

SHEET INDEX	
No.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING, SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP
4	PROFILES AND DETAILS
5	LANDSCAPE PLAN

# SITE DEVELOPMENT PLAN

# GUILFORD COURTS

## 6th ELECTION DISTRICT

## HOWARD COUNTY, MARYLAND

### BENCHMARK DESCRIPTIONS

**BENCH MARK #1**  
 N 540,529.6731 E 1,362,460.4960 ELEV. 286.500  
 20' WEST OF ROUTE 32 OPPOSITE OF CARROLL HEIGHTS AVE.

**BENCH MARK #2**  
 N 542,107.8222 E 1,362,386.032 ELEV. 302.2215  
 93' SOUTH OF STORM DRAIN BETWEEN I-95 RAMP AND  
 ROUTE 32

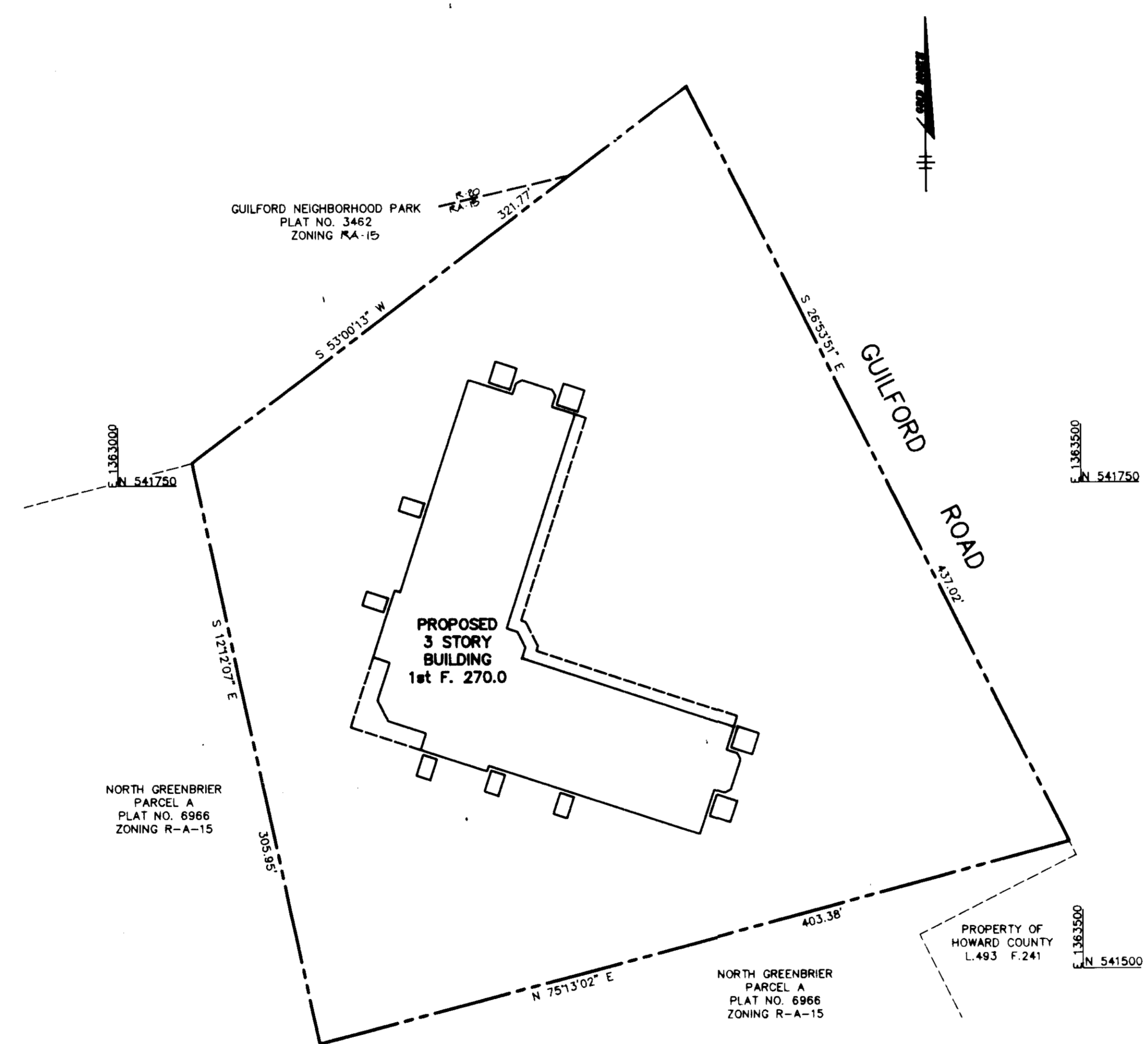


### VICINITY MAP

SCALE: 1"=2000'  
 Copyright ADC The Map People  
 Permitted Use No. 20894285

### GENERAL NOTES

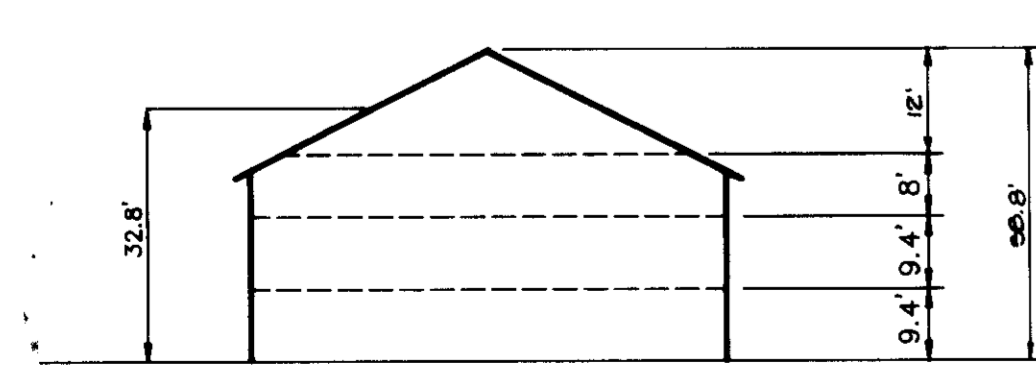
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS M.S.A. STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST (PIT EXISTING UTILITIES AT LEAST (3) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:  
 MISS UTILITY 1-800-257-7777  
 COM TELEPHONE COMPANY 720-9878  
 HOWARD COUNTY BUREAU OF UTILITIES 313-4800  
 AT&T CABLE LOCATION DIVISION 383-3333  
 BALTIMORE GAS & ELECTRIC COMPANY 685-0123  
 STATE HIGHWAY ADMINISTRATION 531-5533
- TRAFFIC CONTROL DEVICES, WARNINGS AND SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- TOPO TAKEN FROM FIELD RUN SURVEY DATED OCT. 1994 BY REMER MUEGGE AND ASSOCIATES, INC. CONTOURS SHOWN AT 2 FOOT INTERVAL.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL 02.01 (TRENCH IN ROCK OR TRENCH IN LEATH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL, PRACTICES, STORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORMWATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- THE PAVEMENT DETAILS SHOWN ON THESE PLANS REFLECT THE HOWARD COUNTY MINIMUM STANDARD PAVEMENT SECTIONS AND ARE NOT BASED ON SITE SPECIFIC CONDITIONS. PRIOR TO PAVING, THE FINAL PAVEMENT SECTIONS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER BASED ON IN-SITU TESTING OF THE FINISHED SUBGRADE. ANY PAVEMENT SECTION DETERMINED BY THE GEOTECHNICAL ENGINEER THAT IS LESS THAN THE HOWARD COUNTY MINIMUM STANDARD, SHALL FIRST BE APPROVED BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. THE TESTING AND GEOTECHNICAL ENGINEER SHALL BE FURNISHED BY THE OWNER.
- STORMWATER MANAGEMENT QUANTITY AND QUALITY CONTROL FOR THIS DEVELOPMENT IS PROVIDED UNDER SDP-87-143. AN EROSION EASEMENT TO ALLOW GRADING INTO AND USE OF CURBLES SHALL BE IN PLACE ON PARCELS A & B.
- ALL ELEVATIONS SHOWN ARE BASED ON U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- UNLESS NOTED ON THE PLAN, ALL STORM DRAIN PIPE IS TO BE BASE BID AS ADVANCED DRAINAGE SYSTEMS, INC. IN-2 POLYETHYLENE PIPE. AN ALTERNATIVE BID WILL BE FOR CLASS IV REINFORCED CONCRETE PIPE.
- WATER METER IS TO BE LOCATED INSIDE THE BUILDING.
- AA 84-15 ADJUSTED THE ZONING LINE TO DESIGNATE THE ENTIRE 3.0 ACRES PARCEL R-A-15 ZONING. THE DECISION AND ORDER WAS SIGNED ON JULY 28, 1994.
- BA 84-32E IS A SPECIAL EXCEPTION REQUEST TO ALLOW HOUSING FOR THE ELDERLY IN THE R-A-15 DISTRICT. THE DECISION AND ORDER WAS SIGNED ON OCTOBER 15, 1994.
- AA-80-06 - ADMINISTRATIVE ADJUSTMENT TO REDUCE THE REQUIRED MINIMUM OVERLAP SETBACK FROM A MINIMAL 4' TO 2' FROM 100' TO 50' TO CONSIDER AN ADJUSTMENT BUILDING FOR THE ELDERLY. THE DECISION AND ORDER WAS SIGNED ON FEBRUARY 19, 1999.



**PLAN**  
 SCALE: 1"=50'

Site Tabulation	
Existing Zoning:	R-A-15
Previous File Numbers:	AA 94-15, BA 94-32E, 20F 27-145, F. 241
Proposed Use:	Apartment Building for Elderly
Gross Area:	3.0 Ac.
Steep Slopes (to be graded out during construction):	0.0 Ac.
100-Year Floodplain:	0.0 Ac.
Net Area:	3.0 Ac.
Proposed No. of Units (20 DU/Net Acre)*:	60 DU
Units Permitted:	60 CU
Lot Coverage Permitted (50%):	65,340 SF
Lot Coverage Proposed (17%):	21,750 SF
Proposed Total Floor Area (3-Story Building):	48,000 SF
Parking Required (2 spaces per 5 DU):	24 spaces
Parking Provided (Incl. 2 Handicap spaces):	42 spaces
Required Landscape Area (50%):	1.5Ac or 65,540 SF
Provided Landscape Area (65%):	1.0Ac or 42,744 SF

\* PER SECTION 151 N. 20 F (C) OF THE ZONING REGULATIONS



**TYPICAL BUILDING ELEVATION**  
 NO SCALE

ADDRESS CHART	
PARCEL	STREET ADDRESS
B	9950 GUILFORD ROAD

PLAT #	BLOCK #	ZONING	TAX MAP NO.	ELECT. DIST.	CORNER TRACT
6966	23	RA15	42	6	6069.01

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
*James G. Chew* 6/13/95  
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
*Quinn Swannaway* 6/13/95  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: BUREAU OF ENGINEERING  
*James G. Chew* 6/13/95  
 DIRECTOR DATE

DATE	NO.	REVISION

OWNER	DEVELOPER
HOWARD COUNTY HOUSING COMMISSION 6751 COLUMBIA GATEWAY DRIVE 3rd FLOOR COLUMBIA, MARYLAND 21046 410-313-6320	BOZZUTO AND ASSOCIATES 6401 GOLDEN TRIANGLE DRIVE SUITE 200 GREENBELT, MARYLAND 20770-3203 301-220-0100

PROJECT
GUILFORD COURTS APARTMENT BUILDING

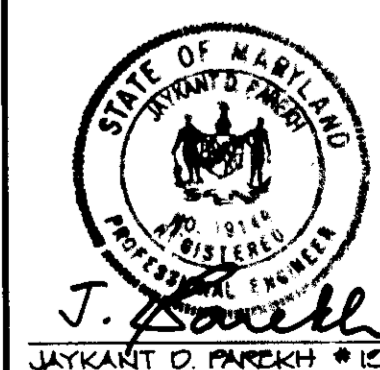
AREA	TAX MAP	PLAT NO.	PARCEL
6th ELECTION DISTRICT, NORTH GREENBRIER, HOWARD COUNTY, MARYLAND	42	6966	B

TITLE
TITLE SHEET

**RIEMER MUEGGE & ASSOCIATES, INC.**  
 Planners • Engineers • Surveyors  
 8818 Centre Park Drive • Suite 200 • Columbia, MD 21046  
 410-997-8800 FAX: 410-997-9282

5.15.95  
 DATE

DESIGNED BY: C.J.R.  
 DRAWN BY: DAM  
 PROJECT NO: 92704  
 DATE: MAY 20, 1995  
 SCALE: AS SHOWN  
 DRAWING NO. 1 OF 2



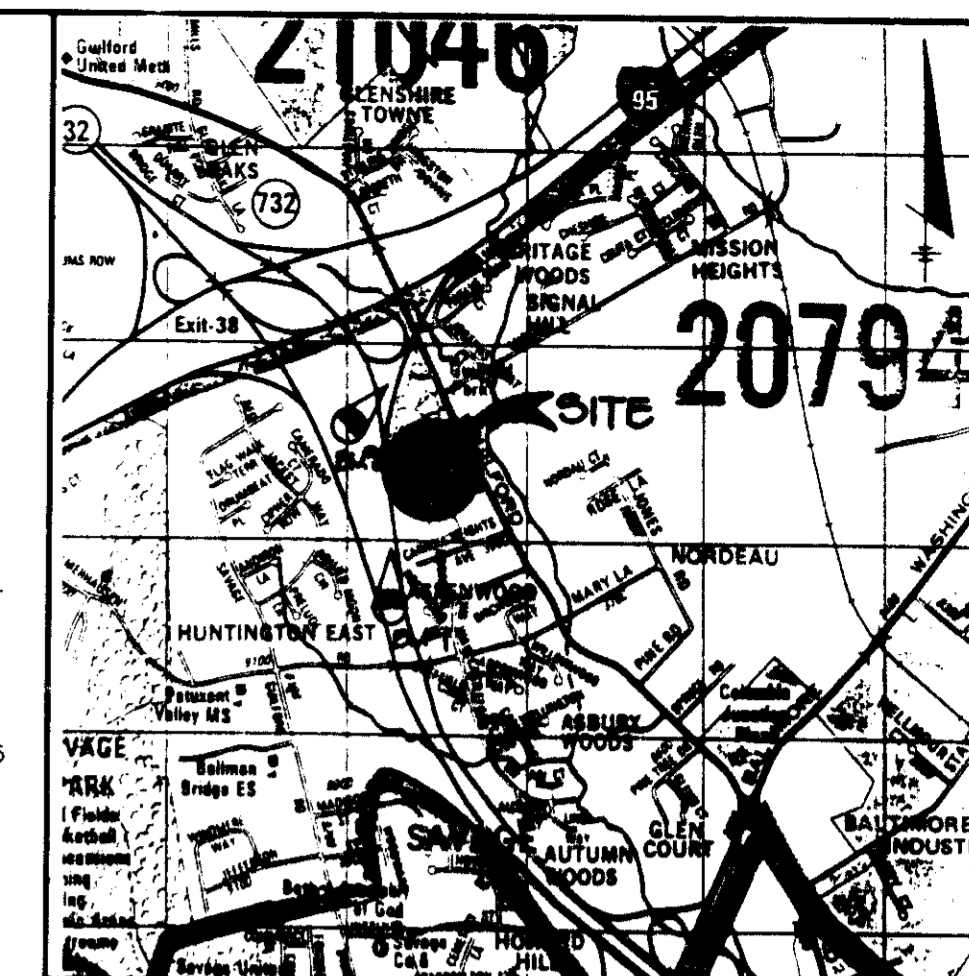
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# SITE DEVELOPMENT PLAN

# GUILFORD COURTS

## 6th ELECTION DISTRICT

## HOWARD COUNTY, MARYLAND



### BENCHMARK DESCRIPTIONS

**BENCH MARK #1**  
 N 540,529.6731 E 1,362,460.4960 ELEV. 286.500  
 20' WEST OF ROUTE 32 OPPOSITE OF CARROLL HEIGHTS AVE.

**BENCH MARK #2**  
 N 542,107.8222 E 1,362,386.032 ELEV. 302.2215  
 93' SOUTH OF STORM DRAIN BETWEEN I-95 RAMP AND ROUTE 32

### VICINITY MAP

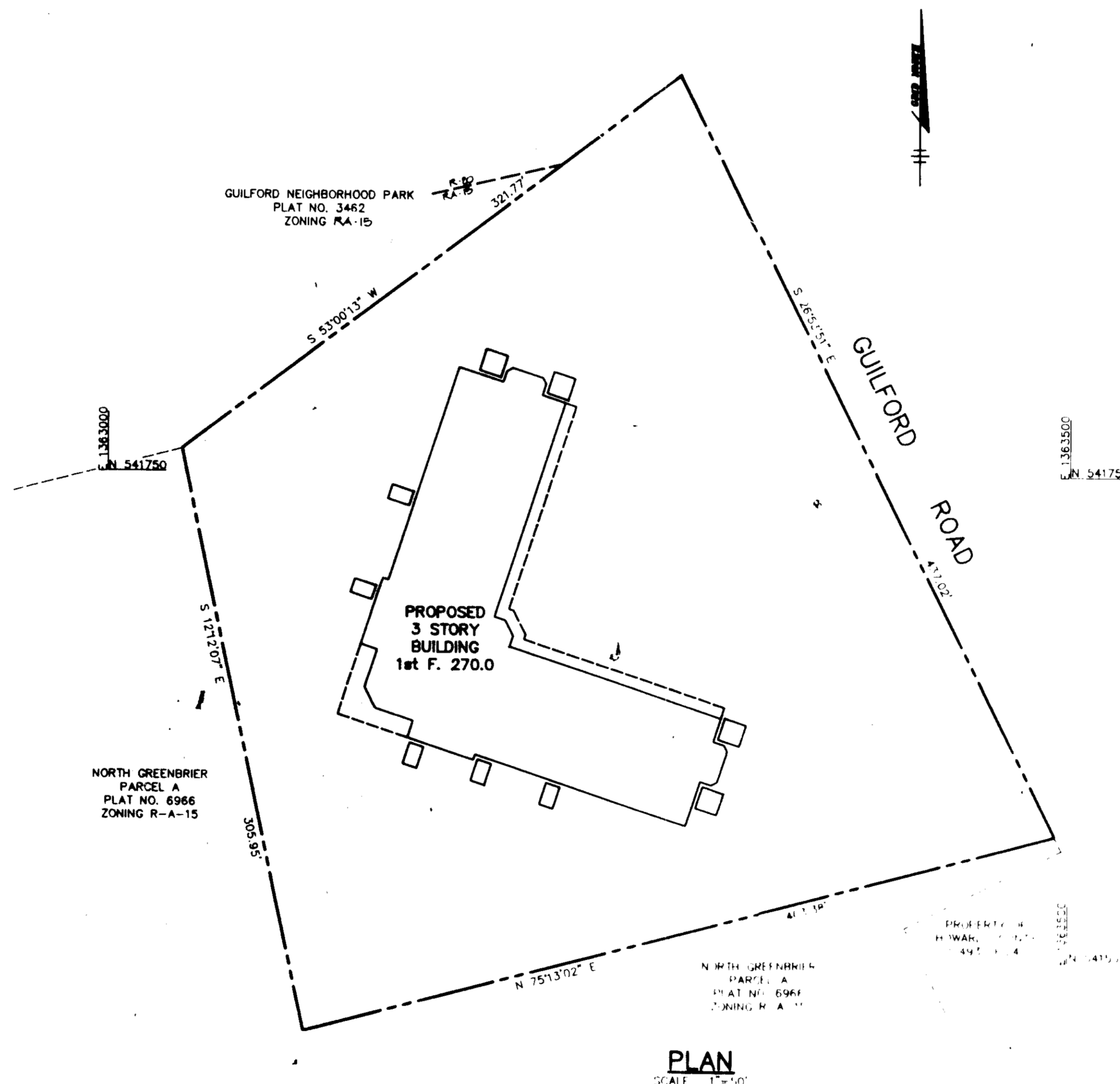
SCALE: 1"=2000'

Copyright ADC The Map People  
 Permitted Use No. 20894285

### GENERAL NOTES

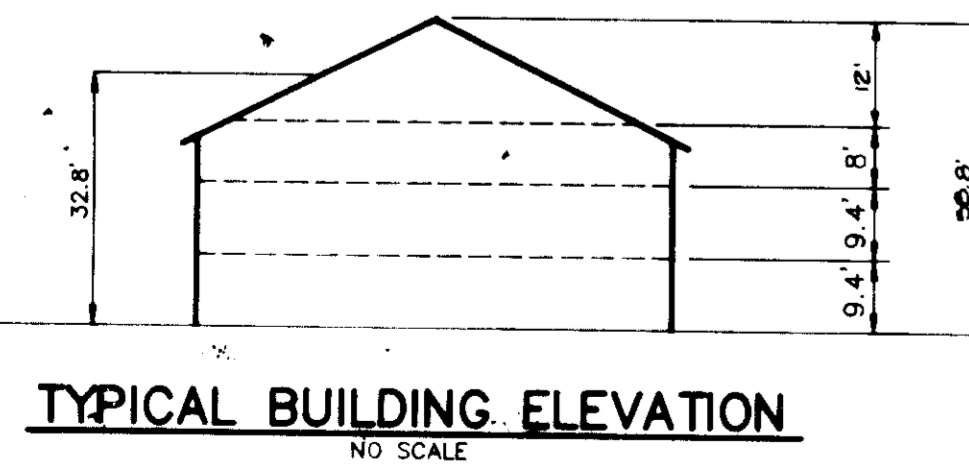
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 48" COVER BELOW FINISHED GRADE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS M.S.A. STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST ALL EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND DEPTH. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATIONS OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 

MUSE UTILITY	1-800-287-7777
OSP TELEPHONE COMPANY	723-9976
HOWARD COUNTY BUREAU OF UTILITIES	313-4800
STATE POWER LOCATION DIVISION	393-3853
BALTIMORE GAS & ELECTRIC COMPANY	685-0123
STATE HIGHWAY ADMINISTRATION	531-5533
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- MANHOLE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE Laid UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SURFACE.
- TOPO DATA FROM FIELD RUN SURVEY DATED OCT. 1984 BY FROBER MUEGGE AND ASSOCIATES, INC. CONTOURS SHOWN AT 2 FOOT INTERVAL.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL C2.01 (FRENCH IN BOX) OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THESE DRAWINGS.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEWAGE AND STORM DRAINAGE SYSTEMS, STORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORMWATER INTO OR ACROSS ADJACENT OR DOMESTIC PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS OF ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- THE PAVEMENT DETAILS SHOWN ON THESE PLANS REFLECT THE HOWARD COUNTY MANUAL STANDARD PAVEMENT SECTIONS AND ARE NOT BASED ON SITE SPECIFIC CONDITIONS. FROM TO PAVING, THE FINAL PAVEMENT SECTIONS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER BASED ON IN-SITU TESTING OF THE FINISHED SUBGRADE. ANY PAVEMENT SECTION DETERMINED BY THE GEOTECHNICAL ENGINEER THAT IS LESS THAN THE HOWARD COUNTY MANUAL STANDARD, SHALL FIRST BE APPROVED BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. THE TESTING AND GEOTECHNICAL ENGINEER SHALL BE FUNDED BY THE OWNER.
- STORMWATER MANAGEMENT QUANTITY AND QUALITY CONTROL FOR THIS DEVELOPMENT IS PROVIDED UNDER SOP-87-143. AN EXISTING EASEMENT TO ALLOW GRADING INTO AND USE OF DRAINAGE ROAD IS IN PLACE ON PARCEL A.
- ALL ELEVATIONS SHOWN ARE BASED ON U.S.C. AND C.S. MEAN SEA LEVEL DATUM, 1929.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CONNECTED AT THE DEVELOPER'S EXPENSE.
- UNLESS NOTED ON THE PLAN, ALL STORM DRAIN PIPE IS TO BE BASED AS ADVANCED DRAINAGE SYSTEMS, INC. M-12 POLYETHYLENE PIPE. AN ALTERNATIVE BID WILL BE FOR CLASS IV REINFORCED CONCRETE PIPE.
- WATER METER IS TO BE LOCATED INSIDE THE BUILDING.
- AA 94-15 ADJUSTED THE ZONING LINE TO DESIGNATE THE ENTIRE 3.0 ACRE PARCEL R-A-15 ZONING. THE DECISION AND ORDER WAS SIGNED ON JULY 26, 1994.
- IN 94-15E IS A SPECIAL EXCEPTION REQUEST TO ALLOW HOUSING FOR THE ELDERLY IN THE R-A-15 DISTRICT. THE DECISION AND ORDER WAS SIGNED ON OCTOBER 16, 1994.
- ALL 94-15E ADMINISTRATIVE ADJUSTMENT TO REVOKE THE RECALLED UNLAWFUL CHANGES FROM A VEHICULAR RECORD FROM 100 FEET TO 50 FEET TO CONSIDER AN APPLICABLE BUILDING FOR THE DISTRICT. THE DECISION AND ORDER WAS SIGNED ON FEBRUARY 6, 1995.



