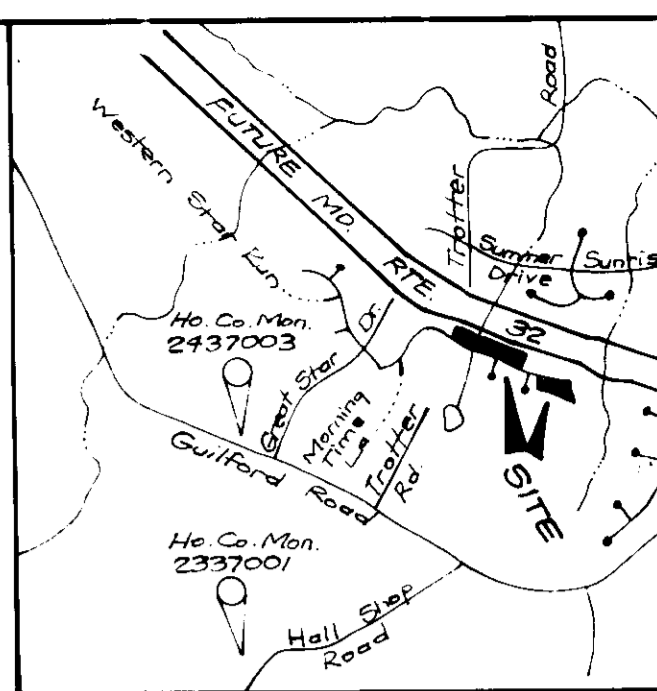


NO.	REVISION	DATE
1	REMOVED MODEL M. REV. GEN. BCK. REF. LOT 63 FROM B. B. TO F. B. B.	10-10-94
2	REVISIONS PER HO. CO. COMMENT LETTER DATED 11-17-94	11-30-94
3	REV. PLANS PER HO. CO. COMMENT LETTER 12-9-94	12-12-94
4	REV. HSE. & GRD. LOT 69. ADD HSE. TYPICAL	1-18-95
5	REV. HSE. & GRD. LOT 66	5-3-95

LEGEND

- Contour Interval 2 FT
- Existing Contour - - - - -
- Proposed Contour - - - - -
- Spot Elevation +10%
- Direction of Drainage
- Walk out Basement
- Trees to be Saved
- Tree Protection Fence



BENCHMARKS

- Howard County Monument No. 2337001 - Elev = 426.095 North - 491612.385 East - 819527.783 3/4 Reinforcing Rod, 0.6' Below Surface
- Howard County Monument No. 2337003 - Elev = 472.122 North - 492285.231 East - 820385.513 Concrete Monument, 0.25' Below Surface

GENERAL NOTES:

