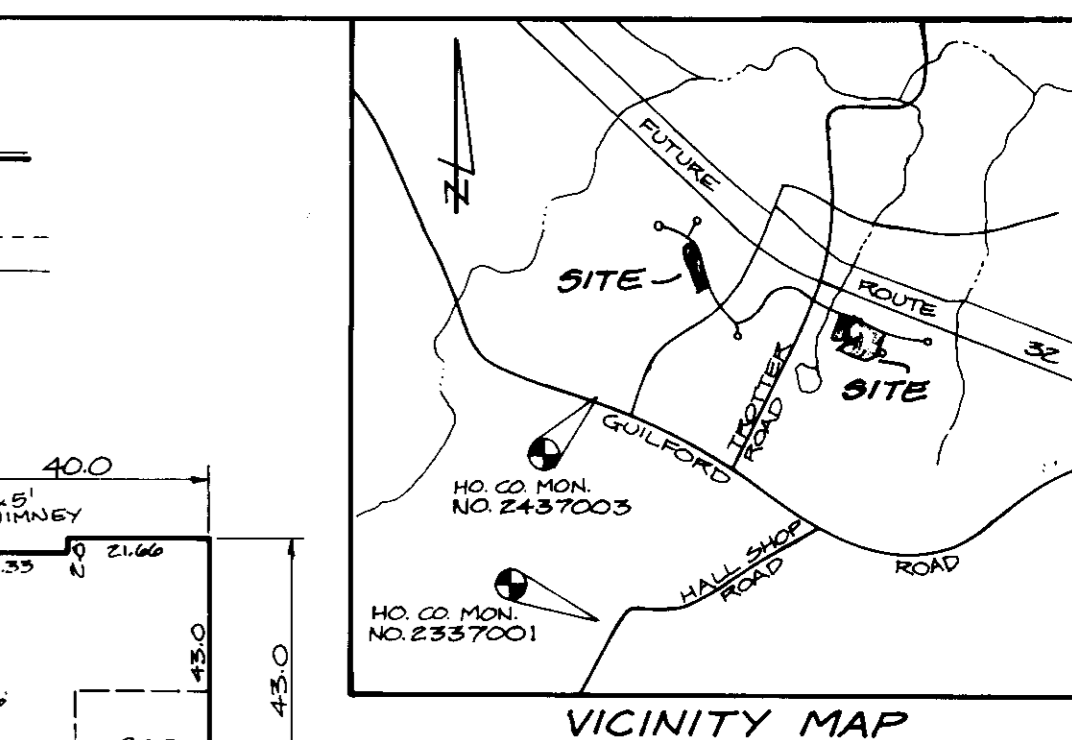
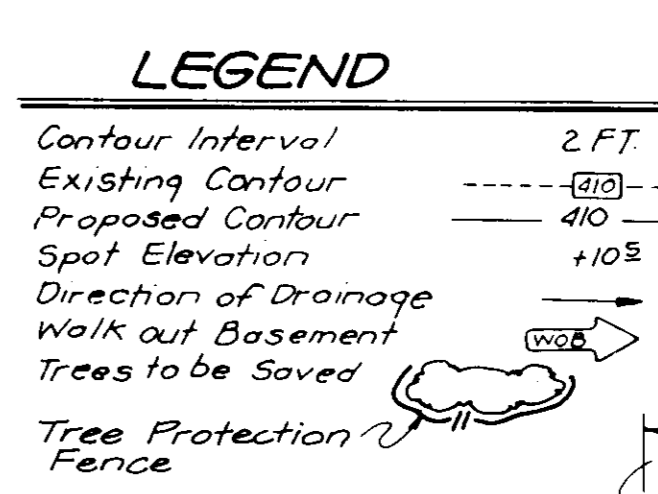


LOT No.	STREET ADDRESS
23	6431 Western Star Run
24	6415
25	6415
26	6411
43	6300 Mellow Twilight Court
44	6304
45	6308
46	6304
47	6317
48	6313
49	6305
50	6305
51	6352 Morning Time Lane
52	6348
53	6344
54	6340
55	6304 East Sunbeam Place
56	6308



- Howard County Monument No. 2337001
Elev = 426.025 North = 431612 505 East = 819527.789
3/4" Reinforcing Rod, 0.6' Below Surface
- Howard County Monument No. 2437003
Elev = 421.122 North = 404235.251 East = 820385.343
Concrete Monument, 0.25' Below Surface

GENERAL NOTES:

- Subject property is zoned: NT per 10 18 93 Comprehensive Zoning Plan.
- The total area included in this submission is: 322 AC.
- The total number of lots included in this submission are: 17.
- Improvement to property: Single family detached.
- The maximum lot coverage permitted is: 30%.
- Department of Planning and Zoning reference file numbers are: F-24-01, F-24-01, FDP 200-III, F-95-84.
- Utilities shown as existing are taken from approved water and sewer plan Contract #34-3226-D, approved road construction plans F-24-01, and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- All roadways are public and existing.
- The existing topography shown was field-run by Clark, & Finfrock & Sackett, Inc. on 10/21/94. The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2337001 and 2437003.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410)313-1880 at least 48 hours prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Under certain conditions, decks and porches may only extend 3 feet into front and rear setback areas as stipulated in FDP Ph 209, III, chimneys and bay windows up to 10 feet in width may project up to 4 feet into the required setbacks.
- No clearing, grading or construction is permitted within the Wetland or Stream Buffers except as determined essentially by the Dept. of Planning and Zoning in accordance with Section 16.116 (c) of the Subdivision and Land Development Regulations.
- Sewer House Connection elevations shown are located at the property line.
- For driveway entrance details refer to Ho Co. Design Manual, Volume IX 5th Ed. Details R-603 and R-603.
- The Stormwater Management Facilities proposed for this site are Class "A" Hazard Facilities. In the event of a failure of the embankment, damage will be limited to Floodplains and Open Space. Water Quality is provided by oversized rip-rap pads sized to store 1/2" inch from the roadways. As per F-24-01.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-24-01 and/or approved Water and Sewer Plans Contract # 34-3226-D.

Sewer house connection elevations are taken to the property line.

SHEET INDEX
SITE DEVELOPMENT PLAN 1 of 3
SEDIMENT & EROSION CONTROL PLAN 2, 3 of 3

OWNER / DEVELOPER
THE HOWARD RESEARCH & DEVELOPMENT CORP
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

SUBDIVISION NAME	COLUMBIA VILLAGE OF RIVER HILL	SECTION/AREA	2/3 Ph I	LOTS/PARCELS	23-26
PLAT NO.	11304	ZONE	NT	TAX MAP NO.	35
WATER CODE	I-13	ELECTION DIST.	5th	CENSUS TRACT	6055
SEWER CODE	6652900 & 6653000				

CLARK • FINFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7711 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH.