Site Tabulation	
Existing Zoning:	R-A-15
Previous File Numbers	AA 94-15, BA 94-32E, SOP 87-143, F. 8c, 1st
Proposed Use	Apartment Building for Elderly
Gross Area:	3.0 Ac.
Steep Slopes (to be graded out during construction)	0.0 Ac.
100-Year Floodplain:	0.0 Ac.
Net Area:	3.0 Ac.
Proposed No. of Units (20 DU/Net Acre)*	60 DU
Units Permitted	60 DU
Lot Coverage Permitted (60%)	65,340 SF
Lot Coverage Proposed (17%)	21,750 SF
Proposed Total Floor Area (3 Story Building)	48,000 SF
Parking Required (2 spaces per 5 DU)	24 spaces
Parking Provided (Incl. 2 Handicap spaces)	42 spaces
Required Landscape Area (50%)	15Ac or 65500 SF
Provided Landscape Area (65%)	10Ac or 42,750 SF

\* PER SECTION 151 N.D.F.C. OF THE ZONING REGULATIONS



ADDRESS CHART	
PARCEL	STREET ADDRESS
H	9950 GUILFORD ROAD

SECTION	BLK	LOT	PLAT	TRACT	AREA
GUILFORD COURTS, NORTH GREENBRIER				PARCEL B	
6066	03	KA15	42	6069.01	
4400200					

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* 6/15/95  
 DIRECTOR DATE

*[Signature]* 6/15/95  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

*[Signature]* 6/15/95  
 DIRECTOR DATE

*[Signature]* 6/15/95  
 CHIEF, BUREAU OF ENGINEERING DATE

DATE NO.	REVISION
OWNER	DEVELOPER
HOWARD COUNTY HOUSING CORPORATION 6751 COLUMBIA GATEWAY DRIVE 3rd FLOOR COLUMBIA, MARYLAND 21046 410-997-8900	BOZZUTO AND ASSOCIATES 6401 GOLDEN TRIANGLE DRIVE SUITE 200 GREENBELT, MARYLAND 20770-3203 301-220-0100

PROJECT: **GUILFORD COURTS APARTMENT BUILDING**

AREA: TAX MAP 42 PLAT NO. 6966 PARCEL B  
 6th ELECTION DISTRICT, NORTH GREENBRIER  
 HOWARD COUNTY, MARYLAND

TITLE: **TITLE SHEET**

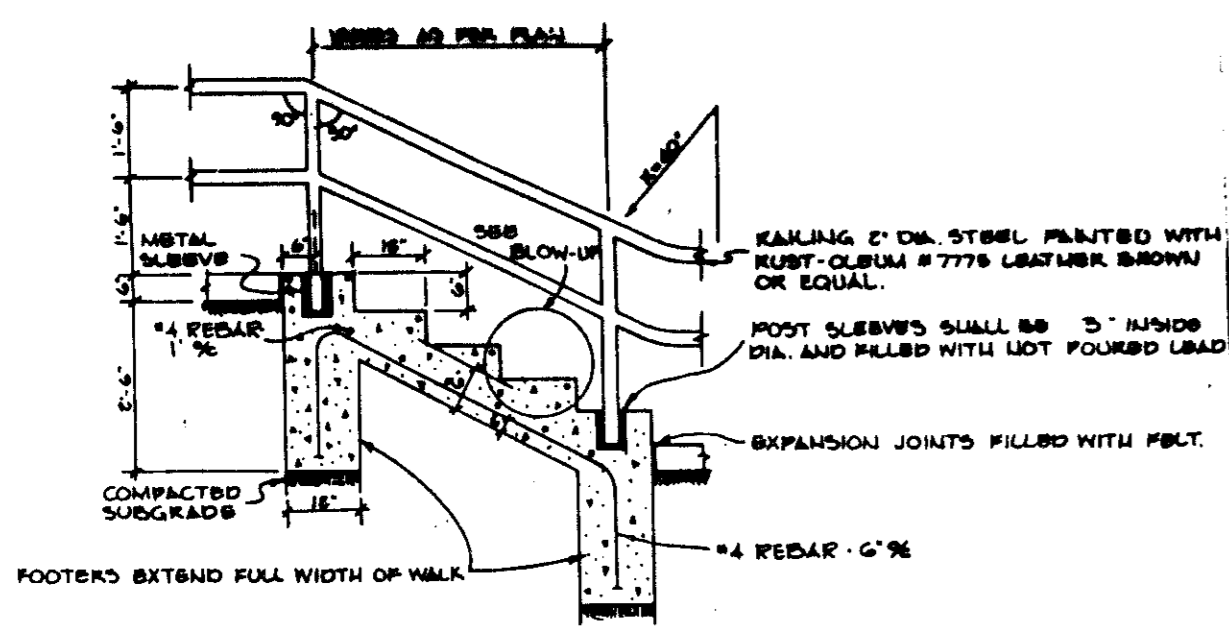
**RIEMER MUEGGE & ASSOCIATES, INC.**  
 Planners • Engineers • Surveyors  
 8818 Centre Park Drive • Suite 200 • Columbia, MD 21046  
 410-997-8900 FAX: 410-997-9282

5.15.95  
 DATE

DESIGNED BY: C.J.R.  
 DRAWN BY: DAM  
 PROJECT NO: 92704  
 DATE: MAY 10, 1995  
 SCALE: AS SHOWN  
 DRAWING NO. 1 OF 5

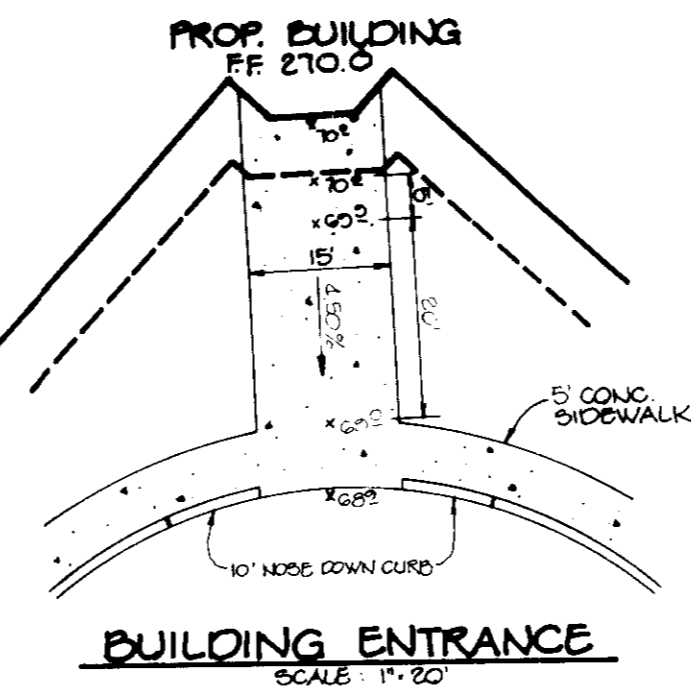
*[Signature]*  
 JAYKANT D. PATEKH #10140

2ND ORIG. SET SOP-95-42

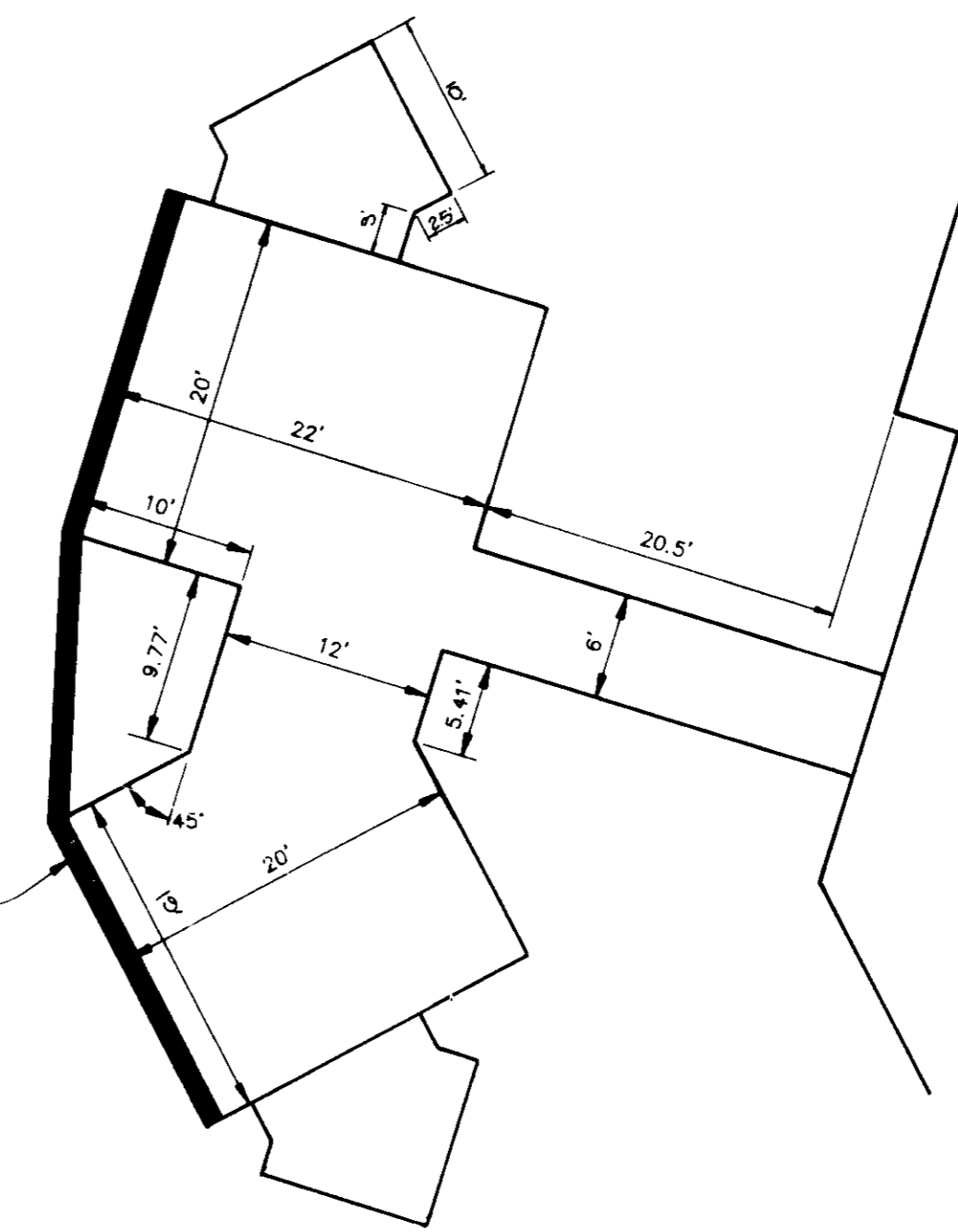


**CONCRETE STAIR AND HANDRAIL DETAIL**  
NO SCALE

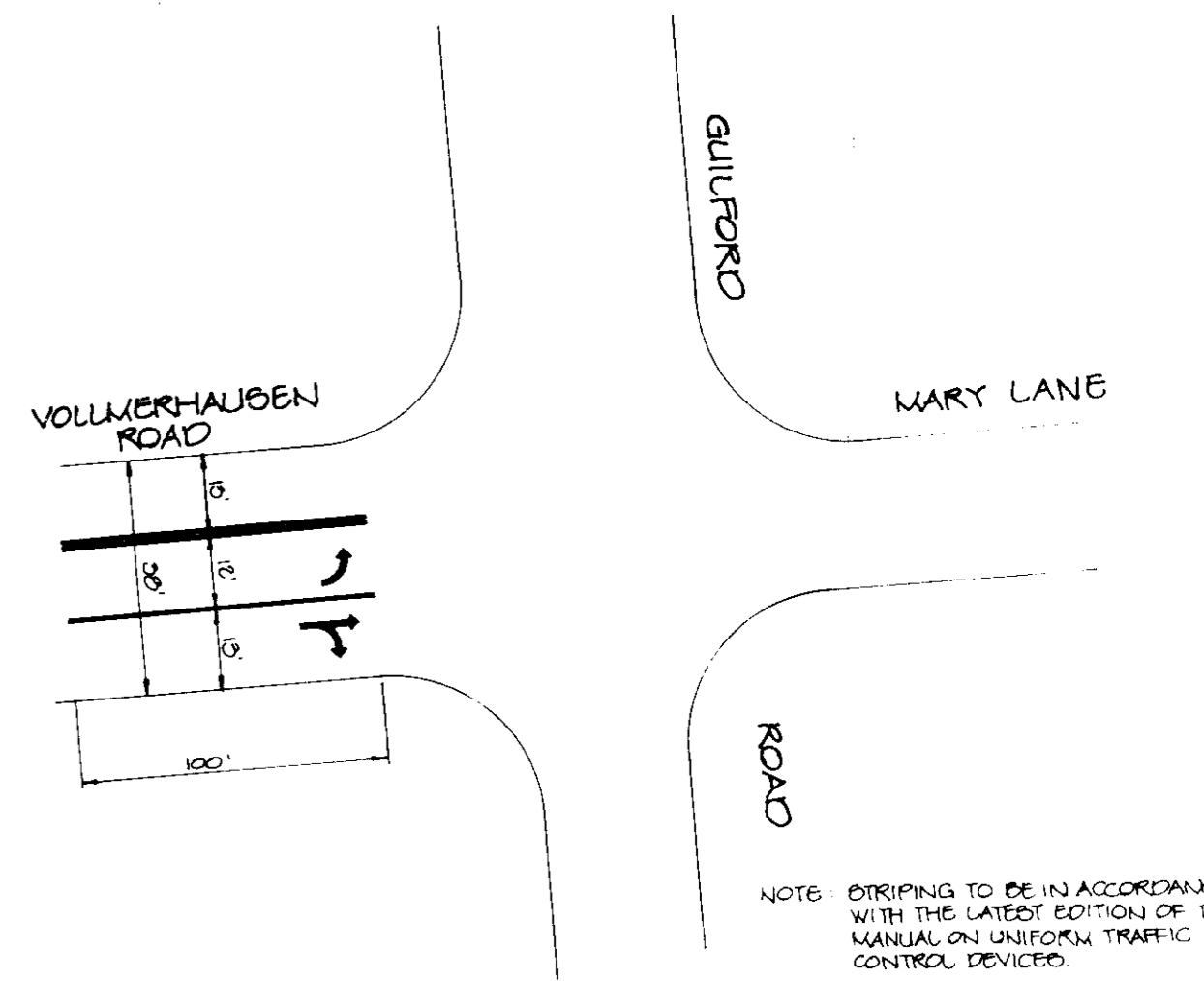
NOTE: RIGHT OF ENTRY TO INOTALL OFF-SITE WALKWAY CONNECTION TO BE OBTAINED FROM HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS.



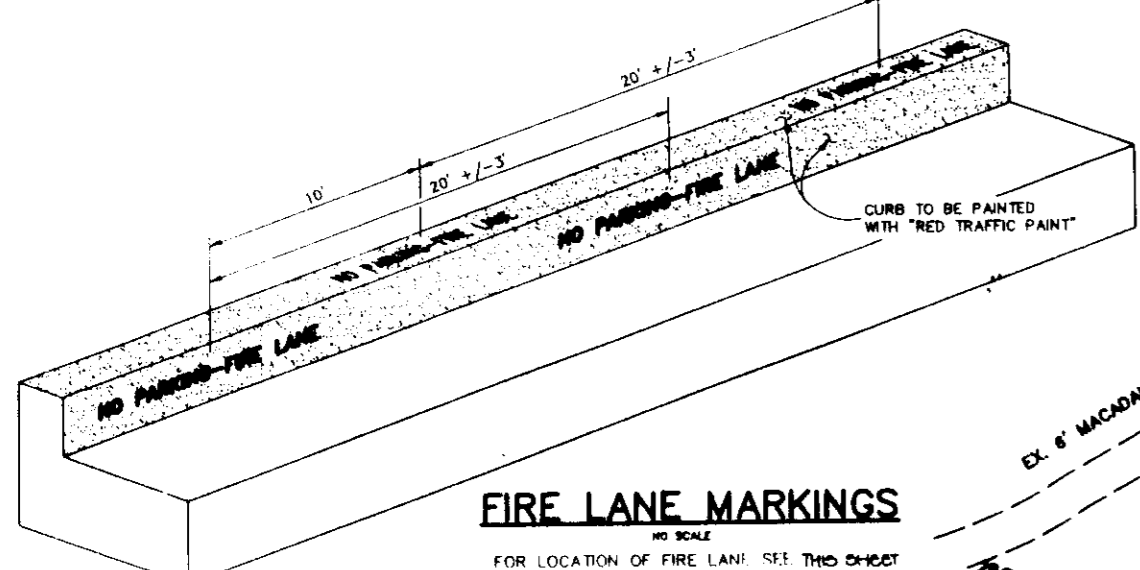
**BUILDING ENTRANCE**  
SCALE: 1"=20'



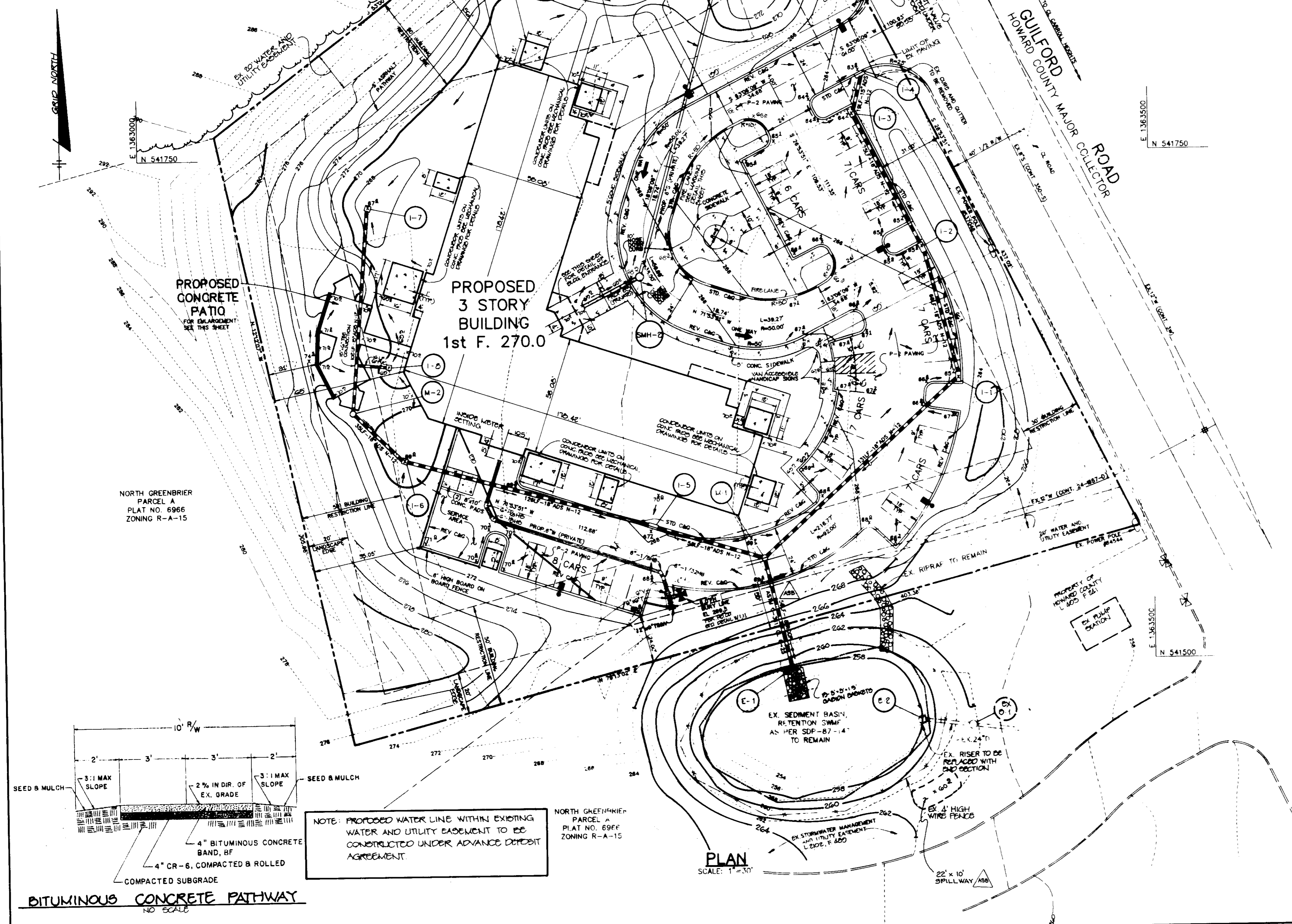
**CONCRETE PATIO PLAN**  
SCALE: 1"=10'



**STRIPING MITIGATION PLAN**  
NO SCALE

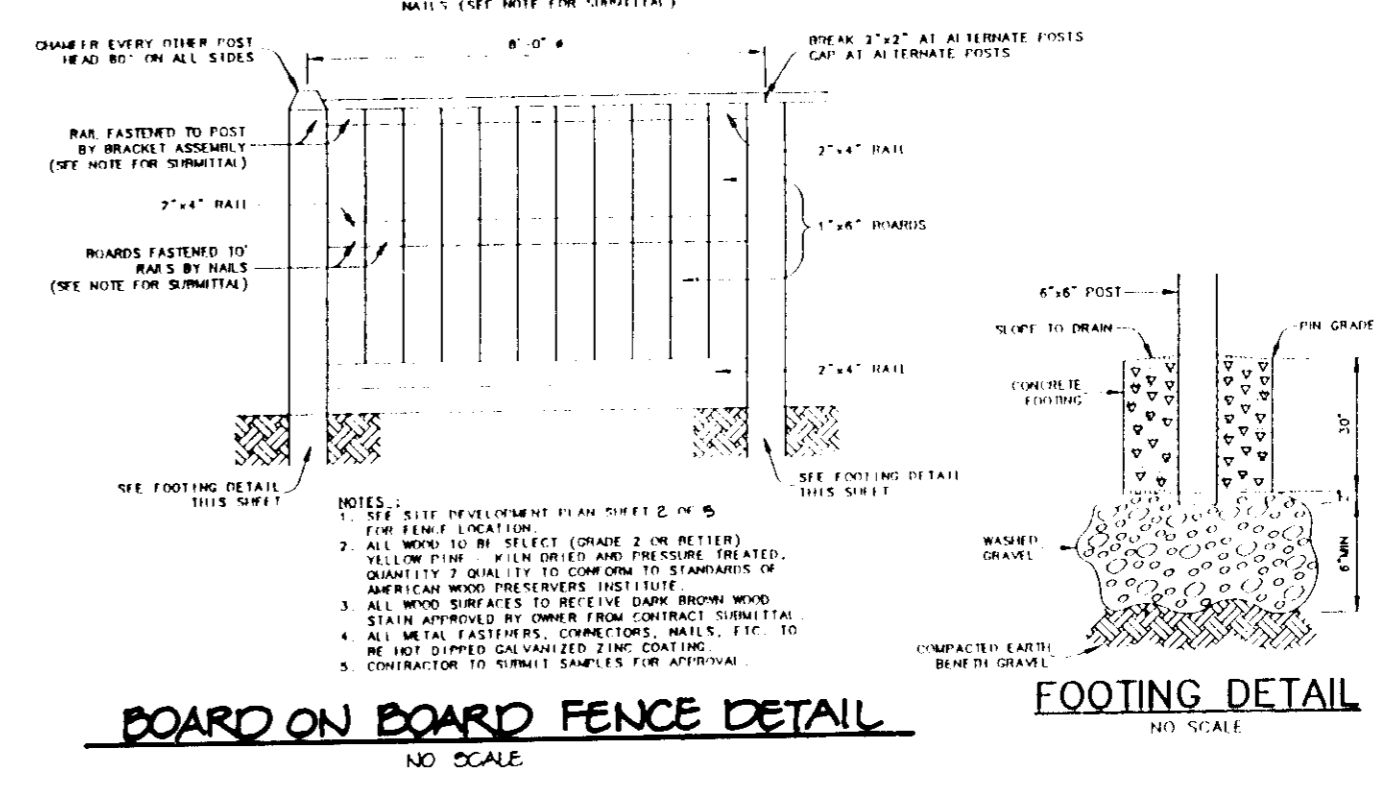


**FIRE LANE MARKINGS**  
NO SCALE



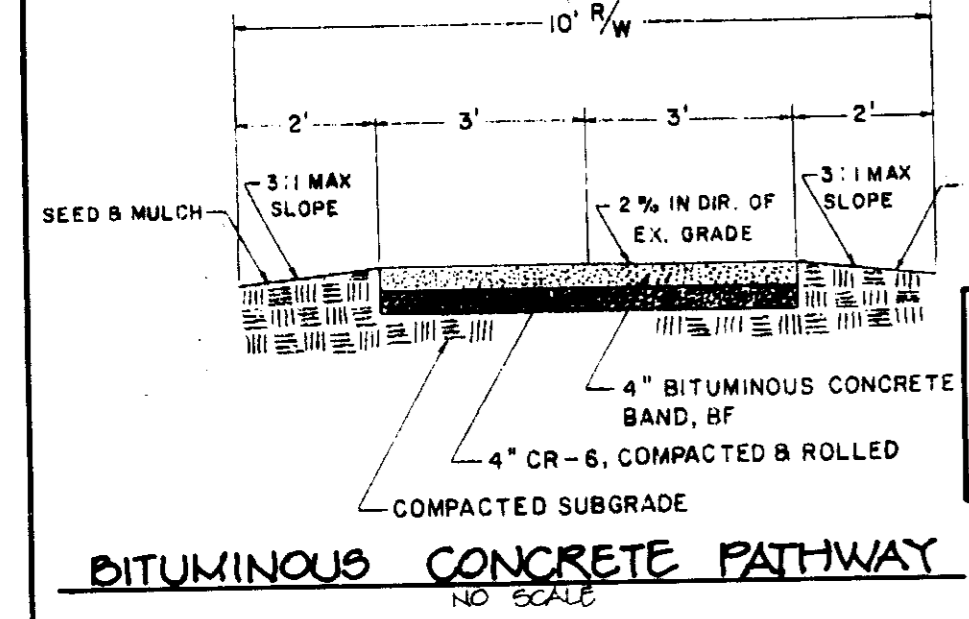
**PLAN**  
SCALE: 1"=30'

- NOTES:
1. THIS PLAN INDICATES CONCEPT LOCATIONS FOR PROJECT LIGHTING. FINAL LIGHTING LOCATIONS AND LIGHTING SOURCES SHALL BE DETERMINED BY A QUALIFIED LIGHTING ENGINEER IN ORDER TO ASSURE COMPLIANCE WITH APPLICABLE LIGHTING STANDARDS AND TO PROVIDE FOR THE SAFETY AND WELFARE OF USERS. SEE ELECTRICAL PLANS FOR FINAL LIGHTING LAYOUT AND LIGHTING SPECIFICATIONS.
  2. ● DENOTES LIGHT POLE 20'-26' IN HEIGHT. LIGHTING TO BE DIRECTED DOWNWARD AND AWAY FROM ADJACENT RESIDENTIAL PROPERTY.
  3. ALL CURB RADI ARE 5' UNLESS OTHERWISE NOTED.
  4. SIDEWALKS ADJACENT TO PARKING ARE 6' WIDE.
  5. ALL ON-SITE STORM DRAINS AND SANITARY SEWER SYSTEMS ARE PRIVATE.
  6. FIRE HYDRANT TO BE SET 3' FROM BACK OF CURB.
  7. PARKING LOT ISLANDS ARE A MINIMUM 12' WIDE.
  8. ALL ON-SITE ROADS ARE TO BE PRIVATE.



**BOARD ON BOARD FENCE DETAIL**  
NO SCALE

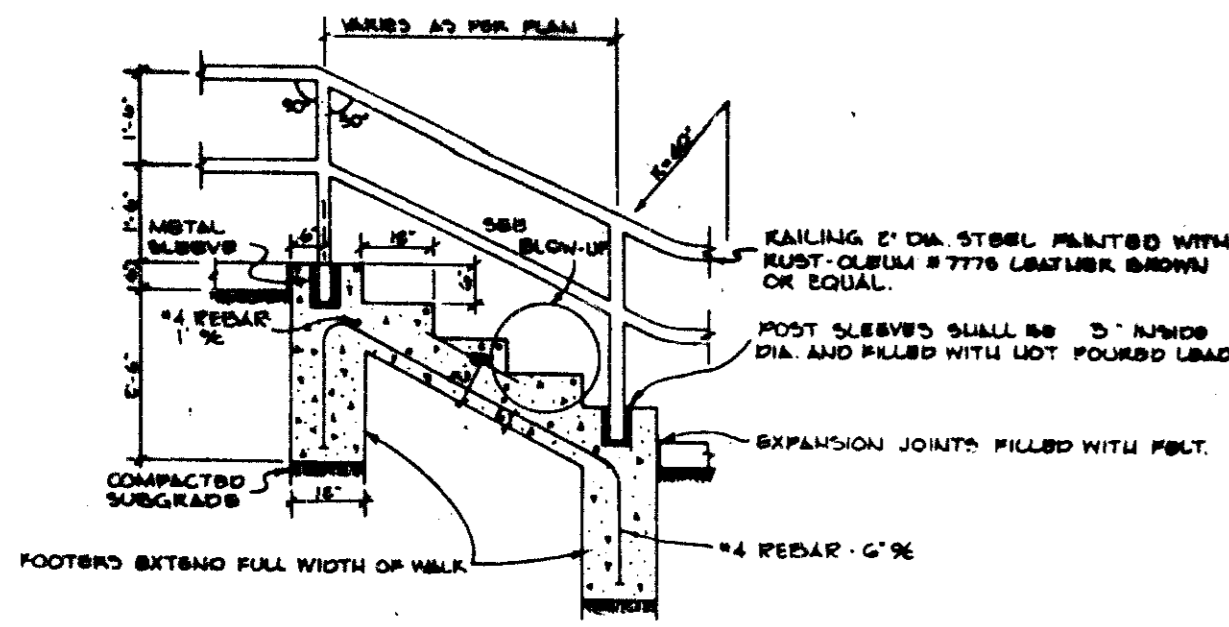
**FOOTING DETAIL**  
NO SCALE



**BITUMINOUS CONCRETE PATHWAY**  
NO SCALE

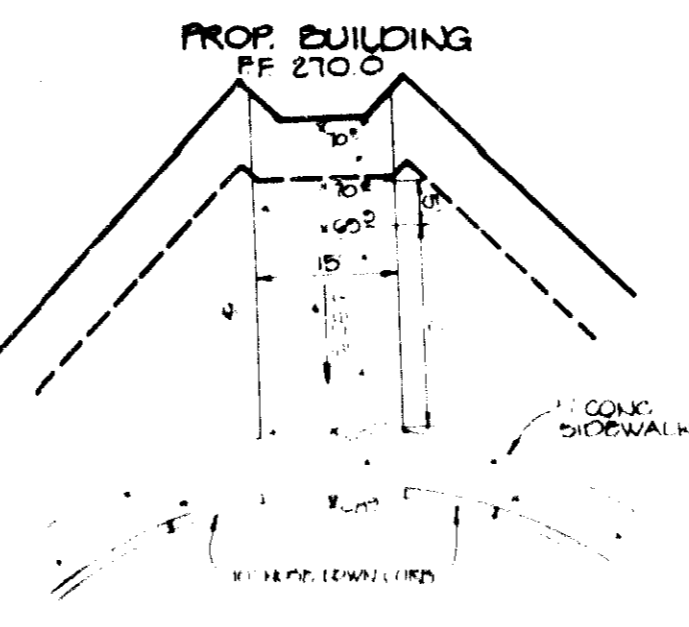
NOTE: PROPOSED WATER LINE WITHIN EXISTING WATER AND UTILITY EASEMENT TO BE CONSTRUCTED UNDER ADVANCE DEPOSIT AGREEMENT.

