

**HOWARD COUNTY MONUMENTS**  
 N# 2337001 - Elev 496.095, 3/4 Reinforcing  
 Roof, 0.8' Below Surface  
 N 49612.385, E 819527.789  
 N# 2437003 - Elev 471.122, Concrete Mon,  
 0.25 Below Surface  
 N 494285.23, E 820385.343

**VICINITY MAP**  
 Scale: 1" = 2000'

**LEGEND**

- Contour Interval: 2 FT
- Existing Contour: (dashed line)
- Proposed Contour: (solid line)
- Spot Elevation: +10.2
- Direction of Drainage: (arrow)
- Walk out Basement: (hatched area)
- Trees to be Saved: (tree symbol)
- Tree Protection Fence: (line with 'X' marks)
- Minimum Cellar Elevation: MCE

**GENERAL NOTES:**

- Subject property is zoned: NT per 10-18-93 Comprehensive Zoning Plan.
- The total area included in this submission is: 67,488 sq ft or 1.55 Ac.
- The total number of lots included in this submission are: 8
- Improvement to property: Single family detached
- The maximum lot coverage permitted is: 30%
- Department of Planning and Zoning reference file numbers are: S-91-03, P-94-01, F-94-108, C-34-3356-D, FDP 200 Part IV
- Utilities shown as existing are taken from approved water and sewer plan Contract # C-34-3356-D, approved road construction plans F-94-108, and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Storm water management is provided per: F-94-108
- All roadways are public and existing.
- The existing topography shown was taken from field run topography by Clark - FineFrock & Sackett, Inc. on 12-22-94.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2437003 and 2337001.
- The contractor shall notify the Department of Public Works / Division of Construction Inspection at (410) 313-1800 at least twenty-four (24) hours prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Under certain conditions, decks and porches may only extend 3 feet into front and rear setbacks. Bay Windows and Chimneys may extend more than 10 feet in width may project no more than 4 feet into building setbacks, as shown in RUP Phase 209, Part II.
- SHC elevations shown are located at the property line. No clearing grading or construction is permitted within the Wetland or Stream Buffering except as determined by the Dept. of Planning and Zoning in accordance with Section 16.116(c) of the Subdivision and Land Development Regulations.
- For driveway entrance details refer to Ho Co Design Manual Volume II Sfd Detail K6.03.

**SPECIAL NOTES:**

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see Approved Road Construction Plans F-94-108 and/or approved Water and Sewer Plans Contract # 94-3356-W5.

