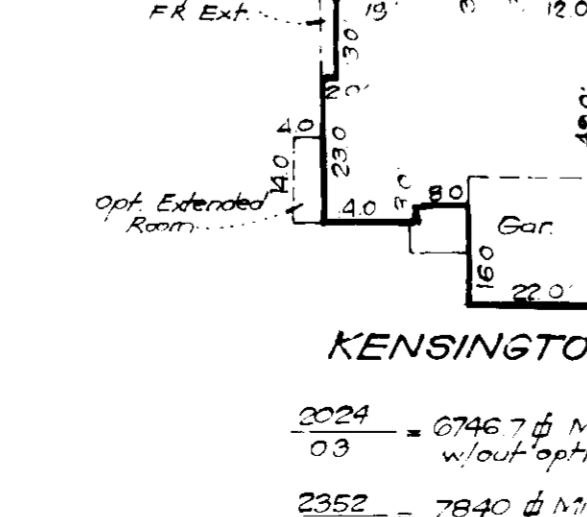
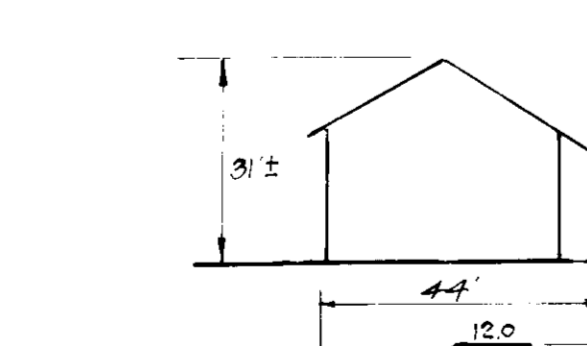
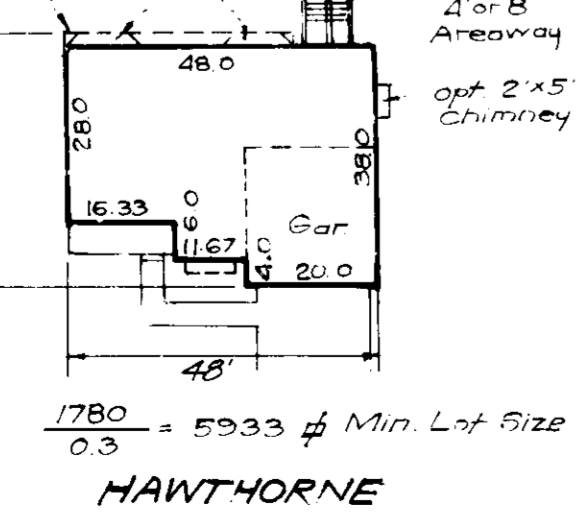
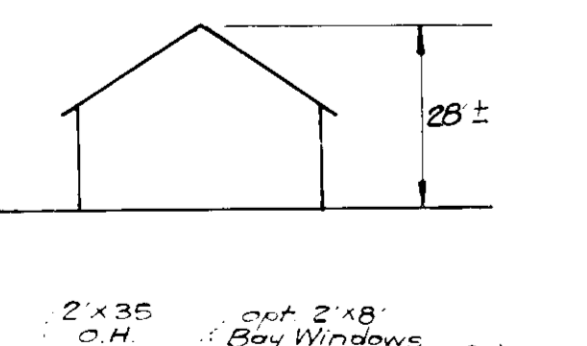
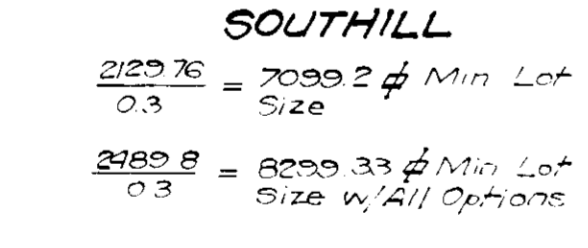
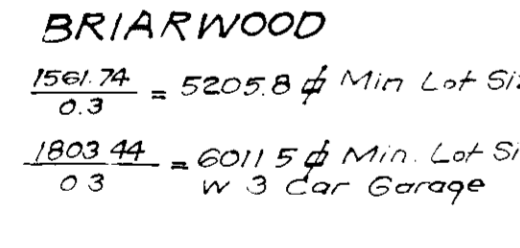
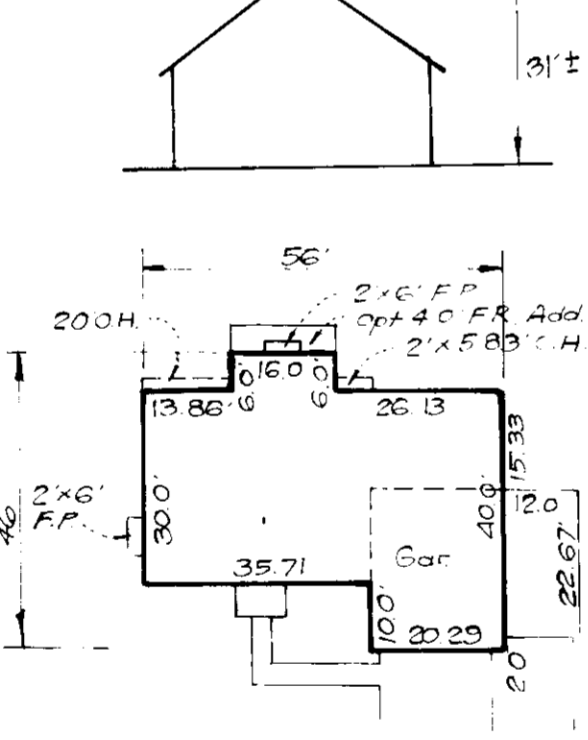