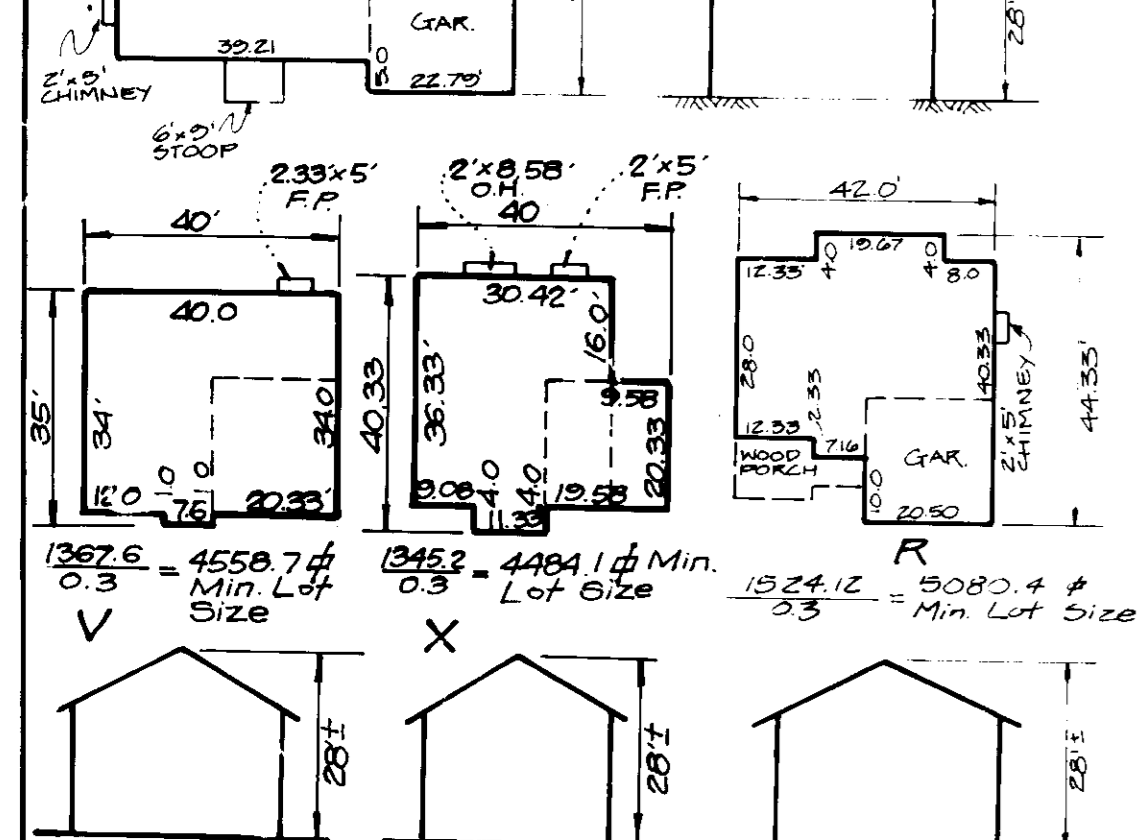
DESIGNED: VLP
DRAWN: MCR
CHECKED: JMW
DATE: 12-20-94

SITE DEVELOPMENT PLAN
LOTS 24 thru 26, 43 thru 56
COLUMBIA VILLAGE OF RIVER HILL
SECTION 2 AREA 3 PHASE I
TAX MAP 35 PARCELS 23, 24, 25, 26
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: GOODIER BUILDERS, INC.
5054 Dorsey Hall Dr., #205
Ellicott City, MD 21043

SCALE: 1" = 30'
DRAWING: 1 of 3
JOB NO: 24-177
FILE NO: 24-177x

LOT	GROSS AREA	FIRESEAL REMAINING	100 YEAR AREA	25% FLOORPLAN	25% SLOPES	MINIMUM LOT SIZE
48	12,253 sq	806.2 sq	2,446 sq	N/A	N/A	2,446.8 sq



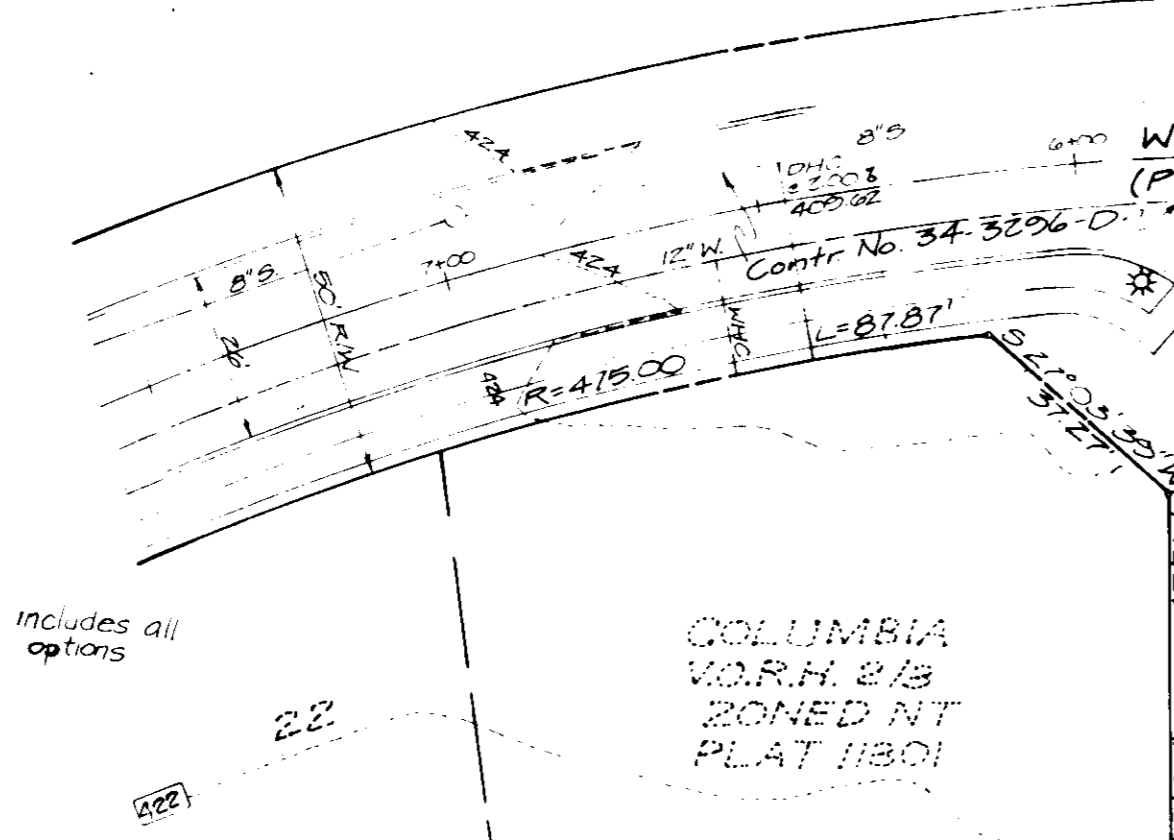
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DIRECTOR: [Signature]
DATE: 1/30/95

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: [Signature]
DATE: 1/11/95

REVISION

3	Add V, X and X base typicals, Rev generic box N22	5-19-95
1	Add W house typical	5-8-95
2	Rev Generic Boxes Lots 44-45 per Ho Co Comments dated 11/23/94	12-15-94
4	Rev. base & 2nd Lot 46	7-4-95

LOT	GROSS AREA	FIRESEAL REMAINING	100 YEAR AREA	25% FLOORPLAN	25% SLOPES	MINIMUM LOT SIZE
48	12,253 sq	806.2 sq	2,446 sq	N/A	N/A	2,446.8 sq