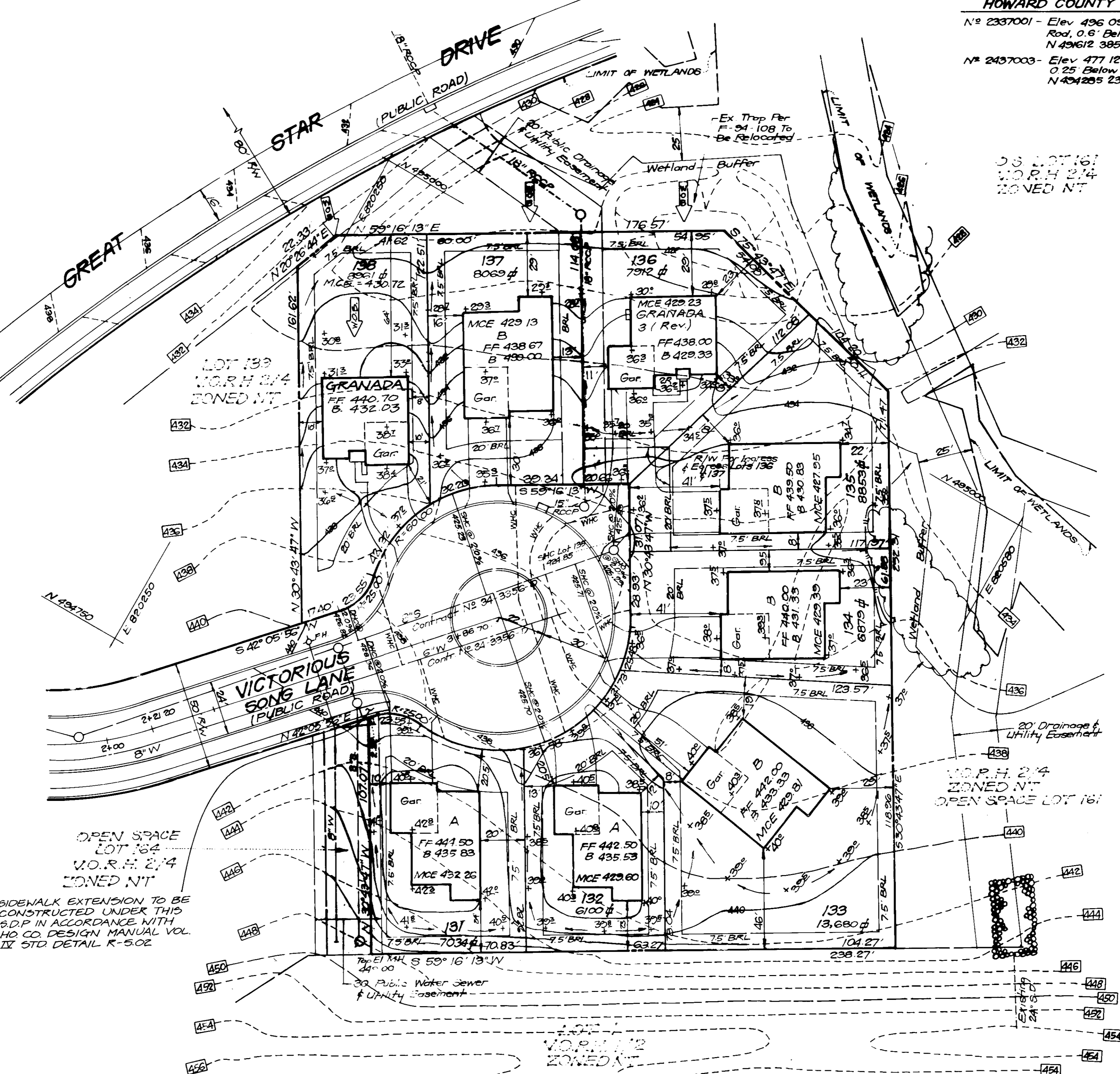
**SHEET INDEX**

Site Development Plan - Sheet 1  
 Sediment Erosion Control Plan - Sheets 2 & 3

SUBDIVISION NAME: COLUMBIA VILLAGE OF RIVER HILL		SECTION/AREA: 2/4	LOTS/PARCELS: 131-138
PLAT NO: 11471	BLOCK NO: NT	TAX MAP NO: 35	ELECTION DIST: 5TH
WATER CODE: I-11		SEWER CODE: 6650000	

**ADDRESS CHART**

LOT NO	STREET ADDRESS
131	6320 Victorious Song Lane
132	6324
133	6328
134	6332
135	6327
136	6323
137	6319
138	6315



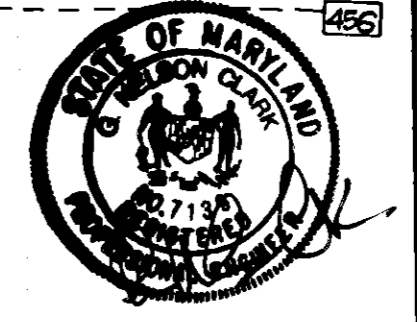
NOTE: SIDEWALK EXTENSION TO BE CONSTRUCTED UNDER THIS S.D.P. IN ACCORDANCE WITH HO CO. DESIGN MANUAL VOL. IX STD DETAIL R-5.02

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Director: [Signature] DATE: 4/7/95  
 Chief Division of Land Development and Research: [Signature] DATE: 4/16/95  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 Director: [Signature] DATE: 3/31/95  
 Chief Bureau of Engineering: [Signature] DATE: 3/29/95

REVISIONS

4	Rev. hse figrd lot 136, Add hse typical	7-26-96
3	Moves hse forward 13' lot 138	2-11-95
2	Rev. hse figrd lot 138, Add hse typ	7-4-95
1	Rev. per Ho Co. Comment Letter 3-13-95	3-14-95

OWNER/DEVELOPER  
 HOWARD RESEARCH AND DEVELOPMENT CORP  
 10275 Little Patuxent Parkway  
 Columbia, Maryland 21044