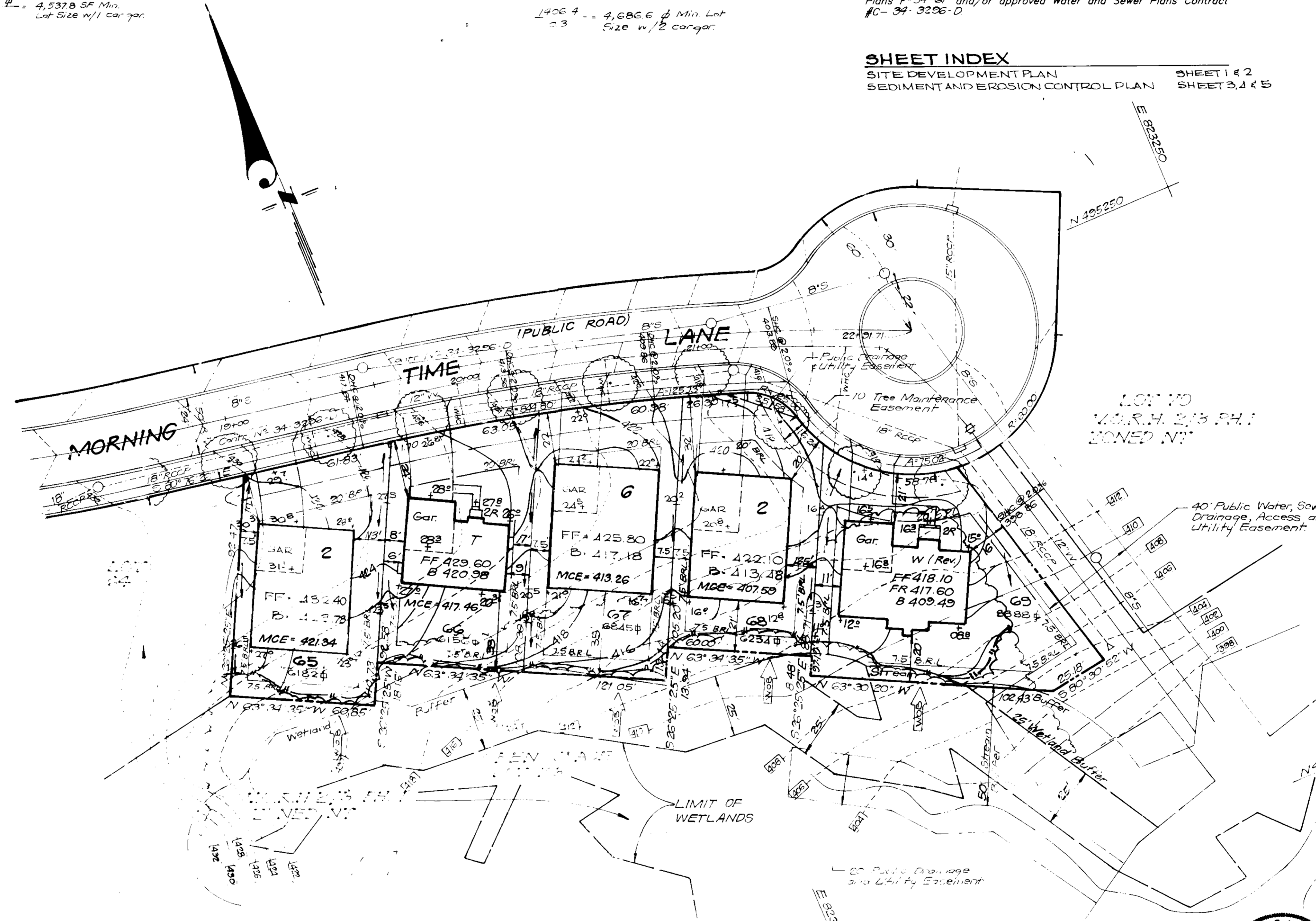
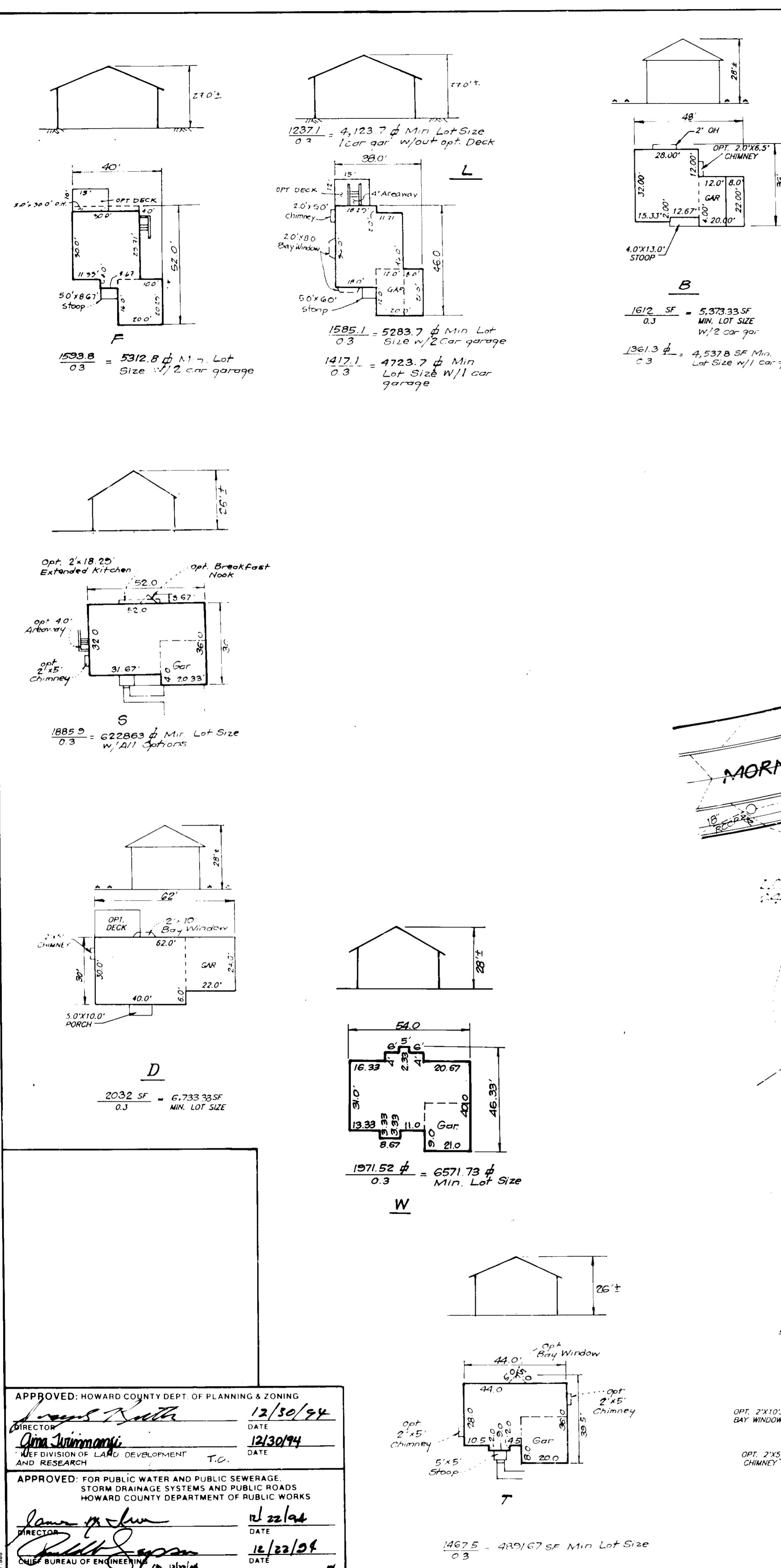
- Subject property is zoned: NT per 10 18 93 Comprehensive Zoning Plan.
- The total area included in this submission is: 126,872 SF or 2.91 AC.
- The total number of lots included in this submission are: 19
- Improvement to property: Single family detached
- The maximum lot coverage permitted is: 30%
- Department of Planning and Zoning reference file numbers are: S-97-03, P-94-01, R-94-01, F.D.P. 209, Part III.
- Utilities shown as existing are taken from approved water and sewer plan Contract # 34-3296-0 approved road construction plans F-94-01, and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Storm water management is provided per: F-94-01
- All roadways are public and existing.
- The existing topography shown in street R/W was taken from approved Road Construction Plans F-94-01, and actual field survey on the lots was filed with Clark, Fierbank & Sackett Inc. dated 5-2-94.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos: 2337003 and 2337001.
- The contractor shall notify the Department of Public Works/ Division of Construction Inspection at (410) 313-1800 at least twenty-four (24) hours prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Under certain conditions, decks and porches may only extend 3 feet into front and rear setback areas as shown in R-94-01 Part II. Decks and porches up to 10 feet in width may project up to 4 feet into the required setbacks.
- The 65 dBA Noise Contour Line represents the approximate location of the 65 dBA (decibel) noise exposure level generated by Md. 32 Traffic in the year 2015 based upon assumptions about actual conditions at that time. This value represents the average sound level during the single, noisier one-hour period of vehicular traffic during a typical day. This calculation is based on the SHA's estimate of year 2015 highway traffic volume. The contour line shown on this plan is advisory as required by Ho. Co. Design Manual, Vol. III Chapter 5, Revised Feb. 1992, and cannot be considered to locate exactly the 65-dBA exposure.
- No clearing, grading or construction is permitted within the Wetland or Stream Buffers except as determined essential by the Dept. of Planning and Zoning in accordance with Section 16.116 (c) of the Subdivision and Land Development Regulations.
- Sewer house connection elevations shown are located at the property line.
- For driveway entrance details refer to Ho. Co. Design Manual Volume IV Sub. Details R-6.05 and R-6.03.
- The SWM Facilities proposed for this site are CLASS A Hazard Facilities. In the event of failure of the embankment, damage will be limited to floodplains and open space. Water Quality is provided by oversized rip rap rock sized to stop 1/2" (1/2") from roadway curb. R-94-01.
- The Builders & Buyers should be aware that certain Lots, depending on the House type, have already obtained the 30% Max Lot Coverage and further features or structures such as decks and porches may not be allowed.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-94-01 and/or approved Water and Sewer Plans Contract #0-34-3296-0.

SHEET INDEX

SITE DEVELOPMENT PLAN SHEET 1 & 2
SEDIMENT AND EROSION CONTROL PLAN SHEET 3, 4 & 5



OWNER

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21045

LOT NO.	ADDRESS
65	2324 MORNING TIME LANE
66	2320
67	2316
68	2312
69	2308

SUBDIVISION NAME	COLUMBIA	SECTION/AREA	LOTS/PARCELS
VILLAGE OF RIVER HILL	2/3 Ph 1	38-40, 65-69	32
PLAT NO.	11300 & 11903	BLOCK NO.	NT
PLAT NO.	11300 & 11903	ZONE	35
WATER CODE	T 13	ELECTION DIST.	5TH
		CONSENSUS TRACT	G055
		SEWER CODE	6652500 & 6653000