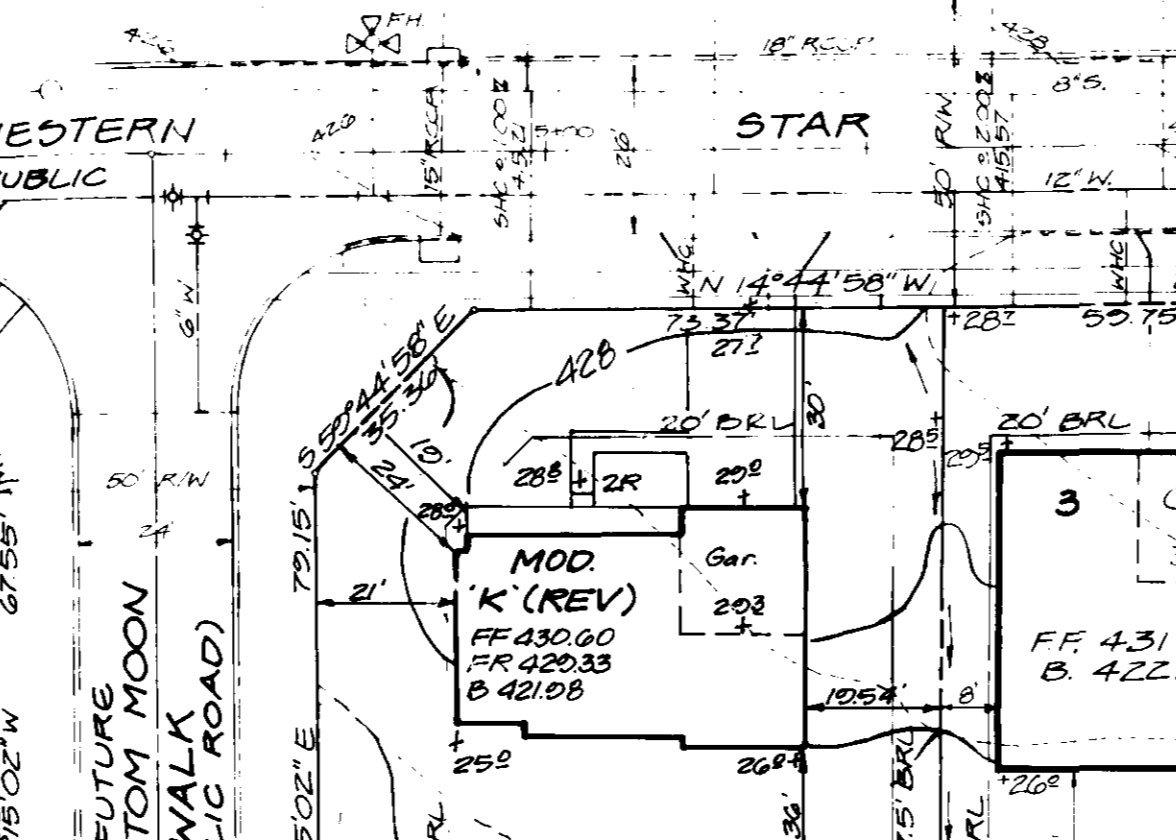
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DIRECTOR: [Signature]
DATE: 1/30/95

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: [Signature]
DATE: 1/11/95

REVISION

3	Add V, X and X base typicals, Rev generic box N22	5-19-95
1	Add W house typical	5-8-95
2	Rev Generic Boxes Lots 44-45 per Ho Co Comments dated 11/23/94	12-15-94
4	Rev. base & 2nd Lot 46	7-4-95

LOT	GROSS AREA	FIRESEAL REMAINING	100 YEAR AREA	25% FLOORPLAN	25% SLOPES	MINIMUM LOT SIZE
48	12,253 sq	806.2 sq	2,446 sq	N/A	N/A	2,446.8 sq



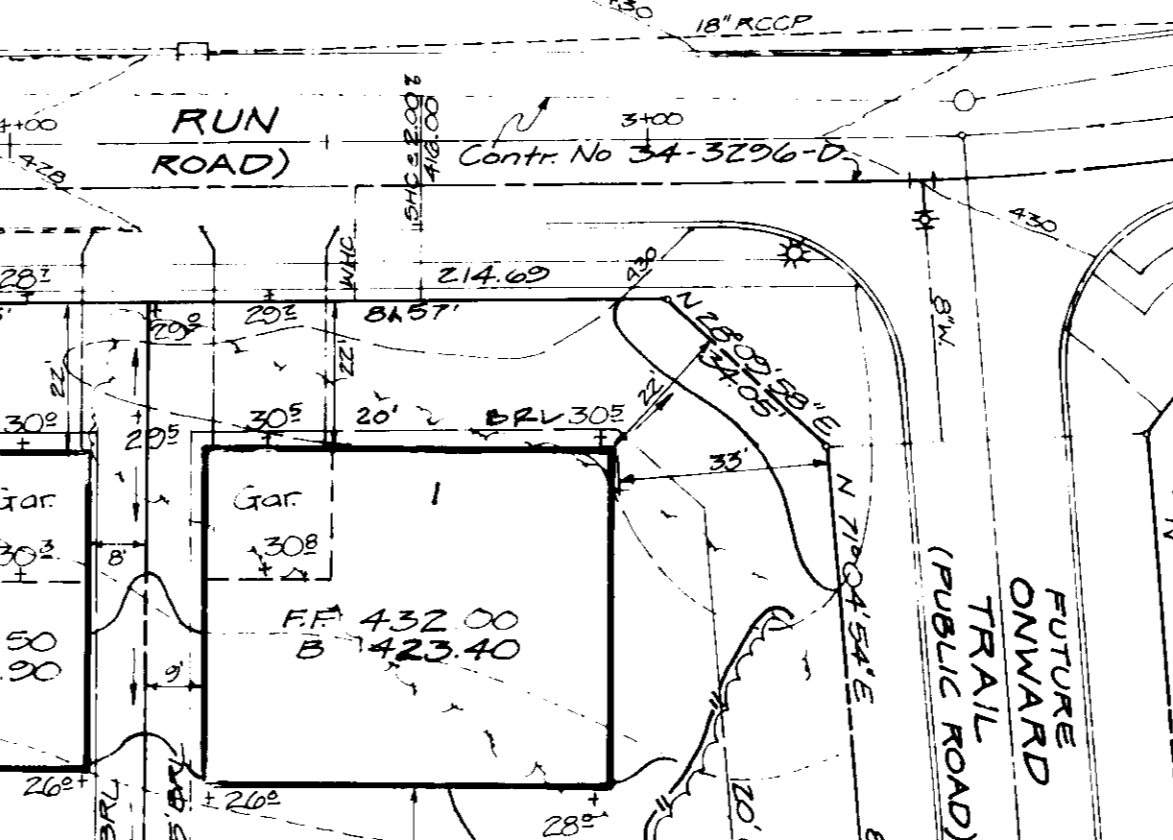
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DIRECTOR: [Signature]
DATE: 1/30/95

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: [Signature]
DATE: 1/11/95

REVISION

3	Add V, X and X base typicals, Rev generic box N22	5-19-95
1	Add W house typical	5-8-95
2	Rev Generic Boxes Lots 44-45 per Ho Co Comments dated 11/23/94	12-15-94
4	Rev. base & 2nd Lot 46	7-4-95

