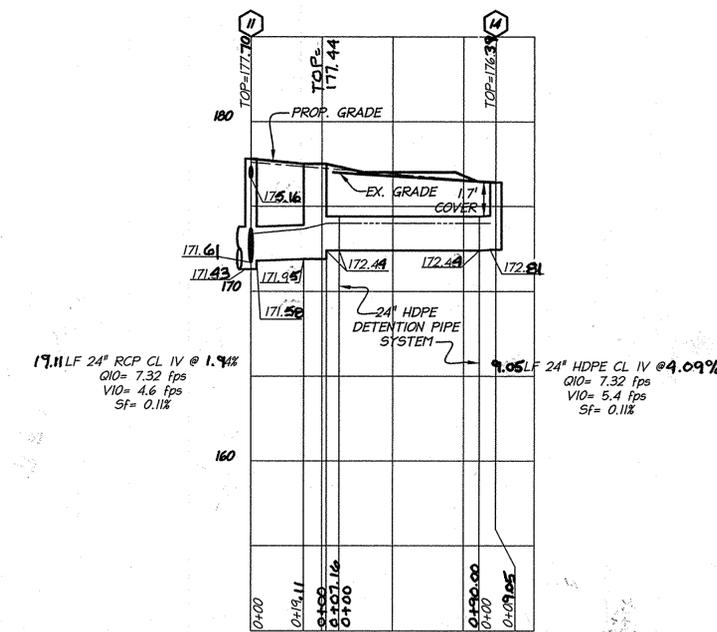
**SECTION C-C
MAINTENANCE BUILDING**
SCALE: 1"=20'



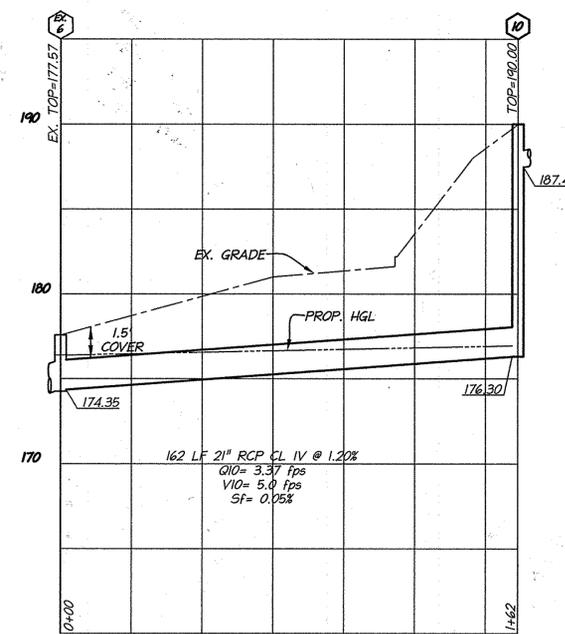
**STORM SEWER
13 - EX. WQV**



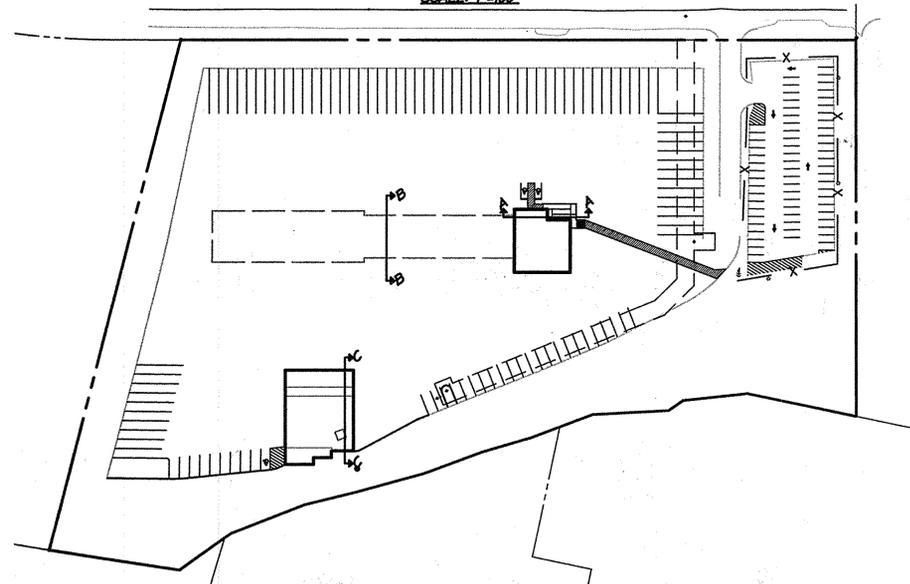
**24" CMP & STORMFILTER
11 - 14**



**21" STORM SEWER
EX. 6 - 10**



SECTION LOCATION MAP
SCALE: 1"=100'



STORM STRUCTURE TABLE

NUMBER	TYPE	DETAIL	INV. IN	INV. OUT	TOP
10	MH	G-5.12	187.49	176.30	190.00
11	MH	G-5.13	171.61	171.43	177.70
12	INLET	D-4.22 (MOD)	170.72	170.59	175.29
13	MH	G-5.13	169.20	169.10	177.31
14	INLET	D-4.22 (MOD)	-	172.81	176.39

NOTE: SEE DETAILS FOR STORM STRUCTURES ON SHEET 5.

