

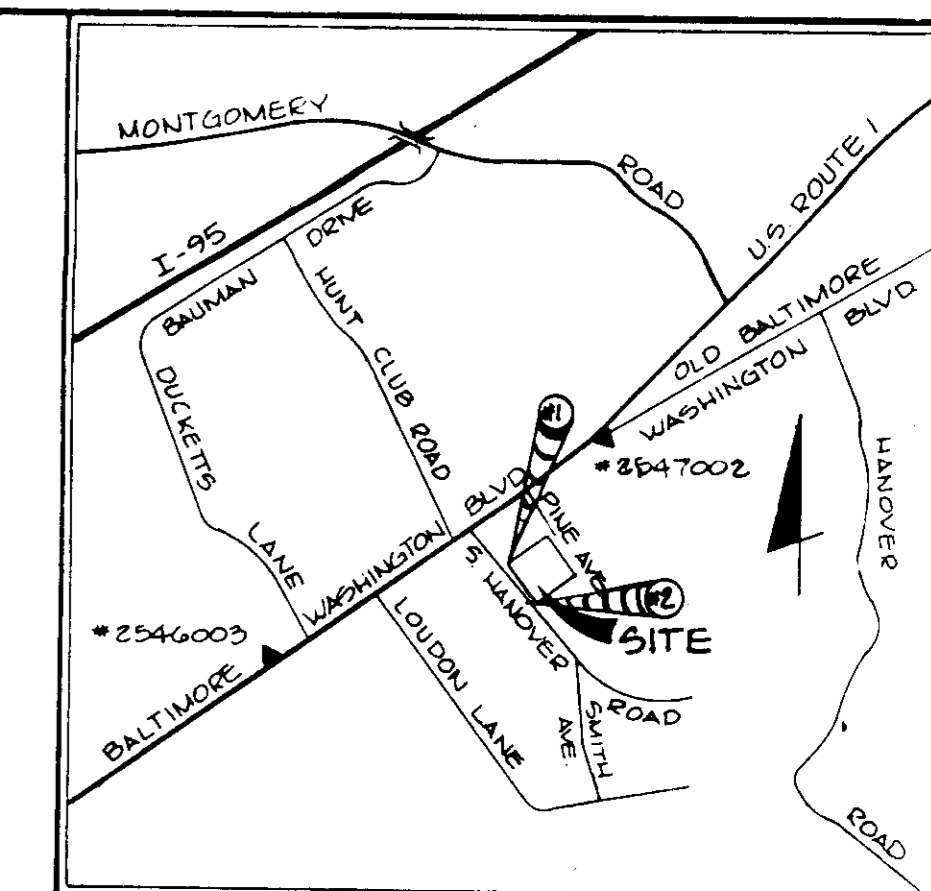
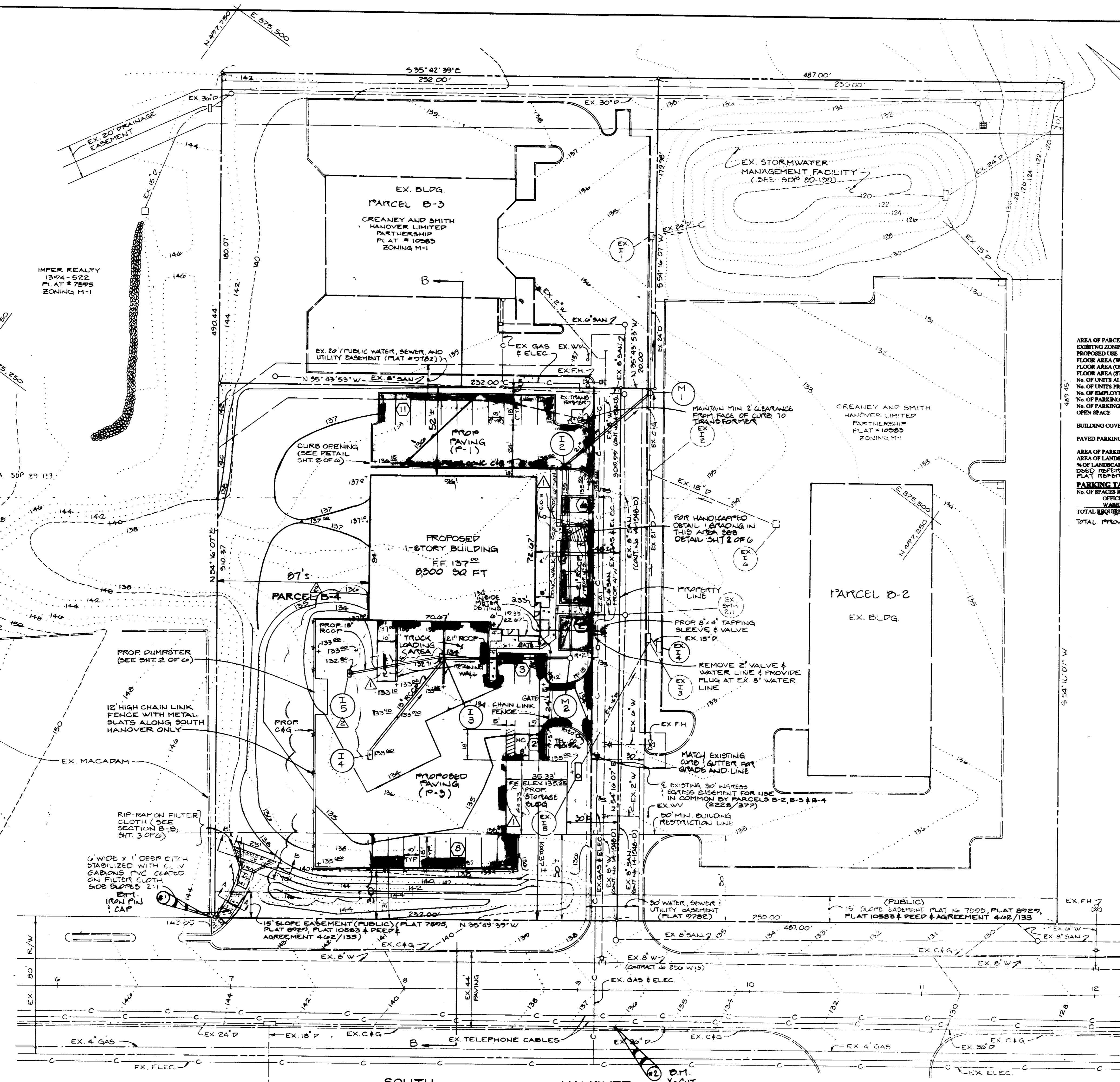
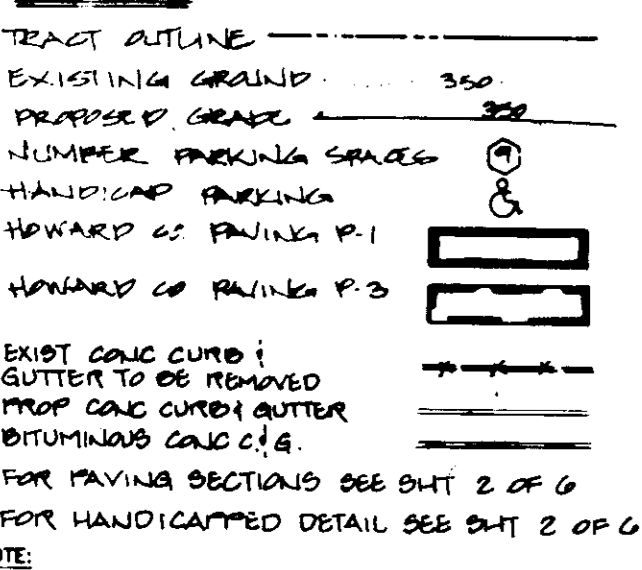
GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, OR AS SHOWN ON THESE PLANS.
- ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN AT LEAST 2' LEVEL BENCH BEHIND ALL CURB AND GUTTER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
- ALL SLOPES SHALL BE 2:1 OR FLATTER.
- THE CONTRACTOR SHALL NOTIFY THE C & P TELEPHONE CO. AND THE GAS AND ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK SHOWN ON THESE PLANS BY CALLING "MISS UTILITY" CALL COLLECT 1-800-257-7777.
- FOR DETAILS OF RAMPS AND SIGNS FOR THE HANDICAPPED SEE THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED AND AS SHOWN HEREON. (SEE SHT 2 OF 6.)
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5% OF COVER OVER ALL PROPOSED WATER LINES, UNLESS OTHERWISE NOTED ON THE PLAN.
- THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION/INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-213-1000.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING, CURB AND GUTTER, ETC., THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
- ALL UTILITIES INSTALLED UNDER PAVING SHALL RECEIVE FULL TRENCH COMPACTION.
- ALL WATER MAIN TEES, BENDS, CAPS, ETC., SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
- MAXIMUM BUILDING HEIGHT - 20 FEET
- ALL CURB & GUTTER SHALL BE HOWARD COUNTY STD. COMBINATION CONCRETE CURB & GUTTER, EXCEPT AS NOTED.
- FILE NUMBERS: VP 85-130, VP 85-130A1, F 86-57, F 89-133, SDP 29-133.
- STORMWATER MANAGEMENT PROVIDED FOR AS PART OF SDP 80-130.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