LOT	GROSS AREA	FIRESEAL REMAINING	100 YEAR AREA	25% FLOORPLAN	25% SLOPES	MINIMUM LOT SIZE
48	12,253 sq	806.2 sq	2,446 sq	N/A	N/A	2,446.8 sq



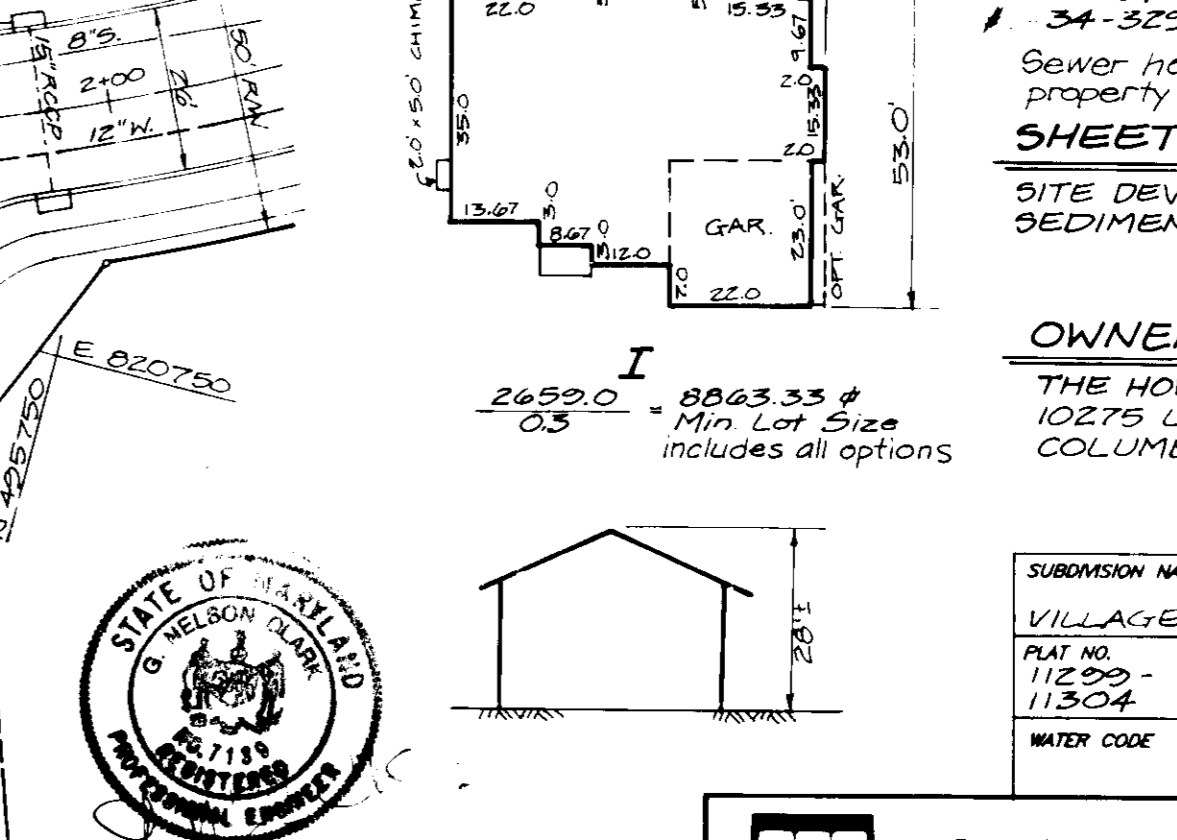
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DIRECTOR: [Signature]
DATE: 1/30/95

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: [Signature]
DATE: 1/11/95

REVISION

3	Add V, X and X base typicals, Rev generic box N22	5-19-95
1	Add W house typical	5-8-95
2	Rev Generic Boxes Lots 44-45 per Ho Co Comments dated 11/23/94	12-15-94
4	Rev. base & 2nd Lot 46	7-4-95

LOT	GROSS AREA	FIRESEAL REMAINING	100 YEAR AREA	25% FLOORPLAN	25% SLOPES	MINIMUM LOT SIZE
48	12,253 sq	806.2 sq	2,446 sq	N/A	N/A	2,446.8 sq



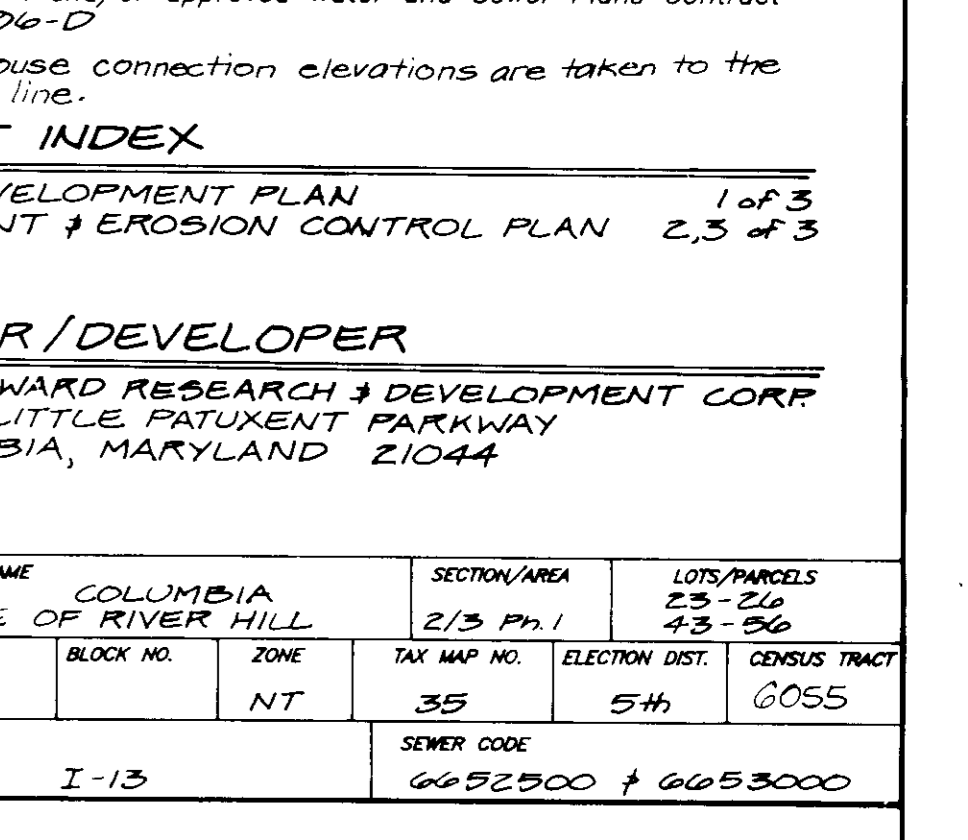
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DIRECTOR: [Signature]
DATE: 1/30/95

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: [Signature]
DATE: 1/11/95

REVISION

3	Add V, X and X base typicals, Rev generic box N22	5-19-95
1	Add W house typical	5-8-95
2	Rev Generic Boxes Lots 44-45 per Ho Co Comments dated 11/23/94	12-15-94
4	Rev. base & 2nd Lot 46	7-4-95

LOT	GROSS AREA	FIRESEAL REMAINING	100 YEAR AREA	25% FLOORPLAN	25% SLOPES	MINIMUM LOT SIZE
48	12,253 sq	806.2 sq	2,446 sq	N/A	N/A	2,446.8 sq