**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO. • (301) 621-8100 - WASH.

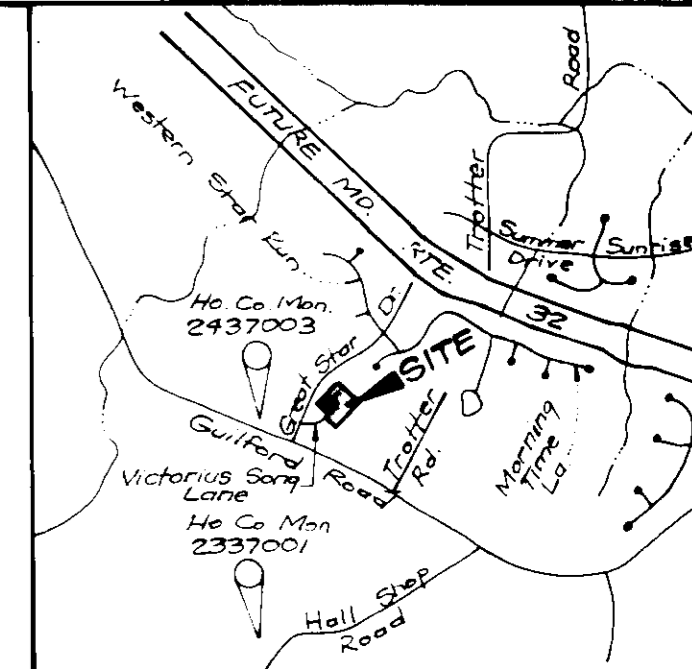
DESIGNED: JME  
 DRAWN: BAL  
 CHECKED: [Signature]  
 DATE: 3-17-95

**SITE DEVELOPMENT PLAN**  
 LOTS 131 THRU 138  
 COLUMBIA VILLAGE OF RIVER HILL  
 SECTION 2 AREA 4  
 5TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

For: ALLAN HOMES, INC.  
 10260 Old Columbia Road  
 Columbia, Maryland 21046

SCALE: 1" = 30'  
 DRAWING: 1 OF 3  
 JOB NO.: 94-227  
 FILE NO.: 94-227-X

SDP 95-64



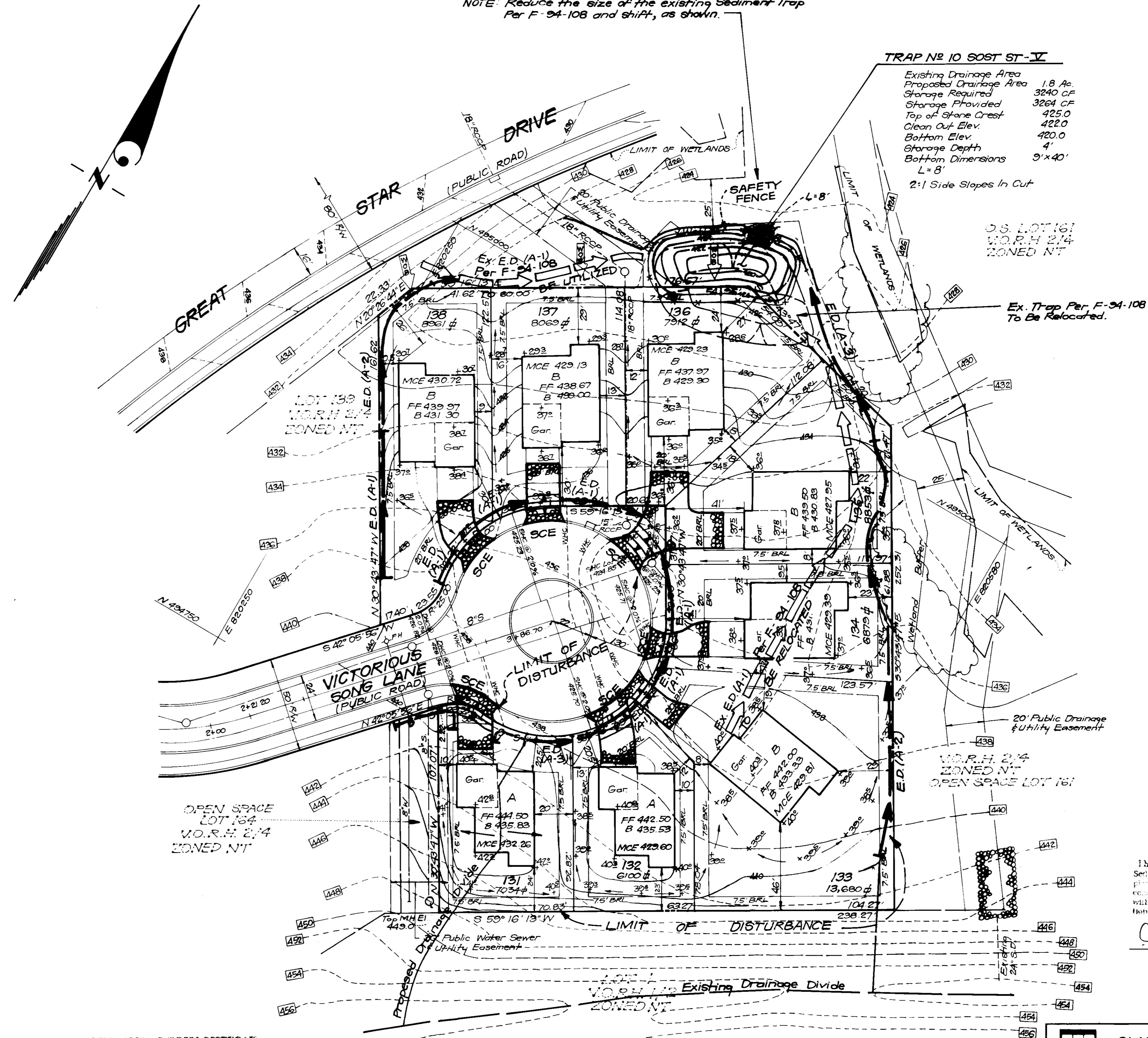
NOTE: Reduce the size of the existing Sediment Trap Per F-94-108 and shift, as shown.