ROOF DRAIN INVERTS AT STRUCTURES

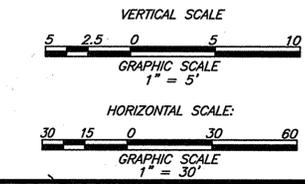
Structure	Invert In	Diameter of Pipe (in.)
Ex. 6	176.14	8
Ex. 5	176.70	8
11	175.16	8
12	173.48	8
30" RCP (Between 12 and 13)	171.50	8

christopher consultants
 engineering · surveying · land planning
 9800 main street (south face) · fairfax va. 22031-3907
 703.273.6820 · fax 703.273.7636

**AS-BUILT
UTILITY AND
BUILDING HEIGHT
PROFILES**

**A. DUIE PYLE FACILITY
"PARCEL B"
7070 BROOKDALE DRIVE
HOWARD COUNTY, MD
1ST ELECTION DISTRICT**

PROJECT NO: 13042.001.00
 SCALE: SEE DRAWING
 DATE: 5/29/13
 DESIGN: EG
 DRAWN: EG
 CHECKED: DS
 SHEET No. 3 of 7



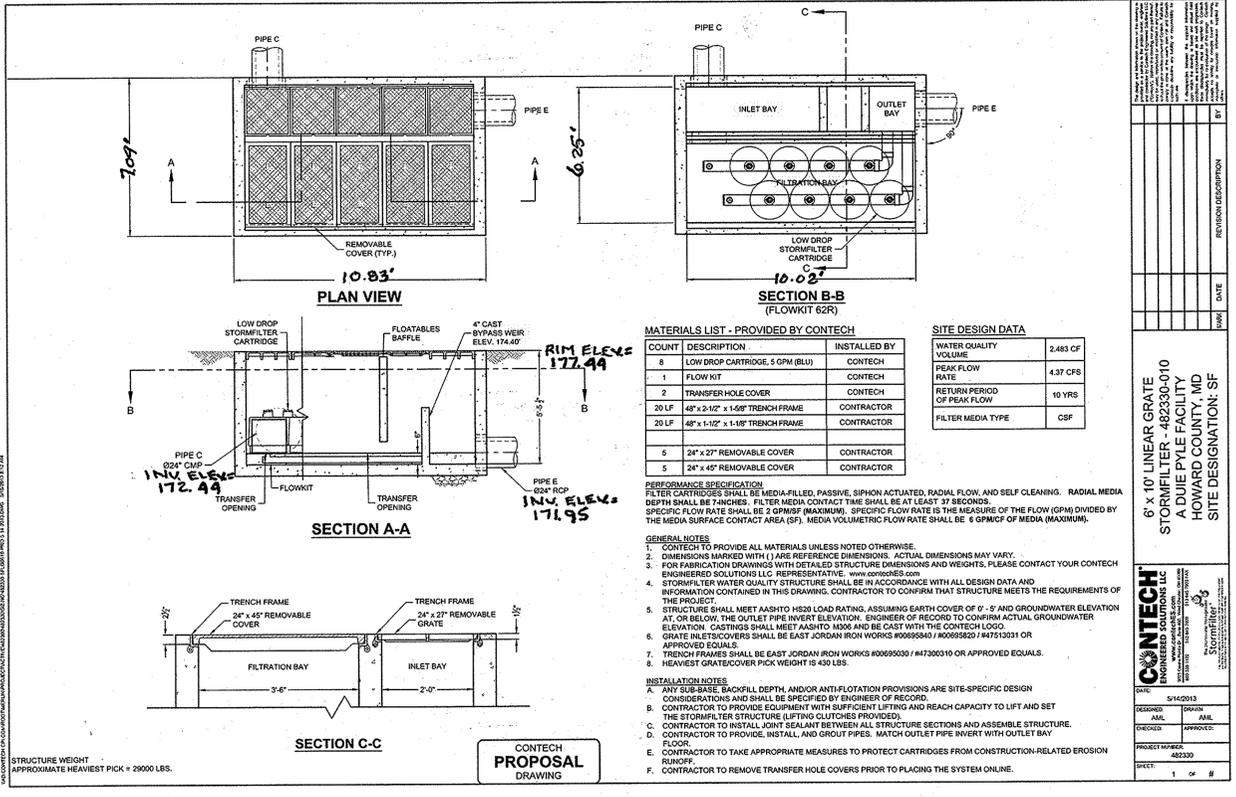
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APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division J.R.
 Chief, Division of Land Development
 Director