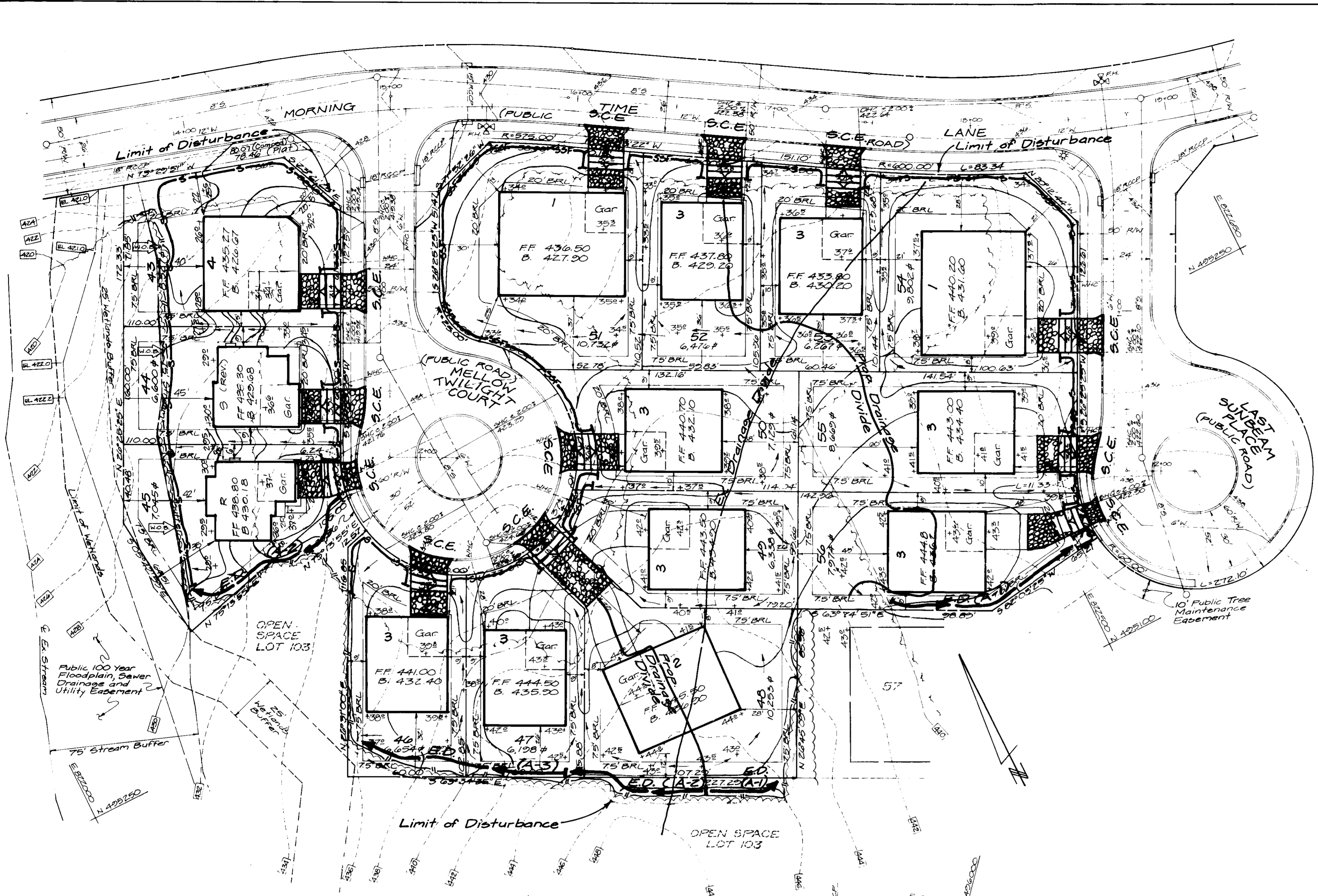


APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DIRECTOR: [Signature]
DATE: 1/30/95

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: [Signature]
DATE: 1/11/95

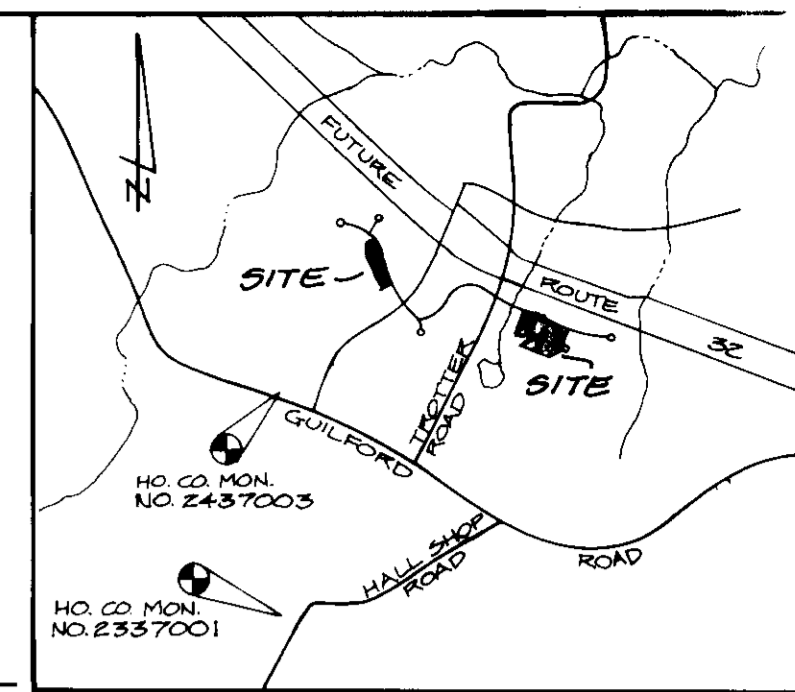
REVISION

3	Add V, X and X base typicals, Rev generic box N22	5-19-95
1	Add W house typical	5-8-95
2	Rev Generic Boxes Lots 44-45 per Ho Co Comments dated 11/23/94	12-15-94
4	Rev. base & 2nd Lot 46	7-4-95



LEGEND

- Contour Interval 2 FT
- Existing Contour - - - - -
- Proposed Contour - - - - -
- Spot Elevation +10%
- Direction of Drainage
- Walk out Basement
- Trees to be Saved
- Tree Protection Fence
- Silt Fence
- Super Silt Fence
- Limit of Disturbance
- Ex. Drainage Divide
- Prop. Drainage Divide
- Stabilized Construction Entrance



- Howard County Monument No. 2337001
Elev. = 496.095 North = 421612.385 East = 819527.789
3/4" Reinforcing Rod, 0.6' Below Surface
- Howard County Monument No. 2437003
Elev. = 472.122 North = 404285.251 East = 820385.343
Concrete Monument, 0.25' Below Surface

Reviewed for **HOWARD** S.C.D.
Name
and meets Technical Requirements
Patricia Engle 1/14/95
Signature Date
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.