<b>J. Small</b> 1.29.97 JAYKANT D. PAREKH # 1914B DATE	
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<b>James Smith</b> 6/13/95 DIRECTOR DATE	
<b>Qina Surimany</b> 6/9/95 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE	
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.	
<b>James J. Lee</b> 6/1/95 DIRECTOR DATE	
<b>Robert J. Sporn</b> 6/1/95 CHIEF, BUREAU OF ENGINEERING DATE	
1-14-97 <input checked="" type="checkbox"/> SHOWED "AS-BUILT" MODIFICATIONS TO EX. SEDIMENT BASIN/RETEN. SWAMP @ E-1 & E-2	
<b>OWNER</b> HOWARD COUNTY HOUSING COMMISSION 6751 COLUMBIA GATEWAY DRIVE 3rd FLOOR COLUMBIA, MARYLAND 21046 410-313-6320	
<b>DEVELOPER</b> BOZZUTO AND ASSOCIATES 6401 GOLDEN TRIANGLE DRIVE SUITE 200 GREENBELT, MARYLAND 20770-1203 301-226-0100	
<b>PROJECT</b> GULFORD COURTS APARTMENT BUILDING	
<b>AREA</b> TAX MAP 42 PLAT NO 6966 PARCEL R 6th ELECTION DISTRICT, NORTH GREENBRIER HOWARD COUNTY, MARYLAND	
<b>TITLE</b> SITE DEVELOPMENT PLAN	
<b>RIEMER MUEGGE &amp; ASSOCIATES, INC.</b> Planners • Engineers • Surveyors 8818 Centre Park Drive • Suite 200 • Columbia, MD 21046 410-997-8900 FAX: 410-997-9282	
5.15.95 DATE	
DESIGNED BY: C.J.R.	
DRAWN BY: DAM	
PROJECT NO: 92704	
DATE: MAY 15, 1995	
SCALE: AS SHOWN	
DRAWING NO. ? OF 5	

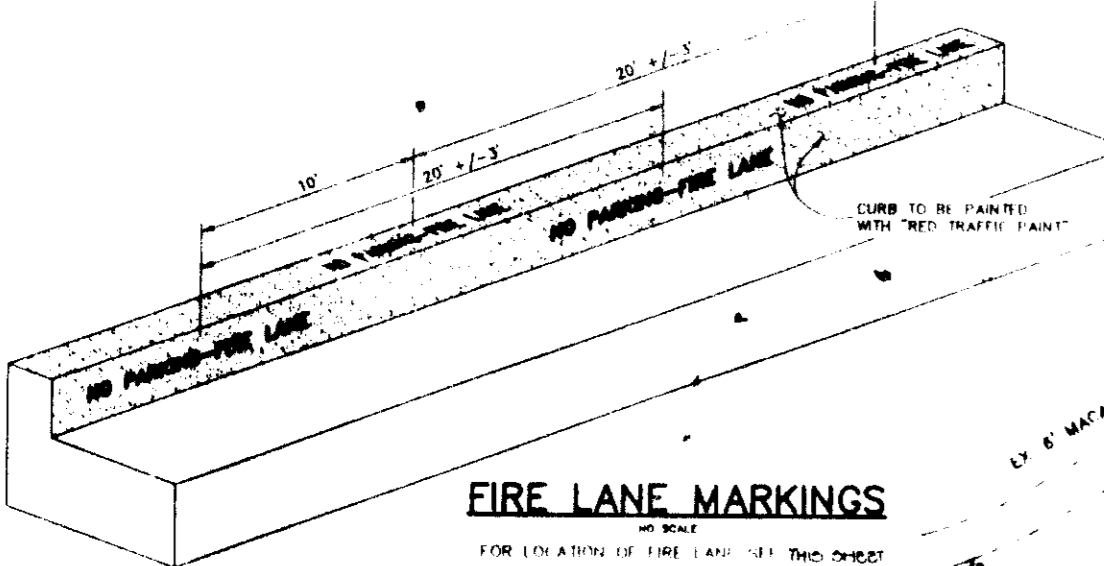


**CONCRETE STAIR AND HANDRAIL DETAIL**  
1/4\"/>

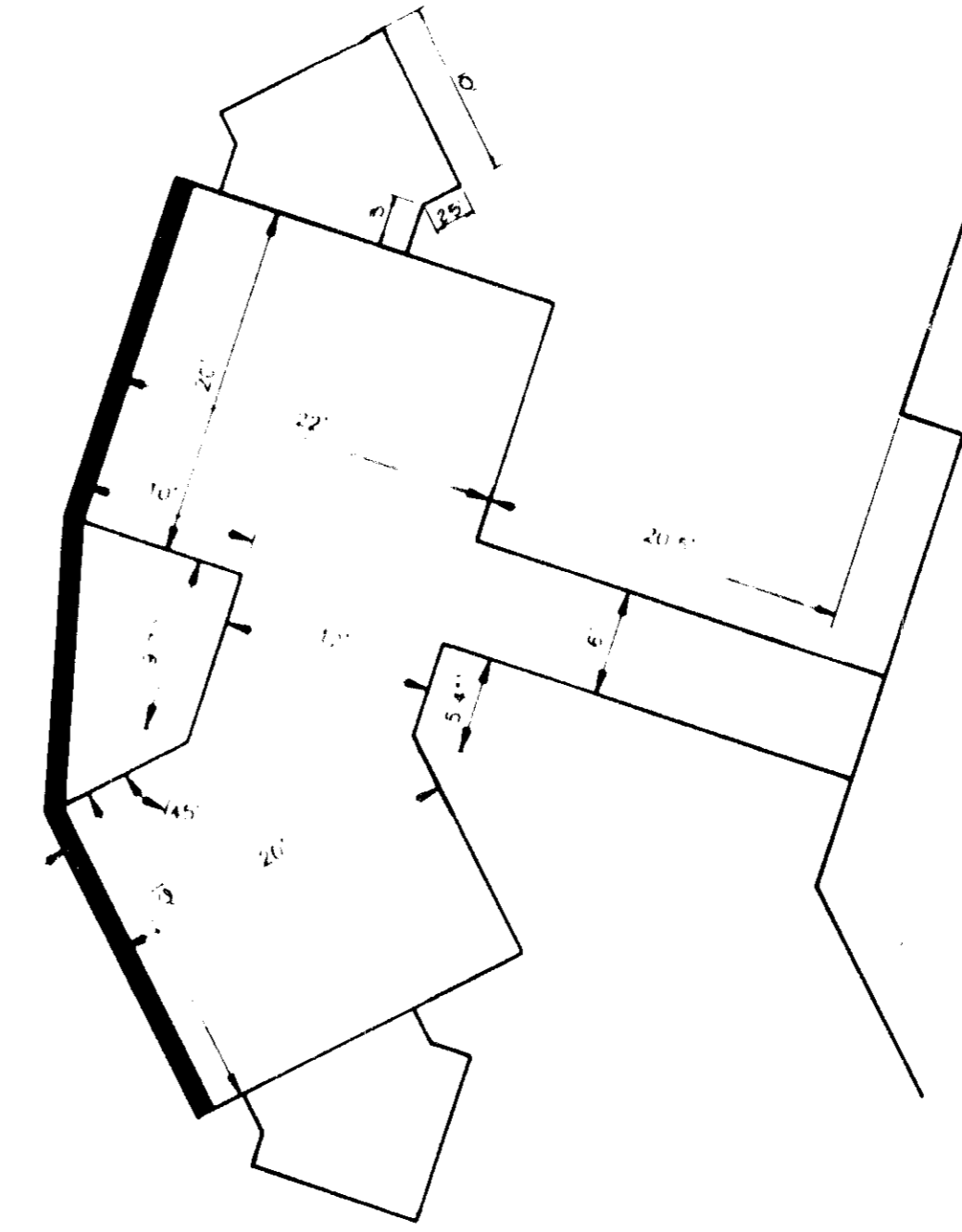
NOTE: RIGHT OF ENTRY TO INSTALL OFF-SITE WALKWAY CONNECTION TO BE OBTAINED FROM HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS.



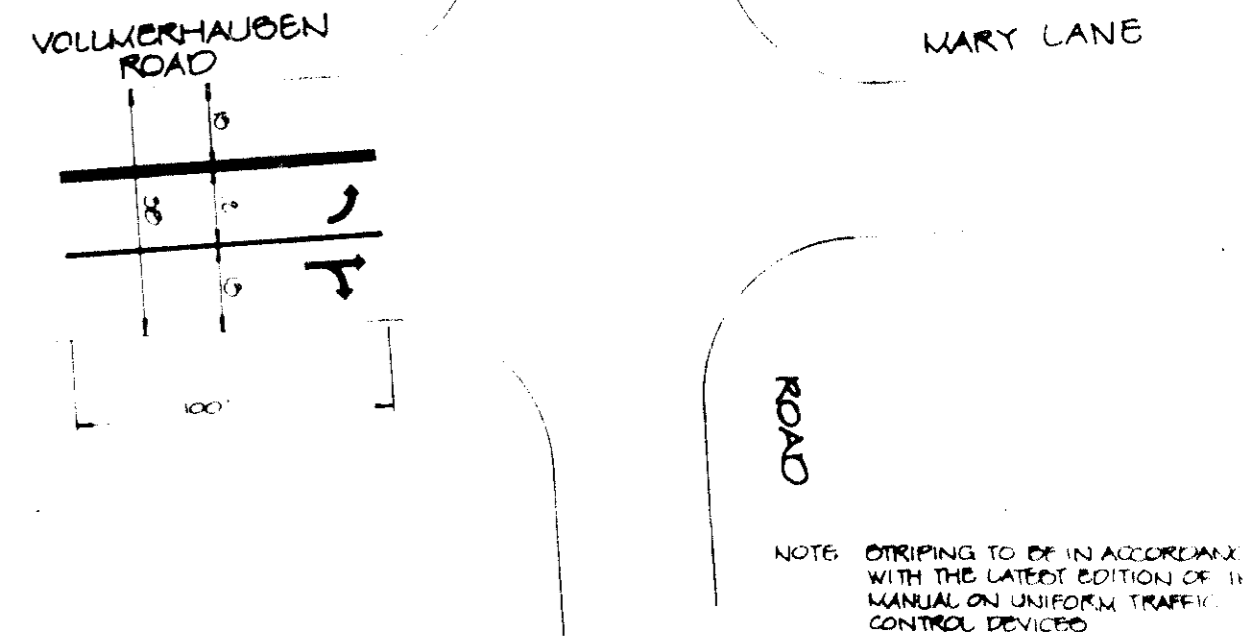
**BUILDING ENTRANCE**  
SCALE: 1\"/>



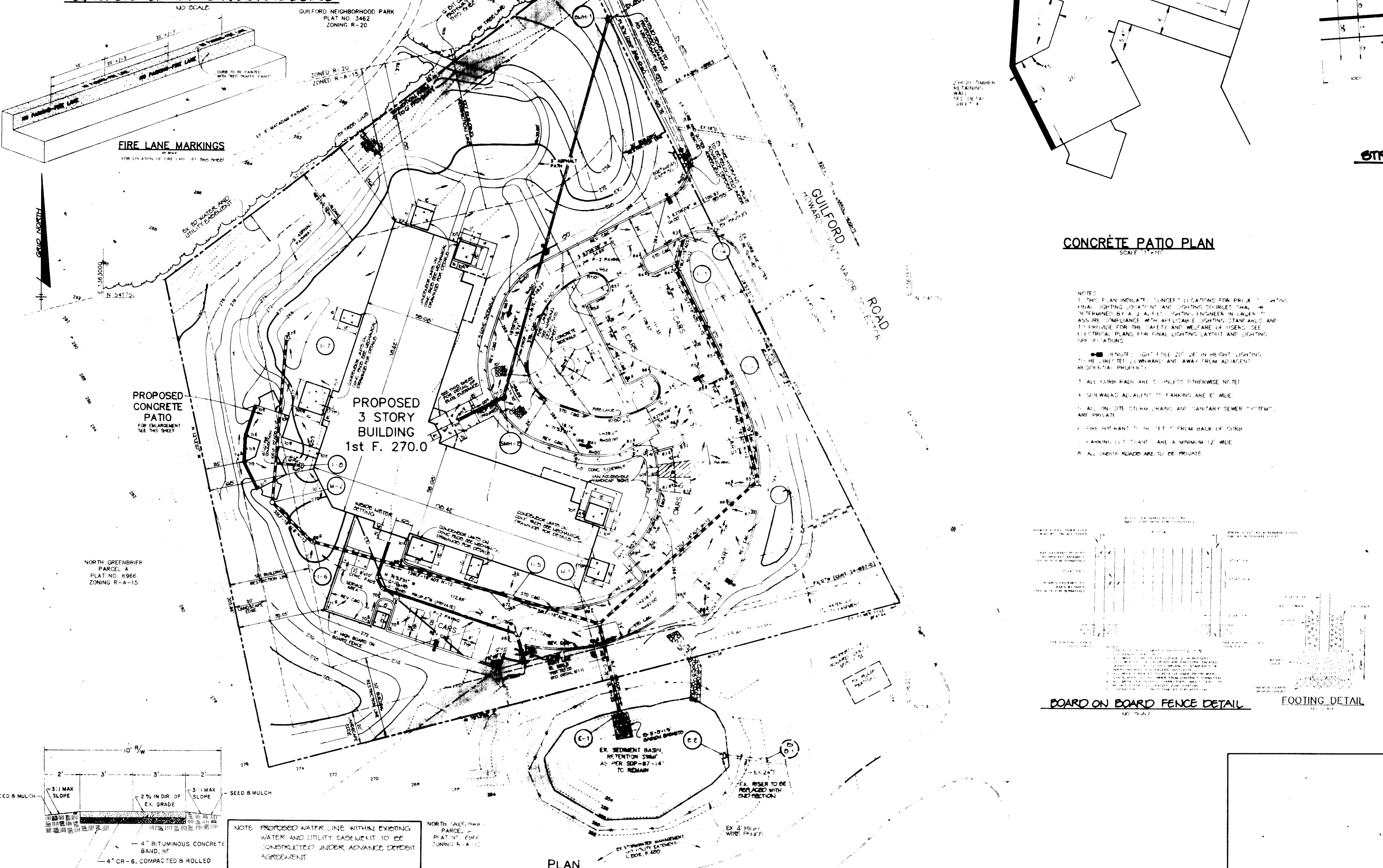
**FIRE LANE MARKINGS**  
FOR LAYOUT OF FIRE LANE SEE THIS SHEET



**CONCRETE PATIO PLAN**  
SCALE: 1\"/>



**STRIPING MITIGATION PLAN**  
NO SCALE



- NOTES:
1. THIS PLAN INDICATES PLACEMENT LOCATIONS FOR PUBLIC LIGHTING. FINAL LIGHTING LOCATION AND LIGHTING REQUIRED SHALL BE DETERMINED BY A QUALIFIED LIGHTING ENGINEER IN ORDER TO ASSURE COMPLIANCE WITH APPLICABLE LIGHTING STANDARDS AND TO PROVIDE FOR THE SAFETY AND WELFARE OF USERS. SEE ELECTRICAL PLANS FOR FINAL LIGHTING LAYOUT AND LIGHTING SPECIFICATIONS.
  2. UNLESS NOTED, LIGHT POLES 20' TO 26' IN HEIGHT LIGHTING TO BE LOCATED 20' AWAY AND AWAY FROM ADJACENT RESIDENTIAL PROPERTIES.
  3. ALL CURB RADIUSES UNLESS OTHERWISE NOTED.
  4. SIDEWALK ADJACENT TO PARKING ARE AS SHOWN.
  5. ALL ON-SITE DRINKING WATER AND SANITARY SEWER SYSTEMS ARE PRIVATE.
  6. FIRE HYDRANT TO BE SET 10' FROM BACK OF CURB.
  7. PARKING LOT STRIPS ARE A MINIMUM 12' WIDE.
  8. ALL DRIVEWAYS ARE TO BE PRIVATE.

**BOARD ON BOARD FENCE DETAIL**  
SCALE: 1\"/>

**FOOTING DETAIL**  
SCALE: 1\"/>

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>James Smith</i> DIRECTOR	6/19/95 DATE
<i>Anna Sturman</i> CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH	6/19/95 DATE
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.	
<i>James J. Allen</i> DIRECTOR	6/19/95 DATE
<i>Charles E. Brown</i> CHIEF, BUREAU OF ENGINEERING	6/19/95 DATE
DATE NO.	REVISION
OWNER	DEVELOPER
HOWARD COUNTY PUBLIC UTILITIES COMMISSION 1250 7TH ELECTION DISTRICT NORTH GREENBRIER COLUMBIA, MARYLAND 21046 410-997-8900	RIEMER MUEGGE & ASSOCIATES, INC. PLANNERS • ENGINEERS • SURVEYORS 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045 410-997-8900 FAX: 410-997-9282
PROJECT: <b>GUILFORD COURTS APARTMENT BUILDING</b>	
AREA: TAX MAP 42 PLAT NO. 6966 PARCEL A 6TH ELECTION DISTRICT NORTH GREENBRIER HOWARD COUNTY, MARYLAND	
TITLE: <b>SITE DEVELOPMENT PLAN</b>	
RIEMER MUEGGE & ASSOCIATES, INC. Planners • Engineers • Surveyors 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045 410-997-8900 FAX: 410-997-9282	
5.15.95 DATE	DESIGNED BY: C.J.P.
	DRAWN BY: DAM
	PROJECT NO.: 92704
	DATE: MAY 15, 1995
	SCALE: AS SHOWN
	DRAWING NO.: 8 OF 8

2<sup>ND</sup> ORIG SDP-95-02

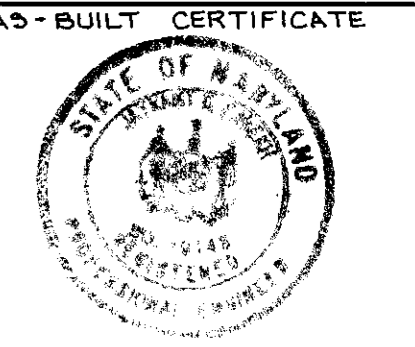
- SEQUENCE OF CONSTRUCTION**
- OBTAIN A GRADING PERMIT.
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AND EARTH DIXES (2 DAYS). CONTRACTOR TO REPAIR OR REPLACE EXISTING SEDIMENT BASIN AS NECESSARY AND VERIFY JOINT WATER-TIGHTNESS AND ADEQUATE CONDITION OF FENCE.
  - BEGIN GRADING AND BUILDING CONSTRUCTION.
  - AS SUBGRADE ELEVATION IS OBTAINED, INSTALL UTILITIES INCLUDING STORM DRAIN, WATER AND SEWER (2 WEEKS).
  - INSTALL CURB AND GUTTER AND THEN PAVE (2 WEEKS).
  - STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES (1 DAY).
  - INSTALL LANDSCAPING, WALKS, LIGHTING AND COMPLETE REMAINING CONSTRUCTION (2 WEEKS).
  - UPON APPROVAL OF HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR, REMOVE REMAINING SEDIMENT CONTROL BARRIERS CONVERT EXISTING SEDIMENT BASIN TO SWMP BY REMOVING EXISTING RISER AND REPLACING WITH END SECTION AT ELEVATION 256.65. IN ADDITION, CONTRACTOR TO ESTABLISH THAT BOTTOM ELEVATION OF 253.0 IS OBTAINED FOR THE RETENTION DEPTH. IF NEEDED, PUMP OUT AND EXCAVATE THE POND TO ELEVATION 253.0 TO COMPLETE THE CONVERSION (3 DAYS).

**STRUCTURE SCHEDULE**

NO	TYPE	INV. IN	INV. OUT	ELEVATION	REMARKS
1-1	18" CORR. W/RET. GRATE	259.15	259.05	266.3	SEE HO CO STD DETAIL SD 4.32 & SD 4.93
1-2	8" CORR. W/RET. GRATE	259.58	259.48	266.2	SEE HO CO STD DETAIL SD 4.32 & SD 4.93
1-3	8" CORR. W/RET. GRATE	260.20	259.95	264.6	SEE HO CO STD DETAIL SD 4.32 & SD 4.93
1-4	A-10	-	260.30	264.2	SEE HO CO STD DETAIL SD4.02
1-5	A-5	262.65	262.55	268.3	SEE HO CO STD DETAIL SD4.01
1-6	8-INLET	263.38	263.28	269.0	SEE HO CO STD DETAIL SD4.22
1-7	8-INLET	-	264.30	267.6	SEE HO CO STD DETAIL SD4.22
1-8	9" CATCH BAZON	-	264.97	269.7	WDS 900
M-1	4"-Ø DIAMETER MANHOLE	Ø: 258.4 Ø: 260.88	-	258.3	SEE HO CO STD DETAIL GS.11
M-2	4"-Ø DIAMETER MANHOLE	-	263.80	271.5	SEE HO CO STD DETAIL GS.11
E-1	18" CONCRETE END SECTION	258.36	-	-	SEE HO CO STD DETAIL SD5.51
E-2	24" CONCRETE END SECTION	258.05	-	-	SEE HO CO STD DETAIL SD5.51

**SOIL DESCRIPTION**

Map Symbol	Mapping Unit
CnB2	Chillum-Fairfax Loams, 1 to 5 percent slopes, moderately eroded
CnD3	Chillum-Fairfax Loams, 5 to 15 percent slopes, severely eroded
KeB2	Kelly Silt Loam, 3 to 8 percent slopes, moderately eroded
ScD	Sandy and Clayey Loam, moderately sloping
SIB2	Sassafras Loam, 1 to 5 percent slopes, moderately eroded
SIC2	Sassafras Loam, 5 to 10 percent slopes, moderately eroded



J. Parekh 1.29.97  
 JAYKANT D. PAREKH #10168 DATE

**BY THE DEVELOPER:**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER \_\_\_\_\_ DATE \_\_\_\_\_

**BY THE ENGINEER:**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

J. Parekh 5.15.95  
 ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Patricia Engler 5/22/95  
 NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Howard Soil Conservation District 5/22/95  
 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James Smith 6/18/95  
 DIRECTOR DATE

Anna Surinmariy 6/9/95  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

James P. Chew 6/1/95  
 DIRECTOR DATE

Charles J. Brown 6/1/95  
 CHIEF, BUREAU OF ENGINEERING DATE

1-14-97 MODIFICATIONS / CHECKED CONFIRMATIONS TO REFLECT AS-BUILT CONDITIONS.