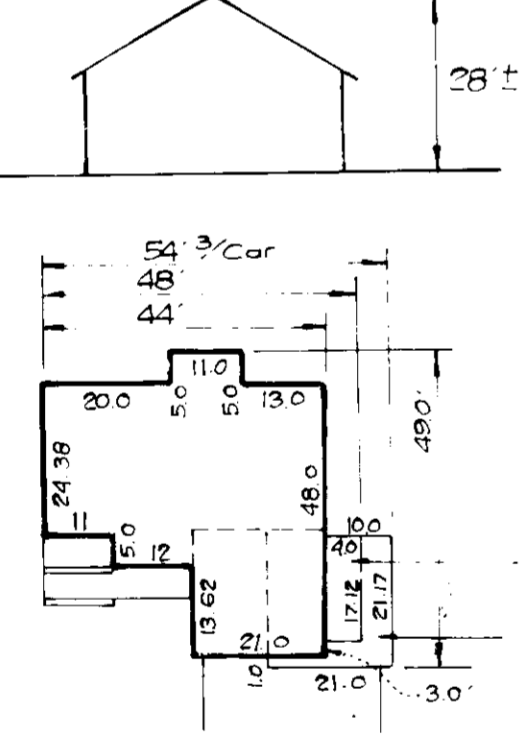
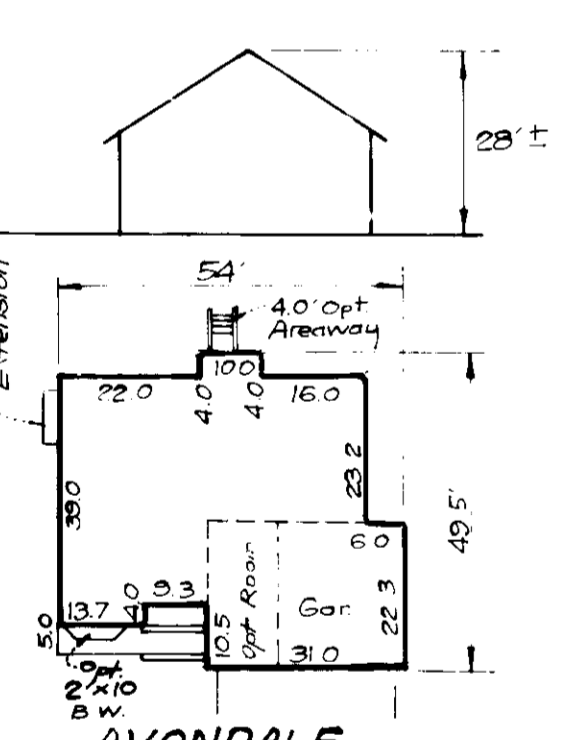
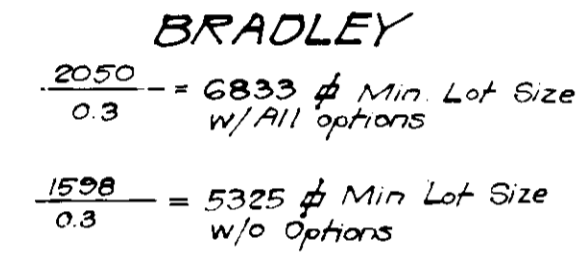
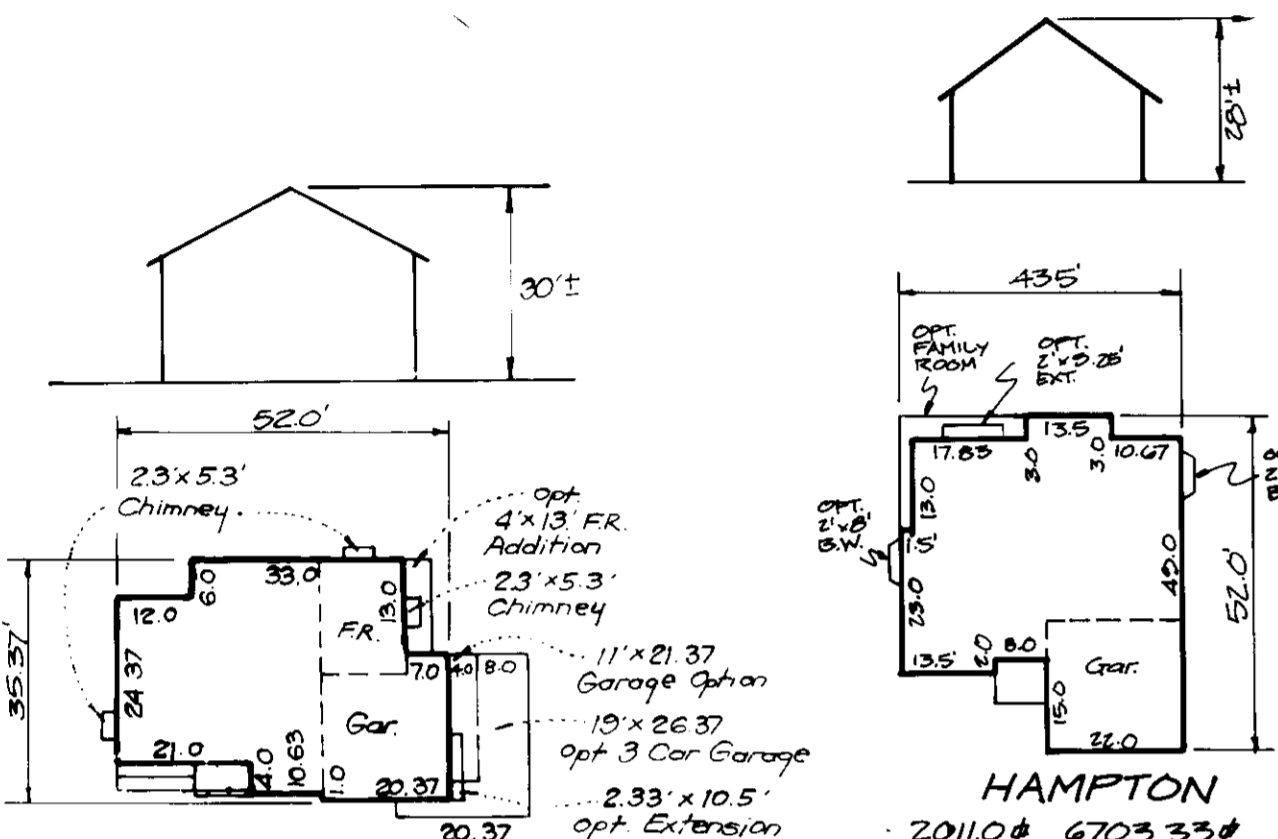
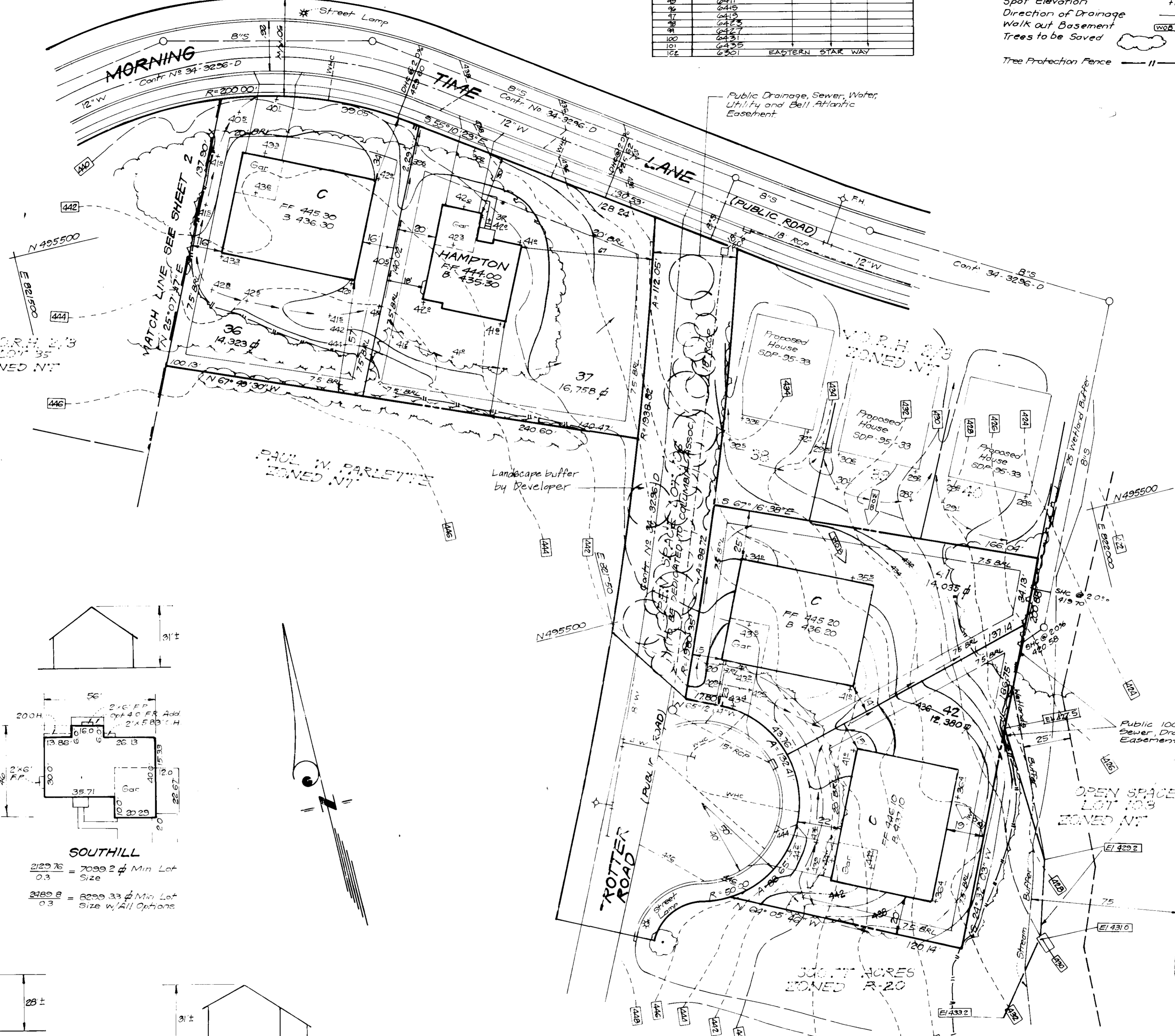
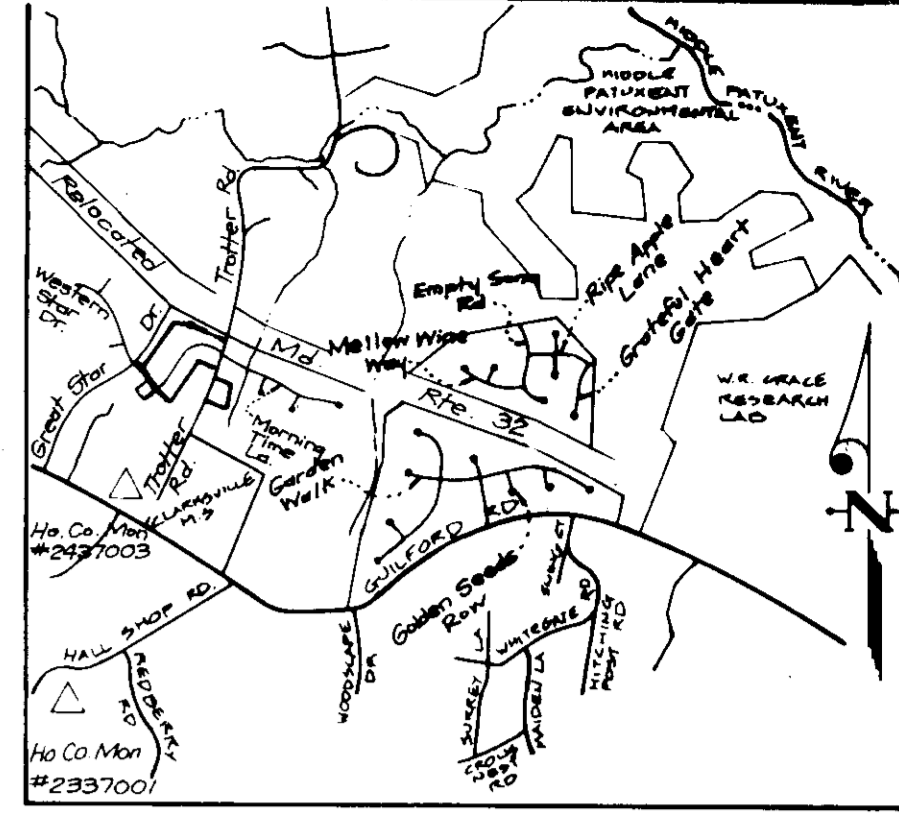
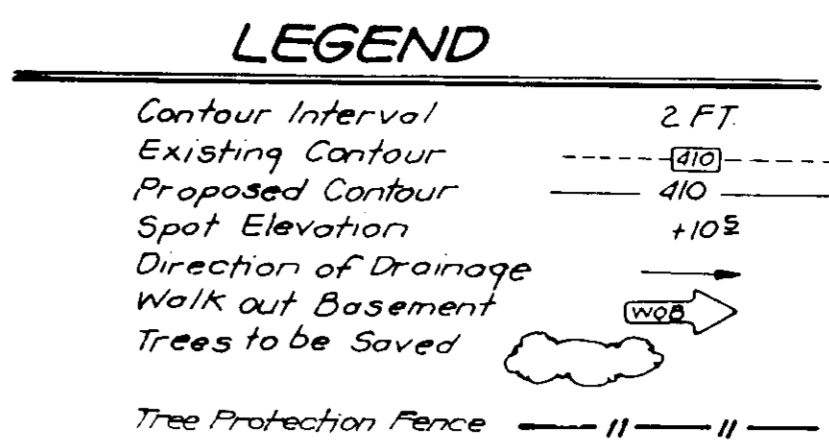