DEVELOPER'S/BUILDERS CERTIFICATE
I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by Howard Soil Conservation District or their authorized agencies, as are deemed necessary.
Robert Clark 10/12/94
Signature of Developer/Builder Date

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.
Patricia Engle 1/14/95
Signature Date
U.S. Soil Conservation Service

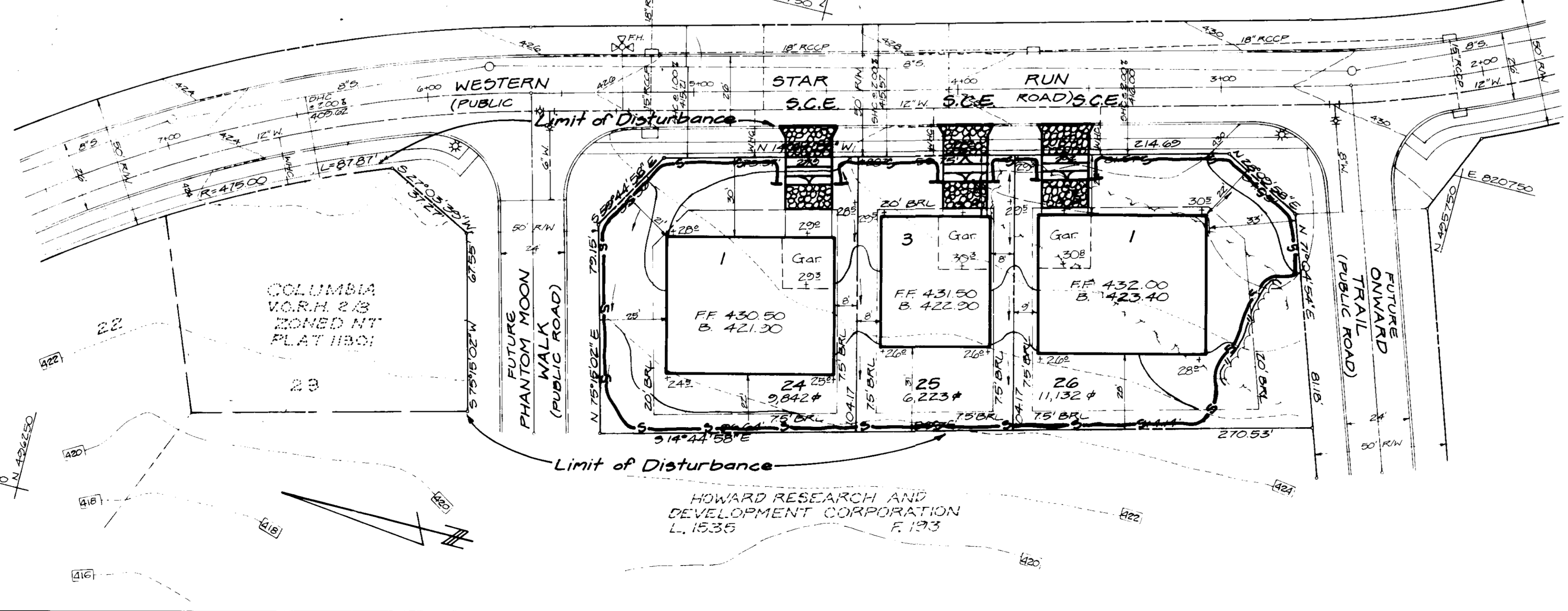
ENGINEER'S CERTIFICATE
I/We certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
G. Nelson Clark 10/12/94
Signature Date



OWNER/DEVELOPER
THE HOWARD RESEARCH & DEVELOPMENT CORP
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS
COLUMBIA VILLAGE OF RIVER HILL	2/3 Ph. 1	23-24 43-46
PLAT NO. 11299-11304	TAX MAP NO. 35	ELECTION DIST. 5th
WATER CODE I-13	SEWER CODE 6652500 & 6653000	

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
Jane R. Rouse 11/30/95
DIRECTOR DATE
Quinn J. J. J. J. 1/13/95
CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James M. Shaw 11/12/95
DIRECTOR DATE
Robert E. Span 1/11/95
CHIEF BUREAU OF ENGINEERING DATE



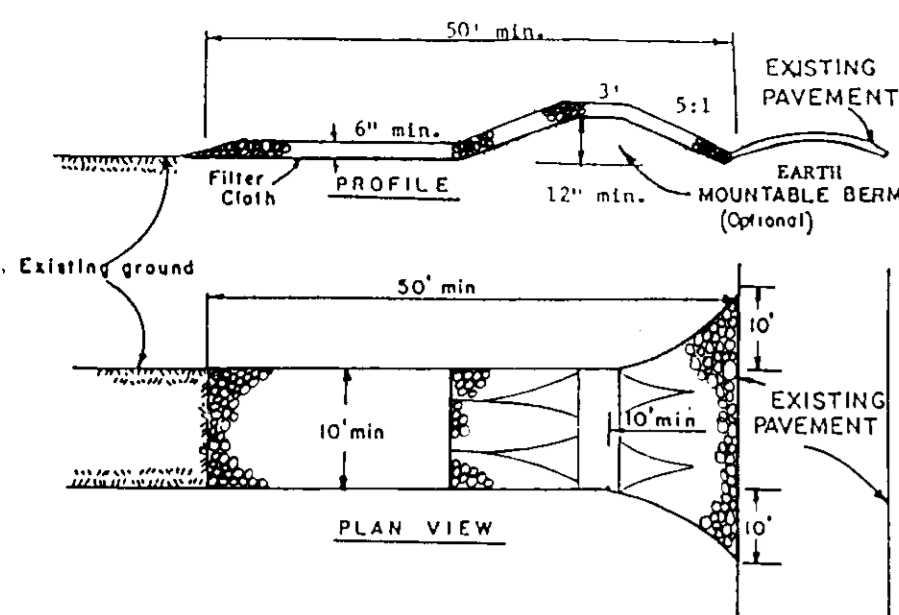
CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
715 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED: ZAL
DRAWN: ZAL
CHECKED: MCR
DATE: 12-20-94

SEDIMENT & EROSION CONTROL PLAN
LOTS 24 thru 26, 43 thru 56
COLUMBIA VILLAGE OF RIVER HILL
SECTION 2 AREA 3 PHASE 1
TAX MAP 35 PARCELS 50, 76 TO 1240
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

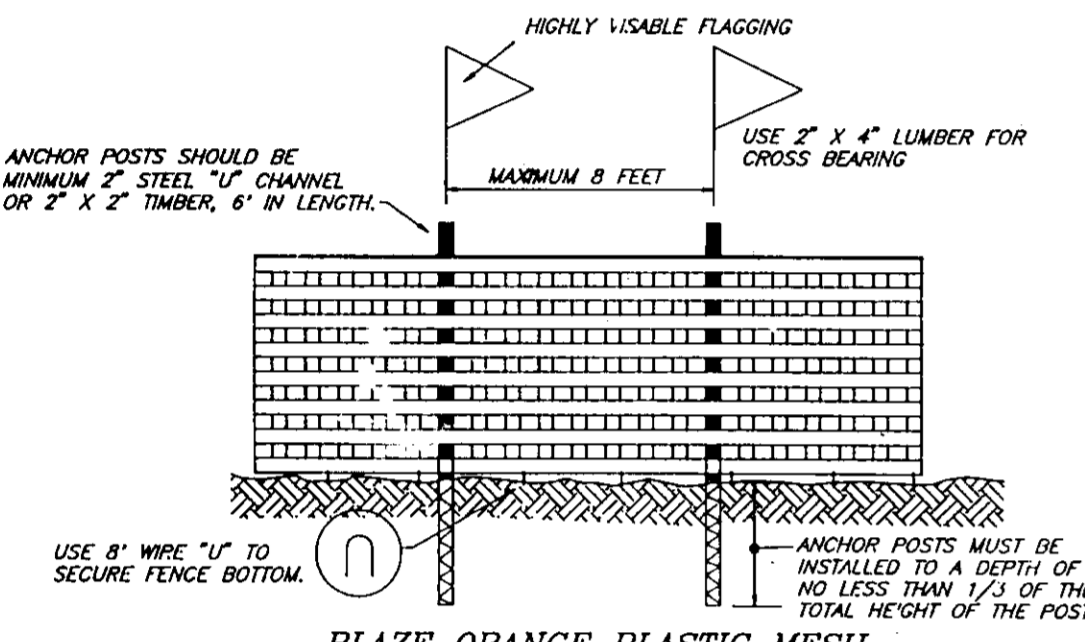
SCALE: 1" = 30'
DRAWING: 2 of 3
JOB NO.: 94-177
FILE NO.: 94-177B