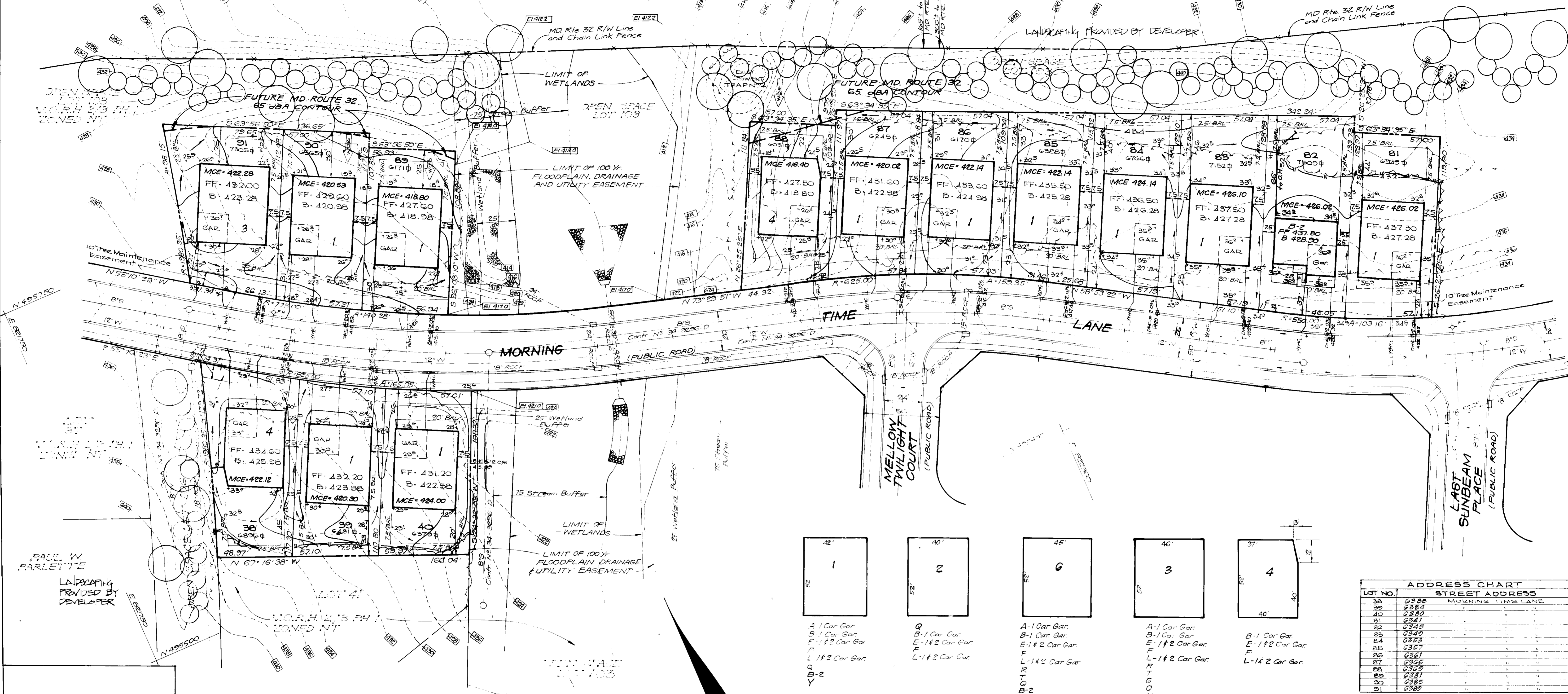


APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 Director: *James M. Miller* DATE: 12/30/94
 Director: *Anna Ummarom* DATE: 12/30/94
 DIVISION OF LAND DEVELOPMENT AND RESEARCH
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *James M. Miller* DATE: 12/22/94
 Director: *Richard J. ...* DATE: 12/22/94
 CHIEF BUREAU OF ENGINEERS

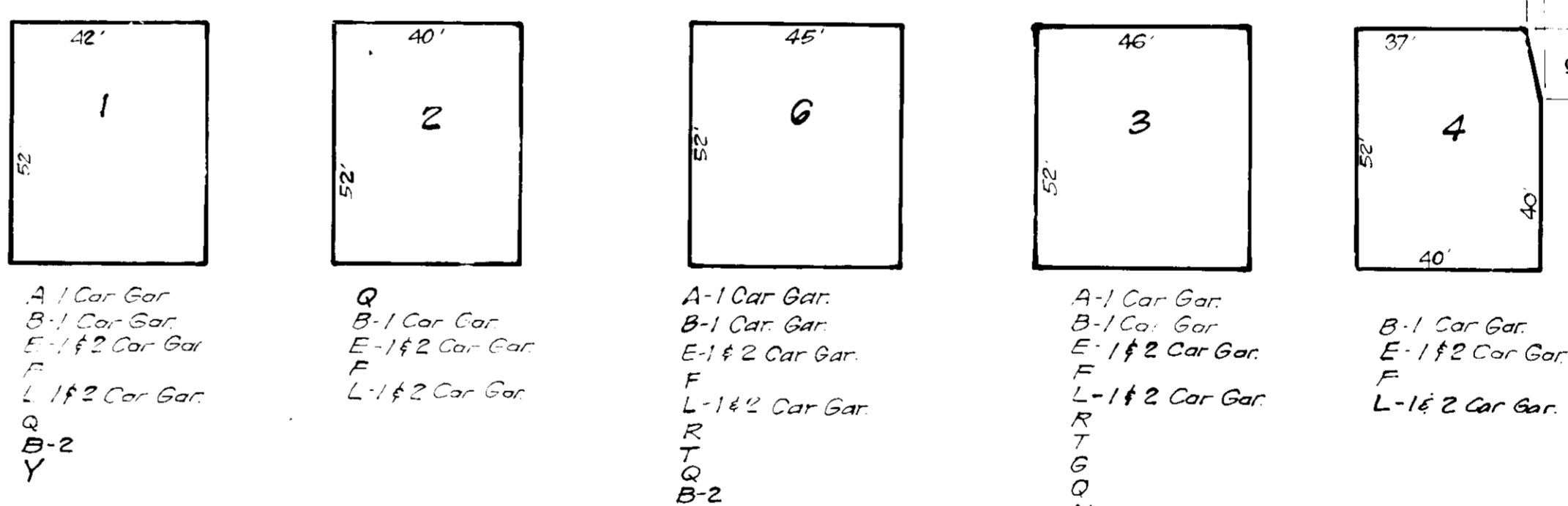
CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-7500 • BALTO • (301) 621-8100 - WASH

DESIGNED	ZMT	SITE DEVELOPMENT PLAN	SCALE
DRAWN	BAL	LOTS 38-40, 65-69 and 81-91	1" = 30'
CHECKED	Jme	COLUMBIA	DRAWING
DATE	12-16-94	VILLAGE OF RIVER HILL	1 OF 5
		SECTION 2 AREA 3 PHASE 1	JOB NO.
		5TH ELECTION DISTRICT	94 178
		HOWARD COUNTY, MARYLAND	FILE NO.
		FOR: PATRIOT HOMES	94-178-X
		20 Bx 12B	
		Columbia, Md 21044	