GENERIC HOUSE TYPES



LOT NO.	STREET ADDRESS
31	6440
32	6450
33	6460
34	6470
35	6480
36	6490
37	6500
38	6510
39	6520
40	6530
41	6540
42	6550
43	6560
44	6570
45	6580
46	6590
47	6600
48	6610
49	6620
50	6630
51	6640
52	6650
53	6660
54	6670
55	6680
56	6690
57	6700
58	6710
59	6720
60	6730
61	6740
62	6750
63	6760
64	6770
65	6780
66	6790
67	6800
68	6810
69	6820
70	6830
71	6840
72	6850



GENERAL NOTES:

- Subject property is zoned: NT per 10-18-93 Comprehensive Zoning Plan.
- The total area included in this submission is: 284,253 sq ft or 6.52 Ac.
- The total number of lots included in this submission are: 20.
- Improvement to property: Single family detached.
- For driveway entrance details refer to the Md. Co. Design Manual Volume II (2/93), Part 1, Section 6.03 and 6.04.
- Department of Planning and Zoning reference file numbers are: 9-21-93, 9-24-93, 9-24-93, FDP-200 Part III.
- Utilities shown as existing are taken from approved water and sewer plan Contract # 34-3296-D, approved road construction plans F-94-61 and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Storm water management is provided per: F-94-61.
- All roadways are public and existing.
- The existing topography shown was taken from road construction plans F-94-61 and actual field survey by C.F.S., Inc. dated Aug, 1994.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2437003 and 2337001.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection a 1410/313-1880 at least twenty-four (24) hours prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Sewer house connection elevations shown are located at the property line.
- No clearing, grading or construction is permitted within the 100 year Floodplain, Wetland or Stream Buffers except as determined essential by the Dept. of Planning & Zoning in accordance with Sec. 16.116 (c) of the Subdivision and Land Regulations. Maintenance of residences landscaping and utilities is permitted.
- Under certain conditions, deck and porches may only extend 3 feet into front and rear setback areas, bay windows and chimneys not more than 10 feet in width may project up to 4 feet into building setbacks as stated in FDP Phase 200, Part II.
- The storm water management facilities proposed for this site are 24,100 sq ft Horizontal Facilities. In the event of a failure of embankment, drainage will be limited to floodplains and open space. Water Quality is provided by oversized impoundment pads sized to store 1/2 inch from the roadways per F-94-61.
- The 65dBA noise contour line represents the approximate location of the 65dBA (A-weighted) noise exposure level generated by Md 32 traffic in the year 2015 based on assumptions about actual conditions at that time. This value represents the average sound level during the single noisiest one hour period of vehicle traffic during a typical day. This calculation is based on the State Highway Administration's Estimate of Year 2015 Highway Traffic Volume. The contour line shown on this plan is advisory as required by Howard County Design Manual III, Chapter 5 Revised Feb, 1992 and cannot be considered to locate exact, by the 65dBA exposure.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-94-61 and/or approved Water and Sewer Plans Contract # 34-3296-D.