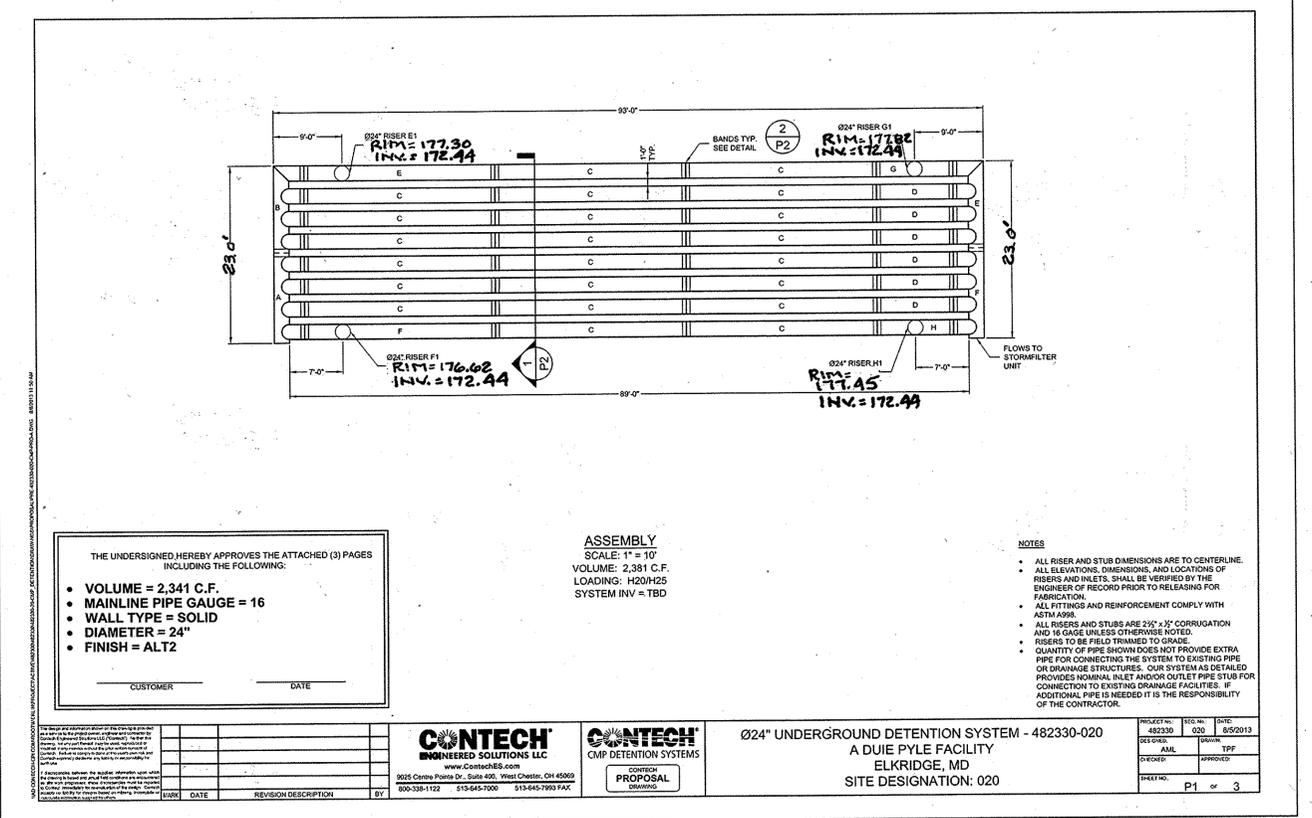
Date: 11-21-13
 Date: 11-22-13
 Date: 11/22/15