DATE	NO.	REVISION	DEVELOPER

**OWNER**  
 HOWARD COUNTY HOUSING COMMISSION  
 8751 COLUMBIA GATEWAY DRIVE  
 3RD FLOOR  
 COLUMBIA, MARYLAND 21046  
 410-313-6320

**DEVELOPER**  
 BOZZUTO AM ASSOCIATES  
 6401 GOLDEN TRIANGLE DRIVE  
 SUITE 200  
 GREENBELT, MARYLAND 20770-3203  
 301-220-0100

**PROJECT**  
 GUILFORD COURTS  
 APARTMENT BUILDING

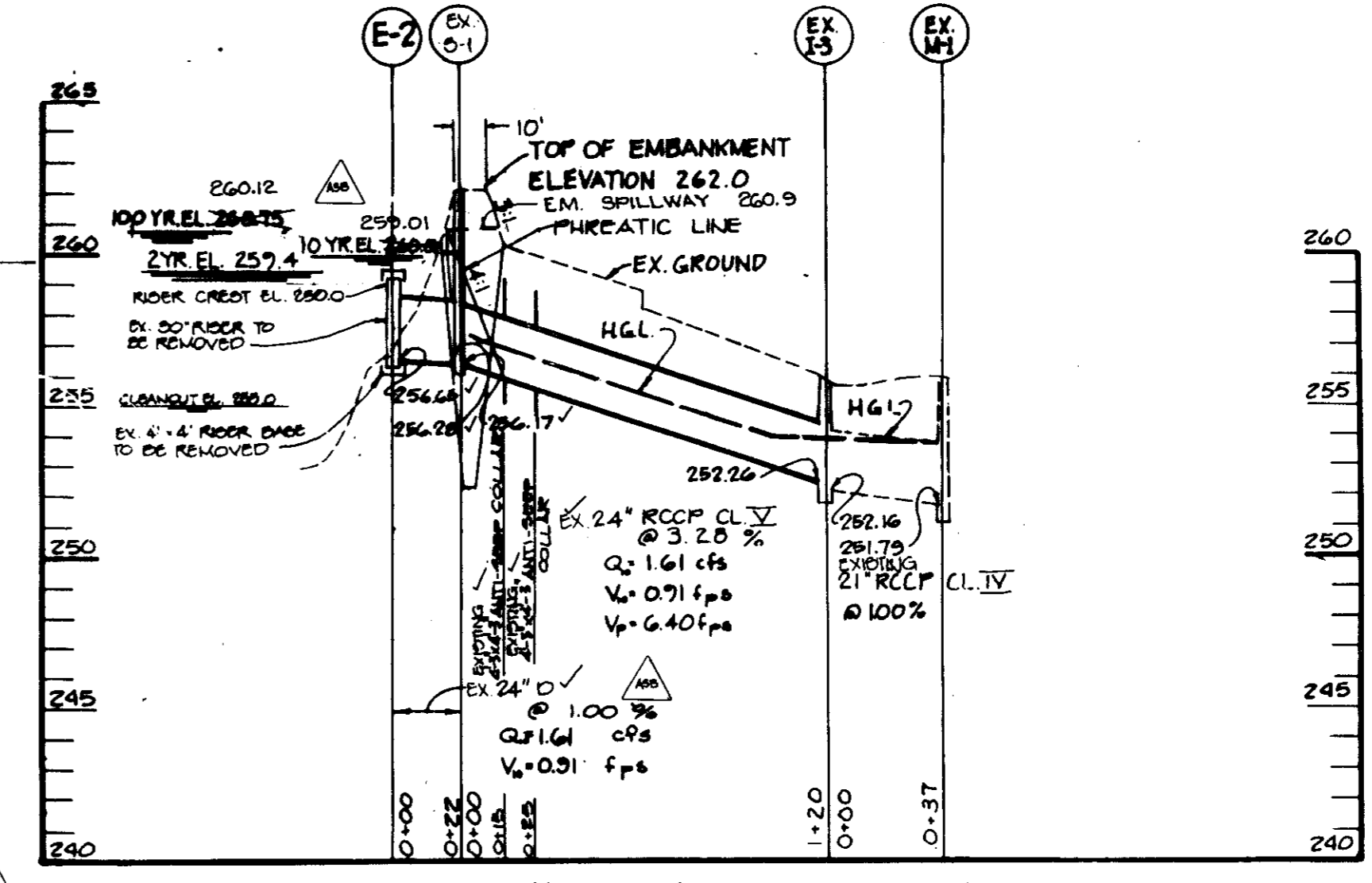
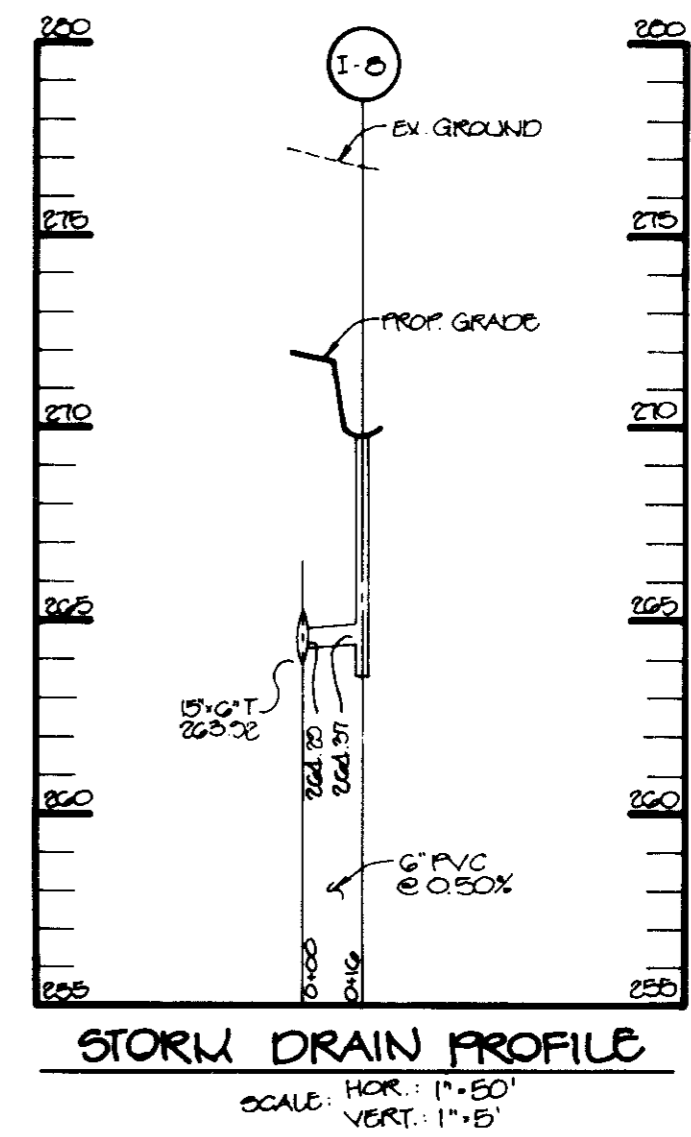
**AREA** TAX MAP 42 PLAT NO 6966 PARCEL B  
 6TH ELECTION DISTRICT NORTH GREENBRIER  
 HOWARD COUNTY, MARYLAND

**TITLE**  
 GRADING, SEDIMENT CONTROL  
 PLAN AND DRAINAGE AREA MAP

**RIEMER MUEGGE & ASSOCIATES, INC.**  
 Planners • Engineers • Surveyors  
 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
 410-997-8900 FAX: 410-997-9282

5.15.95  
 DATE

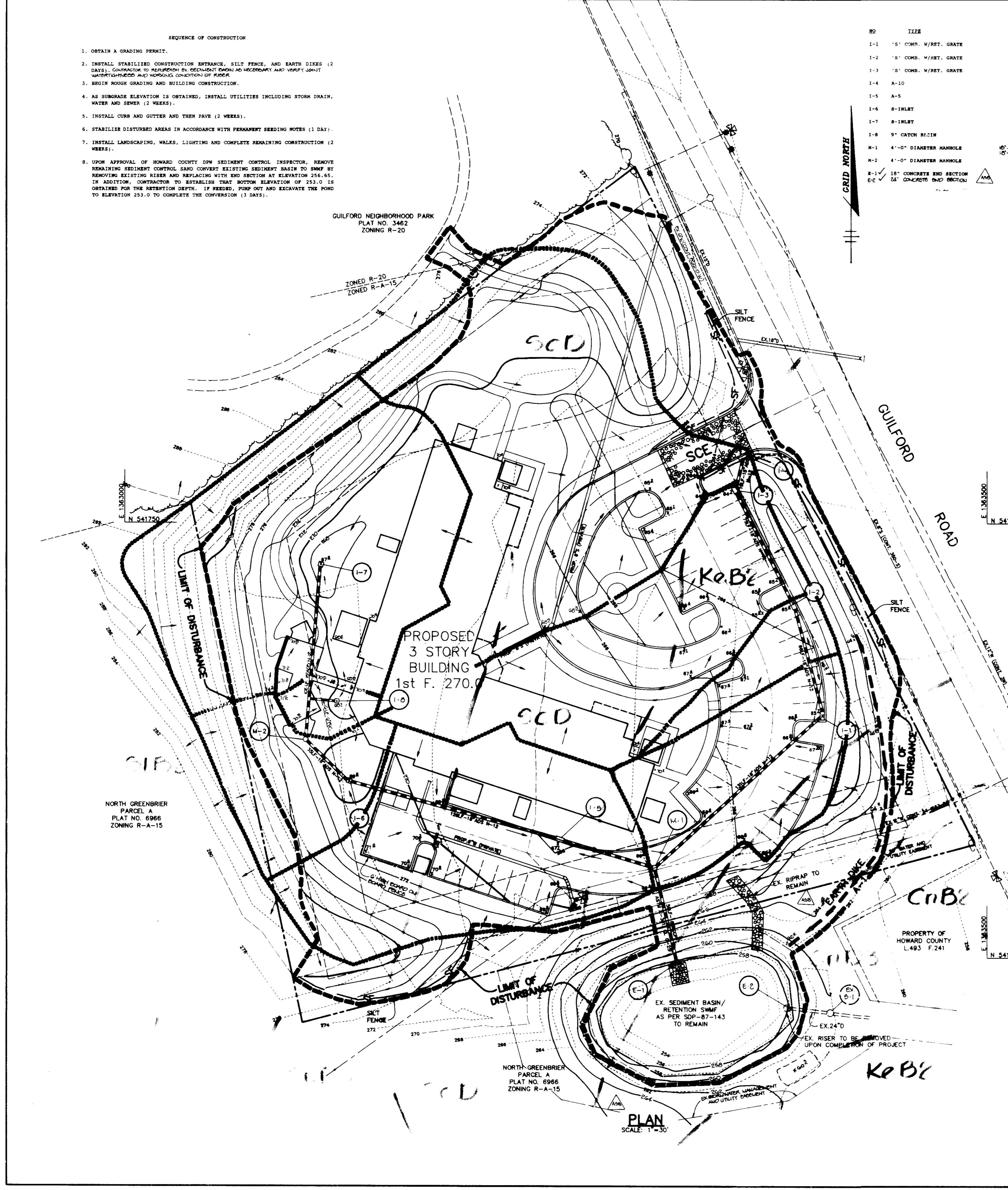
DESIGNED BY: C.J.R.  
 DRAWN BY: DAM  
 PROJECT NO: 92704  
 DATE: MAY 15, 1995  
 SCALE: AS SHOWN  
 DRAWING NO. 3 OF 5



**DRAINAGE AREA TABULATION**

NO.	AREA	'C'	SUR
1	0.24	0.71	75
2	0.07	0.69	71
3	0.37	0.73	78
4	0.61	0.57	52
5	0.45	0.58	53
6	0.13	0.38	23
7	0.65	0.36	18
8	0.04	0.87	100

**EXISTING SEDIMENT BASIN**  
 DRAINAGE AREA 0.0 AC  
 STORAGE REQUIRED 5100 CF  
 STORAGE PROVIDED 10500 CF  
 RISER DIA 50"  
 ROOF CREST 250.0  
 BOTTOM ELEV 250.0  
 CLEANOUT ELEV. 256.0  
 TOP OF DAM 256.0  
 EMERGENCY SPILLWAY CREST 260.1



PLAN  
 SCALE: 1" = 30'

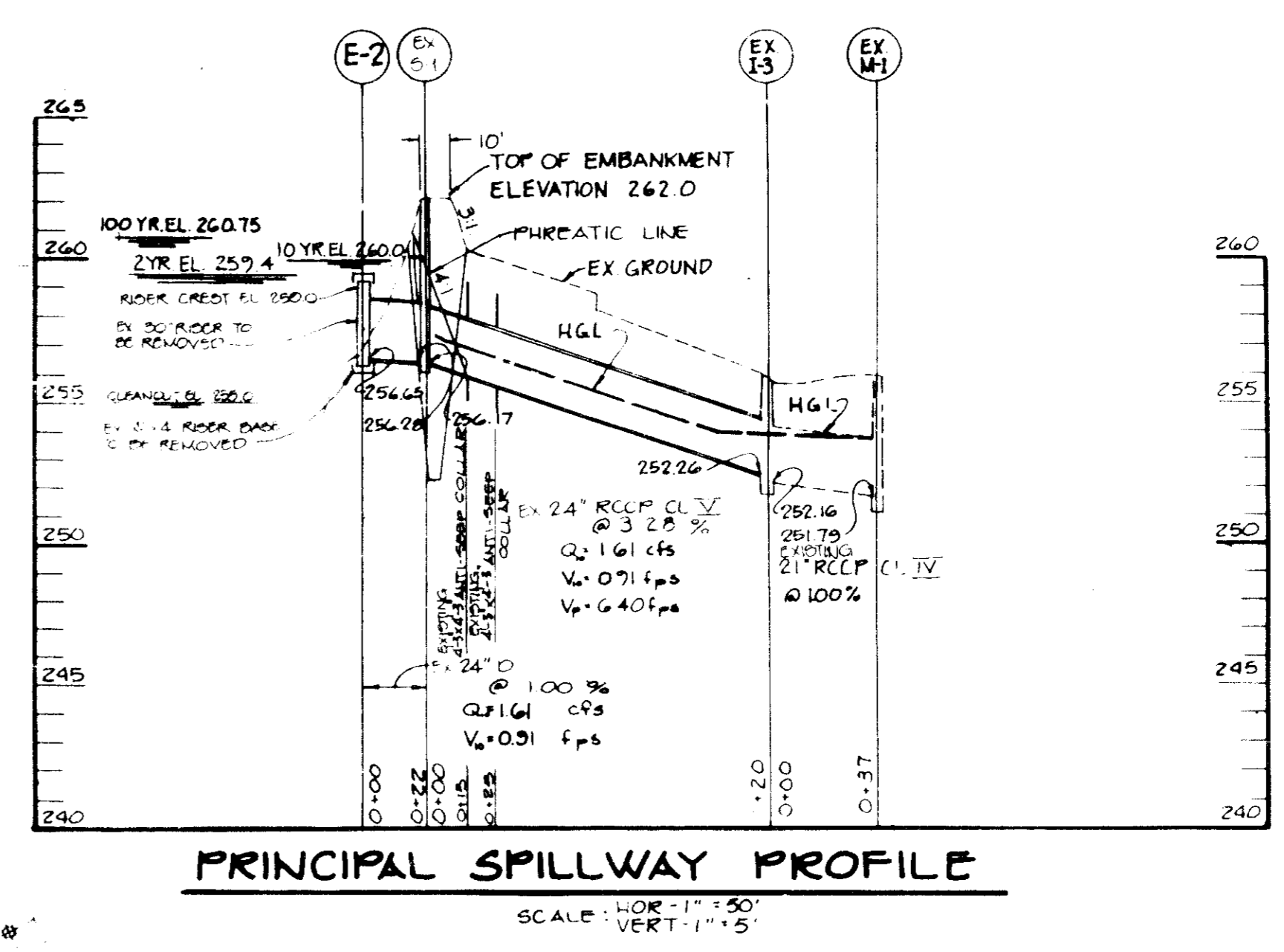
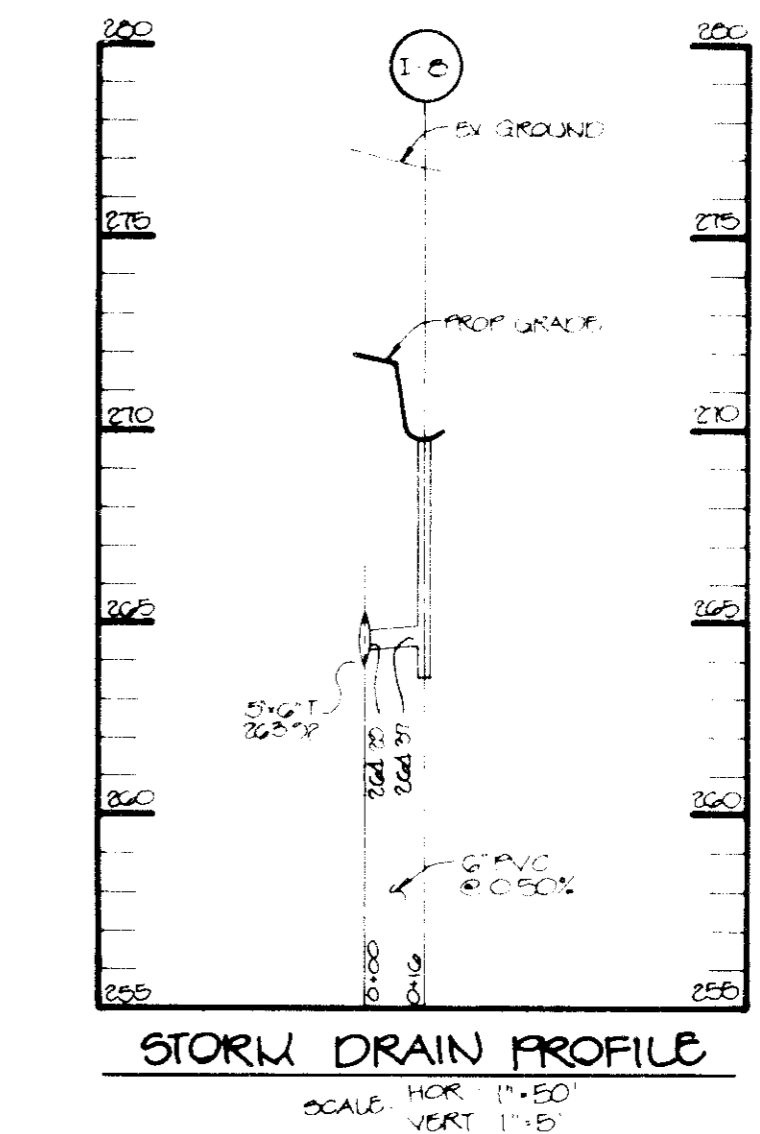
- REQUIRE IF CONSTRUCTION
- OBTAIN A GRADING PERMIT.
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AND SARRY DRAIN (SAND) CONFORMING TO REQUIREMENTS REGARDING SOIL AND SEDIMENTATION AND WATER QUALITY AND WASTEWATER TREATMENT OF HOWARD COUNTY.
  - BEGIN ROUGH GRADING AND BUILDING CONSTRUCTION.
  - AS SURGRADE ELEVATION IS OBTAINED, INSTALL UTILITIES INCLUDING STORM DRAIN, WATER AND SEWER (2 WEEKS).
  - INSTALL CURB AND GUTTER AND THEN PAVE (2 WEEKS).
  - STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES (1 DAY).
  - INSTALL LANDSCAPING, WALKS, LIGHTING AND COMPLETE REMAINING CONSTRUCTION (2 WEEKS).
  - UPON APPROVAL OF HOWARD COUNTY DOW SEDIMENT CONTROL INSPECTOR, REMOVE REMAINING SEDIMENT CONTROL AND CONVERT EXISTING SEDIMENT BASIN TO SWMP BY REMOVING EXISTING RISER AND REPLACING WITH END SECTION AT ELEVATION 255.65. IN ADDITION, CONTRACTOR TO ESTABLISH THAT BOTTOM ELEVATION OF 253.0 IS OBTAINED FOR THE RETENTION DEPTH. IF NEEDED, PUMP OUT AND EXCAVATE THE POND TO ELEVATION 253.0 TO COMPLETE THE CONVERSION (3 DAYS).

STRUCTURE CHECKS

NO.	ITEM	DATE	REMARKS
1	1" DIA. WIRE GRATE	253.00	SEE HO CO STD DETAIL SD 4.32 & SD 4.33
2	1" DIA. WIRE GRATE	253.00	SEE HO CO STD DETAIL SD 4.32 & SD 4.33
3	1" DIA. WIRE GRATE	253.00	SEE HO CO STD DETAIL SD 4.32 & SD 4.33
4	A-30	254.00	SEE HO CO STD DETAIL SD 4.02
5	A-30	254.00	SEE HO CO STD DETAIL SD 4.02
6	A-30	254.00	SEE HO CO STD DETAIL SD 4.02
7	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
8	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
9	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
10	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
11	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
12	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
13	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
14	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
15	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
16	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
17	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
18	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
19	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22
20	4" DIA. MANHOLE	254.00	SEE HO CO STD DETAIL SD 4.22

SOIL DESCRIPTION

Map Symbol	Mapping Unit
HR	Chillum-Fairfax Loams, 1 to 5 percent slopes, moderately eroded
HRP	Chillum-Fairfax Loams, 5 to 10 percent slopes, severely eroded
KPR	Kelly Silt Loam, 1 to 8 percent slopes, moderately eroded
SL	Sandy and Clayey Land, moderately sloping
SLB2	Sassafras Loam, 1 to 5 percent slopes, moderately eroded
SLT2	Sassafras Loam, 5 to 10 percent slopes, moderately eroded

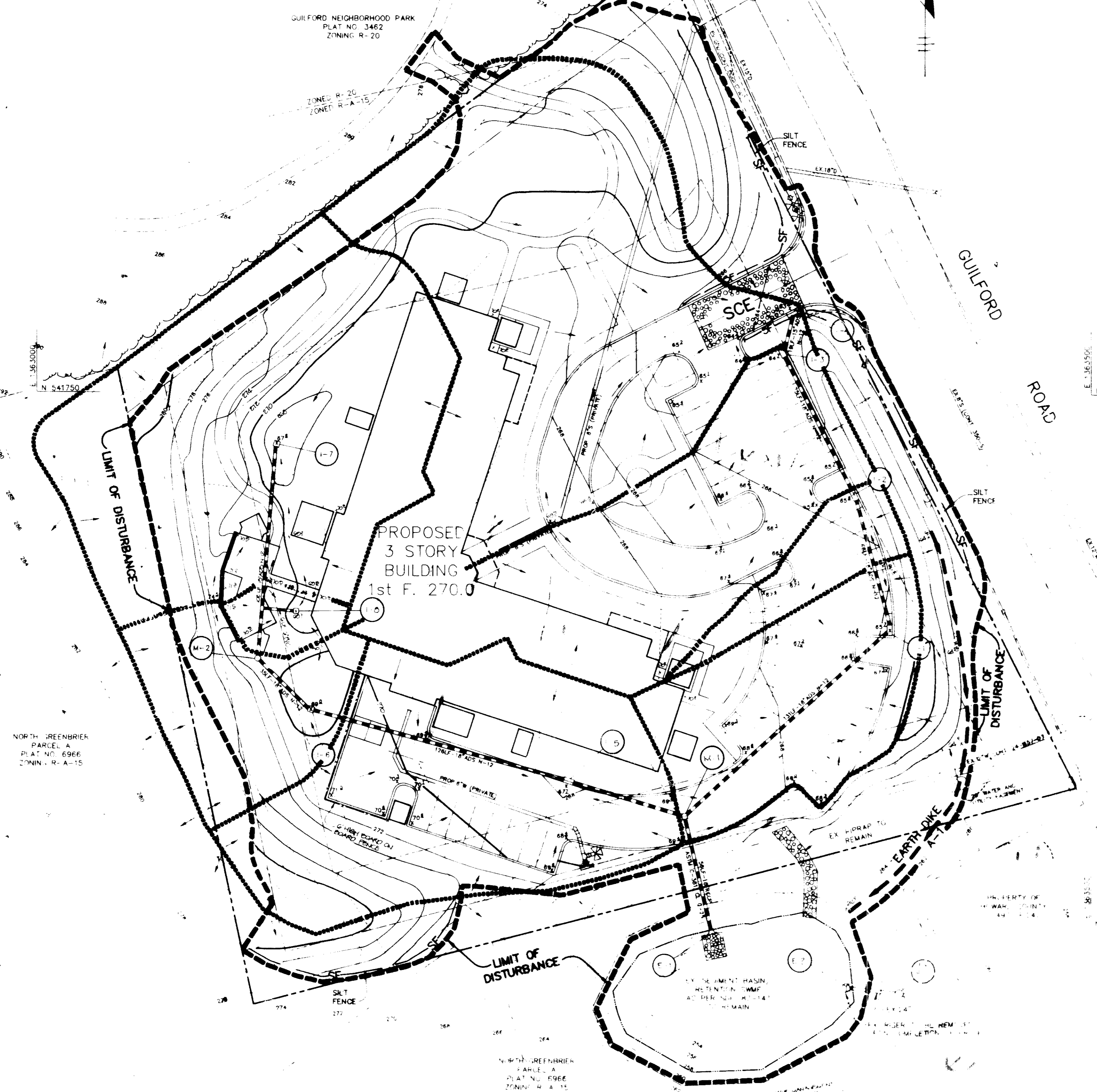


DRAINAGE AREA TABULATION

NO.	AREA	PERCENT	LINE
1	0.24	0.71	75
2	0.07	0.69	71
3	0.37	0.73	78
4	0.61	0.57	52
5	0.45	0.58	53
6	0.13	0.38	23
7	0.65	0.36	18
8	0.04	0.87	70

EXISTING SEDIMENT BASIN

NO.	AREA	PERCENT	LINE
1	0.24	0.71	75
2	0.07	0.69	71
3	0.37	0.73	78
4	0.61	0.57	52
5	0.45	0.58	53
6	0.13	0.38	23
7	0.65	0.36	18
8	0.04	0.87	70



BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: \_\_\_\_\_ DATE: \_\_\_\_\_

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

J. Saebel 5.15.95  
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Patricia Egle/GCS 5/22/95  
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Jeffrey R. King 5/22/95  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

James S. Smith 6/12/95  
DIRECTOR DATE

Jana Szymanski 6/12/95  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC UTILITIES

James J. Egan 6/12/95  
DIRECTOR DATE

Charles E. Egan 6/12/95  
CHIEF, BUREAU OF ENGINEERING DATE

DATE NO.	REVISION

OWNER	DEVELOPER

PROJECT: GUILFORD COURTS APARTMENT BUILDING

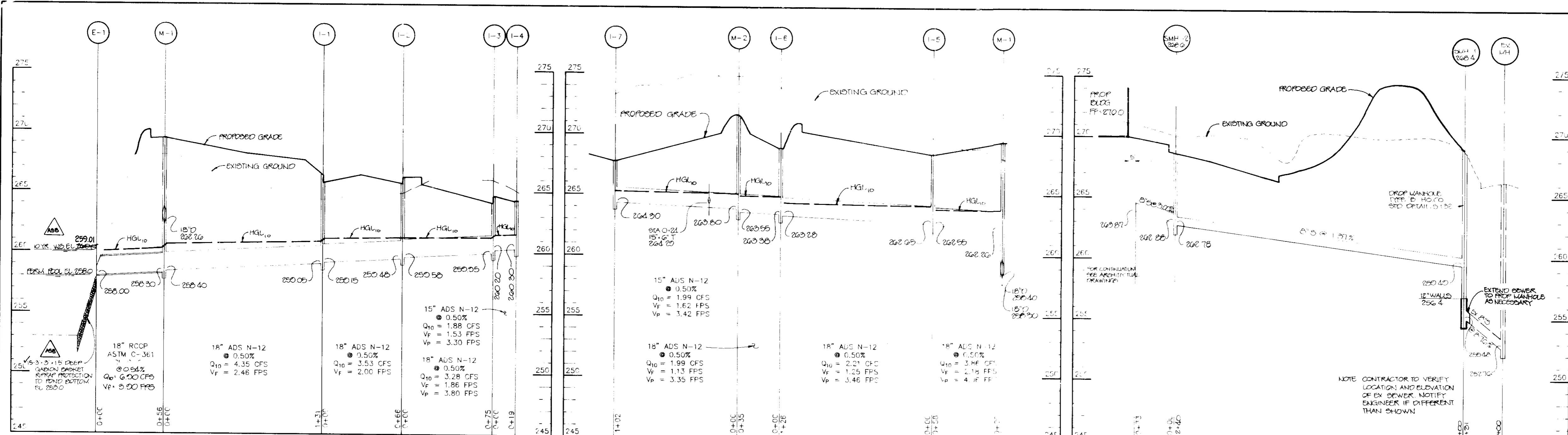
AREA: \_\_\_\_\_

TITLE: GRADING, SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP

RIEMER MUEGGE & ASSOCIATES, INC.  
Planners • Engineers • Surveyors  
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
410-997-8900 FAX 410-997-9282