EXISTING MARYLAND ROUTE 32
S.H.A. PLAT No 52402-52406 & 53408
PUBLIC ROAD



LOT NO.	STREET ADDRESS
36	0300
37	0304
38	0308
39	0312
40	0316
41	0320
42	0324
43	0328
44	0332
45	0336
46	0340
47	0344
48	0348
49	0352
50	0356
51	0360
52	0364
53	0368
54	0372
55	0376
56	0380
57	0384
58	0388
59	0392
60	0396



OWNER
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
10275 LITTLE PATUXENT PARKWAY
COLUMBIA MARYLAND 21045

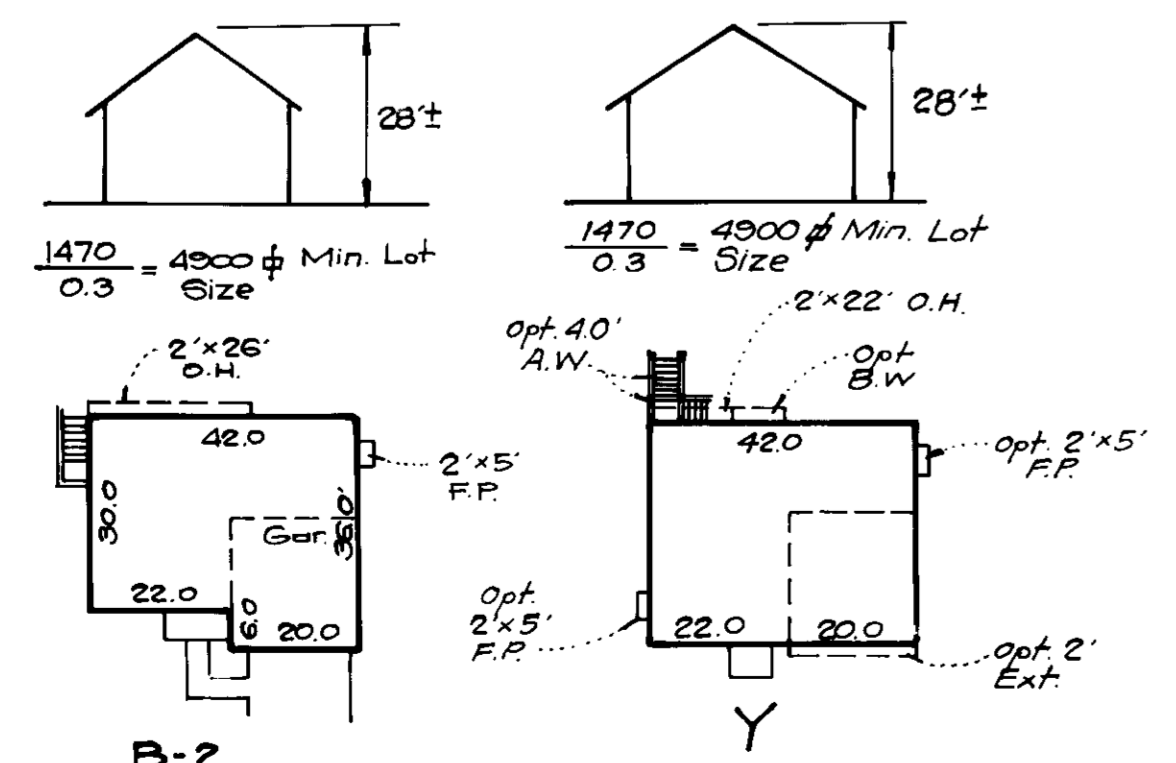


CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA MD 21045 • (410) 381-7500 BALTO • (301) 621-6100 WASH

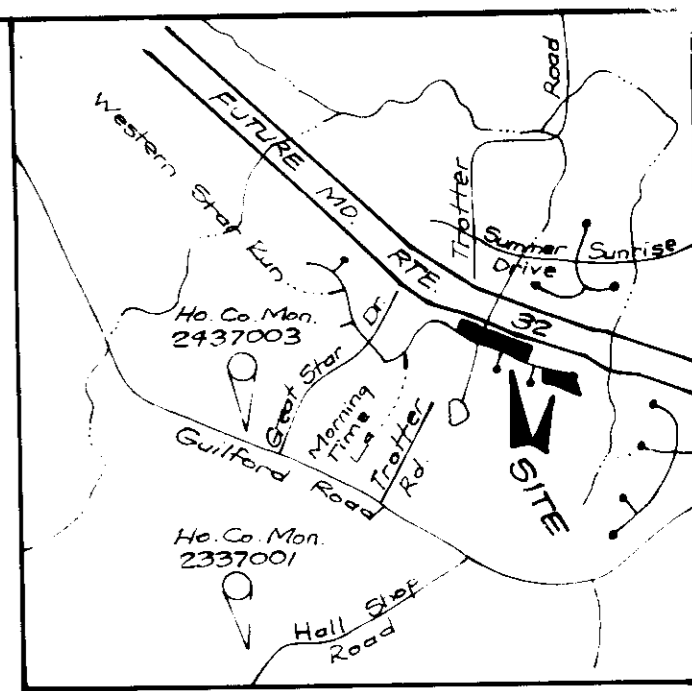
DESIGNED RMT	SITE DEVELOPMENT PLAN LOTS 36-40, 65, 69 and 81, 91 COLUMBIA VILLAGE OF RIVER HILL SECTION 2 AREA 3 PHASE 1 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND For PATRIOT HOMES P.O. Box 1018 Columbia, Md 21044	SCALE 1" = 30'
DRAWN Z.M.T. B.A.L.		DRAWING 2 OF 5
CHECKED jme		JOB NO. 94-178
DATE 12-16-94		FILE NO. 94-178 X

APPROVED: HOWARD COUNTY DEPT OF PLANNING & ZONING
 DIRECTOR: *[Signature]* DATE: 12/30/94
 CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH: *[Signature]* DATE: 12/30/94

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 12/22/94
 CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 12/22/94