SHEET INDEX

Sheets 1 and 2 - Site Development Plans
 Sheets 3 thru 5 - Sediment and Erosion Control Plans

SUBDIVISION NAME	COLUMBIA	SECTION/AREA	LOTS/PARCELS
Village of River Hill		2/3 Ph. 1	31-37, 41, 42 & 92-102
PLAT NO.	11300	BLOCK NO.	35
ZONE	NT	ELECTION DIST.	5TH
GENUS TRACT	6055		
WATER CODE	I-11 & I-13	SEWER CODE	6653000 and 6652600

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 DIRECTOR: *[Signature]* DATE: 1/28/95
 CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH: *[Signature]* DATE: 1/25/95

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 1/18/95
 CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 1/17/95

NO.	REVISIONS	DATE
2	Rev. here 7 and lot 37: Add Hampton house type	8-5-95
1	Revisions per Ho's Comment Letter dated 1-25-94	12-2-94



OWNER / DEVELOPMENT
 HOWARD RESEARCH AND DEVELOPMENT
 10275 Little Patuxent Parkway
 Columbia, Md. 21044

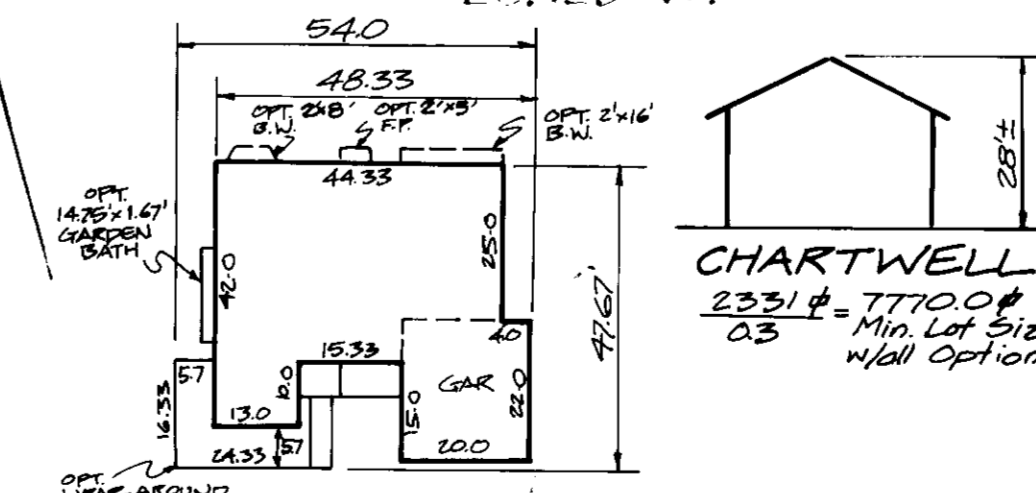
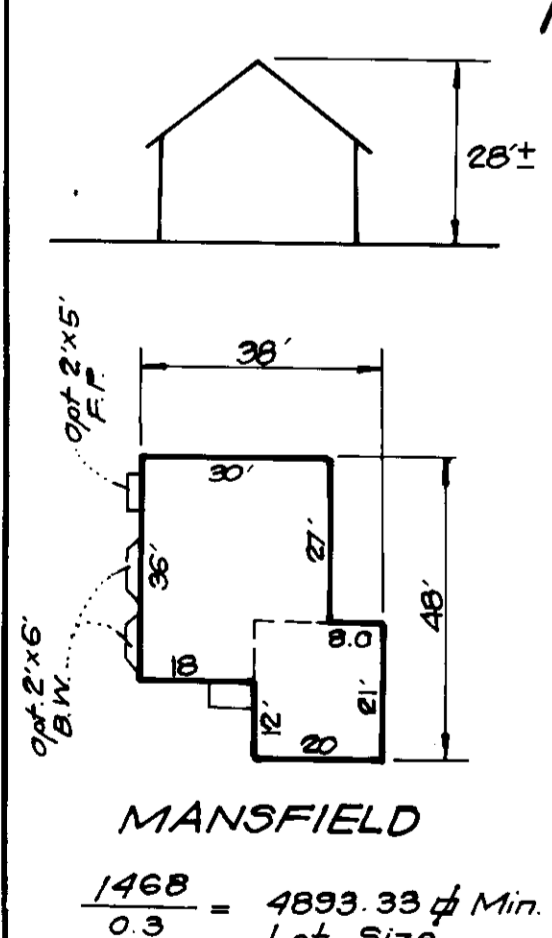
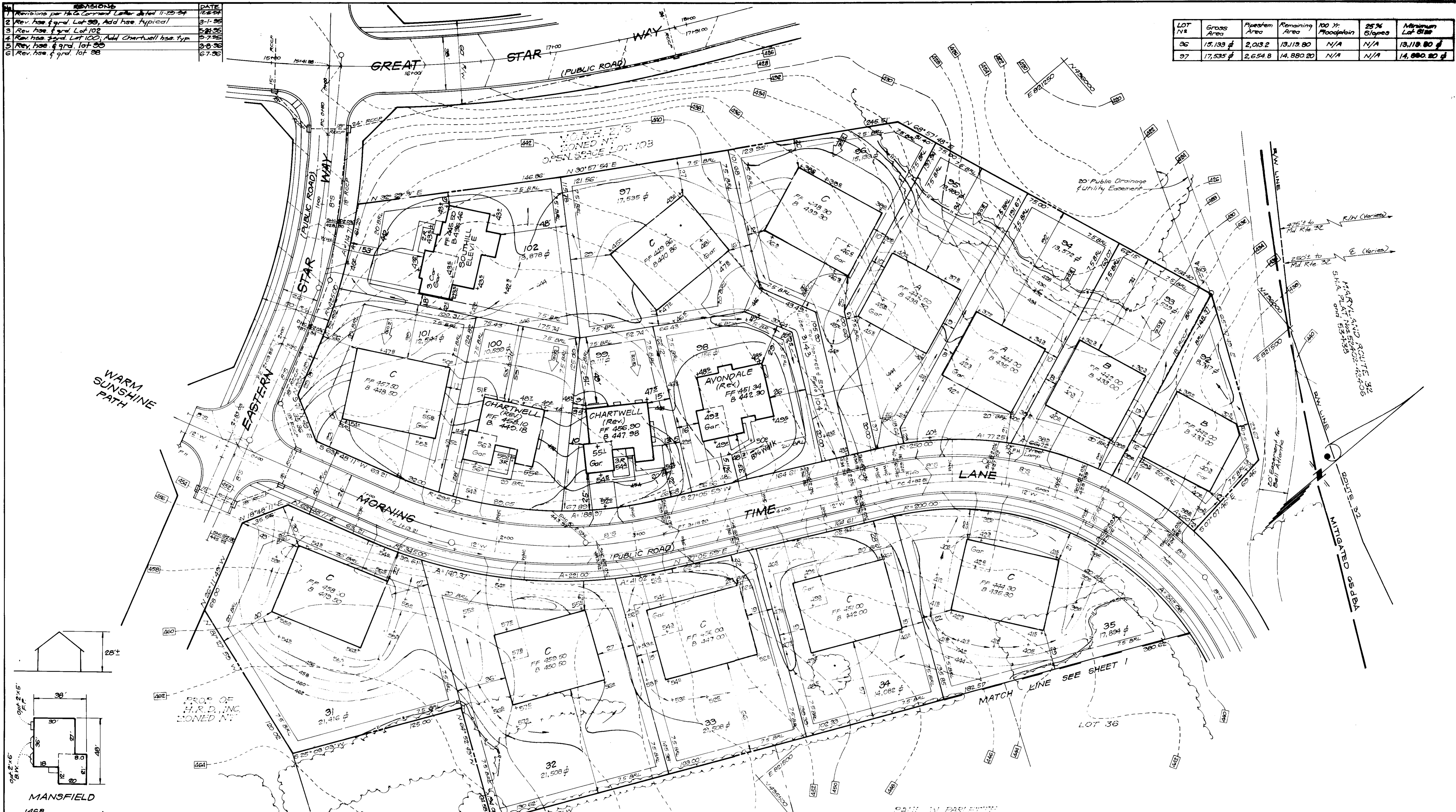
CLARK • FINEBROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED VLP	SITE DEVELOPMENT PLAN LOTS 31-37, 41, 42 and 92-102 COLUMBIA VILLAGE OF RIVER HILL SECTION 2 AREA 3 PHASE 1 FIFTH ELECTION DISTRICT HOWARD COUNTY MARYLAND	SCALE 1"=30'
DRAWN BAL		DRAWING 1 OF 5
CHECKED jme		JOB NO. 34-147
DATE 1-4-95		FILE NO. 34-147X