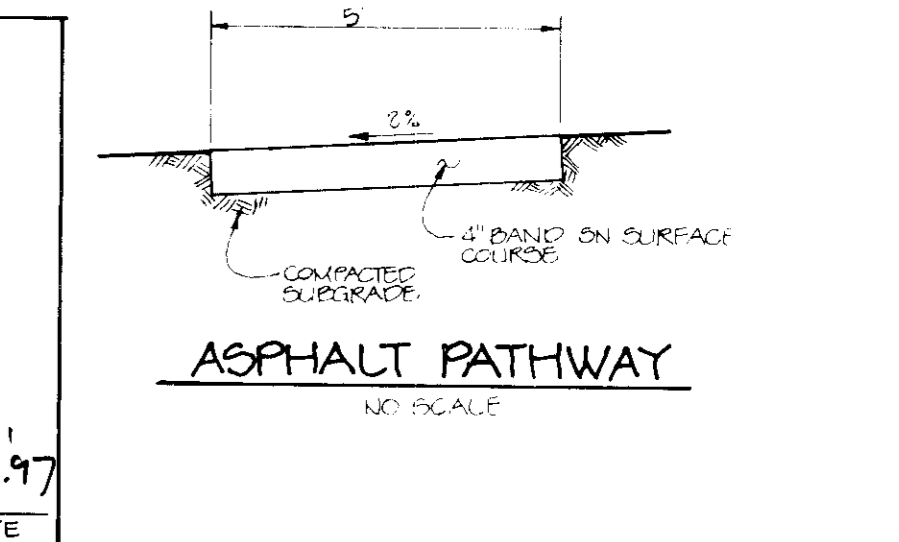
5.15.95  
DATE

DESIGNED BY: JLS  
DRAWN BY: JAM  
PROJECT NO.: 92704  
DATE: MAY 15, 1995  
SCALE: AS SHOWN  
DRAWING NO.: 1 OF 1



**AS-BUILT CERTIFICATE**

J. Swell  
JAYKANT D. PAREKH 19146 DATE

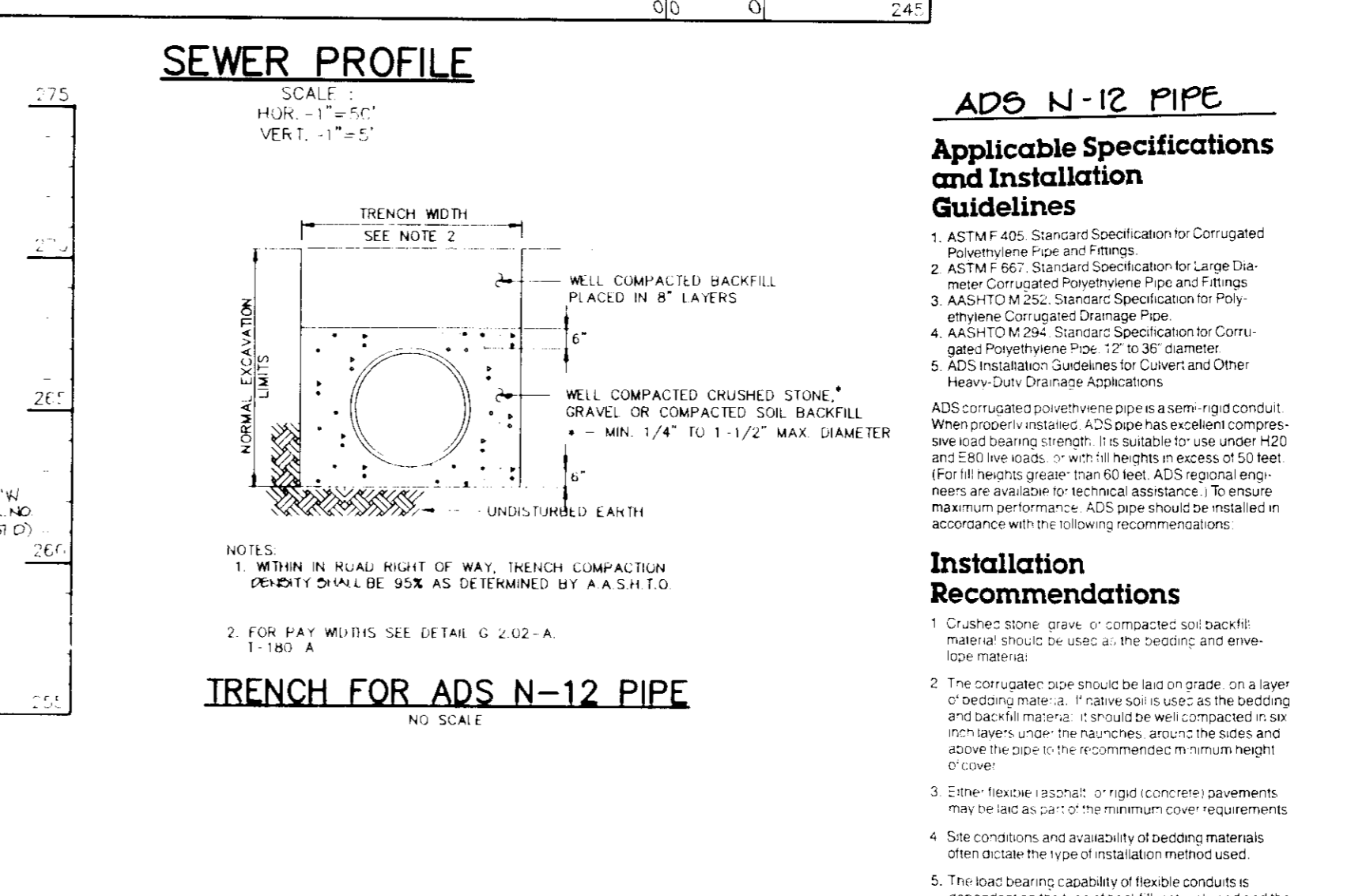
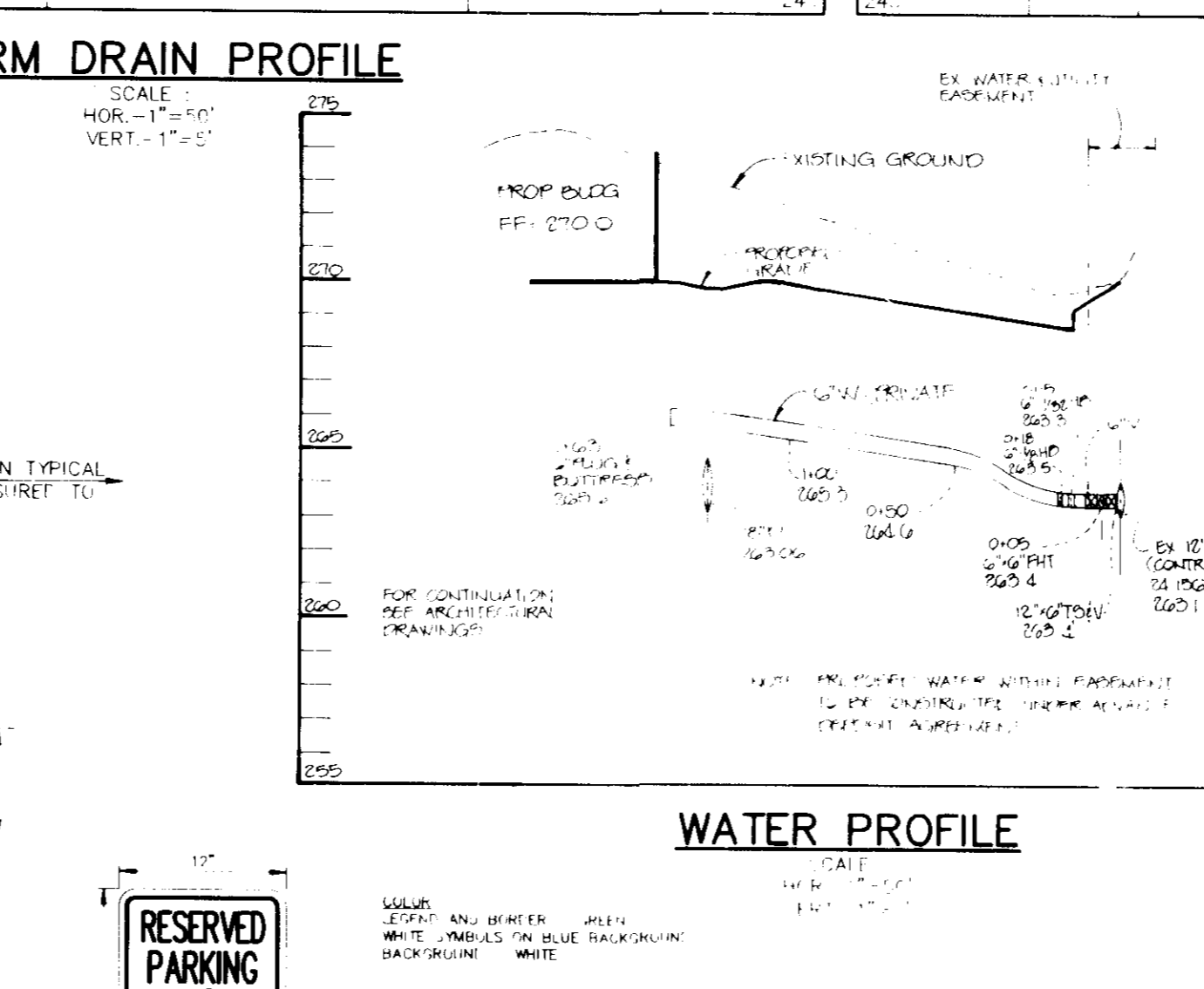
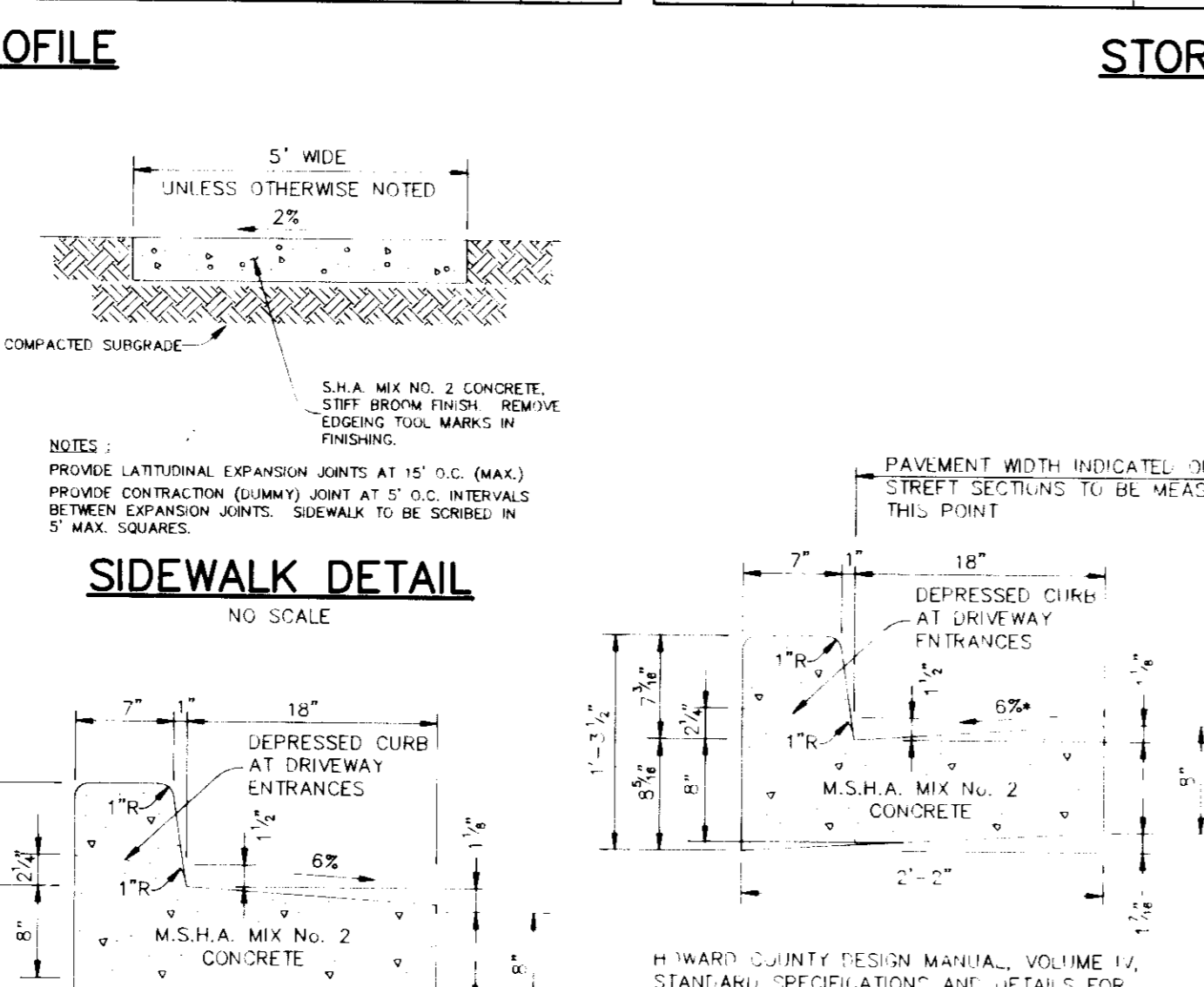
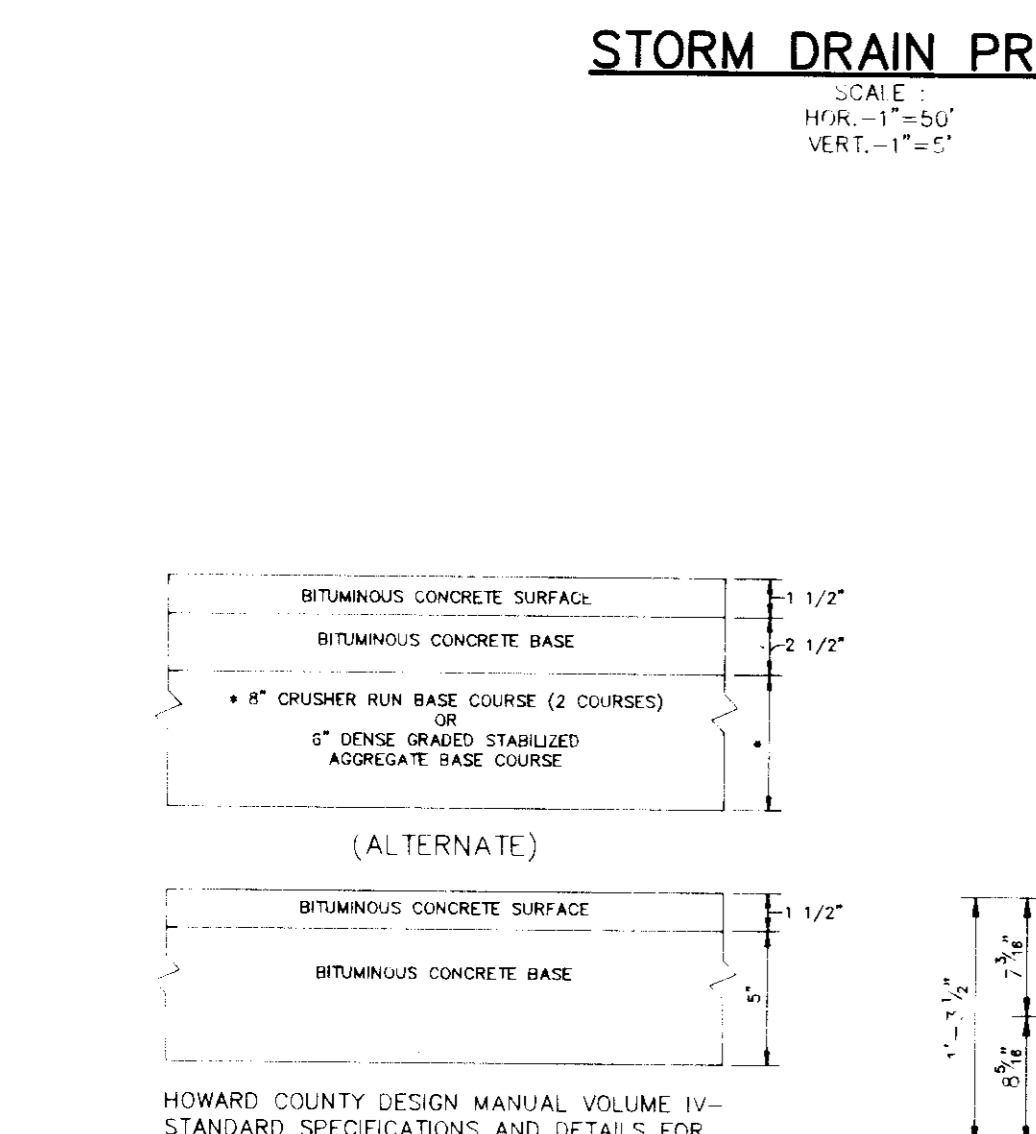


BY THE DEVELOPER:  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER \_\_\_\_\_ DATE \_\_\_\_\_

BY THE ENGINEER:  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

J. Swell 5.15.95  
ENGINEER DATE



**ADS N-12 PIPE**  
**Applicable Specifications and Installation Guidelines**

- ASTM A45. Standard Specification for Corrugated Polyethylene Pipe and Fittings
- ASTM F667. Standard Specification for Large Diameter Corrugated Polyethylene Pipe and Fittings
- ASTM F1232. Standard Specification for Polyethylene Corrugated Drainage Pipe
- ASTM F1233. Standard Specification for Corrugated Polyethylene Pipe 12 to 36" Diameter
- ADS Installation Guidelines for Culverts and Other Heavy-Duty Drainage Applications

ADS corrugated polyethylene pipe is a semi-rigid conduit. When properly installed, ADS pipe has excellent compressive load bearing strength. It is suitable for use under H20 and E80 live loads, or with heights in excess of 50 feet. ADS pipe is available in lengths of 20 feet. ADS regional engineers are available for technical assistance. To ensure maximum performance, ADS pipe should be installed in accordance with the following recommendations:

**Installation Recommendations**

- Crushed stone, gravel, or compacted soil backfill material should be used as the bedding and envelope material.
- The corrugated pipe should be laid on grade, on a layer of bedding material. If a native soil is used as the bedding and backfill material, it should be well compacted in six inch layers under the manholes, around the sides and above the pipe to the recommended minimum height of cover.
- Either flexible (asphalt or gravel) concrete pavements, or rigid concrete pavements should be used over ADS pipe.
- Site conditions and availability of bedding materials often dictate the type of installation method used.
- The load bearing capability of flexible conduits is dependent on the type of backfill material used and the degree of compaction achieved. Crushed stone and gravel backfill materials typically reach a compaction level of 80-90% ADS100 standard density without compaction. When native soils are used as backfill material, compaction level 85% is required. This is the same minimum compaction that is recommended for all drainage pipe manufacturers and can be achieved by either hand or mechanical tamping.

Two types of installation are recommended for ADS pipe: (a) the highest and most secure method. These are the trench and open cut installation. The minimum height of cover recommendations are the same for both conditions.

**APPROVED:** HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
J. Swell 5/22/95  
HOWARD SOIL CONSERVATION DISTRICT DATE

**APPROVED:** HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
J. Swell 5/22/95  
HOWARD SOIL CONSERVATION DISTRICT DATE

**APPROVED:** HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
J. Swell 5/22/95  
HOWARD SOIL CONSERVATION DISTRICT DATE

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J. Swell 5/22/95  
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J. Swell 5/22/95  
HOWARD SOIL CONSERVATION DISTRICT DATE