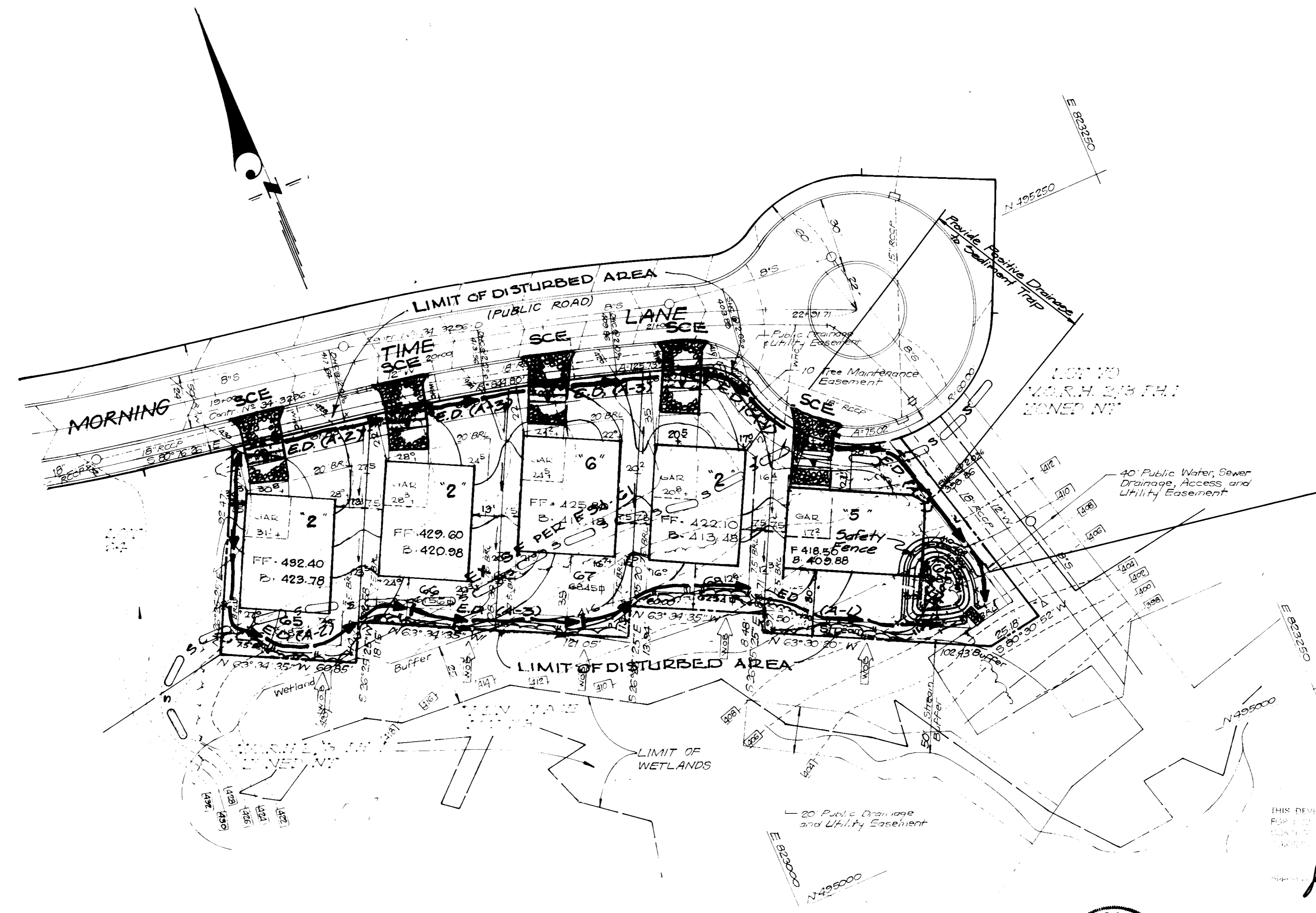
NO.	REVISION	DATE
4	Add base typical "Y"	5-8-95
3	Rev. base of grad. Lot 82, Add base typical	3-15-95
2	Rev. Plans as per Ho Co Com. Letter 11-1-94	12-2-94
1	REMOVE MODELS - P&S ADDITIONAL TO ATR	10-10-94



VICINITY MAP
Scale: 1" = 200'

LEGEND

- Contour Interval 2 FT
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Walk out Basement
- Trees to be Saved
- Tree Protection Fence
- Ex Earth Dike
- Ex Silt Fence
- Limit of Disturbance
- Stabilized Construction Entrance w/mountable Berm
- Earth Dike



Sediment Trap No. 1 50ST ST-V

Drainage Area	0.79Ac
Storage Required	1404 cf
Storage Provided	1440 cf
Top of Stone Crest	405
Clean-Out Elev.	402.5
Bottom Elev.	401
Storage Depth	3'
Bottom Dimension	21' x 17'
L = 4'	
1:1 Side Slopes in Cut	

OWNER
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21045

THIS DEVELOPMENT PLAN IS APPROVED
FOR THE PROJECT AND SITE
DATE: 12/20/94
Signature: *John R. [unclear]*
Title: [unclear]

Revised for: **HOWARD**
Signature: *Patricia [unclear]*
Date: 12/20/94
Title: [unclear]



DEVELOPER'S/BUILDER'S CERTIFICATE

I hereby certify that the development plan contains the information required by the State of Maryland and that the plan complies with the requirements of the State of Maryland and the Howard Soil Conservation District.

Signature: *[unclear]*
Date: 10-19-94

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: *[unclear]*
Date: 10-10-94

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Signature: *[unclear]*
Date: 12/30/94
Title: DIRECTOR

Signature: *[unclear]*
Date: 12/30/94
Title: CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

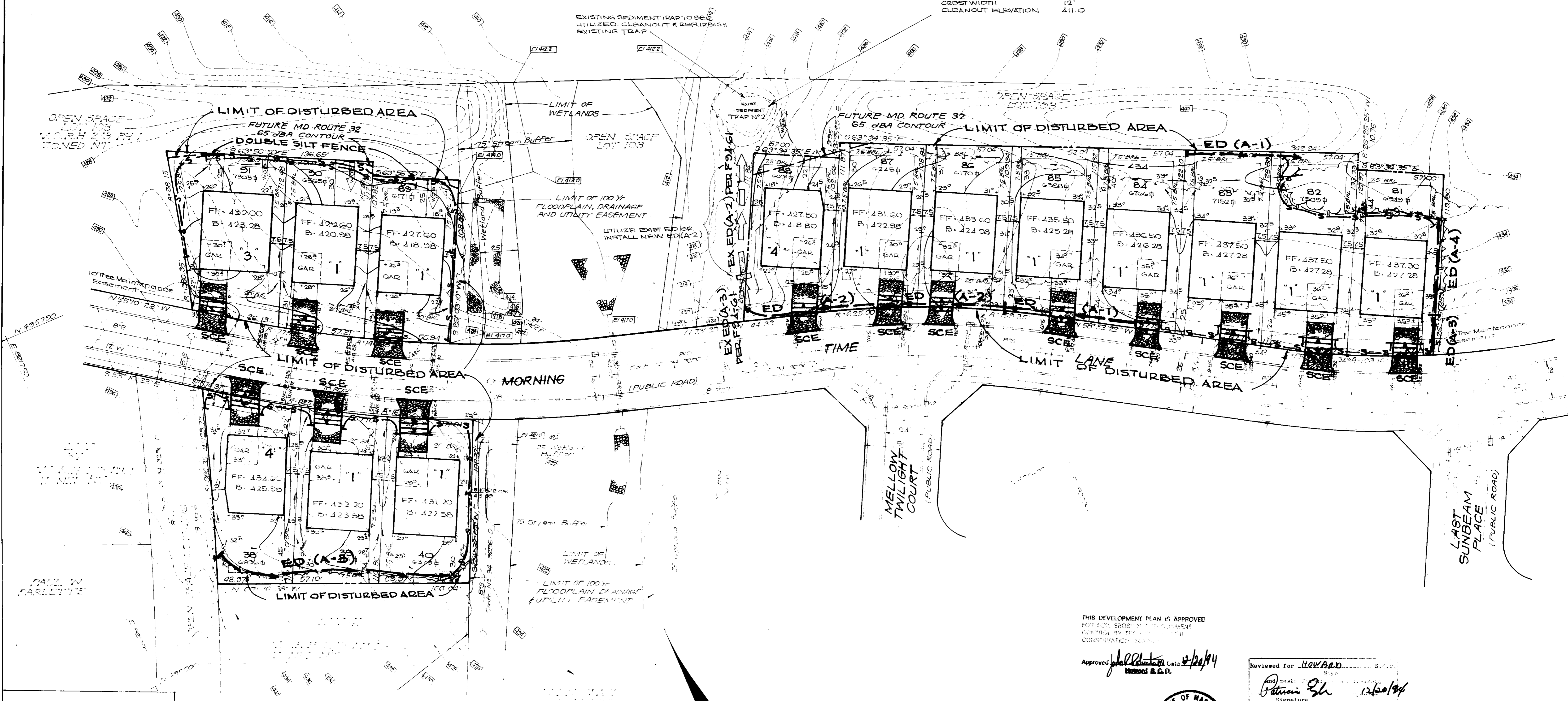
Signature: *[unclear]*
Date: 12/22/94
Title: DIRECTOR