For: THE RYLAND GROUP, INC.
 7130 Minstrel Way
 Columbia, Md. 21043

NO.	REVISIONS	DATE
1	Revisions per H.C. Contract Letter Dated 11-25-94	12-2-94
2	Rev. hse. & grd. Lot 99, Add hse. typical	3-1-95
3	Rev. hse. & grd. Lot 102	5-21-95
4	Rev. hse. & grd. Lot 100; Add Chartwell hse. typ.	7-25-95
5	Rev. hse. & grd. lot 95	9-9-95
6	Rev. hse. & grd. lot 98	6-7-95

LOT #	Gross Area	Paved Area	Remaining Area	100 Yr. Floodplain	25% Slopes	Minimum Lot Size
96	15,133 sq ft	2,013.2	13,119.80	N/A	N/A	13,119.80 sq ft
97	17,535 sq ft	2,654.8	14,880.20	N/A	N/A	14,880.20 sq ft



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 Director: *Anna Sturmann* DATE: 1/25/95
 Chief Division of Land Development and Research: *TC* DATE: 1/17/95

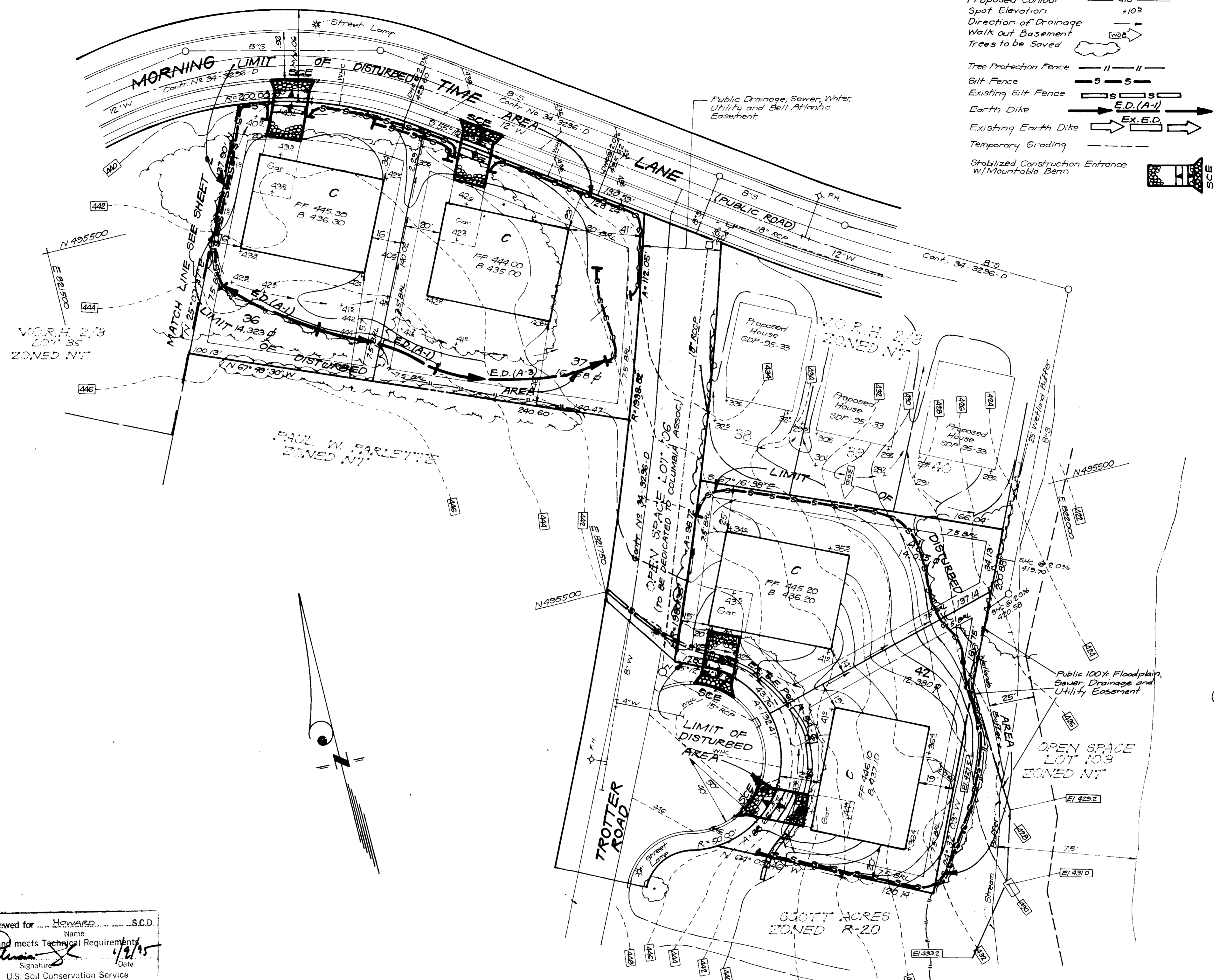
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *James P. Shuman* DATE: 1/18/95
 Chief Bureau of Engineering: *JTC* DATE: 1/17/95

OWNER / DEVELOPER
 HOWARD RESEARCH AND DEVELOPMENT
 1275 Little Patuxent Parkway
 Columbia, Md. 21044

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 821-8100 - WASH.

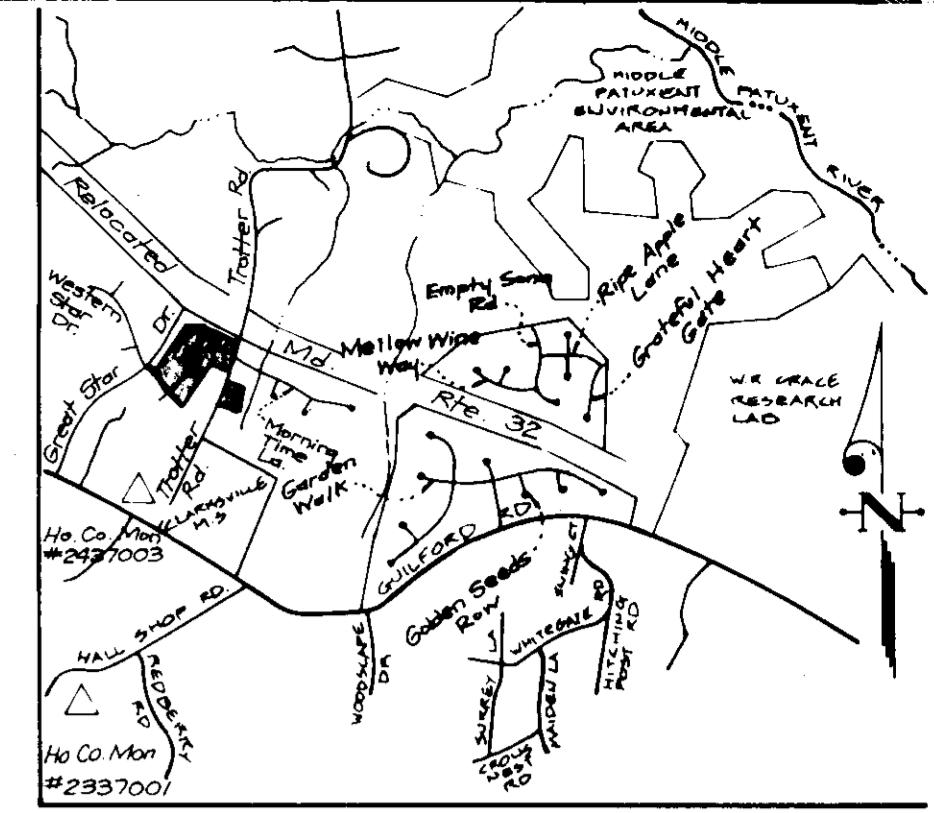
DESIGNED VLP	SITE DEVELOPMENT PLAN LOTS 91, 97, 41, 42 and 92-102 COLUMBIA VILLAGE OF RIVER HILL SECTION 2 AREA 3 PHASE 1 FIFTH ELECTION DISTRICT HOWARD COUNTY MARYLAND	SCALE 1" = 30'
DRAWN BAK		DRAWING 2 OF 5
CHECKED JME		JOB NO. 94-147
DATE 1-4-95		FILE NO. 94-147A
		For: THE RYLAND GROUP, INC. 7130 Minstral Way Columbia, Md. 21045