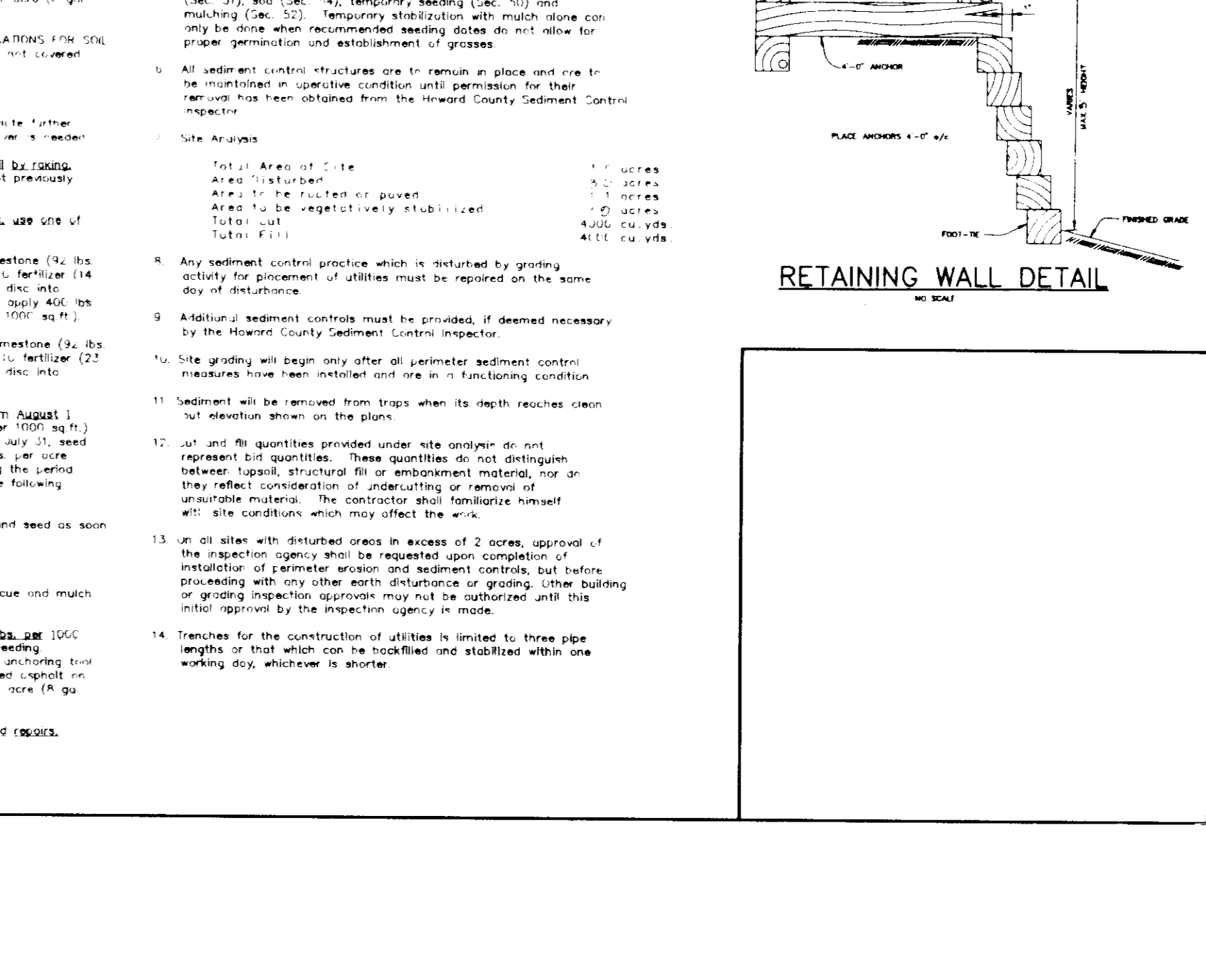
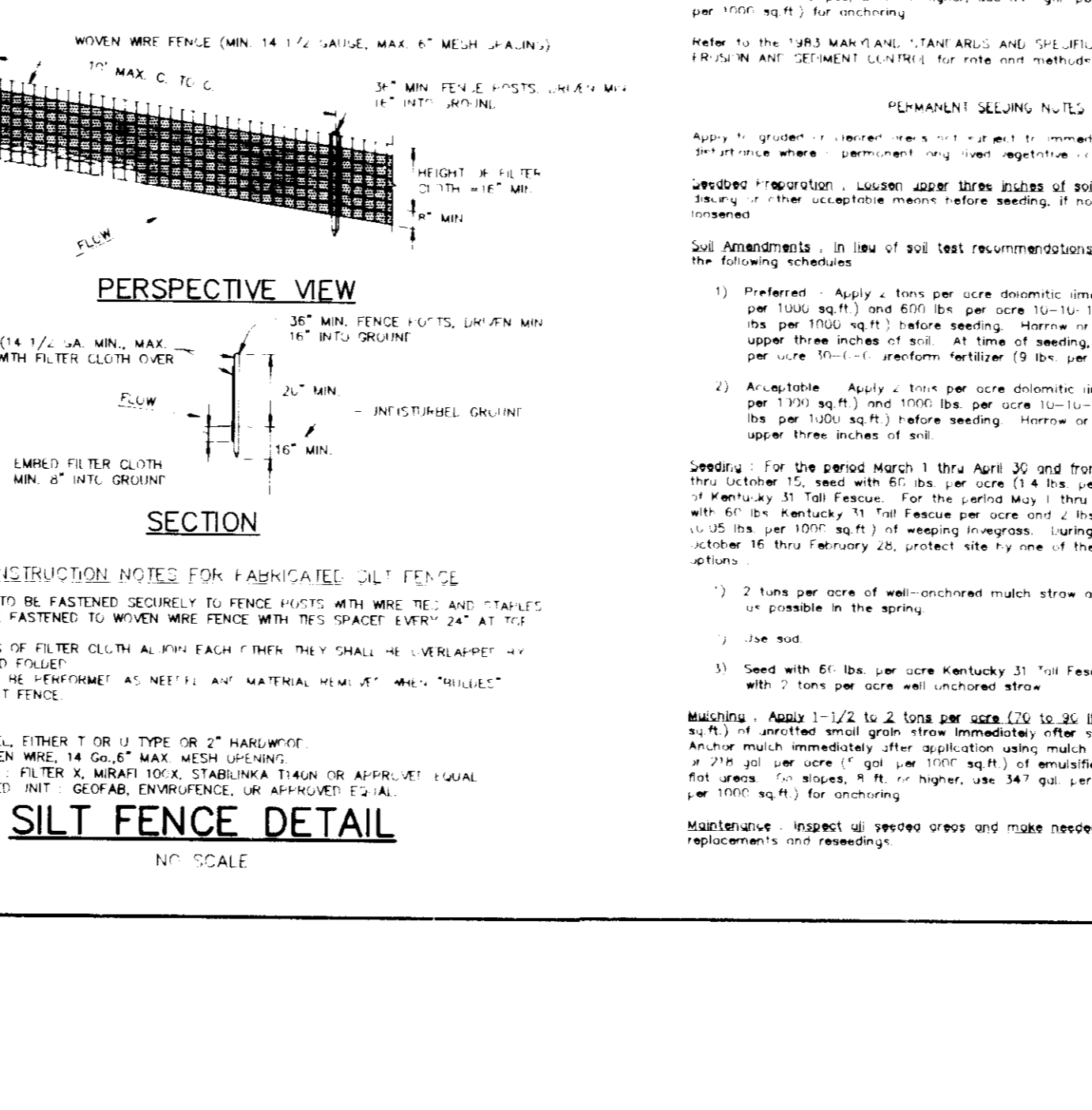
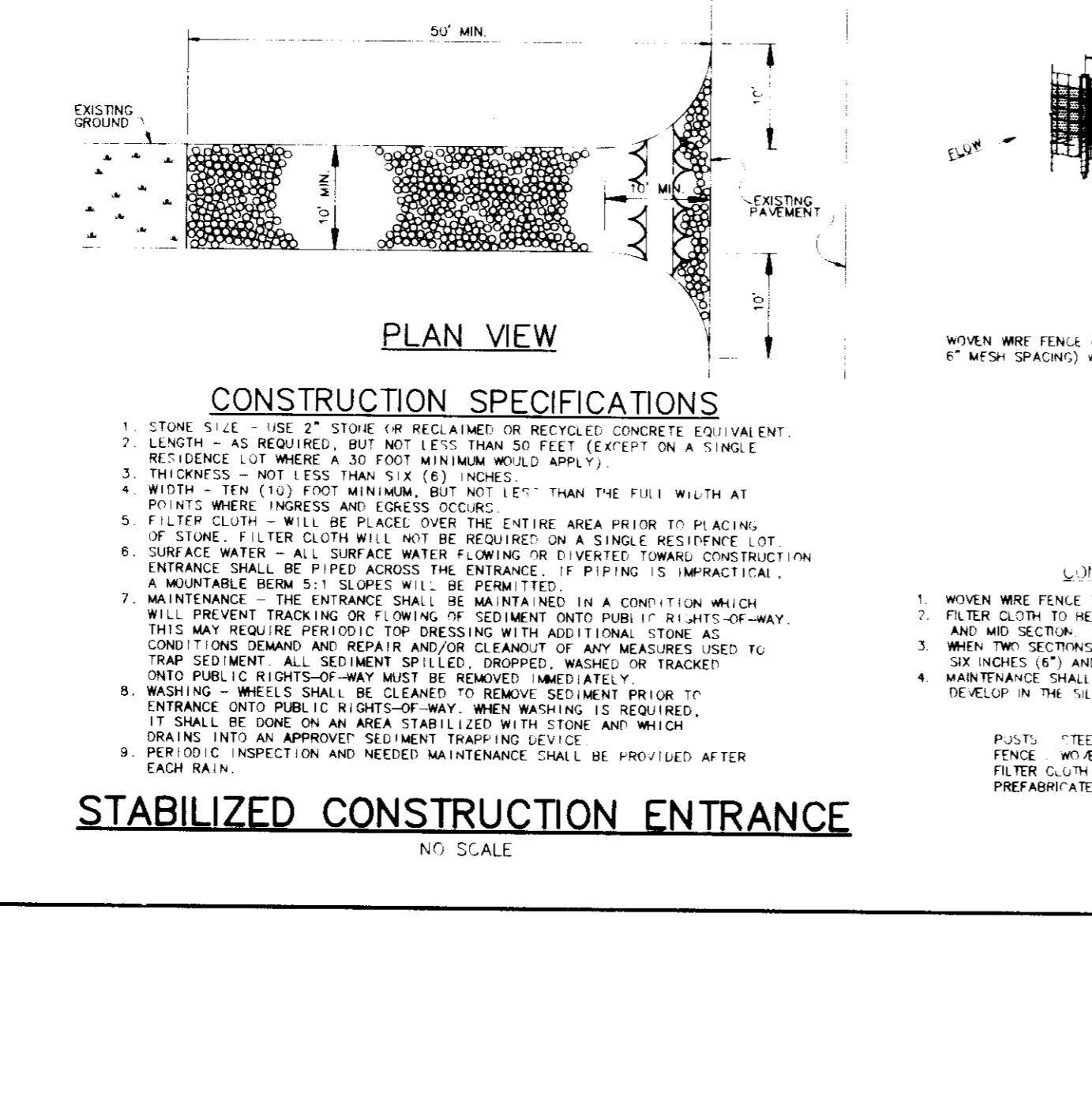
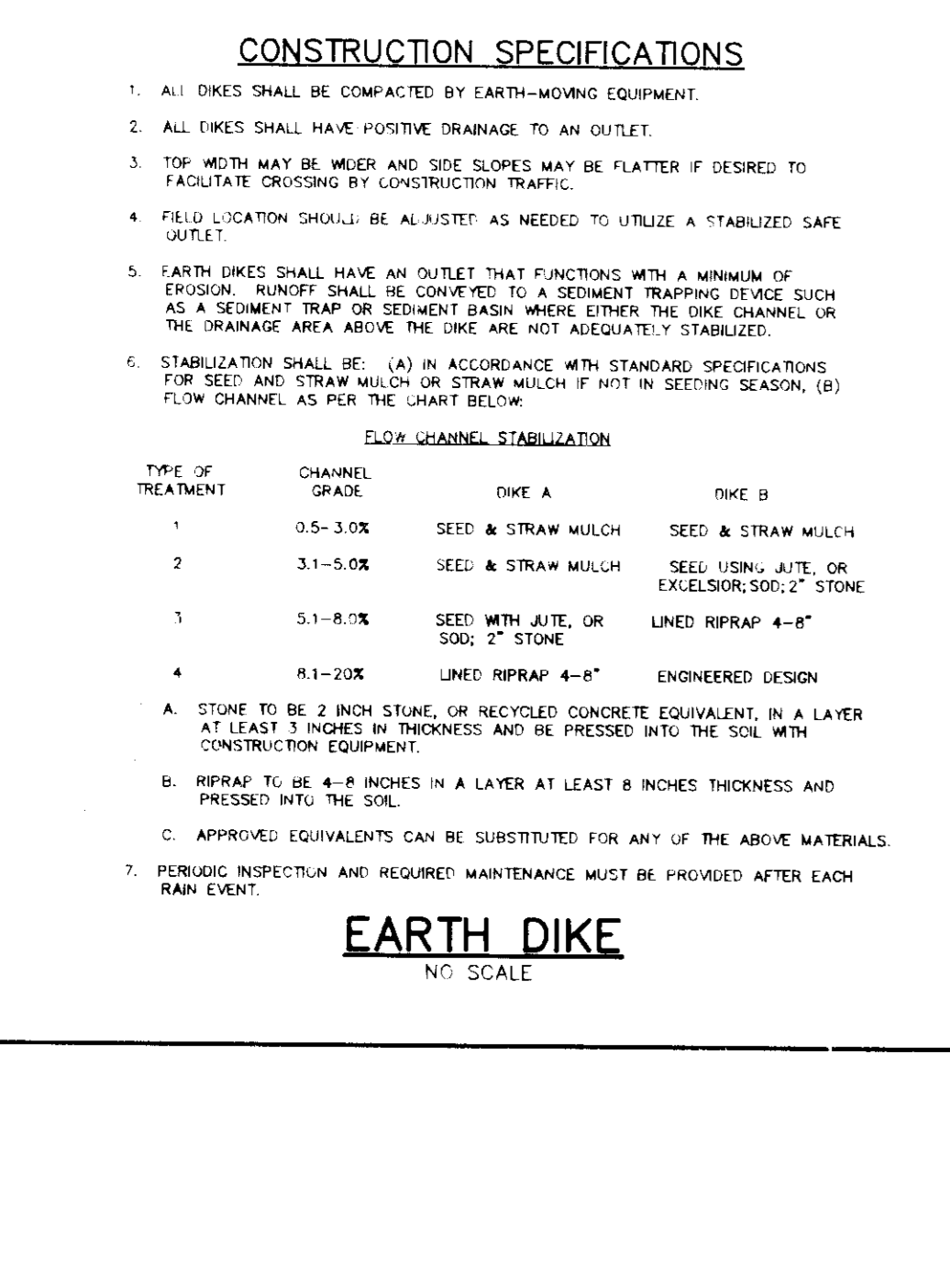
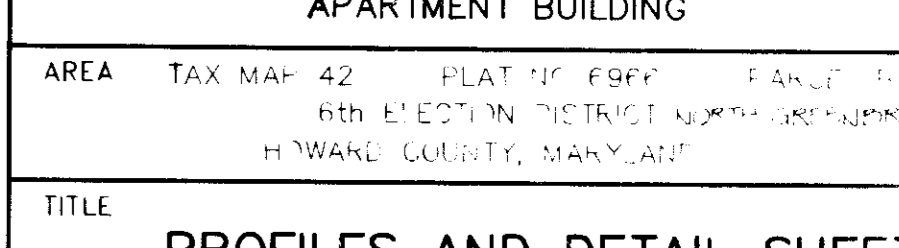
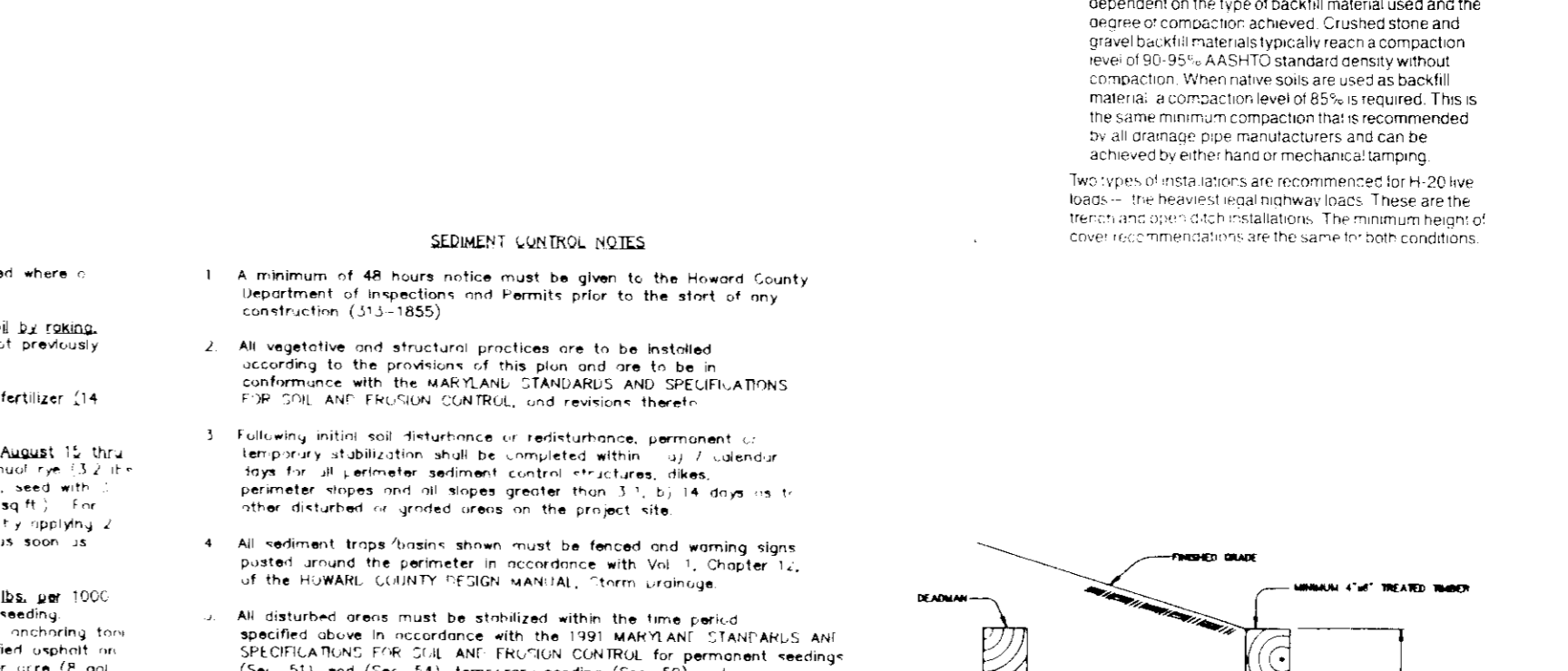
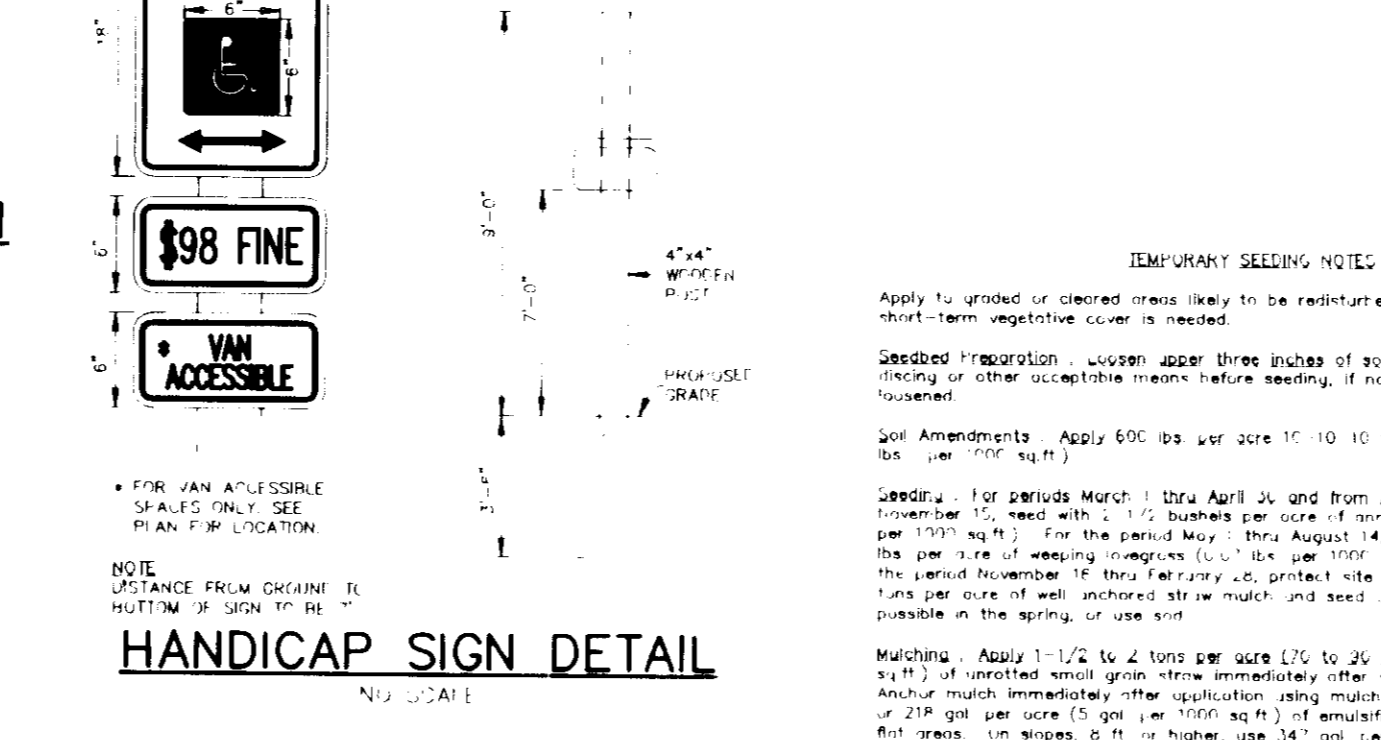
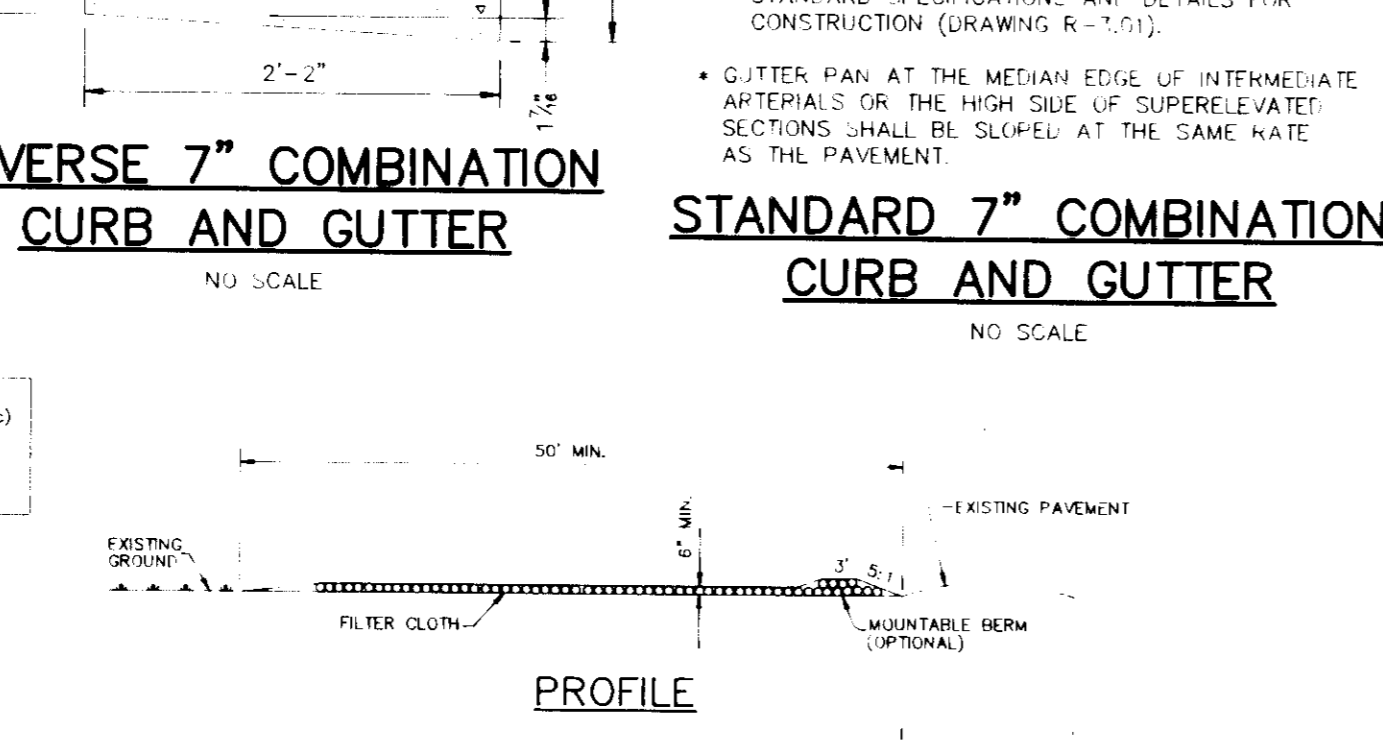
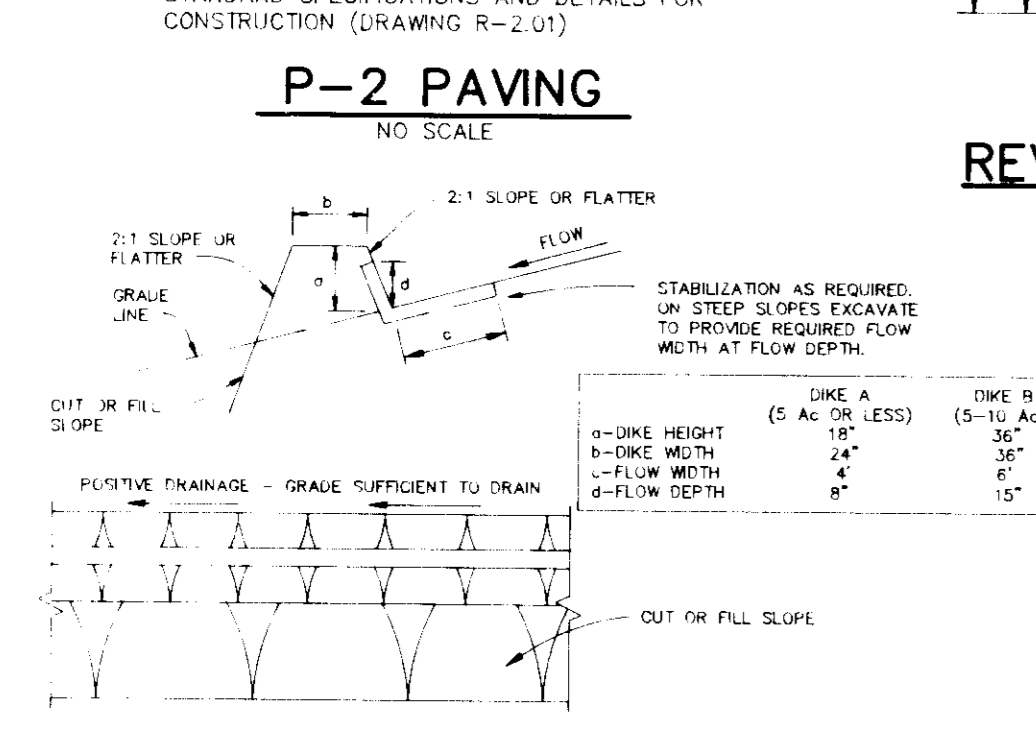
**APPROVED:** HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
J. Swell 5/22/95  
HOWARD SOIL CONSERVATION DISTRICT DATE

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J. Swell 5/22/95  
HOWARD SOIL CONSERVATION DISTRICT DATE



**CONSTRUCTION SPECIFICATIONS**

- ALL DIKES SHALL BE COMPACTED BY EARTH-MOVING EQUIPMENT.
- ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
- TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.
- FIELD LOCATION SHOULD BE AS JUSTIFIED AS NEEDED TO UTILIZE A MINIMUM SAFE OUTLET.
- EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN. WHEN EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT ADEQUATELY STABILIZED.
- STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SPECIFICATIONS; (B) FLOW CHANNEL AS PER THE TABLE BELOW.

TYPE OF TREATMENT	CHANNEL GRADE	DIKE A	DIKE B
1	0.5-3.0%	SEED & STRAW MULCH	SEED & STRAW MULCH
2	3.1-5.0%	SEED & STRAW MULCH	SEED USING AUTE OR EXCELSON 500-2" STONE
3	5.1-8.0%	SEED WITH AUTE OR SOIL: 2" STONE	LINED RIPRAP 4-8"
4	8.1-20%	LINED RIPRAP 4-8"	ENGINEERED DESIGN

NOTE: STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.

NOTE: RIPRAP TO BE 4-8 INCHES IN A LAYER AT LEAST 3 INCHES THICKNESS AND PRESSED INTO THE SOIL.

NOTE: APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.

NOTE: PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

**CONSTRUCTION SPECIFICATIONS**

- STONE SIZE - 10# 2" STONE (OR RECYCLED OR RECYCLED CONCRETE EQUIVALENT).
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM WOULD APPLY).
- THICKNESS - NOT LESS THAN 18 INCHES.
- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INCHES AND LOGS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING ENTRANCE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM 5" SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO AN APPROVED RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINAGE INTO AN APPROVED RIGHTS-OF-WAY.
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**CONSTRUCTION SPECIFICATIONS**

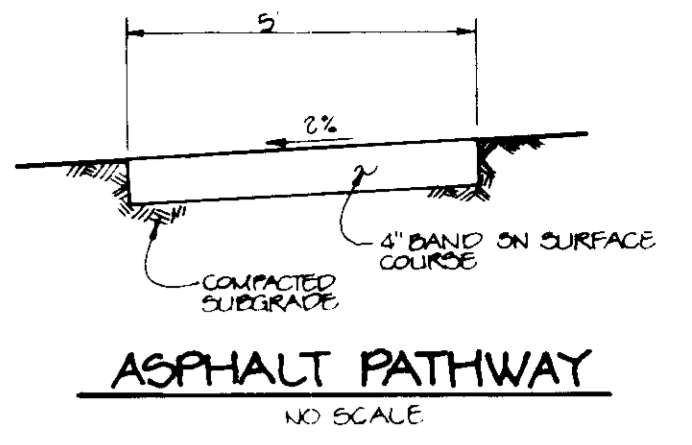
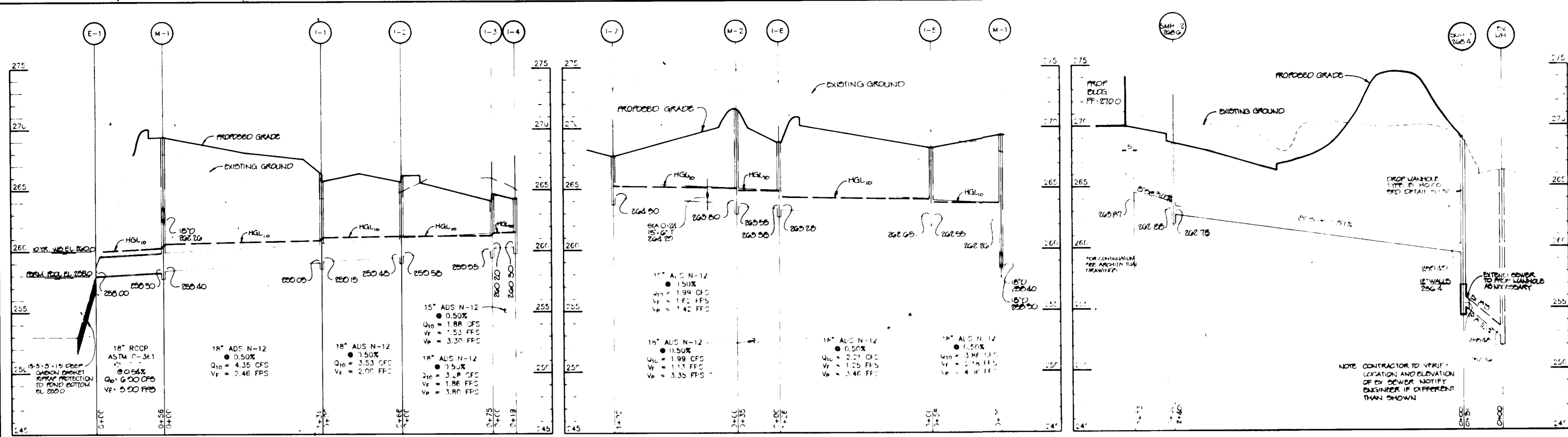
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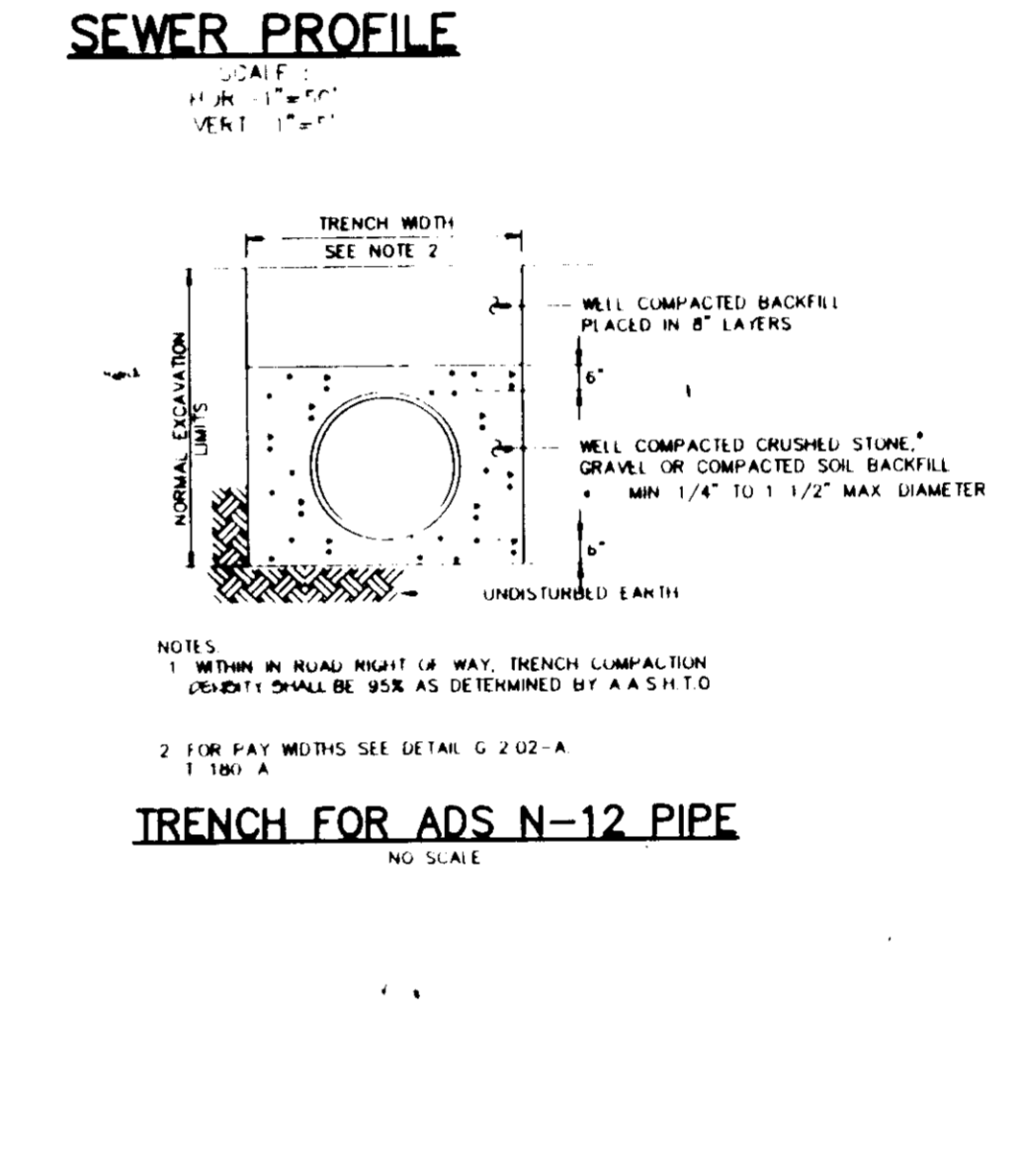
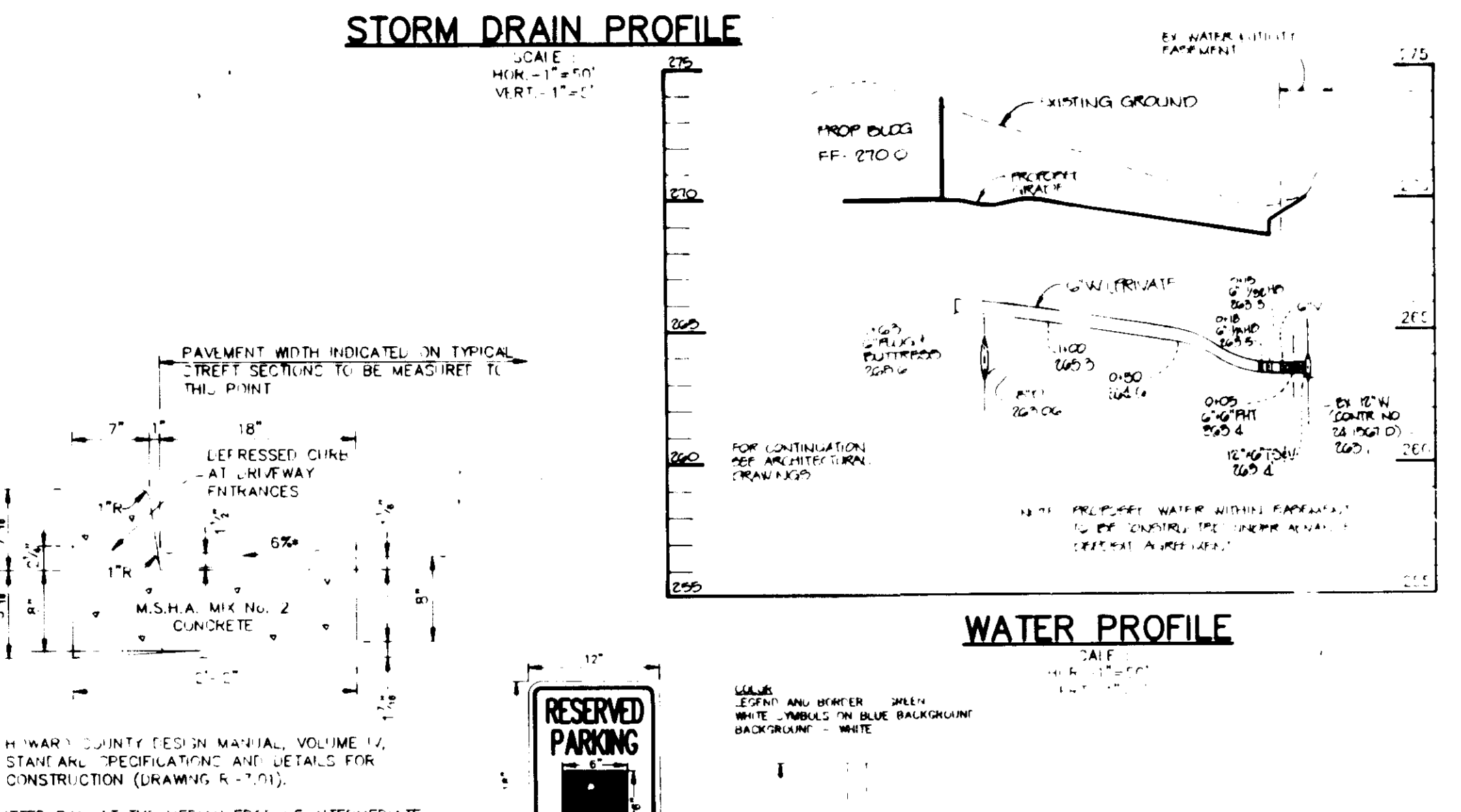
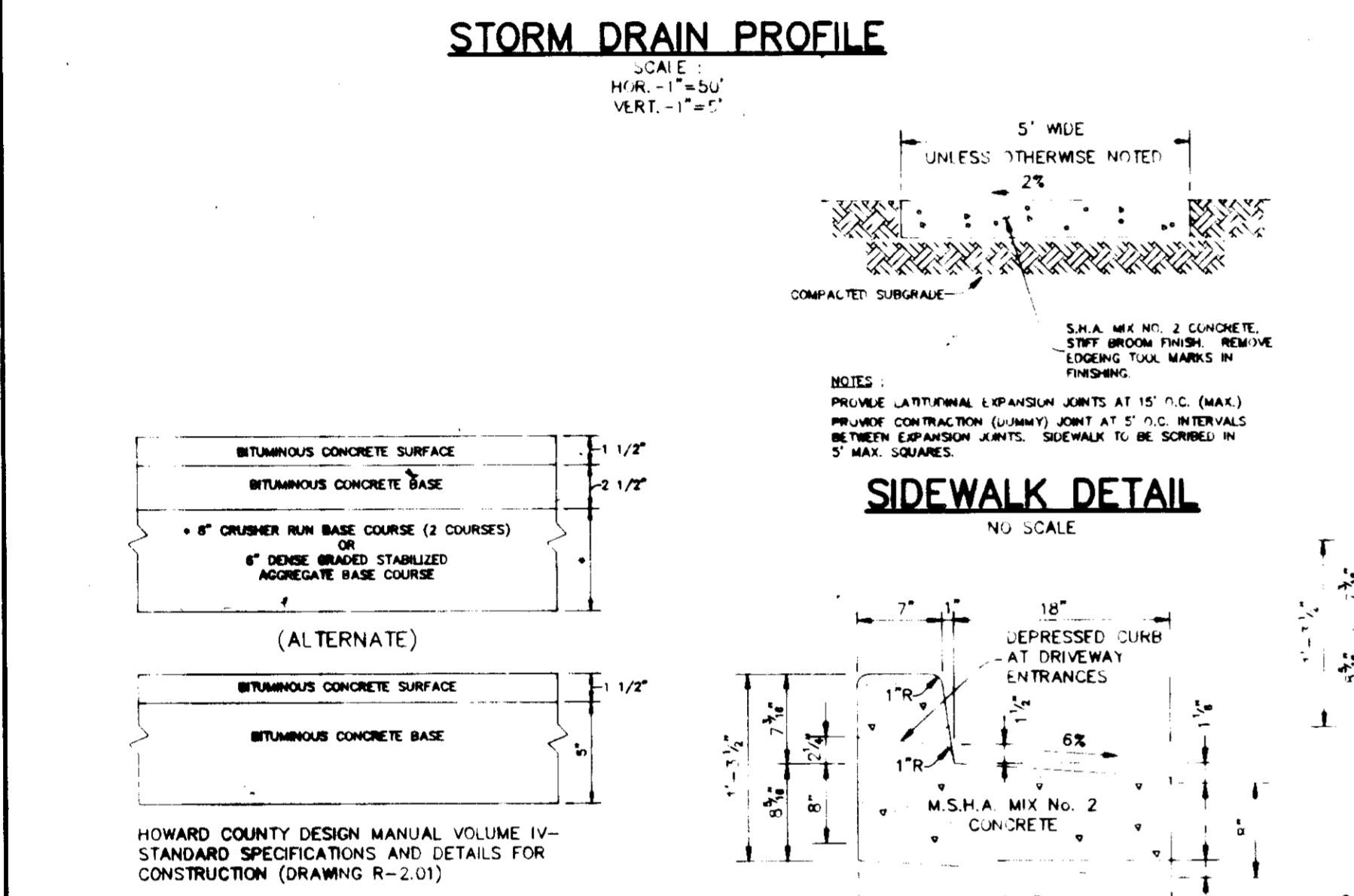