OWNER / DEVELOPER
 A. DUJE PYLE
 P.O. BOX 564
 WEST CHESTER, PA 19381
 (610) 696-5800

STORMFILTER DETAIL



DETENTION PIPE SYSTEM DETAIL

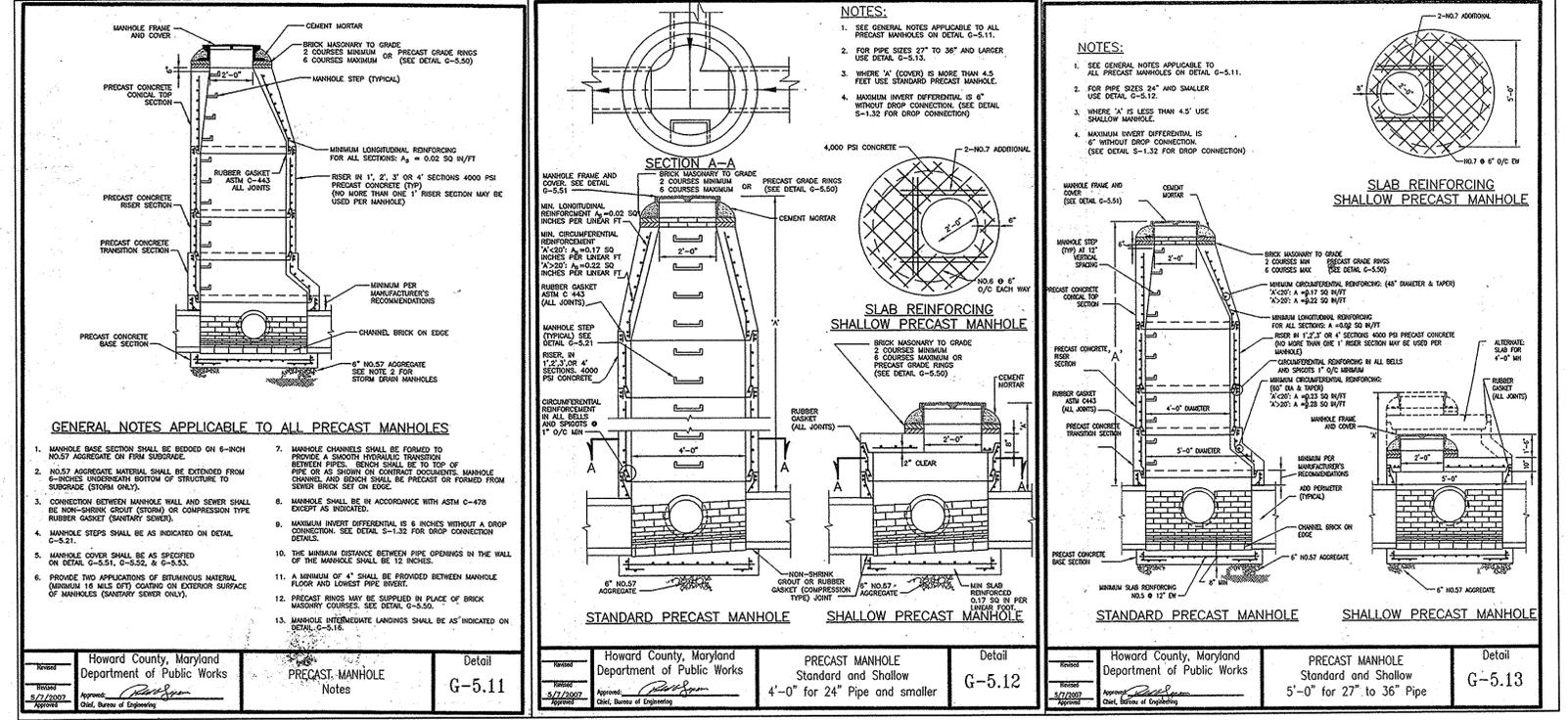


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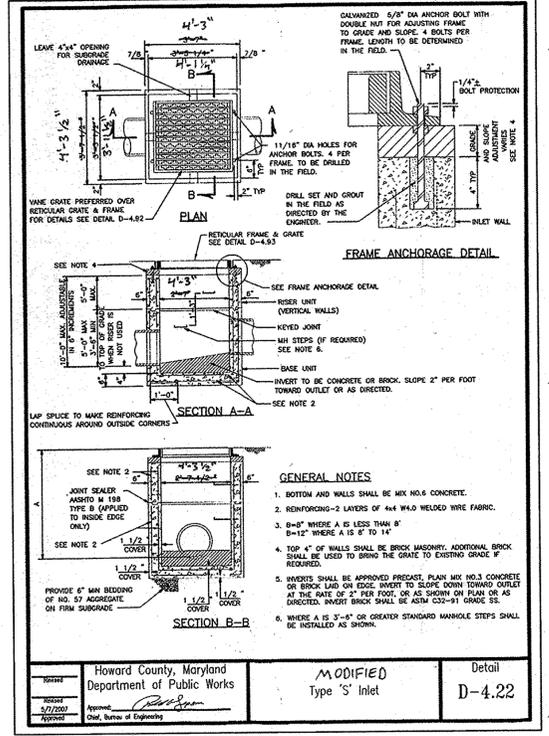


AS-BUILT
 UTILITY DETAILS

MAHOLE DETAIL (PROP. MH #10) MAHOLE DETAIL (PROP. MH #11, #13)



MODIFIED TYPE 'S' INLET DETAIL (PROP. INLET #12, #14)



AS-BUILT CERTIFICATION

I HEREBY CERTIFY, BY MY SEAL, THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS.

6/5/2015

DAVID J. SHARON, PROFESSIONAL ENGINEER
 MARYLAND REG. NO. 217223; EXPIRATION DATE: MARCH 19, 2016
 DATE OF AS-BUILT: SEPTEMBER 2, 2014



Brookdale Industrial Park, 11
 REVISED SITE DEVELOPMENT PLAN
 A. DUJE PYLE FACILITY
 "PARCEL B"
 7070 BROOKDALE DRIVE
 HOWARD COUNTY, MD
 1ST ELECTION DISTRICT

PROJECT NO:13042.001.00
 SCALE: N/A
 DATE: 5/29/13
 DESIGN: EG
 DRAWN: EG
 CHECKED: DS
 SHEET No.

No.	REVISION	DATE
1	RED-LINE REVISIONS TO SHOW BLDG. #2 ADDITION, MAINTENANCE BLDG. AND RESTRIPE PARKING AREA	5/29/13
3	REVISED AS-BUILTS PER HOWARD COUNTY COMMENTS	3/11/15