FOR: GOODIER BUILDERS, INC.
5084 Dorsey Hall Dr., #205
Ellicott City, MD 21043

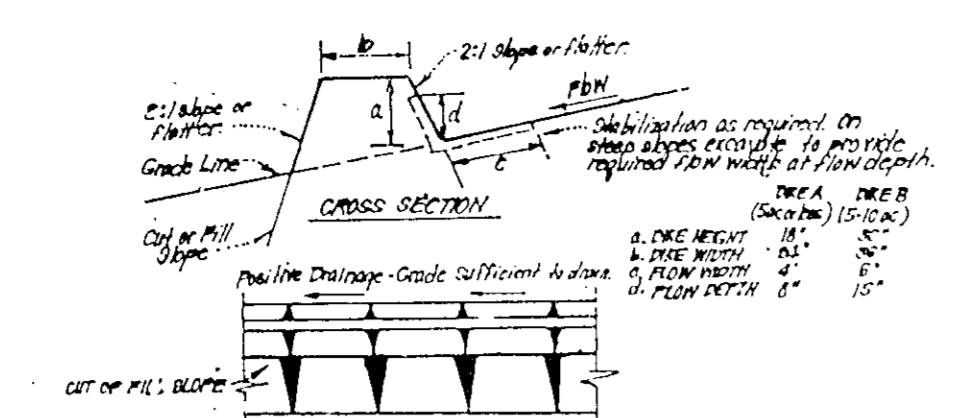


- CONSTRUCTION SPECIFICATIONS**
- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length - As required, but not less than 30 feet (except on a single residence lot where a 20 foot minimum length would apply).
 - Thickness - Not less than six (6) inches.
 - Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 - Surface Water - All surface water flowing or directed toward construction entrances shall be piped across the entrance. If piping is impractical, a mounded berm with 5:1 slope will be permitted.
 - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any structure used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 - Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 - Periodic inspection and needed maintenance shall be provided after each rain.

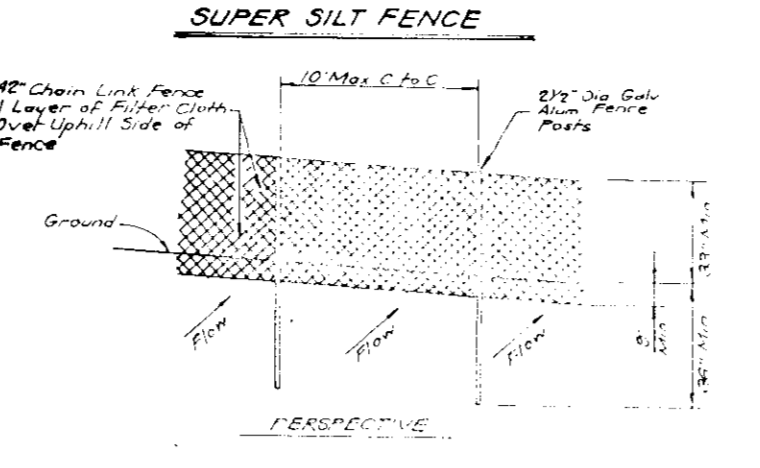
STABILIZED CONSTRUCTION ENTRANCE (SCE)
No Scale



- BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL**
No Scale
- NOTES:**
- Forest protection device only.
 - Retention area will be set as part of the review process.
 - Boundaries of retention area should be staked and flagged prior to installing device.
 - Root damage should be avoided.
 - Protection signage may also be used.
 - Device should be maintained throughout construction.



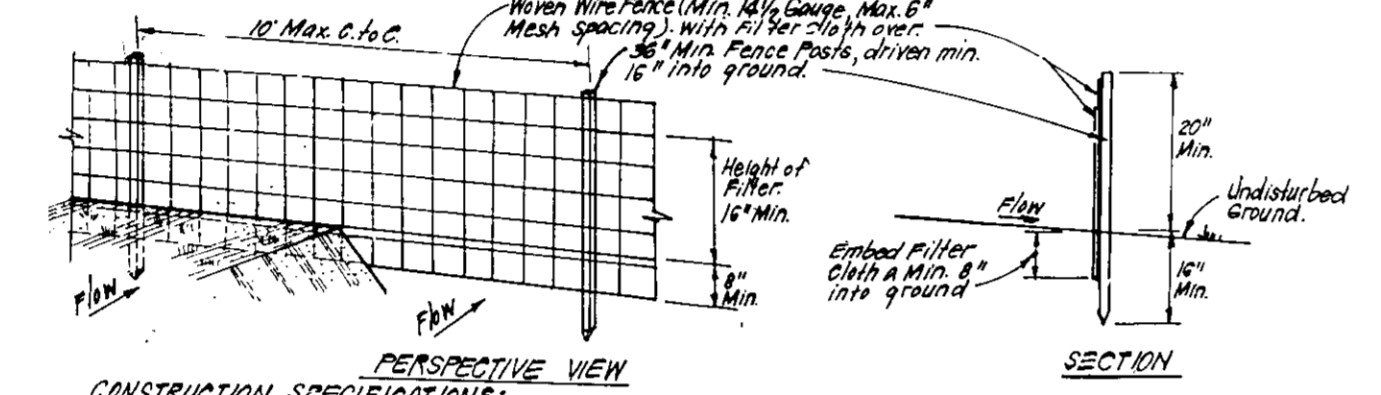
- CONSTRUCTION SPECIFICATIONS:**
- All dikes shall be constructed by earth-moving equipment.
 - All dikes shall have positive drainage to an outlet.
 - Top width may be wider and side slopes may be flatter if desired to facilitate clearing by construction traffic.
 - Filter cloth shall be installed as needed to utilize a stabilized safe method.
 - Earth dikes shall have an outlet that functions with a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or sediment basin where dikes are placed in the drainage area above the dike are not adequately stabilized.
 - ANALYSIS shall be: (a) In accordance with standard specifications for seed and straw mulch or straw mulch if not in seeding season, (b) flow channel as per chart below.
- FLOW CHANNEL STABILIZATION**
- | TYPE OF CHANNEL | GRADE | DIKE A | DIKE B |
|-----------------|----------------------|--------------------|--------------------|
| 1. 0.5-3.0% | Steady Stream/Stream | 100% of Flow/Width | 100% of Flow/Width |
| 2. 3.1-4.0% | Steady Stream/Stream | 100% of Flow/Width | 100% of Flow/Width |
| 3. 4.1-6.0% | Steady Stream/Stream | 100% of Flow/Width | 100% of Flow/Width |
| 4. 6.1-10.0% | Stream/Runoff | 100% of Flow/Width | 100% of Flow/Width |
- EARTH DIKE DETAIL (E.D.)**
No Scale