BY THE DEVELOPER:  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: \_\_\_\_\_ DATE: \_\_\_\_\_

BY THE ENGINEER:  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: *J. Swell* DATE: 5.15.95

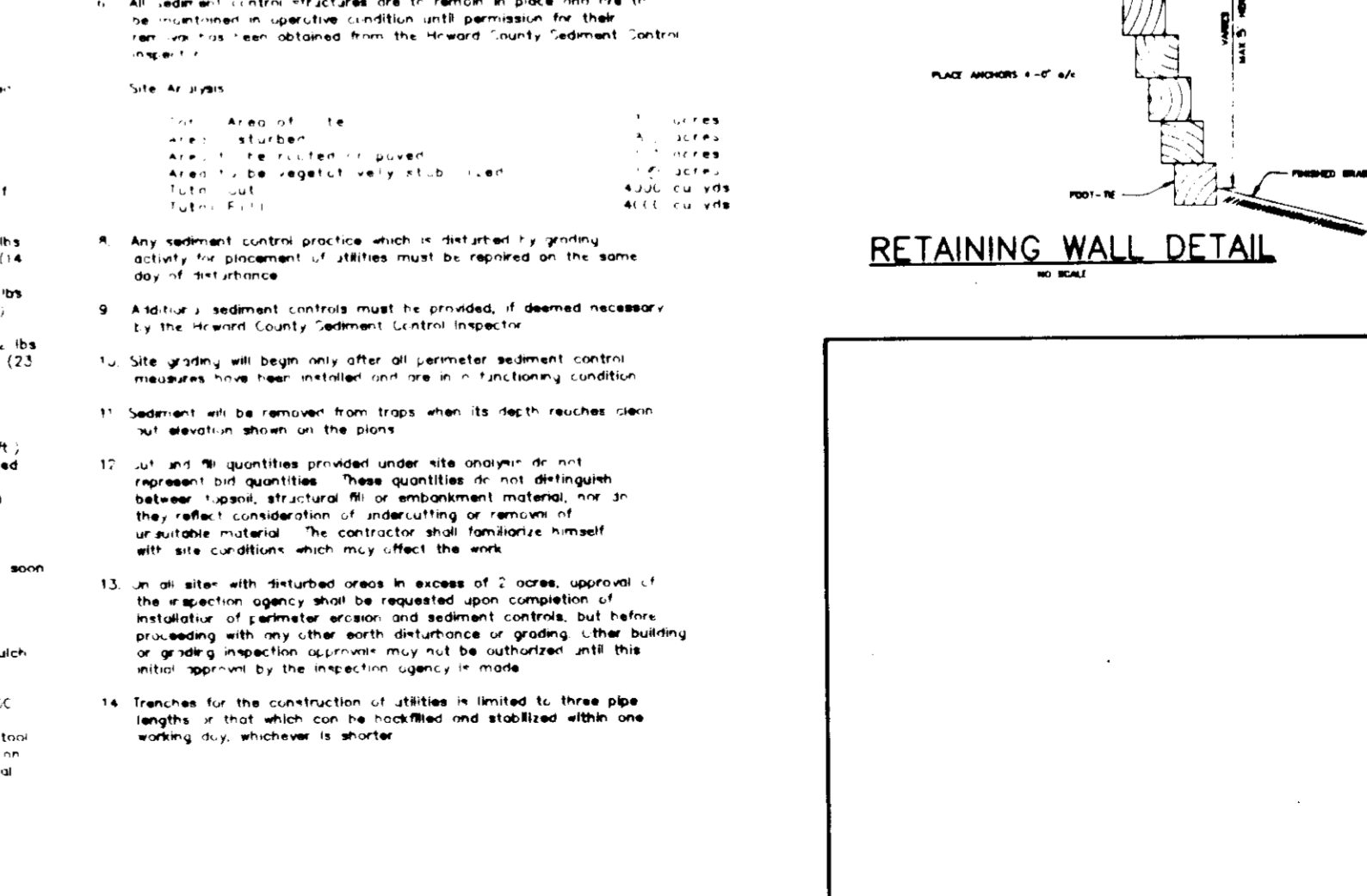
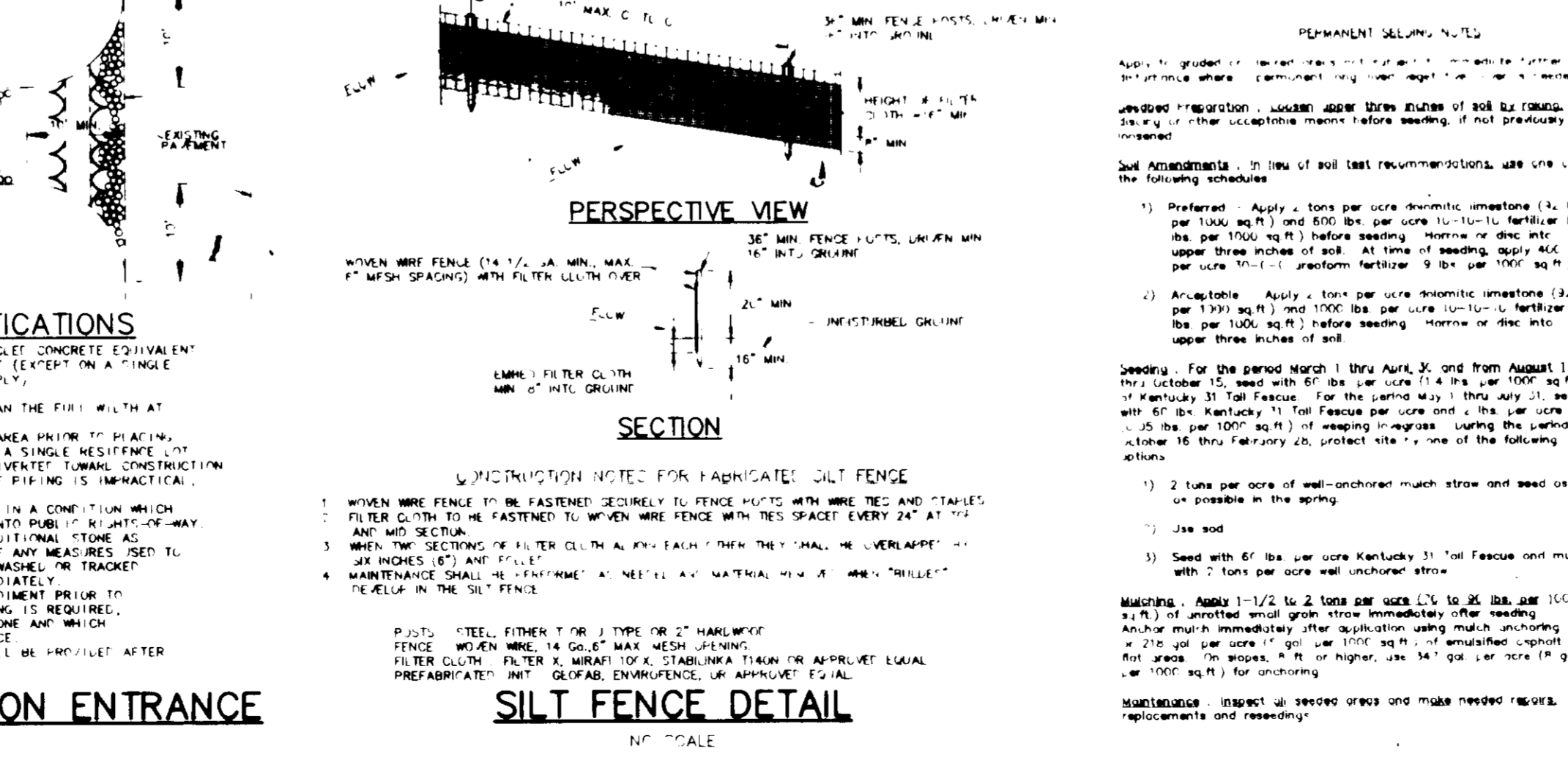
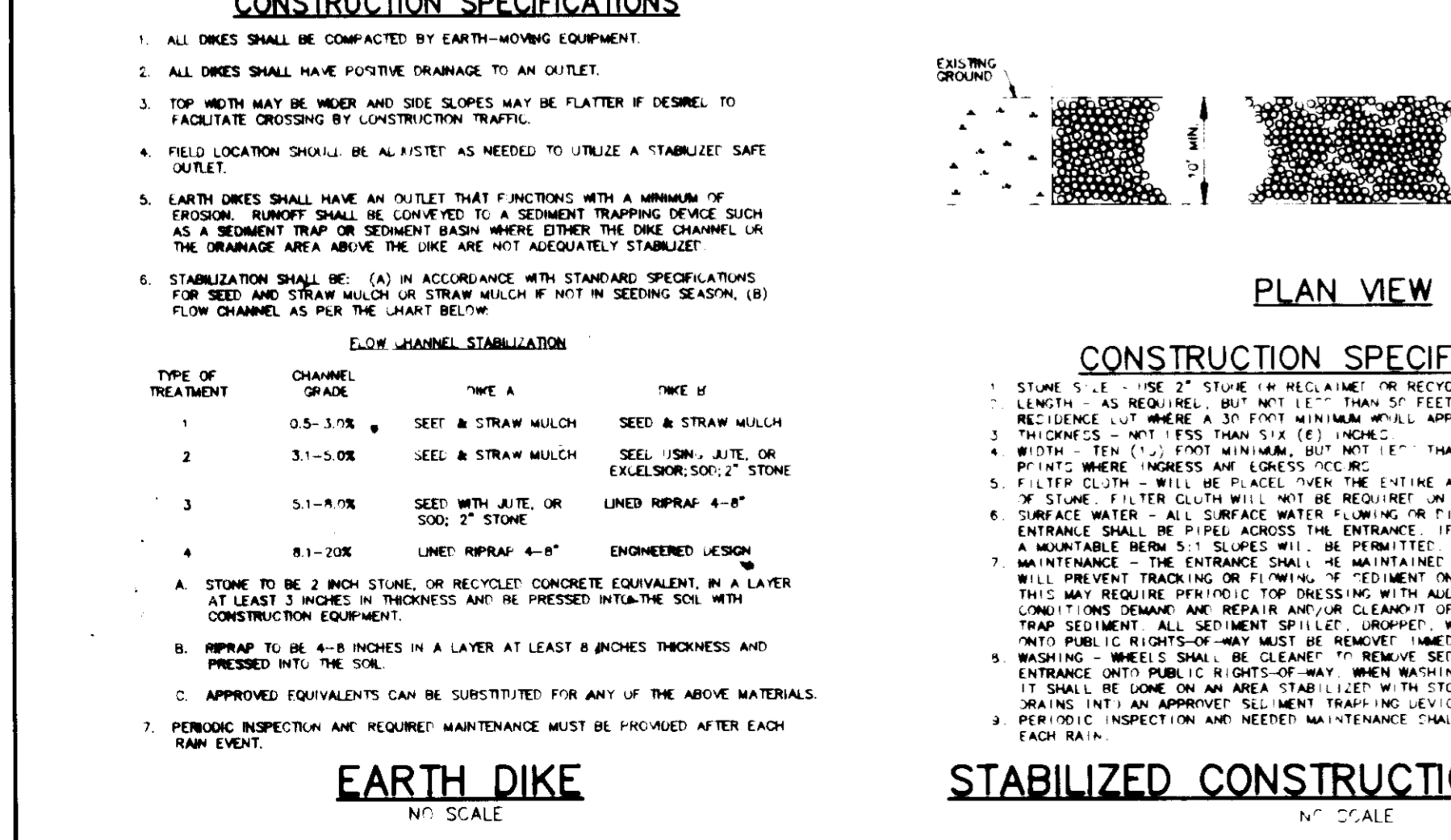
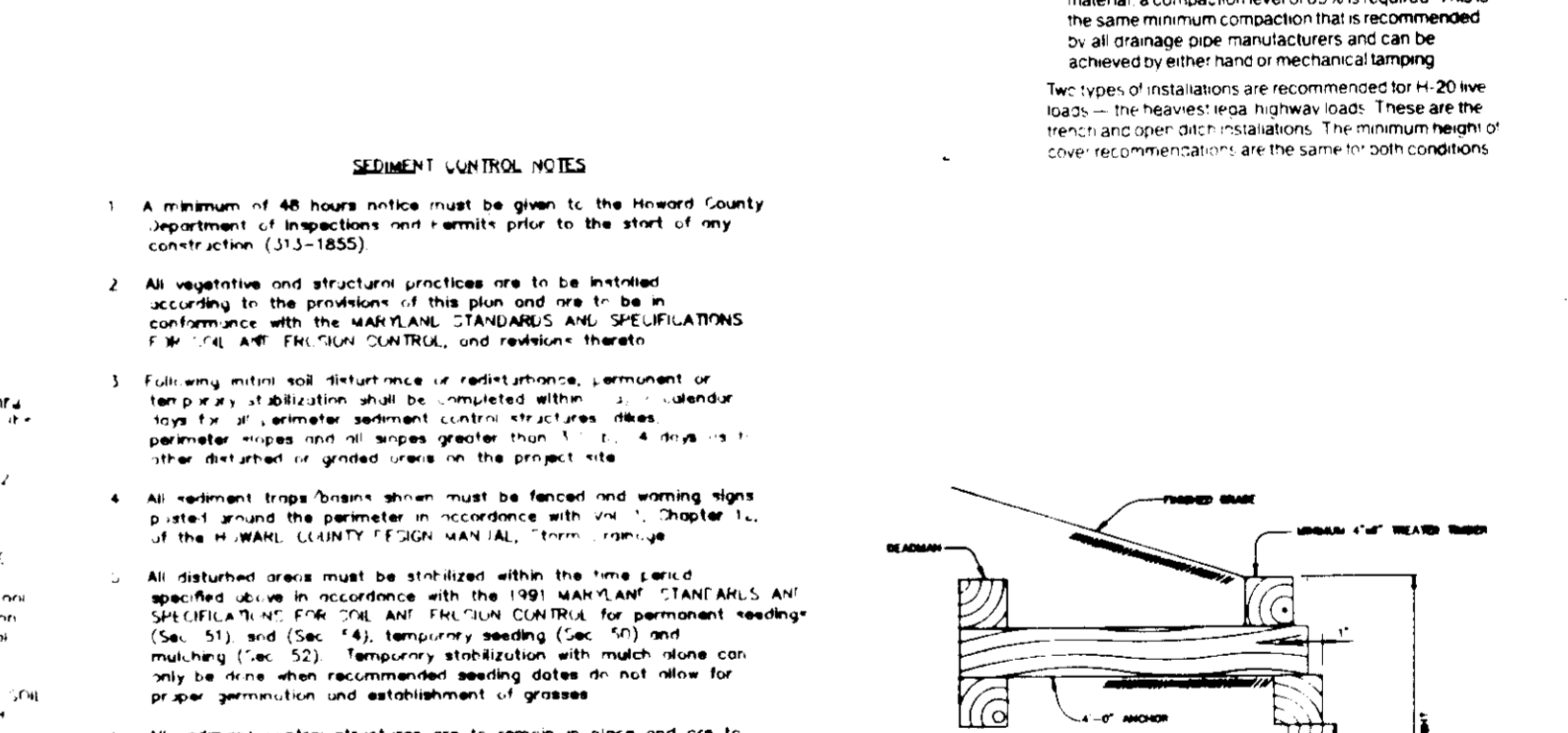
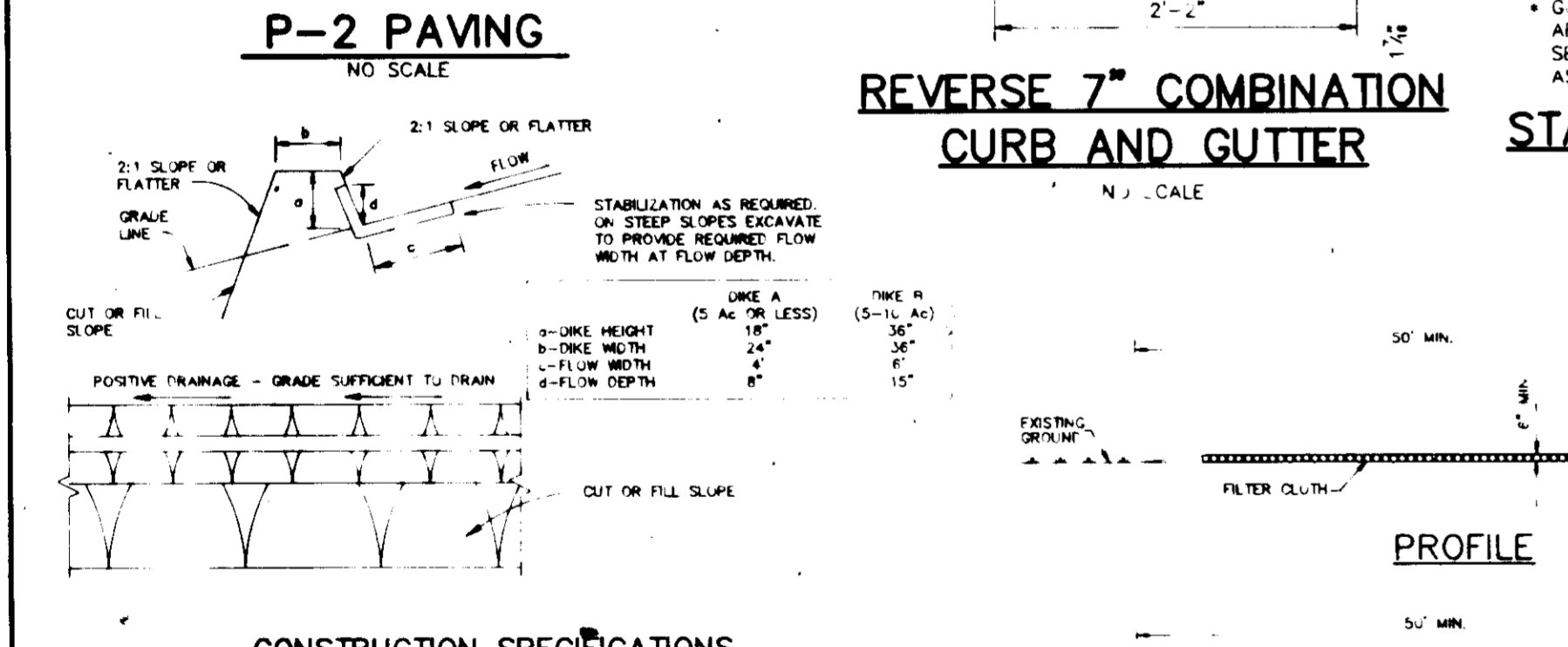


**ADD N-12 PIPE**  
**Applicable Specifications and Installation Guidelines**

- ASTM A45 Standard Specification for Corrugated Polyethylene Pipe and Fittings
- ASTM F 867 Standard Specification for Large Diameter Corrugated Polyethylene Pipe and Fittings
- ASTM F 252 Standard Specification for Polyethylene Corrugated Drainage Pipe
- ASTM F 294 Standard Specification for Corrugated Polyethylene Pipe, 24 to 36" Diameter
- ASTM Installation Guidelines for Culvert and Other Heavy Duty Drainage Applications
- ADS corrugated polyethylene pipe is a semi-rigid conduit. When properly installed, ADS pipe has excellent compressive load bearing strength. It is suitable for use under 400 and 800 live loads, with 11' height, in excess of 50 feet. For heights greater than 11', ADS requires engineering assistance. To ensure maximum performance, ADS pipe should be installed in accordance with the following recommendations.