REVISIONS	DATE
Revisions per Ho. Co. Comment Letter dated 11-20-94	12-5-94



LEGEND

- Contour Interval: 2 FT
- Existing Contour: ---
- Proposed Contour: - - -
- Spot Elevation: +10'
- Direction of Drainage: →
- Walk out Basement: [Symbol]
- Trees to be Saved: [Symbol]
- Tree Protection Fence: ||
- Silt Fence: [Symbol]
- Existing Silt Fence: [Symbol]
- Earth Dike: [Symbol]
- Existing Earth Dike: [Symbol]
- Temporary Grading: [Symbol]
- Stabilized Construction Entrance w/Mountable Berm: [Symbol]



VICINITY MAP
SCALE: 1" = 2000'

DEVELOPER'S/BUILDERS CERTIFICATE

I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance of a Dept. of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by Howard Soil Conservation District or their authorized agencies, as are deemed necessary.

John A. Adams 10-17-94
Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a professional and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

John Nelson Clark 10-17-94
Signature Date

Reviewed for HOWARD COUNTY S.C.D. Name and meets Technical Requirements
John A. Adams 1/9/95
Signature Date
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Robertson 1/9/95
Approved Date

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

James G. Smith 1/25/95
DIRECTOR DATE

John Summerville 1/25/95
CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH TC DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James G. Smith 1/16/95
DIRECTOR DATE

John P. Robertson 1/17/95
CHIEF BUREAU OF ENGINEERING DATE

OWNER / DEVELOPER
HOWARD RESEARCH AND DEVELOPMENT
10275 Little Parkview Parkway
Columbia, Md. 21044

CLARK • FINEROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED	ZAL	SEDIMENT & EROSION CONTROL PLAN LOTS 31-37, 41, 42 and 92-102 COLUMBIA VILLAGE OF RIVER HILL SECTION 2 AREA 3 PHASE 1 FIFTH ELECTION DISTRICT HOWARD COUNTY MARYLAND	SCALE	1" = 30'
DRAWN	BAL		DRAWING	3 OF 5
CHECKED	ZAL		JOB NO.	34-147
DATE	12-12-94		FILE NO.	34-147SE

SDP 95-37

NO.	REVISIONS	DATE
1	Revisions per No. 10 Comment Letter dated 11-25-94	12-5-94

TRAP #3 SOST ST-IV

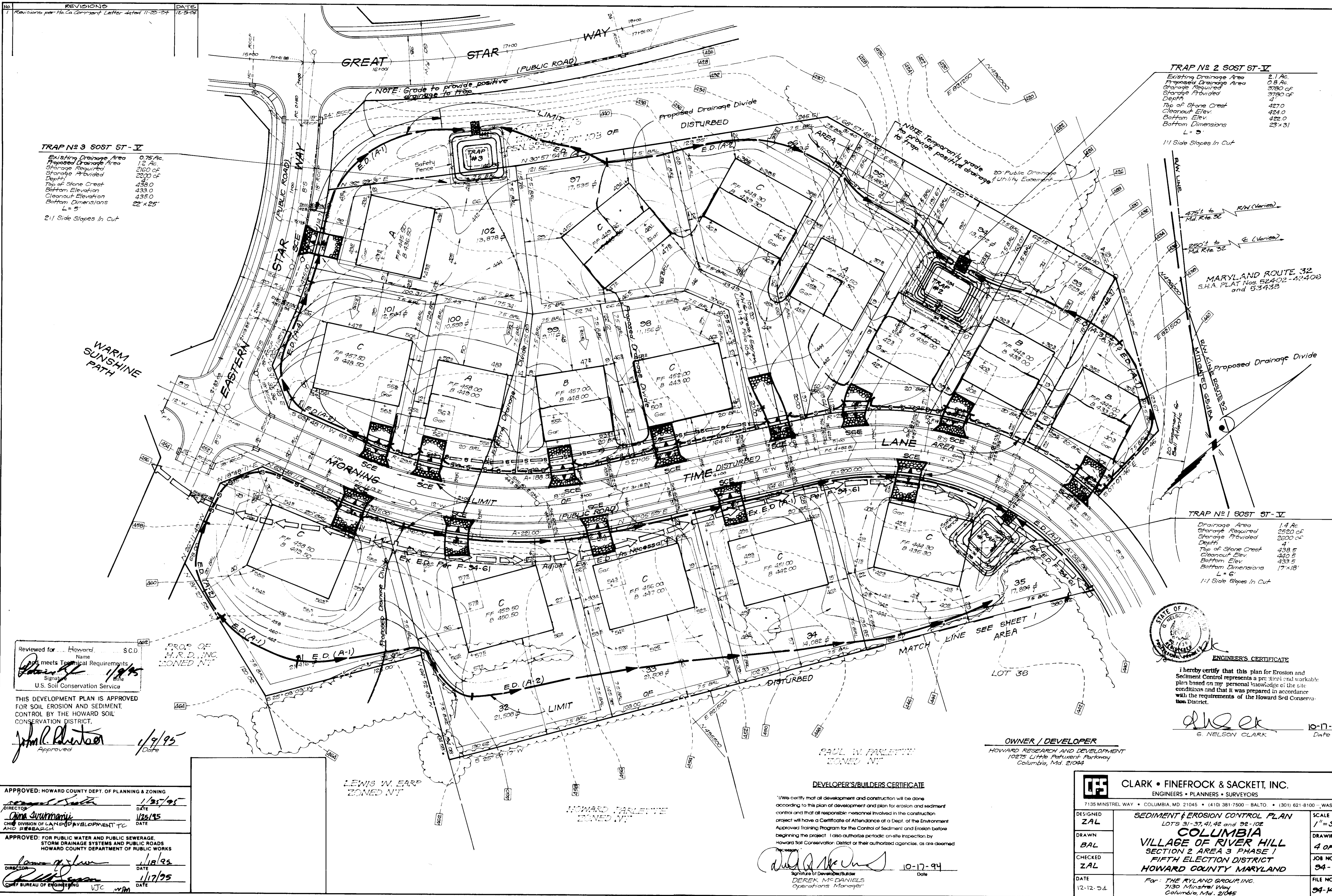
Existing Drainage Area 0.75 Ac.
 Proposed Drainage Area 1.2 Ac.
 Storage Required 2100 cf
 Storage Provided 2200 cf
 Depth 4'
 Top of Stone Crest 438.0
 Bottom Elevation 433.0
 Cleanout Elevation 435.0
 Bottom Dimensions 22' x 25'
 L = 5'
 2:1 Side Slopes In Cut

TRAP #2 SOST ST-IV

Existing Drainage Area 2.1 Ac.
 Proposed Drainage Area 0.8 Ac.
 Storage Required 3780 cf
 Storage Provided 3780 cf
 Depth 4'
 Top of Stone Crest 427.0
 Cleanout Elev. 424.0
 Bottom Elev. 422.0
 Bottom Dimensions 23' x 31'
 L = 5'
 1:1 Side Slopes In Cut