APPROVED DEPARTMENT OF PLANNING AND ZONING

David Chubb
Chief, Development Engineering Division
Date: 11-21-13

Kat Shuler
Chief, Division of Land Development
Date: 11-22-13

Mark A. Angle
Director
Date: 11/22/15

OWNER / DEVELOPER
A. DUIE PYLE
P.O. BOX 564
WEST CHESTER, PA 19381
(610) 696-5800

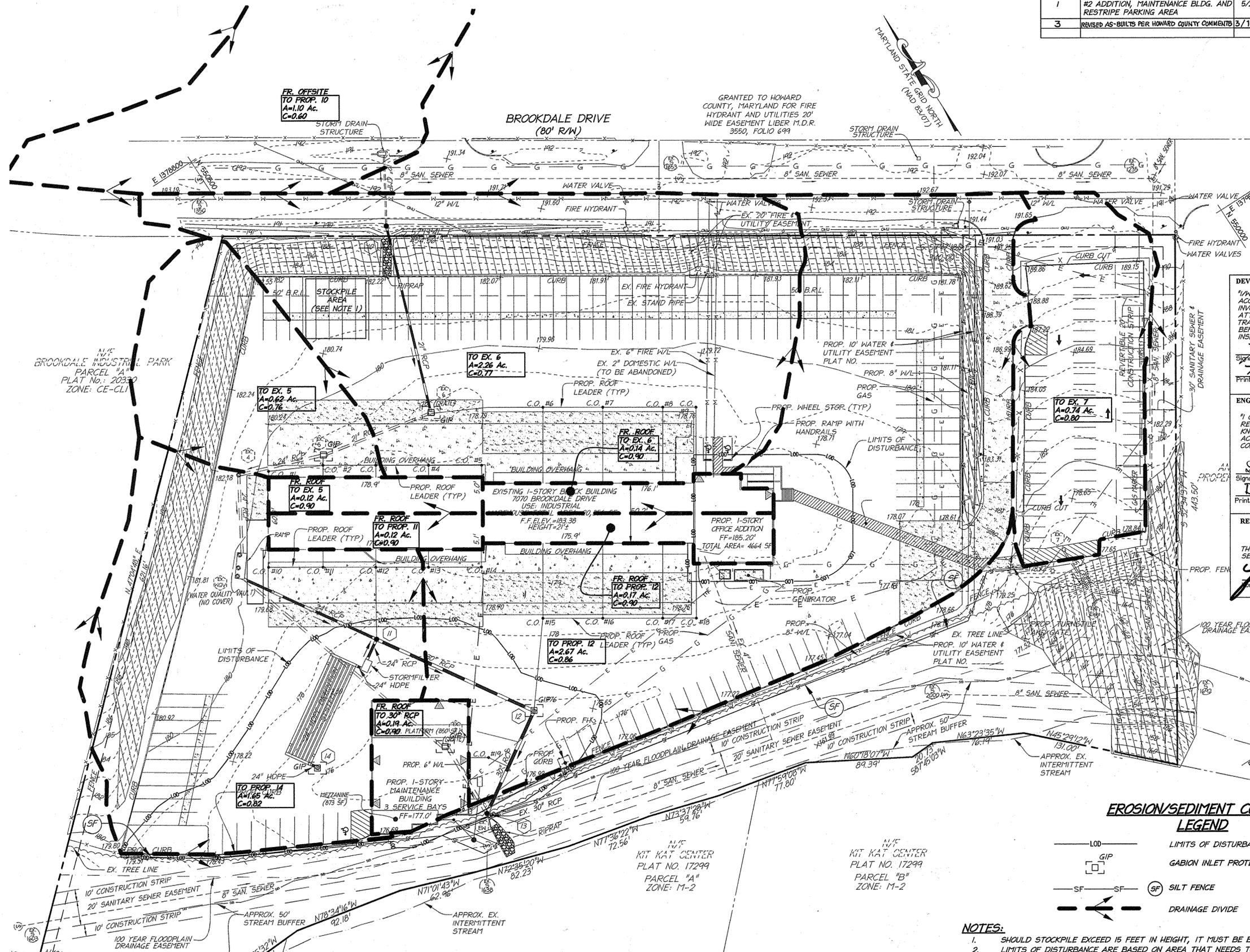
christopher consultants
engineering · surveying · land planning
9900 main street (fourth floor) · Fairfax, VA 22031-3907
703.273.6820 · fax 703.273.7636



AS-BUILT
EROSION AND SEDIMENT
CONTROL PLAN

A. DUIE PYLE FACILITY
"PARCEL B"
7070 BROOKDALE DRIVE
HOWARD COUNTY, MD
1ST ELECTION DISTRICT

PROJECT NO. 13042.001.00
SCALE: 1"=40'
DATE: 5/29/13
DESIGN: EG
DRAWN: EG
CHECKED: DS
SHEET No.



DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE ONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Timothy A. Koel
Signature of Developer
Timothy A. Koel
Print name below signature
Date: 10/1/2015

ENGINEER CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

David Sharon
Signature of Engineer
DAVID SHARON, P.E.
Print name below signature
Date: 9/27/13

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

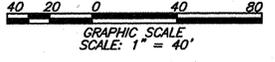
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John D. Hinton
Signature of District Engineer
Date: 9/16/13

EROSION/SEDIMENT CONTROL LEGEND

- LOD — LIMITS OF DISTURBANCE
- GIP GABION INLET PROTECTION
- SF — SF — SILT FENCE
- — — DRAINAGE DIVIDE

- NOTES:**
- SHOULD STOCKPILE EXCEED 15 FEET IN HEIGHT, IT MUST BE BENCHED.
 - LIMITS OF DISTURBANCE ARE BASED ON AREA THAT NEEDS TO BE RE-GRADED AROUND THE MAINTENANCE AND OFFICE BUILDINGS, AS DETERMINED IN MEETING WITH HOWARD COUNTY STAFF ON MAY 1, 2013.
 - EROSION AND SEDIMENT CONTROLS MAY BE PLACED OUTSIDE OF THE LIMITS OF DISTURBANCE TO PROTECT THE SITE FOR THE INSTALLATION OF UTILITIES.
 - DURING UTILITY INSTALLATION BELOW PAVEMENT, ADD SILT FENCE ON PAVEMENT IF REQUESTED BY THE SITE INSPECTOR.
 - ENTRANCE TO SITE IS CONCRETE AND IS TO REMAIN, ADD STABILIZED CONSTRUCTION ENTRANCE IF REQUESTED BY THE SITE INSPECTOR.
 - IF THE SITE INSPECTOR REQUESTS TO STRENGTHEN THE GABION INLET PROTECTION, WRAP IT IN SUPER SILT FENCE MATERIAL.