**Installation Recommendations**

- Crushed stone, gravel or compacted aggregate backfill material should be used in the bedding and above the pipe.
- The bedding material should be compacted in 6" lifts. The bedding material should be compacted to a minimum density of 95% of the maximum density.
- Five conditions and availability of bedding materials often dictate the type of bedding method used.
- The bedding material should be compacted to a minimum density of 95% of the maximum density.
- ADS pipe should be installed in accordance with the following recommendations.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*John J. Swell* DIRECTOR, DIVISION OF LAND DEVELOPMENT AND RESEARCH, 6/19/95

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*John J. Swell* DIRECTOR, BUREAU OF ENGINEERING, 6/19/95

DATE NO.	REVISION
1	ISSUED

OWNER / DEVELOPER: HOWARD COUNTY HOUSING COMMISSION, 6751 COLLETTA RD., SUITE 200, COLUMBIA, MARYLAND 21046

PROJECT: GUILFORD COURTS APARTMENT BUILDING

AREA: TAX MAP 42, FLAT 10, E9E9, FARCE 5, 10TH ELECTION DISTRICT, NORTH GREENBELT, HOWARD COUNTY, MARYLAND

TITLE: PROFILES AND DETAIL SHEET

RIEMER MUEGGE & ASSOCIATES, INC. Planners • Engineers • Surveyors, 888 Centre Park Drive • Suite 200 • Columbia, Md 21045, 410-997-8900, FAX: 410-997-9282

DATE: 5.15.95, DESIGNED BY: C.J.R., DRAWN BY: DAM, PROJECT NO.: 92704, DATE: MAY 18, 1995, SCALE: AS SHOWN, DRAWING NO.: 3 OF 9

2<sup>ND</sup> ORIG SOP-26-42



**LANDSCAPE SCHEDULES**

**SCHEDULE A  
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES			
	1	2	3	4	5	6
Perimeter Edge	1	2	3	4	5	6
Linear Feet of Roadway Frontage/Perimeter	150	250	250	150	240	320
Credit for Wall, Fence or Berm	Yes	Yes	No	Yes	No	No
Yes No Linear Feet Describe below if needed	195	170**		50		
Number of Plants Required	1	2	4	1	4	5
Shade Trees	1	0	0	0	7	0
Evergreen Trees	0	20	0	0	0	0
Shrubs	0	0	0	0	0	0
Number of Plants Provided	3	6	4	0	0	5
Shade Trees	0	0	0	15	4	0
Evergreen Trees	16	20	0	0	24	10
Shrubs	3	0	0	6	0	0
Flowering Trees						
Describe plant substitution credits below if needed	***			****	*****	*****

NOTE: This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.  
\* As stipulated in BA-Case 94-32E conditions of approval.  
\*\* Credit for 3' berm.

The following plant substitutions were applied:  
\*\*\* 3 flowering trees and 16 shrubs for 1 shade tree  
\*\*\*\* 6 flowering trees for 3 shade trees  
\*\*\*\*\* 3 evergreen trees and 24 shrubs for 4 shade trees  
\*\*\*\*\* 10 shrubs for 1 shade tree

NOTE: FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE FOOTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$2,000.00.

SCHEDULE B  
PARKING LOT INTERNAL LANDSCAPING  
Landscaped islands required = 4  
Landscaped islands provided = 7

Number of Parking Spaces	42
Number of Trees Required (Shade) (1:1:10 RATIO)	4
Number of Trees Provided Shade Trees Other Trees (2:1 substitution)	4

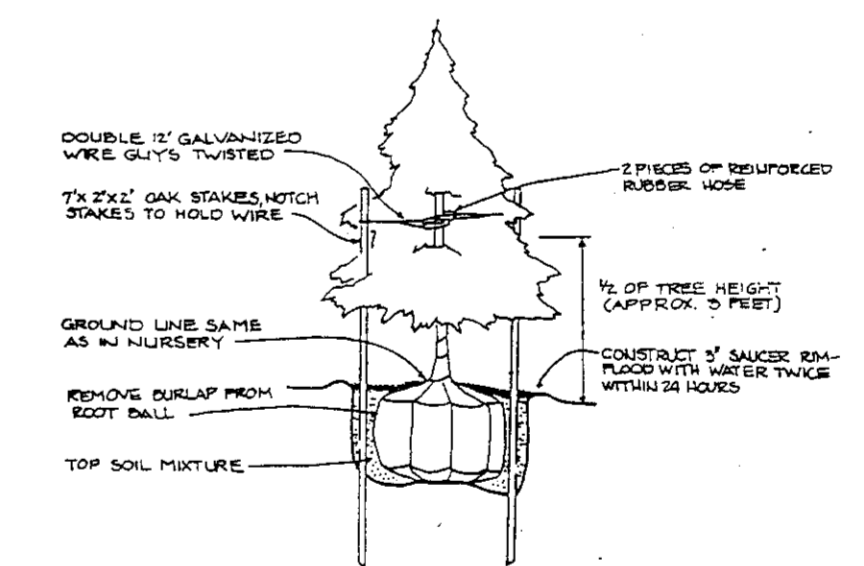
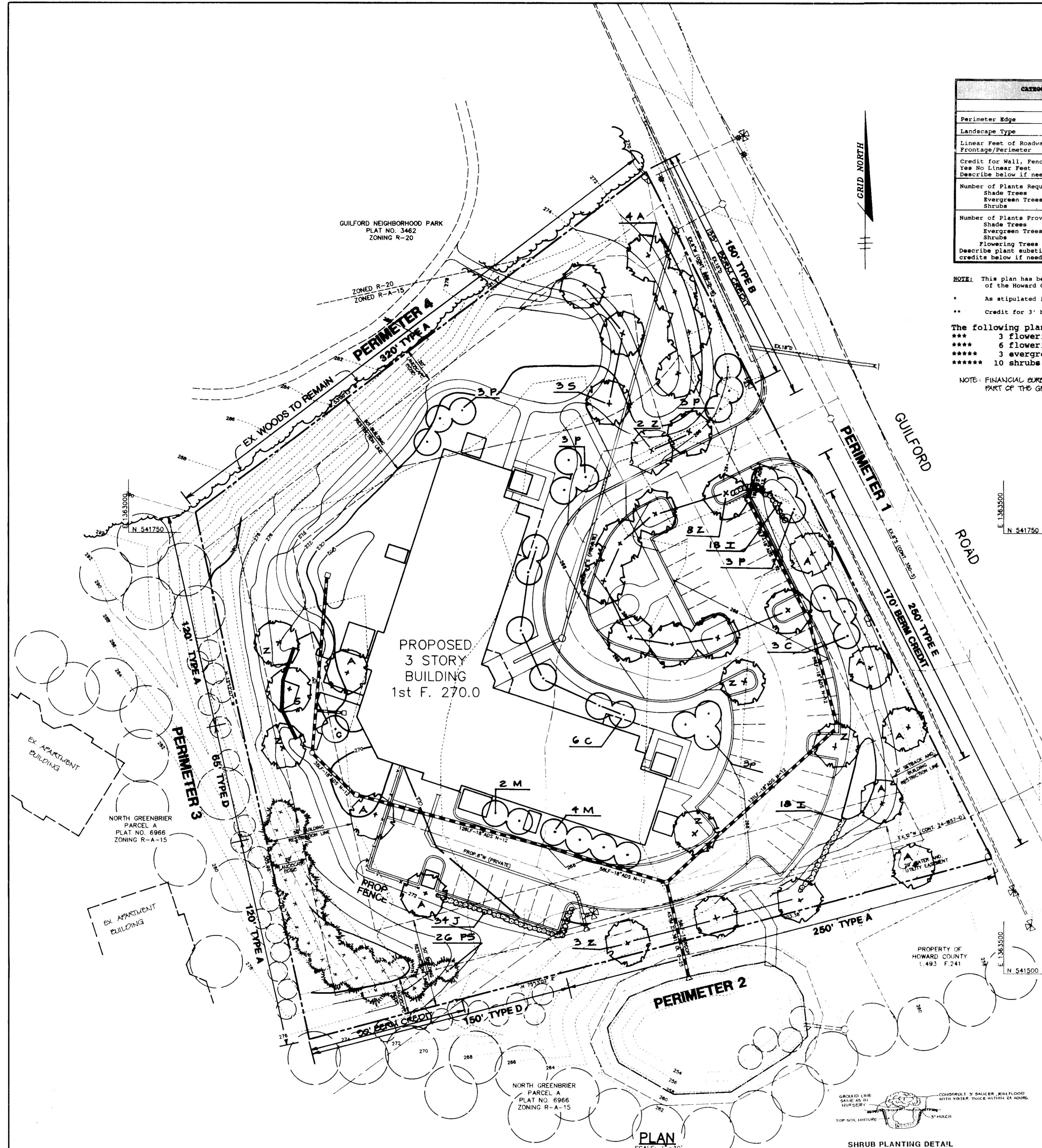
SCHEDULE C  
RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING

Number of Dwelling Units	60
Number of Trees Required (shade) (1:1:10 RATIO)	20
Number of Trees Provided Shade Trees Other Trees (2:1 substitution)	12

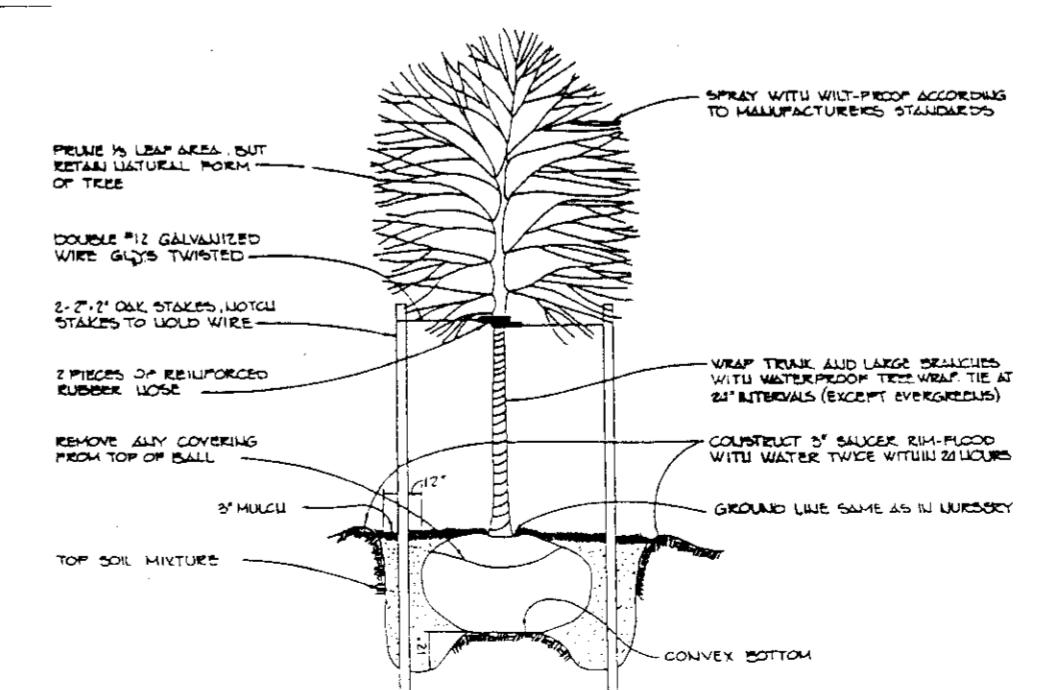
\* 22 flowering trees were substituted for 8 shade trees.

**PLANT LIST**

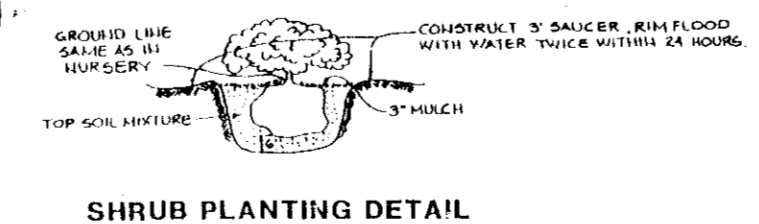
KEY	QTY	NAME	SIZE	REMARKS
A	12	ACER SACCHARUM 'LEGACY' LEGACY SUGAR MAPLE	2 1/2"-3" CAL. 10'-12" HT.	B & B Full Head
C	10	CORNUS KOUSA KOUSA DOGWOOD	1 1/2"-2" CAL. 8'-10" HT.	B & B
I	36	ILEX CRENATA 'COMPACTA' COMPACT JAPANESE HOLLY	2 1/2"-3" HT.	Cont.
J	34	JUNIPERUS CHINENSIS 'SEA GREEN' SEA GREEN JUNIPER	18"-24" HT.	Cont.
M	6	MALUS 'EVELYN' EVELYN CRABAPPLE	1 1/2"-2" CAL. 8'-10" HT.	B & B
PS	26	PINUS STROBUS WHITE PINE	6"-8" HT.	B & B
P	15	PRUNUS YEDOMENSIS YOSHINO CHERRY	1 1/2"-2" CAL. 8'-10" HT.	B & B
S	4	SOPHORA JAPONICA 'REGENCY' REGENCY JAPANESE PAGODA TREE	2 1/2"-3" CAL. 10'-12" HT.	B & B
Z	18	ZELKOVA SERRATA 'VILLAGE GREEN' VILLAGE GREEN ZELKOVA	2 1/2"-3" CAL. 10'-12" HT.	B & B



**EVERGREEN PLANTING DETAIL**  
N.T.S.



**TREE PLANTING DETAIL**  
N.T.S.



**SHRUB PLANTING DETAIL**

**PLAN**  
SCALE: 1" = 30'

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* 6/13/95  
DIRECTOR DATE

*[Signature]* 6/9/95  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED : FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

*[Signature]* 6/14/95  
DIRECTOR DATE

*[Signature]* 6/1/95  
CHIEF, BUREAU OF ENGINEERING DATE

DATE NO. REVISION

OWNER: HOWARD COUNTY HOUSING COMMISSION  
6751 COLUMBIA GATEWAY DRIVE  
3RD FLOOR  
COLUMBIA, MARYLAND 21046  
410-113-6320

DEVELOPER: HOZUTEKI AN ASSOCIATE  
6401 COLLEN TRIANGLE UNIT  
301-221-1113

PROJECT: **GUILFORD COURTS APARTMENT BUILDING**

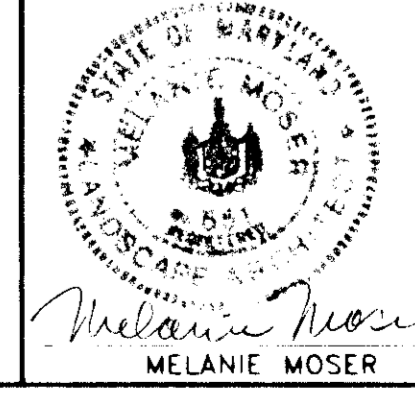
AREA: TAX MAP 42 PLAT NO. 6966 PARCEL 1  
6TH ELECTION DISTRICT, NORTH GREENBRIER  
HOWARD COUNTY, MARYLAND

TITLE: **LANDSCAPE PLAN**

**RIEMER MUEGGE & ASSOCIATES, INC.**  
Planners & Engineers • 5117 KENNEDY BLVD.  
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
410-997-8900 FAX : 410-997-9282

5-12-95 DATE

DESIGNED BY:  
DRAWN BY:  
PROJECT NO : 92704  
DATE:  
SCALE : AS SHOWN  
DRAWING NO. : 101



**LANDSCAPE SCHEDULES**

**SCHEDULE A  
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES				
	B	F	A	D*	A	D*	A
Perimeter Edge							
Linear Feet of Roadway Frontage/Perimeter	150	250	250	150	240	65	320
Credit for Wall, Fence or Berm Yes No Linear Feet Describe below if needed	Yes 190	Yes 170**	No	Yes 50	No	No	No
Number of Plants Required							
Shade Trees	1	2	4	1	4	1	5
Evergreen Trees	1	0	0	0	0	7	0
Shrubs	0	20	0	0	0	0	0
Number of Plants Provided							
Shade Trees	3	6	4	0	0	0	5
Evergreen Trees	0	0	0	15	4	7	0
Shrubs	16	20	0	0	24	10	0
Flowering Trees	3	0	0	0	6	0	0
Describe plant substitution credits below if needed	***			****	*****	*****	

**SCHEDULE B  
PARKING LOT INTERNAL LANDSCAPING** Landscaped islands required = 4  
Landscaped islands provided = 7

Number of Parking Spaces	42
Number of Trees Required (Shade)	4
Number of Trees Provided Shade Trees Other Trees (2:1 substitution)	4

**SCHEDULE C  
RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING**

Number of Dwelling Units	60
Number of Trees Required (shade) (1:1:1 DU PARTS)	20
Number of Trees Provided Shade Trees Other Trees (2:1 substitution)	12 22

\* 22 flowering trees were substituted for 8 shade trees

**PLANT LIST**

KEY	QTY	NAME	SIZE	REMARKS
A	12	ACER SACCHARUM 'LEGACY' LEGACY SUGAR MAPLE	2 1/2"-3" CAL. 10'-12' HT.	B & B Full Head
C	10	CORNUS KOUSA KOUSA DOGWOOD	1 1/2"-2" CAL. 8'-10' HT.	B & B
I	36	ILEX CREMATA 'COMPACTA' COMPACT JAPANESE HOLLY	2 1/2"-3" HT.	Cont.
J	34	JUNIPERUS CHINENSIS 'SEA GREEN' SEA GREEN JUNIPER	18"-24" HT.	Cont.
M	6	MALUS 'EVELYN' EVELYN CRABAPPLE	1 1/2"-2" CAL. 8'-10' HT.	B & B
PS	26	PIRUS STROBUS WHITE PINE	6"-8" HT.	B & B
P	15	PRUNUS YEDOENSIS YOSHINO CHERRY	1 1/2"-2" CAL. 8'-10' HT.	B & B
S	4	SOPHORA JAPONICA 'RESENT' RESENT JAPANESE PAGODA TREE	2 1/2"-3" CAL. 10'-12' HT.	B & B
Z	18	SEKOYA SERRATA 'VILLAGE GREEN' VILLAGE GREEN SEKOYA	2 1/2"-3" CAL. 10'-12' HT.	B & B

**NOTE:** This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.

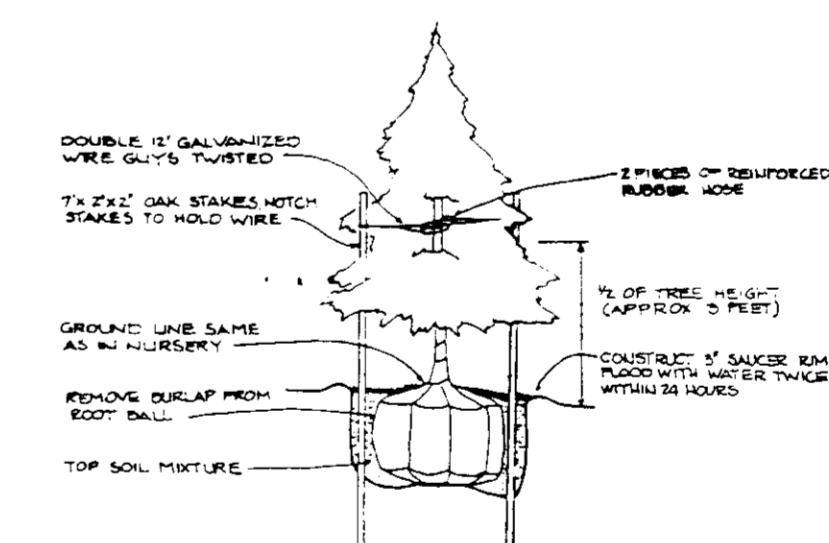
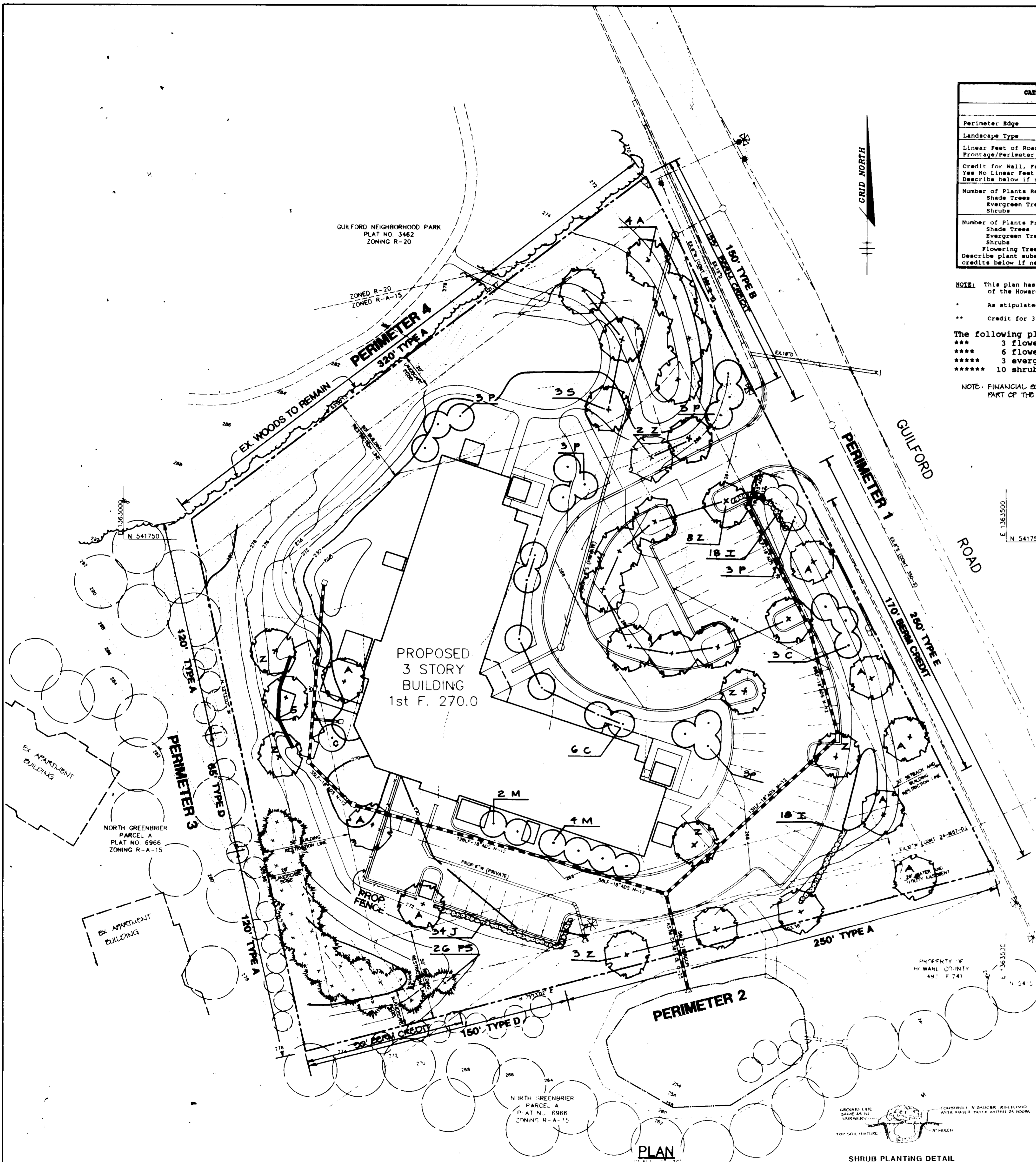
\* As stipulated in BA-Case 94-32E conditions of approval.

\*\* Credit for 3' berm.

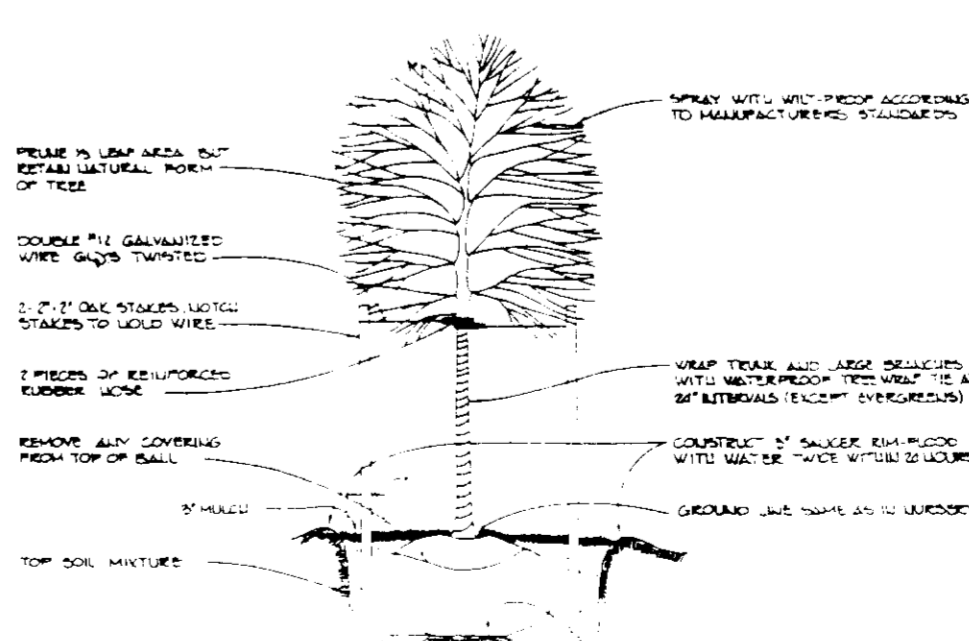
The following plant substitutions were applied:

- \*\*\* 3 flowering trees and 16 shrubs for 1 shade tree
- \*\*\*\* 6 flowering trees for 3 shade trees
- \*\*\*\*\* 3 evergreen trees and 24 shrubs for 4 shade trees
- \*\*\*\*\* 10 shrubs for 1 shade tree

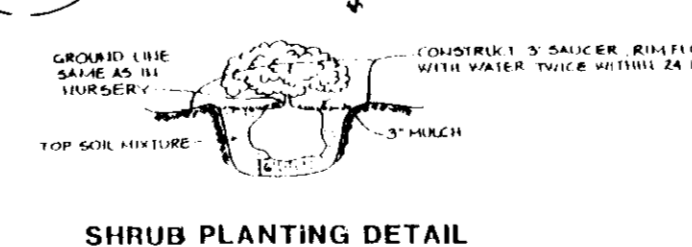
**NOTE:** FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$5,000.00.



**EVERGREEN PLANTING DETAIL** N.T.S.



**TREE PLANTING DETAIL** N.T.S.



**SHRUB PLANTING DETAIL**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* 6/13/95  
DIRECTOR DATE

*[Signature]* 6/9/95  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

*[Signature]* 6/14/95  
DIRECTOR DATE

*[Signature]* 6/1/95  
CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION
------	-----	----------

OWNER	DEVELOPER
HOWARD COUNTY HOUSING COOPERATION 8751 ZIMMER GATEWAY DRIVE 3RD FLOOR DUBLIN, MARYLAND 20746 410-713-6324	HOZUIT, AND ASSOCIATES 6401 DOLLEN TRIANGLE DRIVE SUITE 201 GREENBELT, MARYLAND 20770-1213 301-221-6100

PROJECT **GUILFORD COURTS**  
APARTMENT BUILDING

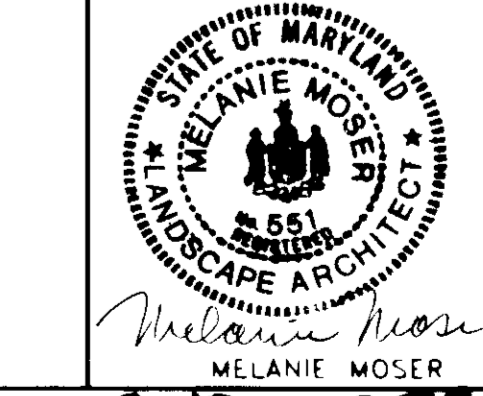
AREA TAX MAP NO. PLAT NO. 6966 PARCEL E  
NORTH GREENBRIER DISTRICT, NORTH GREENBRIER,  
HOWARD COUNTY, MARYLAND

TITLE **LANDSCAPE PLAN**

**RIEMER MUEGGE & ASSOCIATES, INC.**  
Planners Engineers Surveyors  
8818 Centre Park Drive Suite 200 Columbia, MD 21045  
410-997-8900 FAX: 410-997-9282

5-12-95 DATE  
SEP 87 847 AA 94 15 HA 94-102  
E 09 197 AA 09 06

DESIGNED BY:  
DRAWN BY:  
PROJECT NO.: 92704  
DATE:  
SCALE: AS SHOWN  
DRAWING NO.: 9 OF 9



**END ORIG.** SDP-05-42