TRAP #1 SOST ST-IV

Drainage Area 1.4 Ac.
 Storage Required 2520 cf
 Storage Provided 2600 cf
 Depth 4'
 Top of Stone Crest 438.5
 Cleanout Elev. 440.5
 Bottom Elev. 433.5
 Bottom Dimensions 17' x 18'
 L = 6'
 1:1 Side Slopes In Cut



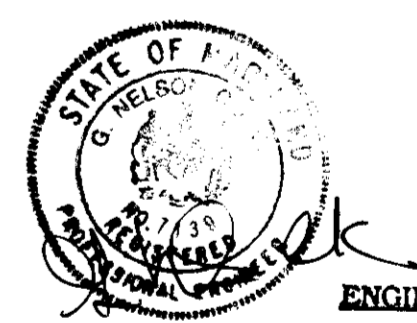
Reviewed for Howard S.C.D. Name: Howard S.C.D. meets Technical Requirements. Signature: [Signature] Date: 1/9/95. U.S. Soil Conservation Service.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved: [Signature] Date: 1/9/95

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING. Director: [Signature] Date: 1/25/95. Chief Division of Land Development, Planning and Research.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. Director: [Signature] Date: 1/16/95. Chief Bureau of Engineering.



ENGINEER'S CERTIFICATE. I hereby certify that this plan for Erosion and Sediment Control represents a pre-1991 and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: [Signature] Date: 10-17-94. G. NELSON CLARK

OWNER / DEVELOPER: PAUL W. PARLETTE, ZONED NT. HOWARD RESEARCH AND DEVELOPMENT, 10275 Little Patuxent Parkway, Columbia, Md. 21044.

DEVELOPER'S/BUILDERS CERTIFICATE. I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance of a Dept. of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by Howard Soil Conservator, District or their authorized agencies, as are deemed necessary. Signature of Developer/Builder: [Signature] Date: 10-17-94. DEREK MC DANIELS, Operations Manager.

CLARK • FINEROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 • BALTO. • (301) 821-8100 - WASH.

DESIGNED: ZAL	SEDIMENT EROSION CONTROL PLAN LOTS 31-37, 41, 42 and 92-102 COLUMBIA VILLAGE OF RIVER HILL SECTION 2 AREA 3 PHASE 1 FIFTH ELECTION DISTRICT HOWARD COUNTY MARYLAND	SCALE: 1" = 30'
DRAWN: BAL		DRAWING: 4 OF 5
CHECKED: ZAL		JOB NO.: 94-147
DATE: 12-12-94		FILE NO.: 94-147.02

For: THE RYLAND GROUP INC., 7130 Mintrel Way, Columbia, Md. 21045

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:
 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/100 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil. at the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft.)
 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs/1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using grain straw anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using grain straw anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT AND EROSION CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permit prior to the start of any construction. (913-185E).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec.51) sod (Sec.54), temporary seeding (Sec.50) and mulching (Sec.52). Temporary stabilization with sod alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:**

Total Area of Site:	6.5 AC.
Area to be graded or paved:	3.0 AC.
Area to be vegetatively stabilized:	3.5 AC.
Total Cut:	14,000 CY.
Total Fill:	11,700 CY.
Offsite Waste/Borrow Area Location:	

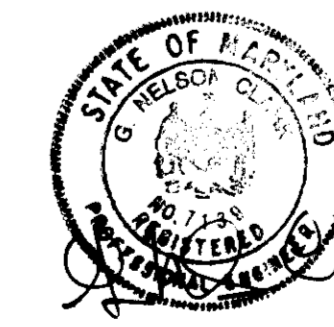
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- All pipes to be blocked at the end of each day (see detail this sheet).
- The total amount of silt fence = 1820 L.F.

It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and its grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:	NO. OF DAYS
1 Obtain grading permit	7
2 Install tree protection fence	7
3 Install sediment and erosion control devices and stabilize	14
4 Excavate for foundations, rough grade and temporarily stabilize	30
5 Construct structures, sidewalks and driveways	60
6 Final grade and stabilize in accordance with Stds. and Specs.	14
7 Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize	7

Delay construction of houses on lots 35 and 36. See single lot sediment control detail, this sheet.

OWNER / DEVELOPER
 HOWARD RESEARCH AND DEVELOPMENT
 10275 Little Patuxent Parkway
 Columbia, Md. 21044



CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.

DESIGNED ZAL	SEDIMENT & EROSION CONTROL DETAILS LOTS 31-37, 41, 42 and 52-102	SCALE As Shown
DRAWN BAL	COLUMBIA VILLAGE OF RIVER HILL	DRAWING 5 OF 5
CHECKED ZAL	SECTION 2 AREA 3 PHASE 1 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 94-147
DATE 12-12-94	For THE RYLAND GROUP, INC. 7130 Minstrel Way Columbia, Md. 21045	FILE NO. 94-147se

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

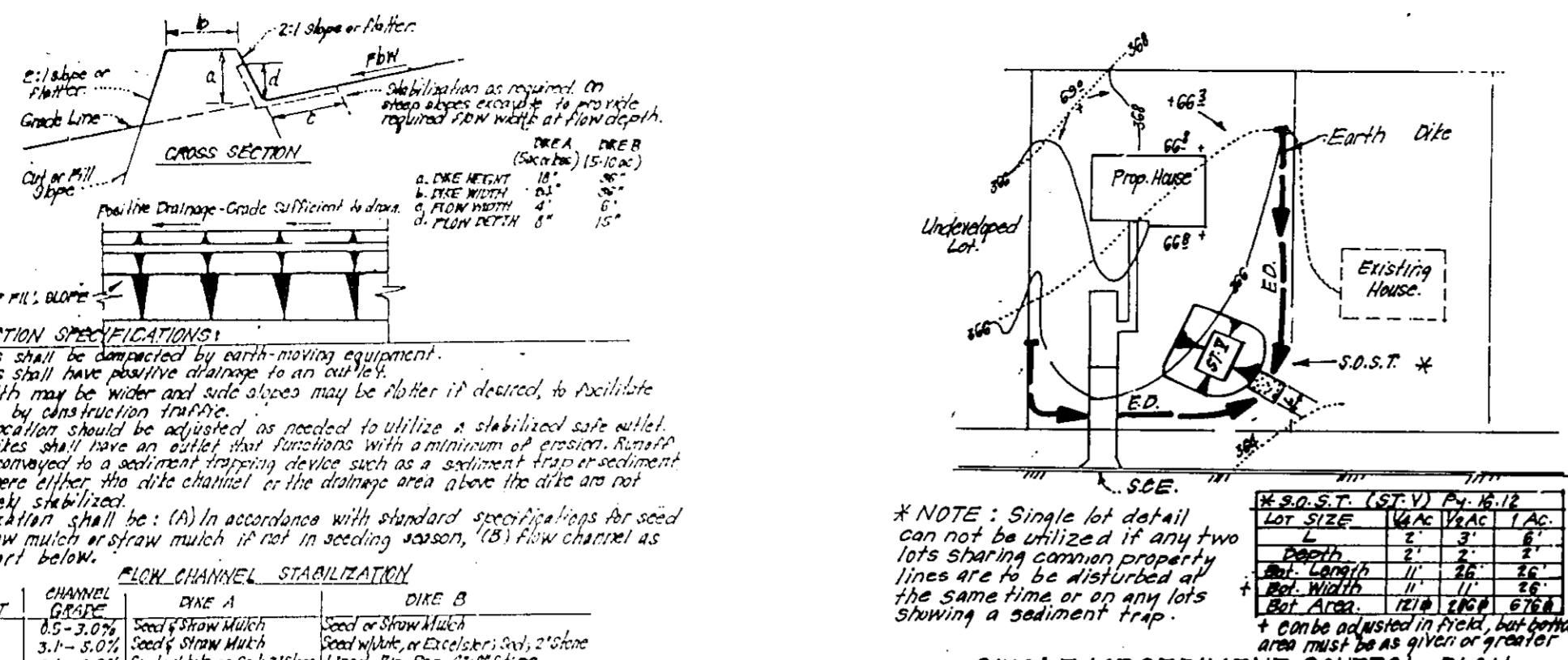
G. NELSON CLARK
 Date 10-17-94

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

DEREK McDANIELS
 Operations Manager
 Date 10-17-94

Revised for HOWARD S.C.D.
 and Meets Technical Requirements
 Signature: [Signature] Date: 11/15/95
 US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 J.P. Clinton 11/9/95
 Approved