**TRAP NO 10 SOST ST-V**

Existing Drainage Area	1.8 Ac
Proposed Drainage Area	3240 CF
Storage Required	3264 CF
Storage Provided	425.0
Top of Stone Crest	422.0
Clean Out Elev.	420.0
Bottom Elev.	4
Storage Depth	9'x40'
Bottom Dimensions	L = 8'
2:1 Side Slopes In Cut	

**LEGEND**

Contour Interval	2 FT
Existing Contour	---(10)---
Proposed Contour	---410---
Spot Elevation	+10.2
Direction of Drainage	→
Walk out Basement	→
Trees to be Saved	🌳
Tree Protection Fence	
Earth Dike (Proposed)	→
Earth Dike (Existing)	→
Stabilized Construction Entrance	⊥ SCE
Slit Fence	—S—S—S—



Reviewed for Howard S.C.D.  
 Name: *Patricia Egan*  
 Signature: *Patricia Egan* Date: 3/21/95  
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John P. Robinson* 3/27/95  
 Approved Date

**DEVELOPER'S/BUILDERS CERTIFICATE**

"We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible construction workers in the construction project will have a Certificate of Awareness for the protection of the environment Approved Training Program for the purpose of sediment control, to be undertaken beginning the project. I also authorize the use of the Howard Soil Conservation District of the Howard County Department of Planning and Research."

*C. Allan Waschock* 1-23-95  
 C. Allan Waschock

**ENGINEER'S CERTIFICATE**  
 I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan for the control and management of the site and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
*G. Nelson Clark* 1-23-95  
 G. NELSON CLARK Date

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*James J. Smith* 4/2/95  
 DIRECTOR DATE  
*Anna J. Jarmann* 4/7/95  
 DIVISION OF LAND DEVELOPMENT T.C. DATE  
 4/6/95

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*James H. Jarmann* 3/31/95  
 DIRECTOR DATE  
*Charles E. Jarmann* 3/29/95  
 CHIEF BUREAU OF ENGINEERING DATE

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED	ZAL	<b>SEDIMENT &amp; EROSION CONTROL PLAN</b> LOTS 131 THRU 138 COLUMBIA <b>VILLAGE OF RIVER HILL</b> SECTION 2 AREA 4 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE	1" = 30'
DRAWN	BAL		DRAWING	2 OF 3
CHECKED	pmu		JOB NO.	94-227
DATE	3-17-95		FILE NO.	94-2279E
For: ALLAN HOMES, INC. 10260 Old Columbia Road Columbia, Maryland 21046				

**OWNER / DEVELOPER**  
 HOWARD RESEARCH AND DEVELOPMENT CORP  
 10275 Little Patuxent Parkway  
 Columbia, Maryland 21044

SDP 95-64

**SEDIMENT AND EROSION CONTROL NOTES**

**PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:  
 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) before seeding, and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.  
 Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft.)  
 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs/1000 sq ft.) before seeding.  
 Harrow or disc into upper three inches of soil.

**SEEDING:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 6000 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) seed with 90 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 4 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