AS-BUILT CERTIFICATION

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

David Sharon
DAVID J. SHARON, PROFESSIONAL ENGINEER
MARYLAND REG. NO. 12223; EXPIRATION DATE: AUGUST 19, 2016
DATE OF AS-BUILT: SEPTEMBER 2, 2014
Date: 6/5/2015



MAYERMAN, PAUL D.
L. 3442/F. 225
ZONE: M-2

TEMPORARY SEEDING NOTES

B-4.4 STANDARDS AND SPECIFICATIONS

FOR

TEMPORARY STABILIZATION

Definition
To stabilize disturbed soils with vegetation for up to 6 months.

Purpose
To use fast growing vegetation that provides cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

Criteria

- Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not part of the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
- For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
- When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

Temporary Seeding Summary

No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth (in)	Fertilizer Rate (lb/1000 sq ft)	Lime Rate (tons/ac)
1	ANNUAL RYEGRASS	40	04-05, 04-05	0.5"	436 lb/ac	2 tons/ac
2	FORNAL MILLET	30	04-05	0.5"	(10 lb/1000 sq ft)	(1000 sq ft)

B.11

PERMANENT SEEDING NOTES

B-4.5 STANDARDS AND SPECIFICATIONS

FOR

PERMANENT STABILIZATION

Definition
To stabilize disturbed soils with permanent vegetation.

To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for 6 months or more.

Criteria

- General Use**
 - Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
 - Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
 - For sites having disturbed areas over 5 acres, use and show the method recommended by the soil testing agency.
- Turfgrass Mixtures**
 - Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
 - Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
 - Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
 - Kentucky Bluegrass/Perennial Ryegrass: Full Sun Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf areas. Mixture includes: Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1 1/2 to 3 pounds per 1000 square feet.

B.21

PERMANENT SEEDING NOTES (CONT.)

Permanent Seeding Summary

No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depth (in)	N	P ₂ O ₅	K ₂ O	Lime Rate
1	SMOOTH GRASS	10		1/2 - 1/2 in	45 pounds	90 lb/ac	90 lb/ac	2 tons/ac
2	GREENING RED FESCUE	15		1/2 - 1/2 in	per acre	(1.0 lb)	(1000 sq ft)	(1000 sq ft)
3	LOW GROUND	2		1/2 - 1/2 in	(1000 sq ft)	(1000 sq ft)	(1000 sq ft)	(1000 sq ft)

B. Soil: To provide quick cover on disturbed areas (2-1 grade or flatter).

1. General Specifications

- Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
- Sod must be machine cut at a uniform soil thickness of 1/2 inch, plus or minus 1/4 inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
- Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
- Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
- Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transported within this period must be approved by an agronomist or soil scientist prior to its installation.
- For sites having disturbed areas over 5 acres, use and show the method recommended by the soil testing agency.

2. Sod Installation

- During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
- Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
- Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
- Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours.

3. Sod Maintenance

- In the absence of adequate rainfall, water daily during the first week or as often and sufficiently to necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
- After the first week, soil watering is required as necessary to maintain adequate moisture content.
- Do not mow until the sod is firmly rooted. No more than 1/3 of the grass leaf must be removed by the initial mowing or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

AS-BUILT CERTIFICATION

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.



DAVID J. SHARON, PROFESSIONAL ENGINEER
MARYLAND REG. NO. 27223 EXPIRATION DATE: MARCH 19, 2016
DATE OF AS-BUILT: SEPTEMBER 2, 2014

6/5/2015

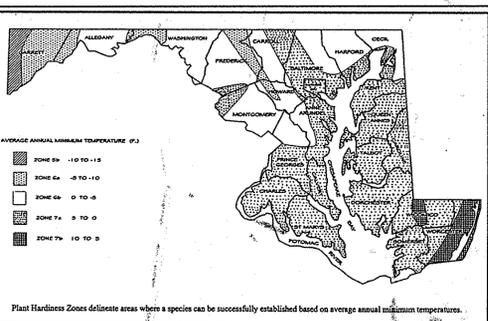


Figure B.3: U.S.A. Plant Hardiness Zones

B.19

Table B.1: Temporary Seeding for Site Stabilization

Plant Species	Seeding Rate ¹		Seeding Depth (inches)	Recommended Seeding Dates by Plant Hardiness Zone ²		
	lb/ac	lb/1000 sq ft		5b and 6a	6b	7a and 7b
Cool-Season Grasses						
Annual Ryegrass (Lolium perenne var. multiflorum)	40	1.0	0.5	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Barley (Hordeum vulgare)	96	2.2	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Oats (Avena sativa)	72	1.7	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Wheat (Triticum aestivum)	120	2.8	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30
Cereal Rye (Secale cereale)	112	2.5	1.0	Mar 15 to May 31; Aug 1 to Oct 31	Mar 1 to May 15; Aug 1 to Nov 15	Feb 15 to Apr 30; Aug 15 to Oct 15
Warm-Season Grasses						
Fornal Millet (Setaria italica)	30	0.7	0.5	Jun 1 to Jul 31	May 1 to Jul 31	May 1 to Aug 14
Pearl Millet (Pennisetum glaucum)	20	0.5	0.5	Jun 1 to Jul 31	May 1 to Jul 31	May 1 to Aug 14

NOTES:
1. Seeding rates for the warm-season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as noted. Adjustments are usually not needed for the cool-season grasses.
2. Seeding rates listed above are for temporary seedings, when planted as a nurse crop with permanent seed mixtures, use 1/2 of the seeding rate listed above for barley, oats, and wheat. For multi-cropland grasses (annual ryegrass, pearl millet), do not exceed more than 20% the weight of the overall permanent seeding mix. Consider generally should be used as a nurse crop, unless planting will occur in winter (do not seed during the seeding date for other temporary seedings). Cereal rye has allelopathic properties and should be avoided in the planting season and growth of other plants. It is used as a nurse crop, seed at 1/2 of the rate listed above.
3. Use the recommended nurse crop for warm-season grasses.
4. For sandy soils, plant seeds at twice the depth listed above.
5. The planting dates listed are averages for each Zone and may require adjustment to reflect local conditions, especially near the boundaries of the zones.