Signature: *[unclear]*
Date: 12/22/94
Title: CHIEF BUREAU OF ENGINEERING

NO.	REVISION	DATE
2	Revisions per Ho.Co. Comment Letter dated 11-17-94	11-28-94
1	REVGEN BOX & GDD LOT G3 FROM 'E' TO 'F'	10-19-94

EX STONE OUTLET SEDIMENT TRAP N°2 - F94-G1	
DRAINAGE AREA	275 AC
STORAGE REQUIRED	4950 CF
STORAGE PROVIDED	5000 CF @ 412.0
CREST ELEVATION	413.0
BOTTOM ELEVATION	409.0
DEPTH	3.0
CREST WIDTH	12
CLEANOUT ELEVATION	411.0

FUTURE MARYLAND ROUTE 32



THIS DEVELOPMENT PLAN IS APPROVED FOR THE EROSION CONTROL MEASURES REQUIRED BY THE HOWARD COUNTY CONSERVATION DISTRICT.

Approved: *[Signature]* Date: 12/10/94
Howard S.C.D.

Reviewed for: *[Signature]* Date: 12/20/94
Signature
U.S. Soil Conservation Service



DEVELOPER'S/BUILDERS CERTIFICATE

I hereby certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible persons who serve as the contractor shall have a Certificate of Attendance of a Dept. of the Environment and General Services Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the U.S. Soil Conservation District or their authorized agencies, on site, whenever necessary.

[Signature] 10-10-94
Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a prudent and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 10/10/94
G NELSON CLARK DATE

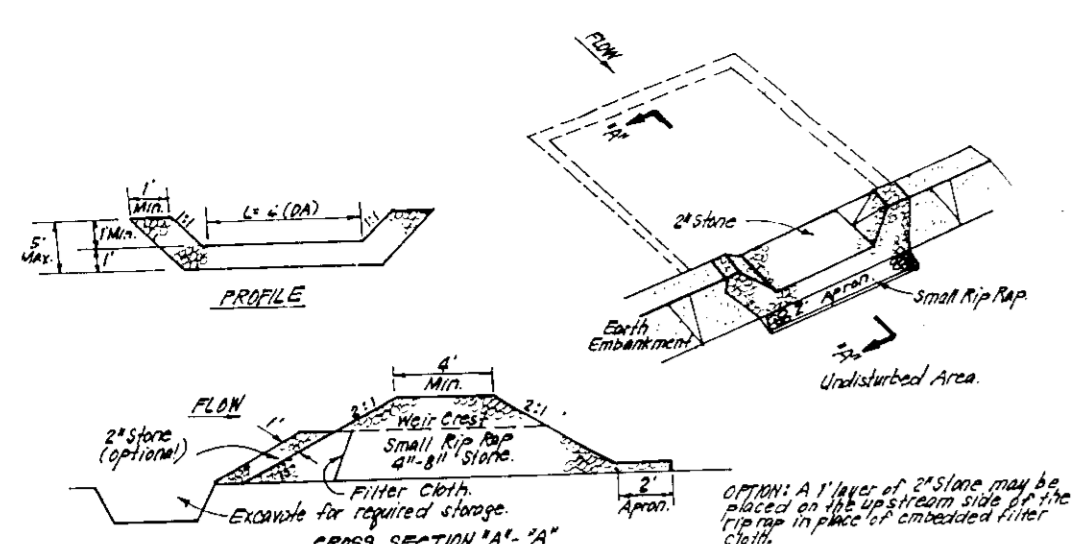
OWNER

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
10275 WOODLAWN PARKWAY
COLUMBIA, MARYLAND 21045

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
Director: *[Signature]* 12/30/94
Date: 12/30/94
Chief Division of Land Development and Research T.C.

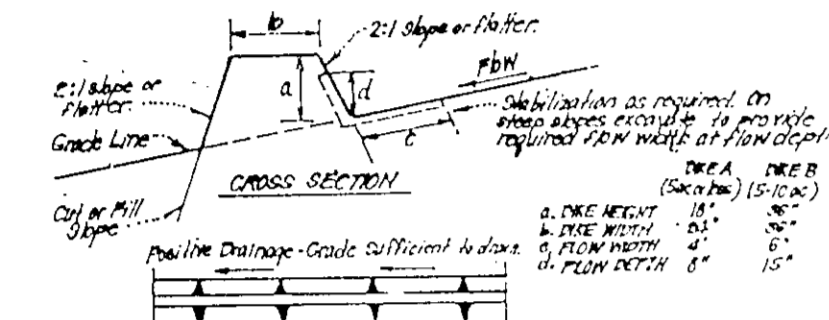
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Director: *[Signature]* 12/22/94
Date: 12/22/94
Chief Bureau of Engineering and Inspection

CLARK • FINEPROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS		
135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 • BALTO. • (301) 621-8100 • WASH.		
DESIGNED Z.A.L.	SEDIMENT & EROSION CONTROL PLAN LOTS 38, 40, 65, 69 and 81, 91	SCALE 1" = 30'
DRAWN BAL	COLUMBIA VILLAGE OF RIVER HILL	DRAWING 4 OF 5
CHECKED Z.A.L.	SECTION 2 AREA 3 PHASE 1 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 94-178
DATE 12-16-94	For: PATRIOT HOMES PO Box 1018 Columbia, Md. 21044	FILE NO. 94-1785E



- CONSTRUCTION SPECIFICATIONS:**
1. Any under construction shall be cleared, grubbed and stripped of any vegetation and soil mat. The top soil shall be stored on site and replaced after construction is complete.
 2. The filter cloth shall be placed over the entire area to be treated. The sediment trap shall be constructed by excavating with a minimum of 12" depth. The filter cloth shall be placed over the entire area to be treated.
 3. The stone used in the filter shall be small (1/2" to 1") and shall be placed in a layer of 6" thickness.
 4. The stone used in the filter shall be small (1/2" to 1") and shall be placed in a layer of 6" thickness.
 5. Sediment shall be removed and replaced with top soil after construction is complete.
 6. The structure shall be inspected after each rain and repairs made as needed.
 7. Construction operations shall be stopped on any day when erosion and water pollution is anticipated.
 8. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

S.T.NE OUTLET SEDIMENT TRAP (S.O.S.T.) STV.
NO SCALE



- CONSTRUCTION SPECIFICATIONS:**
1. All dikes shall be constructed by hand-digging equipment.
 2. All dikes shall have positive drainage to an outlet.
 3. Top width may be wider and shall slopes may be steeper if desired to facilitate cleaning by construction traffic.
 4. Final location should be adjusted as needed to utilize a stabilized safe outlet.
 5. Earth dikes shall have an outlet that discharges into a minimum of 200 feet of open water.
 6. Sedimentation shall be: (a) in accordance with standard specifications for sand and straw mulch or straw mulch if not in seeding season, (b) flow channel as per chart below.