**MAINTENANCE:** Inspect all seeded areas and make needed repairs, replacements and reseatings.

**TEMPORARY SEEDING NOTES**

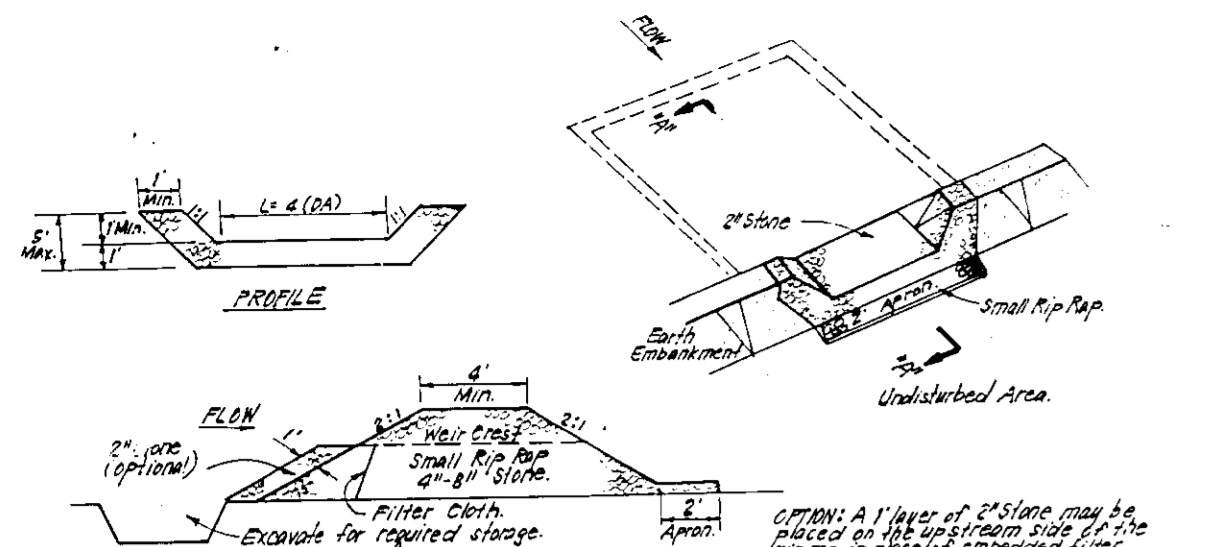
**SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

**SEEDING:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

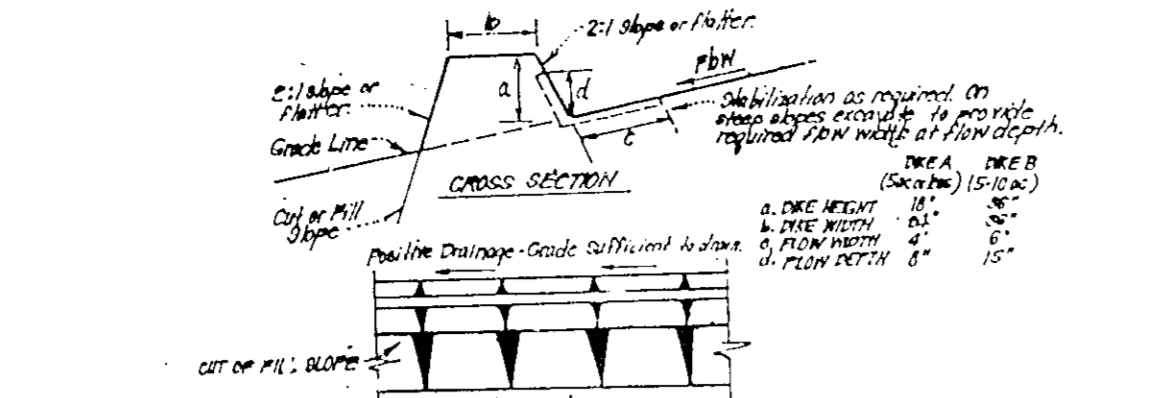
**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.