B.20

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE IN ACCORDANCE WITH THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

Signature of Developer: *Timothy A. Koel*
Date: 10/1/2013
Print name below signature: Timothy A. Koel

ENGINEER CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

Signature of Engineer: *David Sharon*
Date: 9/27/13
Print name below signature: DAVID SHARON, P.E.

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

Signature: *John R. Roberts*
Date: 9/10/13
Howards Soil Conservation District

STABILIZED CONSTRUCTION ENTRANCE

(SEE NOTE 5 ON SHEET 5)

DETAIL E-9-2 AT-GRADE INLET PROTECTION

STANDARD SYMBOL:

MAXIMUM DRAINAGE AREA = 1 ACRE



CONSTRUCTION SPECIFICATIONS

- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- LEFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
- PLACE CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION E.26

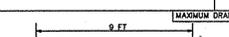
GABION INLET PROTECTION

(SEE NOTE 6 ON SHEET 5)

DETAIL E-9-7 GABION INLET PROTECTION

STANDARD SYMBOL:

MAXIMUM DRAINAGE AREA = 1/2 ACRE



CONSTRUCTION SPECIFICATIONS

- USE BASKETS MADE OF 1 1/2 GAUGE WIRE OR HEAVIER.
- WRAP 3 FEET x 3 FEET GABION BASKETS (LENGTH VARIABLE) WITH NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS OVERLAPPING AT THE TOP AND FASTEN THE GEOTEXTILE AT THE TOP OF THE BASKET WITH WIRE FASTENERS (HOOB RINGS) AT A MAXIMUM OF 1 FOOT INTERVALS ALONG THE SEAM.
- AVOID TEARING OR DAMAGING GEOTEXTILE.
- ENTRICHEN GABION BASKETS TO A DEPTH OF 8 INCHES.
- PLACE AND INTERLOCK GABION BASKETS WITH NO GAPS.
- FILL GABION BASKETS WITH CLEAN 4 TO 7 INCH STONE OR EQUIVALENT RECYCLED CONCRETE WITHOUT REBAR OR MESH.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION E.32

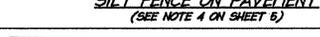
SILT FENCE ON PAVEMENT

(SEE NOTE 4 ON SHEET 6)

DETAIL E-2 SILT FENCE ON PAVEMENT

STANDARD SYMBOL:

MAXIMUM DRAINAGE AREA = 1/2 ACRE



CONSTRUCTION SPECIFICATIONS

- USE NOMINAL 2 INCH x 4 INCH LUMBER.
- USE WOVEN SUT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- SPACE UPRIGHT SUPPORTS NO MORE THAN 10 FEET APART.
- PROVIDE A TWO FOOT OPENING BETWEEN EVERY SET OF SUPPORTS AND PLACE STONE IN THE OPENING OVER GEOTEXTILE.
- KEEP SILT FENCE TIGHT AND SECURELY STAPLE TO THE UPSLOPE SIDE OF UPRIGHT SUPPORTS. EXTEND GEOTEXTILE UNDER GRA.
- WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN, OVERLAP, FOLD, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL, ATTACH LATHE.
- PROVIDE A MASTIC SEAL BETWEEN PAVEMENT, GEOTEXTILE, AND 2x4 TO PREVENT SEWAGE-LOADED WATER FROM INFILTRATING UNDER SILT FENCE INSTALLATION.
- REMOVE BOARDS TO PAVEMENT WITH 400 S INCH MINIMUM LENGTH NAILS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 2/3 OF FENCE HEIGHT. REPLACE GEOTEXTILE IF FORM, MAINTAIN WATER TIGHT SEAL ALONG BOTTOM. REPLACE STONE IF DISPLACED.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION E.5

No.	REVISION	DATE
1	RED-LINE REVISIONS TO SHOW BLDG. #2 ADDITION, MAINTENANCE BLDG. AND RESTRIPE PARKING AREA	5/29/13
3	REVISED AS-BUILTS PER HOWARD COUNTY COMMENTS	3/11/15

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division: *John P. Roberts*
Chief, Division of Land Development: *David Sharon*
Director: *David Sharon*

OWNER / DEVELOPER

A. DUIE PYLE
P.O. BOX 564
WEST CHESTER, PA 19381
(610) 696-5800

PROJECT DESCRIPTION:

THIS PROJECT PROPOSES THE DEMOLITION OF PART OF THE EXISTING STRUCTURE AND A NEW ADDITION IN THAT SAME AREA. A MAINTENANCE BUILDING IS PROPOSED ON THE SOUTHWEST PORTION OF THE SITE. SOME OF THE EXISTING CONCRETE PADS AROUND THE TRUCKING FACILITY WILL BE REPLACED WITH NEW CONCRETE. A NEW STORM MANHOLE WILL BE INSTALLED TO THE NORTH TO PICKUP OFFSITE WATER THAT CURRENTLY SHEET FLOWS ACROSS THE SITE. THE AREA AROUND THE NEW MAINTENANCE BUILDING WILL BE GRADED TOWARDS NEW GATE INLETS THAT WILL TIE INTO NEW STORM PIPES THAT WILL EVENTUALLY TIE TO THE EXISTING OUTFALL POINT. NEW WATER, GAS AND ELECTRIC IS TO BE INSTALLED TO SERVICE THE NEW BUILDING ADDITION AND NEW GAS AND ELECTRIC WILL SERVICE THE MAINTENANCE BUILDING. MAINTENANCE IS TO BE PERFORMED ON THE EXISTING PAVEMENT BY REPLACING THE ASPHALT ON TOP OF THE EXISTING GRAVEL SUB-BASE.

THE STORMWATER WILL BE TREATED WITH A STORMFILTER AND A HDPE DETENTION PIPE SYSTEM. THE FLOW PATTERN OF THE SITE, OUTFALL AND SURROUNDING AREA WILL BE UNCHANGED WITH THE PROPOSED WORK.

THE SURROUNDING STEEP SLOPES WILL REMAIN UNTOUCHED, EXCEPT NEAR THE UTILITY WORK. PROPER EROSION AND SEDIMENT CONTROL MEASURE WILL BE TAKEN TO PROTECT THE SURROUNDING NATURAL RESOURCES.

SEQUENCE OF CONSTRUCTION

- REQUEST FOR A PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE ENFORCEMENT AUTHORITY. (1 DAY)
- CLEARING AND GRUBBING AS NECESSARY FOR THE INSTALLATION OF PERIMETER CONTROLS. (10 DAYS)
- INSTALL SUPER SILT FENCE AND AT-GRADE INLET PROTECTION (ON EXISTING GRADE INLETS) AS SHOWN ON THE EROSION AND SEDIMENT CONTROL SHEET. (1 DAY)
- REMAINING CLEARING AND GRUBBING WITHIN THE INSTALLED PERIMETER CONTROLS. (10 DAYS)
- DEMOLITION OF THE EXISTING BUILDING. (10 DAYS)
- INSTALL GAS, ELECTRIC, WATER AND STORM PIPE FROM EXISTING MANHOLE TO INLET #1 AND MANHOLE #1B. (16 DAYS)
- CONSTRUCTION OF THE OFFICE BUILDING ADDITION. (4 MONTHS)
- ADD AT-GRADE INLET PROTECTION TO NEW INLETS. (1 DAY)
- DEMO THE EXISTING STORM MANHOLE FROM EX. HQV TO PROPOSED MANHOLE #1B. (5 DAYS)
- BEGIN ROUGH GRADING AROUND MAINTENANCE BUILDING. (2 DAYS)
- INSTALL STORMFILTER AND CMP DETENTION SYSTEM. (5 DAYS)
- CONSTRUCTION ON THE MAINTENANCE BUILDING MAY BEGIN. (4 MONTHS)
- ROOF LEADERS CAN NOW BE INSTALLED AND TIE IN TO THE STORM SYSTEM. (5 DAYS)
- COMPLETE RE-SURFACING OF LOT WITH CONCRETE OR ASPHALT, AS SHOWN ON THIS PLAN. (10 DAYS)
- APPROVAL OF THE APPROPRIATE ENFORCEMENT AUTHORITY PRIOR TO REMOVAL OF SEDIMENT CONTROLS. (1 DAY)
- REMOVAL OF CONTROLS AND STABILIZATION OF AREAS THAT ARE DISTURBED BY REMOVAL OF SEDIMENT CONTROLS. (1 DAY)

NOTE:

DURATIONS SHOWN IN THE SEQUENCE OF CONSTRUCTION ARE SUBJECT TO CHANGE BASED ON SITE CONDITIONS.

HOWARD COUNTY SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: (a) 3 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, (b) 7 days as to all other disturbed or graded areas on the project site.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
Total Area of Site: 10.0 Acres
Area Disturbed: 1.70 Acres
Area to be roofed or paved: 6.67 Acres
Area to be vegetatively stabilized: 3.33 Acres
Total Cut: 2,202 Cu. Yds.
Total Fill: 0 Cu. Yds.
Offsite waste/borrow are location: N/A
- Any sediment control practice that is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized by the end of each workday, whichever is shorter.
- Any changes or revisions to the sequence of construction must be reviewed and approved by the plan approval authority prior to proceeding with construction.
- A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority. Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.

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christopher consultants
engineering · surveying · land planning
9900 main street (fourth floor) · Fairfax, VA 22031-9907
703.273.6820 · fax: 703.273.7636



9/27/13

AS-BUILT
EROSION AND SEDIMENT
CONTROL NOTES
AND DETAILS

A. DUIE PYLE FACILITY
"PARCEL B"
7070 BROOKDALE DRIVE
HOWARD COUNTY, MD
1ST ELECTION DISTRICT

PROJECT NO: 13042.001.00
SCALE: N/A
DATE: 5/29/13
DESIGN: EG
DRAWN: DS
CHECKED: DG
SHEET No.

6 of 7