CONSTRUCTION SPECIFICATIONS:

- All dikes shall be constructed by earth-moving equipment.
- All dikes shall have positive drainage to an outlet.
- Dike width may be wider and side slopes may be flatter if deemed to facilitate clearing by construction vehicle.
- Final inspection should be adjusted as needed to utilize a stabilized safe method.
- Earth dikes shall have an outlet that functions with a minimum of pressure. Outlet shall be connected to a sediment trapping device such as a sediment trap, sediment basin where dikes are in the drainage area above the dike are not adjacent to a structure.
- Outlet shall be: (A) In accordance with standard specifications for sediment and straw mulch straw mulch if not in seeding season, (B) flow channel as per chart below.

TYPE OF DRAINAGE	CHANNEL	DYKE A	DYKE B
1	15-3.0%	Small Straw Mulch	Small Straw Mulch
2	3.1-15.0%	Small Straw Mulch	Small Straw Mulch
3	5.1-15.0%	Small Straw Mulch or Sod	Small Straw Mulch or Sod
4	15.1-30.0%	Small Straw Mulch or Sod	Small Straw Mulch or Sod
5	30.1-45.0%	Small Straw Mulch or Sod	Small Straw Mulch or Sod

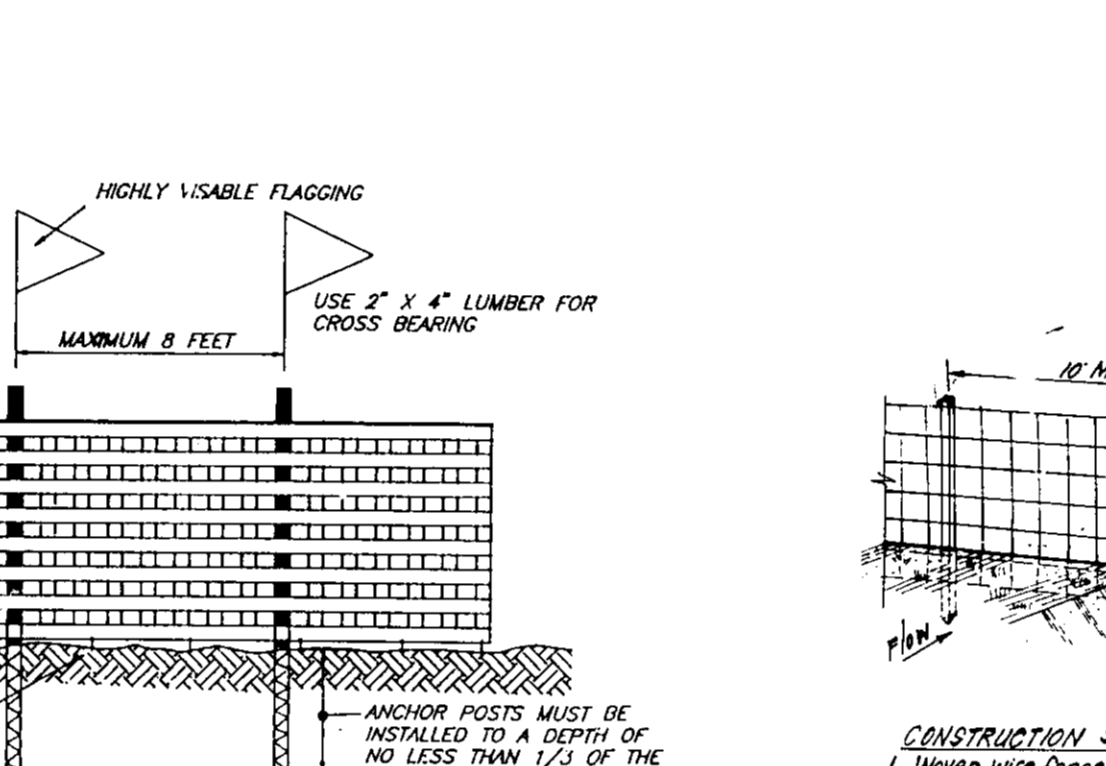
SOIL CHANNEL STABILIZATION

A. Sod in 2" x 4" Stone or recycled concrete equivalent, or a layer of 100-150 Yards and be pressed into soil with construction equipment.
 B. Sod in 2" x 4" Stone or recycled concrete equivalent, or a layer of 100-150 Yards and be pressed into soil with construction equipment.
 C. Sod in 2" x 4" Stone or recycled concrete equivalent, or a layer of 100-150 Yards and be pressed into soil with construction equipment.
 D. Sod in 2" x 4" Stone or recycled concrete equivalent, or a layer of 100-150 Yards and be pressed into soil with construction equipment.

7. Periodic inspection and required maintenance must be provided after each rain.

EARTH DIKE DETAIL (E.D.)
 NO SCALE

STABILIZED CONSTRUCTION ENTRANCE (SCE)
 No Scale



BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL
 NO SCALE

- CONSTRUCTION SPECIFICATIONS:**
- Any tree preservation shall be cleared, grubbed and stripped of any vegetation and root mat. The root mat shall be 18" deep.
 - Any tree preservation shall be fenced with a minimum of 18" x 18" mesh plastic mesh. The mesh shall be supported by 2" x 4" posts. The posts shall be spaced every 8' along the fence line.
 - All cut and fill slopes shall be 3:1 or flatter.
 - The slope used in the outlet shall be used every 4' along with 1" thickness of 2" aggregate placed on the up-slope side in the area of the outlet. The aggregate shall be placed in the area of the outlet.
 - Soil shall be compacted and the outlet shall be in good condition when the outlet has been completed.
 - Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 - The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.
- NOTES:**
- Forest protection device only.
 - Retention area will be set as part of the review process.
 - Boundaries of retention area should be staked and flagged prior to installing device.
 - Root damage should be avoided.
 - Protection signage may also be used.
 - Device should be maintained throughout construction.

SILT FENCE DETAIL (S)
 NO SCALE

- CONSTRUCTION SPECIFICATIONS:**
- Woven wire fence to be fastened securely to fence posts with wire ties or staples.
 - Filter cloth to be fastened securely to woven wire fence with ties spaced every 30' at top and mid section.
 - When 2 sections of filter cloth join each other they shall be overlapped by 6" and fastened.
 - Maintenance shall be performed as needed and material removed when filter cloth is clogged.
- POSTS:** Steel pipe 1 1/2" Type or 2" x 4" Lumber
 FENCE: Woven Wire 14" Gauge
 FILTER CLOTH: Filter Cloth, 1/4" Mesh Opening
 SUBSTRATE: TYPICAL APPROVED PREFABRICATED UNIT
 ENVIRONMENT: APPROX. EQUAL

1 Revisions per Ho Co Comment Letter dated 11-25-94	12-5-94
NO REVISIONS	DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 1/25/95
 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature] 1/18/95
 DATE

CHIEF BUREAU OF ENGINEERING
 [Signature] 1/17/95
 DATE