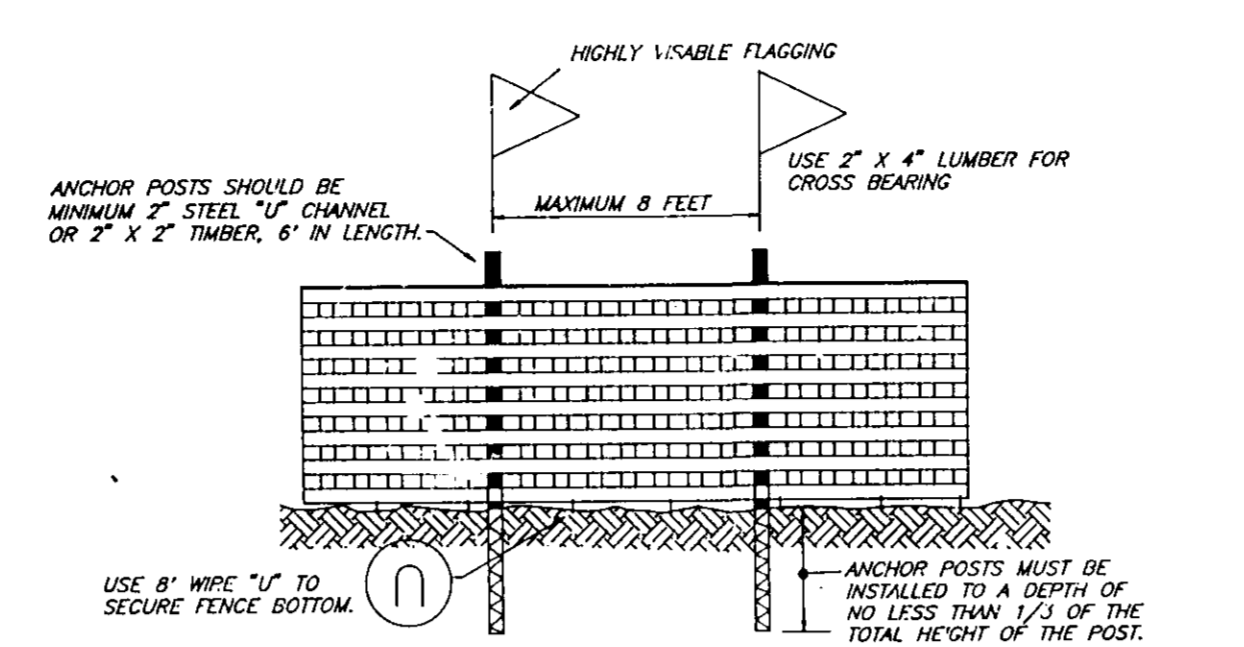
**CONSTRUCTION SPECIFICATIONS:**  
 1. Any water embankment shall be cleared, graded and stripped of any vegetation and root mat. The stone shall be placed on a prepared subgrade.  
 2. The fill material for the embankment shall be free of roots and other woody vegetation as well as any steel wires, rocks, stones, material or other obstructions. The embankment shall be compacted by hand or machine with a minimum of 10% compaction.  
 3. The stone used in the outlet shall be small rip rap 4" to 6" in size with a thickness of 2" aggregate placed on the rip rap side to the wall to top of embankment. The rip rap shall be placed in the outlet to the top of the embankment and the rip rap shall be placed in the outlet to the top of the embankment and the rip rap shall be placed in the outlet to the top of the embankment.  
 4. The structure shall be constructed in the original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.  
 5. The structure shall be inspected after each rain in such a manner that erosion and water pollution is minimized.  
 6. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

**STONE OUTLET SEDIMENT TRAP (S.O.S.T.) STV**  
 NO SCALE



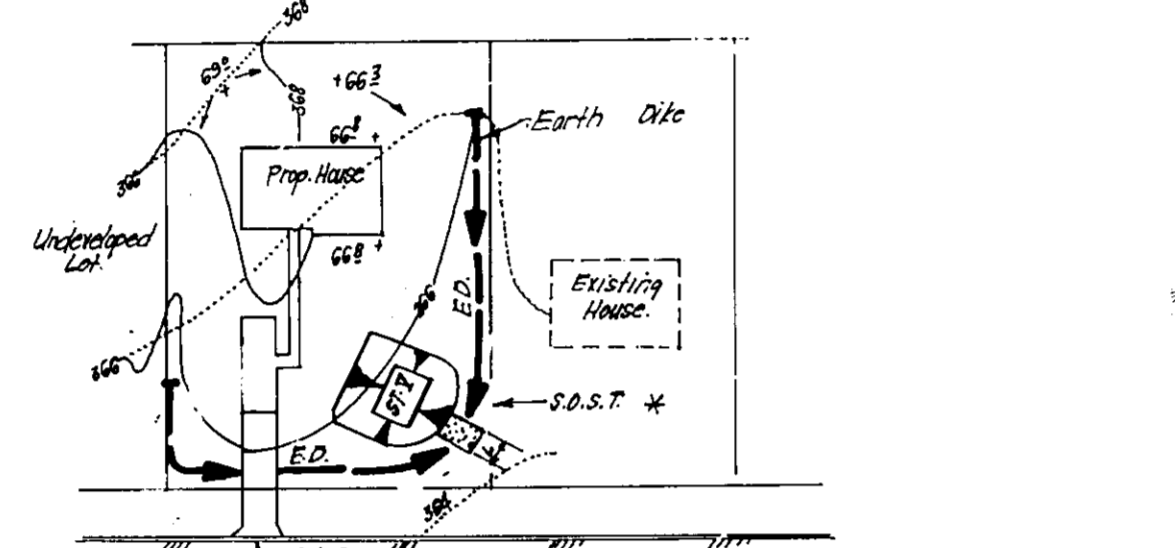
**CONSTRUCTION SPECIFICATIONS:**  
 1. All ditches shall be constructed by earth-moving equipment.  
 2. All ditches shall have adequate drainage to an outlet.  
 3. The width may be wider and outlet slopes may be flatter if desired to facilitate drainage.  
 4. The structure shall be constructed with a minimum of 10% compaction.  
 5. Earth ditches shall have an outlet that functions with a minimum of 10% compaction.  
 6. The structure shall be inspected after each rain in such a manner that erosion and water pollution is minimized.  
 7. Periodic inspection and required maintenance shall be provided after each rain.