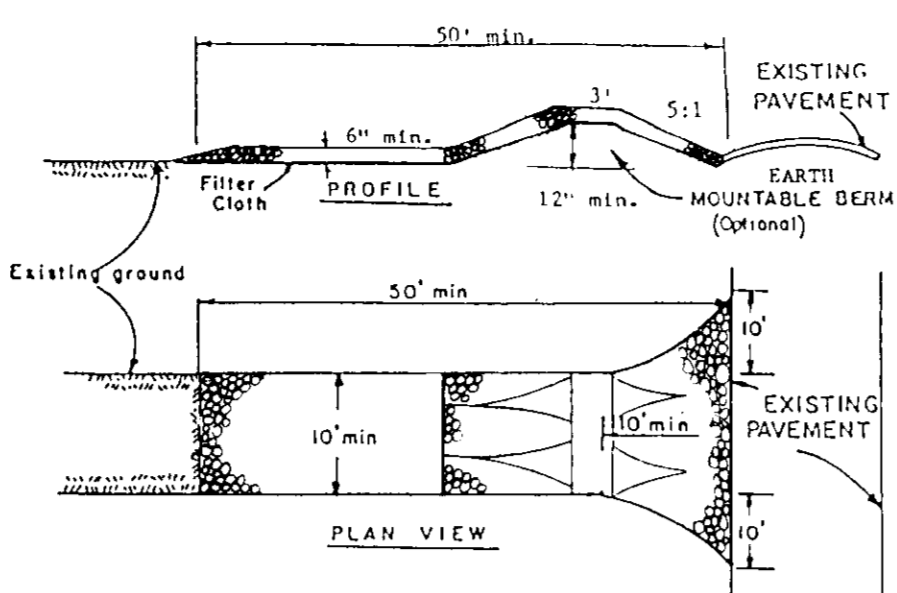
CHANNEL STABILIZATION

TYPE OF CHANNEL	CHANNEL SIZE	COVER	COVER B
1	0.5 - 2.0 FT	Seed or straw mulch	Seed or straw mulch
2	2.0 - 3.0 FT	Seed or straw mulch	Seed or straw mulch
3	3.0 - 4.0 FT	Seed or straw mulch	Seed or straw mulch
4	4.0 - 6.0 FT	Seed or straw mulch	Seed or straw mulch

A stone to be 2" stone, or recycled concrete equivalent, in a layer at least 3" thick and be placed over the soil with construction equipment.
B. Rip-rap to be 4" in a layer at least 3" thick, placed over the soil.
C. Approved equivalents can be substituted for any of the above materials.

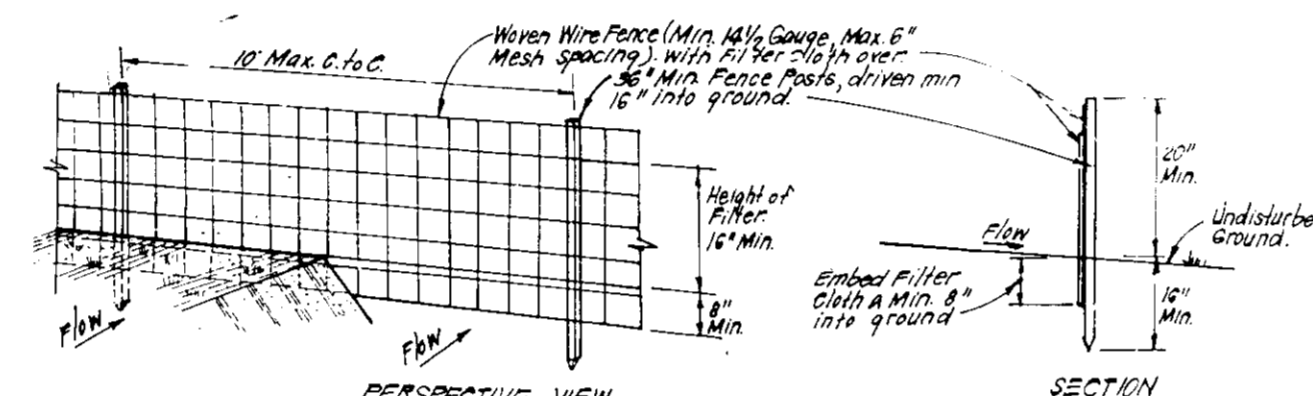
7. Periodic inspection and required maintenance must be provided after each rain.

EARTH DIKE DETAIL (E.D.)
NO SCALE



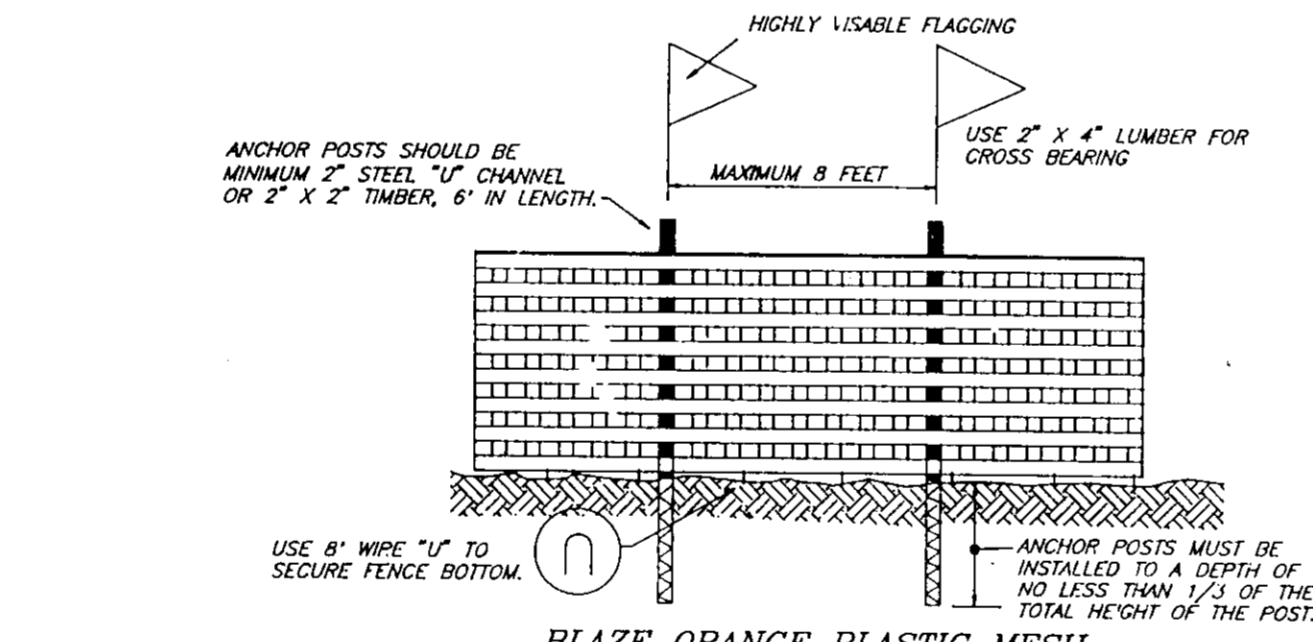
- CONSTRUCTION SPECIFICATIONS:**
1. Stone Size - Use 2" stone, or recycled or concrete equivalent.
 2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 3. Thickness - Not less than six (6) inches.
 4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mounded berm with 3:1 slopes will be provided.
 7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, or tracked onto public rights-of-way must be removed immediately.
 8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area established with stone and which drains into an approved sediment trapping device.
 9. Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE (SCE)
NO SCALE