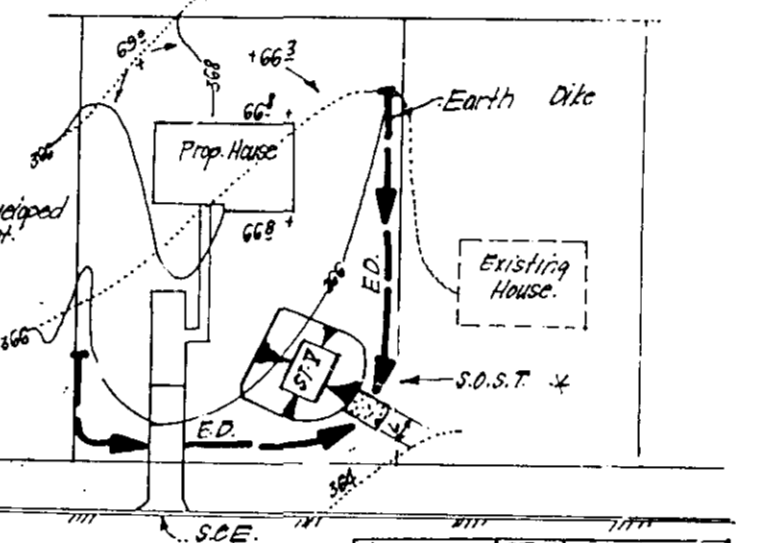
- CONSTRUCTION SPECIFICATIONS:**
- Chain link fence to be fastened securely to fence posts with ties or staples.
 - Filter cloth to be fastened securely to chain link fence with ties spaced every 24 inches at top and mid section.
 - When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded.
 - Maintenance shall be performed as needed and material removed when bulges develop in the silt fence.

- SEEDING**
- Fencing shall be 42" high chain link fence constructed in accordance with the latest Maryland State Highway Administration Standard Details 699.01 and 699.02. The specifications for a 3" x 6" fence shall be used, substitute 42 inch fabric and posts. Posts shall be placed without concrete embedment.

- Chain link fence to be fastened securely to fence posts with ties or staples.
- Filter cloth to be fastened securely to chain link fence with ties spaced every 24 inches at top and mid section.
- When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded.
- Maintenance shall be performed as needed and material removed when bulges develop in the silt fence.



- CONSTRUCTION SPECIFICATIONS:**
- Woven wire fence to be fastened securely to fence posts with wire ties or staples.
 - Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section.
 - When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and folded.
 - Maintenance shall be performed as needed and material removed when bulges develop in silt fence.
- SILT FENCE DETAIL (S)**
No Scale



SINGLE LOT SEDIMENT CONTROL PLAN
No Scale

U.S.D.S.T. (L.F.V.)	PER	PER
LOT SIZE	MAX	MIN
1000	2	1
2000	3	2
3000	4	3
4000	5	4
5000	6	5
6000	7	6
7000	8	7
8000	9	8
9000	10	9
10000	11	10
11000	12	11
12000	13	12
13000	14	13
14000	15	14
15000	16	15
16000	17	16
17000	18	17
18000	19	18
19000	20	19
20000	21	20
21000	22	21
22000	23	22
23000	24	23
24000	25	24
25000	26	25
26000	27	26
27000	28	27
28000	29	28
29000	30	29
30000	31	30
31000	32	31
32000	33	32
33000	34	33
34000	35	34
35000	36	35
36000	37	36
37000	38	37
38000	39	38
39000	40	39
40000	41	40
41000	42	41
42000	43	42
43000	44	43
44000	45	44
45000	46	45
46000	47	46
47000	48	47
48000	49	48
49000	50	49
50000	51	50
51000	52	51
52000	53	52
53000	54	53
54000	55	54
55000	56	55
56000	57	56
57000	58	57
58000	59	58
59000	60	59
60000	61	60
61000	62	61
62000	63	62
63000	64	63
64000	65	64
65000	66	65
66000	67	66
67000	68	67
68000	69	68
69000	70	69
70000	71	70
71000	72	71
72000	73	72
73000	74	73
74000	75	74
75000	76	75
76000	77	76
77000	78	77
78000	79	78
79000	80	79
80000	81	80
81000	82	81
82000	83	82
83000	84	83
84000	85	84
85000	86	85
86000	87	86
87000	88	87
88000	89	88
89000	90	89
90000	91	90
91000	92	91
92000	93	92
93000	94	93
94000	95	94
95000	96	95
96000	97	96
97000	98	97
98000	99	98
99000	100	99
100000	101	100

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

- SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.
- SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq ft.)
 - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60lbs per acre (14 lbs./1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs./1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs./acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs./1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT AND EROSION CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permit's prior to the start of any construction. (SIS-1885)
- All silt fences and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec.51) sod (Sec.54), temporary seeding (Sec.50) and mulching (Sec.52). Temporary stabilization with sod alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:**

Total Area of Site:	322 Ac.
Area Disturbed:	0.20 Ac.
Area to be vegetatively stabilized:	2.22 Ac.
Total Cut:	1282 Cy.
Total Fill:	312 Cy.
Offsite Waste/Borrow Area Location:	
11. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.	
12. Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.	
13. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.	
14. All pipes to be blocked at the end of each day (see detail this sheet).	
15. The total amount of silt fence = 2300 LF	

It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:

NO.	DESCRIPTION	NO. OF DAYS
1	Obtain grading permit	7
2	Install tree protection fence	7
3	Install sediment and erosion control devices and stabilize.	14
4	Excavate for foundations, rough grade and temporarily stabilize.	30
5	Construct structures, sidewalks and driveways.	60
6	Final grade and stabilize in accordance with Stds. and Specs.	14
7	Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

OWNER / DEVELOPER
THE HOWARD RESEARCH & DEVELOPMENT CORP
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
1/30/95
DATE
1/30/95
DATE
1/12/95
DATE
1/11/95
DATE

Reviewed for: HOWARD S.C.D.
meets Technical Requirements
1/31/95
Signature
US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John P. Roberts 1/31/95
Approved

DEVELOPER'S/BUILDER'S CERTIFICATE
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Edwin L. Coan 10/12/94

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
G. Nelson Clark 10/12/94
Date



CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MYSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 • FAX (410) 381-8500 • WASH

DESIGNED	ZAL	SCALE	AS NOTED
DRAWN	MCR	DRAWING	3 of 3
CHECKED	ZAL	JOB NO.	04-177
DATE	12-20-94	FILE NO.	04-177

SEDIMENT & EROSION CONTROL DETAILS
LOTS 24 thru 26, 43 thru 56
COLUMBIA
VILLAGE OF RIVER HILL
SECTION 2 AREA 3 PHASE 1
TAX MAP 35 PARCELS 50, 56, 70, 1240
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: GOODIEK BUILDERS, INC
5054 Dorsey Hall Dr., #205
Ellicott City, MD 21043