**FLOW CHANNEL STABILIZATION**  
**EARTH DIKE DETAIL (E.D.)**  
 NO SCALE



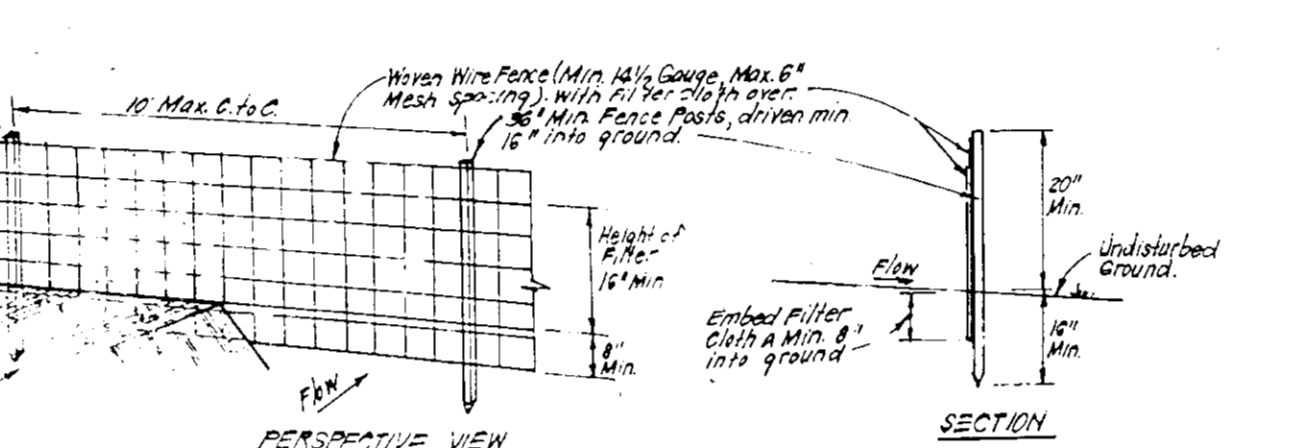
**BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL**  
 NO SCALE

**NOTES:**  
 1. Forest protection device only.  
 2. Retention area will be set as part of the review process.  
 3. Boundaries of retention area should be staked and flagged prior to installing fence.  
 4. Root damage should be avoided.  
 5. Protection signage may also be used.  
 6. Device should be maintained throughout construction.



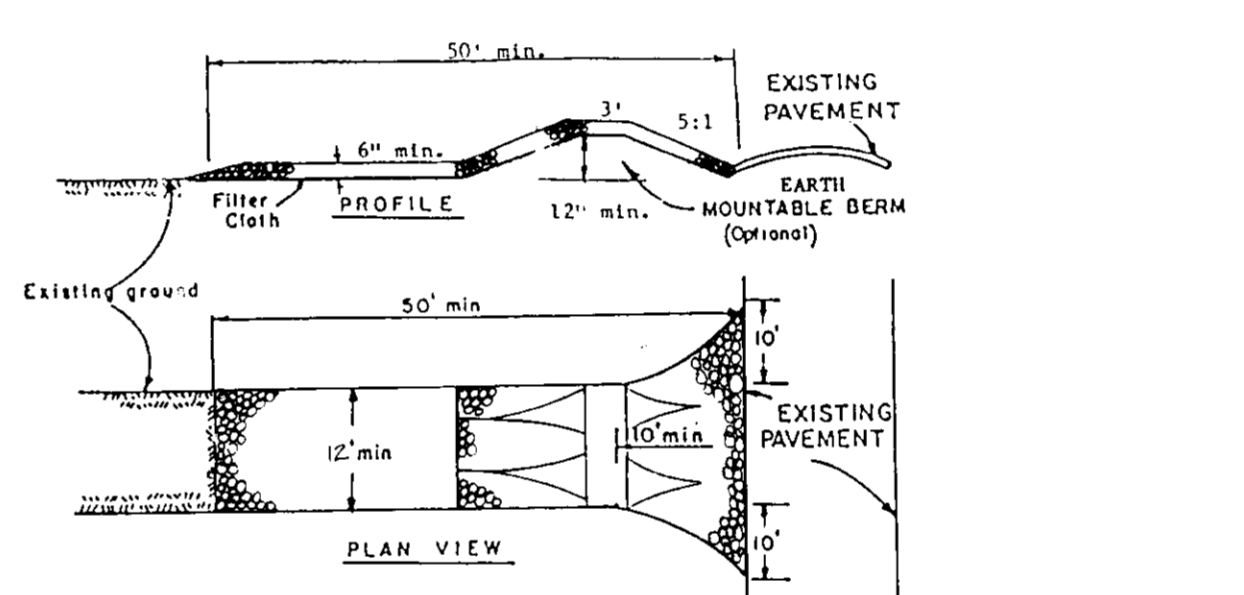
**CONSTRUCTION SPECIFICATIONS:**  
 1. Stone size - Use 1" stone, or reclaimed or recycled concrete equivalent.  
 2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).  
 3. Thickness - Not less than six (6) inches.  
 4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.  
 5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.  
 6. Surface Water - All surface water flowing or diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a mountable beam with 5:1 slopes will be permitted.  
 7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment applied, dropped, washed or tracked onto public rights-of-way must be removed immediately.  
 8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trap or device.  
 9. Periodic inspection and needed maintenance shall be provided after each rain.