- CONSTRUCTION SPECIFICATIONS:**
1. Wire mesh fence to be fastened securely to fence posts with wire ties or staples.
 2. Filter cloth to be fastened securely to wire mesh fence with wire staples every 36" in top and bottom.
 3. When 2 sections of filter cloth are joined together they shall be overlapped by 6" and stapled.
 4. Maintenance shall be performed as needed and material removed when "bulges" develop in silt fence.
 5. Silt Fence to be blocked at 3' to 5' intervals.

SILT FENCE DETAIL (S)
NO SCALE



- BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL**
NO SCALE
- NOTES:**
1. Forest protection device only.
 2. Retention area will be set as part of the review process.
 3. Boundaries of retention area should be staked and flagged prior to installing device.
 4. Root damage should be avoided.
 5. Protection signage may also be used.
 6. Device should be maintained throughout construction.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

- SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
- SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:
- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft), and 800 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq ft.)
 - 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 600 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use soil. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (3 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 3 feet or higher, use 348 gallons per acre (9 gal/1000 sq ft) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

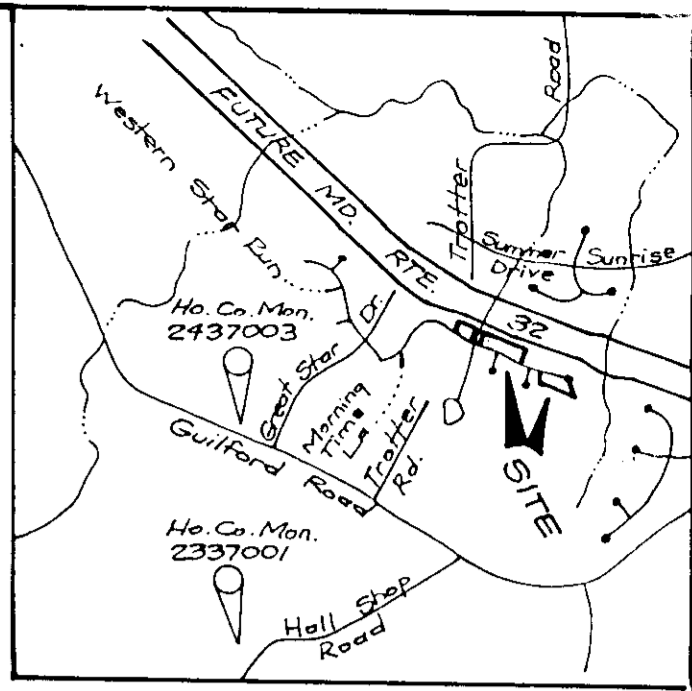
SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing, or other acceptable means before seeding, if not previously loosened.

- SOIL AMENDMENTS:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
- SEEDING:** For periods March 1 thru April 30, and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs./1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use soil.
- MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (3 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 3 feet or higher, use 348 gallons per acre (9 gal/1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT AND EROSION CONTROL NOTES

1. A minimum of 24 hrs. notice must be given to the Howard County Office of Inspection and Permit prior to the start of any construction. (319-185).
2. All sediment and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec.51) and (Sec.54), temporary seeding (Sec.50) and mulching (Sec.52). Temporary stabilization with do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. SITE ANALYSIS:
 - Total Area of Site: 2.91 AC
 - Area Disturbed: 2.92 AC
 - Area to be roofed or paved: 0.57 AC
 - Area to be vegetatively stabilized: 1.93 AC
 - Total Cut: 3520 CY
 - Total Fill: 3520 CY
 - Off-site Waste/Borrow Area Location: _____



VICINITY MAP
Scale: 1" = 2000'

LEGEND

- Contour Interval 2 Ft
- Proposed Contour 448
- Existing Contour 448
- Spot Elevation 448
- Direction of Drainage
- Silt Fence S-S-S
- Stabilized Construction Entrance w/ Movable Berm
- Ex. Earth Dike
- Earth Dike
- Limit of Disturbance

11. All pipes to be blocked at the end of each day (see detail this sheet).
 12. The total amount of silt fence = 1099 LF.
- It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:

NO.	DESCRIPTION	NO. OF DAYS
1	Obtain grading permit	7
2	Install tree protection fence	7
3	Install sediment and erosion control devices and stabilize	14
4	Excavate for foundations, rough grade and temporarily stabilize	30
5	Construct structures, sidewalks and driveways	60
6	Final grade and stabilize in accordance with Sids. and Specs.	14
7	Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

Delay construction of House on Lot 69; See Single Lot Sediment Control Detail on this sheet.

NOTE: Silt Fence to be staked at 3' to 5' intervals.

NO.	REVISIONS	DATE
1	Revisions per Ho Co Comment Letter dated 11/27/94	11-28-94

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 12/30/94
DIRECTOR

[Signature] 12/30/94
CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS

[Signature] 12/22/94
DIRECTOR

[Signature] 12/22/94
CHIEF BUREAU OF ENGINEERING

Reviewed for HOWARD S.C.D. Name: *[Signature]*
on meets technical requirements
Signature: *[Signature]* 12/28/94
US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 12/28/94
Approved

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

[Signature] 10-10-94
SIGNATURE DATE

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 10/10/94
G. NELSON CLARK DATE



OWNER
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21045

CLARK • FINEROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED	SCALE
Z.A.L.	1" = 30'
DRAWN	DRAWING
BAL	5 OF 5
CHECKED	JOB NO.
Z.A.L.	04-178
DATE	FILE NO.
12-16-94	04-178-5E

SITE DEVELOPMENT PLAN
LOTS 36-40, 65-69 and 81-91
COLUMBIA
VILLAGE OF RIVER HILL
SECTION 2 AREA 3 PHASE 1
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

For PATRIOT HOMES
P.O. Box 1018
Columbia, Md 21044