**SINGLE LOT SEDIMENT CONTROL PLAN**  
 NO SCALE



**CONSTRUCTION SPECIFICATIONS:**  
 1. Silt fence to be fabricated securely to fence posts.  
 2. Posts to be spaced 10 feet apart.  
 3. Posts to be 2" diameter, 10' high, 4" x 4" in cross-section.  
 4. Posts to be 2" diameter, 10' high, 4" x 4" in cross-section.  
 5. Posts to be 2" diameter, 10' high, 4" x 4" in cross-section.

**SILT FENCE DETAIL (S)**  
 NO SCALE



**STABILIZED CONSTRUCTION ENTRANCE (SCE)**  
 No Scale

**CONSTRUCTION SEQUENCE:**

NO.	DESCRIPTION	NO. OF DAYS
1	Obtain grading permit	7
2	Install tree protection fence	7
3	Install sediment and erosion control devices and stabilize	14
4	Excavate for foundations, rough grade and temporarily stabilize	30
5	Construct structures, sidewalks and driveways	60
6	Final grade and stabilize in accordance with Stds. and Specs.	14
7	Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize	7

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permitting prior to the start of any construction (919-1665).  
 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.  
 3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within a 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, 14 days as to all other disturbed or graded areas on the project site.  
 4. All sediment traps/basins must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.  
 5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization with straw alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.  
 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.  
 7. **SITE ANALYSIS:**  
 Total Area of Site: 155 Ac  
 Area Disturbed: 1.8 Ac  
 Area to be roofed or paved: 0.3 Ac  
 Area to be vegetatively stabilized: 0.3 Ac  
 Total Cut: 255 cu yd  
 Total Fill: 274 cu yd  
 8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.  
 9. Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector. Approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.  
 10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.  
 11. All pipes to be blocked at the end of each day (see detail this sheet).  
 12. The total amount of silt fence = 78 LF  
 \* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Director: [Signature] DATE: 4/7/95  
 Chief Division of Land Development and Research: [Signature] DATE: 4/7/95  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 Director: [Signature] DATE: 3/31/95  
 Chief Bureau of Engineering: [Signature] DATE: 3/29/95

Revised for: HOWARD S.C.D.  
 and meets Technical Requirements  
 [Signature] DATE: 3/27/95  
 US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 [Signature] DATE: 3/27/95  
 Approved

DEVELOPER'S/BUILDER'S CERTIFICATE  
 I/We certify that all development and construction will be done according to the plan of development and construction plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.  
 [Signature] DATE: 1-23-95  
 G. Allan Waschack

ENGINEER'S CERTIFICATE  
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 [Signature] DATE: 1-23-95  
 G. Nelson Clark



**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINTREL WAY • COLUMBIA, MD 21045 • (301) 881-7510 • BALTO • (301) 671-8100 • WASH

DESIGNED	ZAL	SCALE	As Shown
DRAWN	BAL	DRAWING	3 OF 3
CHECKED	jmc	JOB NO.	04-227
DATE	3-17-95	FILE NO.	04-227-95

For: ALLAN HOMES, INC.  
 10260 Old Columbia Road  
 Columbia, Maryland 21046  
**SDP 95-6A**