INDEX OF SHEETS

- SHEET 1 SITE PLAN
- SHEET 2 SECTIONS AND DETAILS
- SHEET 3 D.A. MAP & PROFILES
- SHEET 4 SEDIMENT CONTROL PLAN
- SHEET 5 SEDIMENT CONTROL DETAILS
- SHEET 6 LANDSCAPE PLAN

LEGEND



VICINITY MAP
SCALE: 1"=200'

BENCHMARK:
#1 LOCAL PUBLIC MARKED KCI
WESTERNMOST COR. PARCEL B-4 EL. 144.80
#2 X-CUT, SOUTHWEST SIDE OF SOUTH HANOVER, MD S 54°16'07" W 61.00' FROM THE SOUTHERNMOST COR. OF PARCEL B-4 ELEVATION 132.02

SITE DATA

AREA OF PARCEL:	1.632 ACS ±
EXISTING ZONING:	M-1
PROPOSED USE:	OFFICE, WAREHOUSE
FLOOR AREA (WAREHOUSE):	5,070 SQ. FT.
FLOOR AREA (OFFICE):	3,200 SQ. FT.
FLOOR AREA (STORAGE BUILDING):	1,531 SQ. FT.
NO. OF UNITS ALLOWED:	N/A
NO. OF UNITS PROVIDED:	0
NO. OF EMPLOYEES:	10
NO. OF PARKING SPACES REQUIRED:	22
NO. OF PARKING SPACES PROVIDED:	32
OPEN SPACE:	0.81 AC. AND 49% OF GROSS AREA
BUILDING COVERAGE:	0.22 AC. AND 13.92% OF GROSS AREA
PAVED PARKING LOT AREA ON SITE:	0.43 AC. AND 26% OF GROSS AREA
AREA OF PARKING LOT:	0.43 AC. ±
AREA OF LANDSCAPING IN PARKING LOT:	0.04 AC. ±
% OF LANDSCAPING IN PARKING LOTS:	15%
DEED REFERENCE:	17709 (007)
PLAT REFERENCE:	10580
PARKING TABULATION	
No. of SPACES REQUIRED:	11 SPACES
OFFICE 3,200 SQ. FT. @ 3.1/1000 SQ. FT. =	11 SPACES
WAREHOUSE 5,070 SQ. FT. @ 2 SPACES/1000 SF =	11 SPACES
TOTAL REQUIRED:	22 SPACES
TOTAL PROVIDED (INCLUDES 3 HANDICAPPED):	32 SPACES

THESE PLANS FOR S/M CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

John P. Rutter
APPROVED HOWARD SOIL CONSERVATION DISTRICT
DATE: 3/22/94

REVIEWED FOR THE HOWARD CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
Patricia Engle
U.S. SOIL CONSERVATION SERVICE DATE: 3/23/94

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER: _____ DATE: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
James Smith
DIRECTOR DATE: 4/6/94

APPROVED: DIVISION OF LAND DEVELOPMENT DATE: 4/5/94
AND RESEARCH

APPROVED FOR PUBLIC WATER, SEWER, STORM DRAIN SYSTEM, AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James Smith
DIRECTOR DATE: 3/31/94

Paul Deegan
CHIEF BUREAU OF ENGINEERING DATE: 3/30/94

ADDRESS CHART

BUILDING NO.	STREET ADDRESS
PARCEL B-4	6205 SOUTH HANOVER ROAD

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
HANOVER BUSINESS PARK		B-4
PLAT NO. OR LIF	BLOCK NO.	ZONE
10583	13#14	M-1
TAX MAP	ELECT. DIST.	CENSUS TRACT
38	1	6012
WATER CODE	SEWER CODE	
A01	2150518	

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KENILWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21204
(410) 825-8120

DEVELOPER CERTIFICATION
I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *C.P. Creaney* Date: 2-8-94
C.A. Hanover

OWNER/DEVELOPER
CREANEY AND SMITH HANOVER LTD. PARTNERSHIP
2200 BROENING HIGHWAY SUITE 10
BALTIMORE, MARYLAND 21224
(410) 633-7300

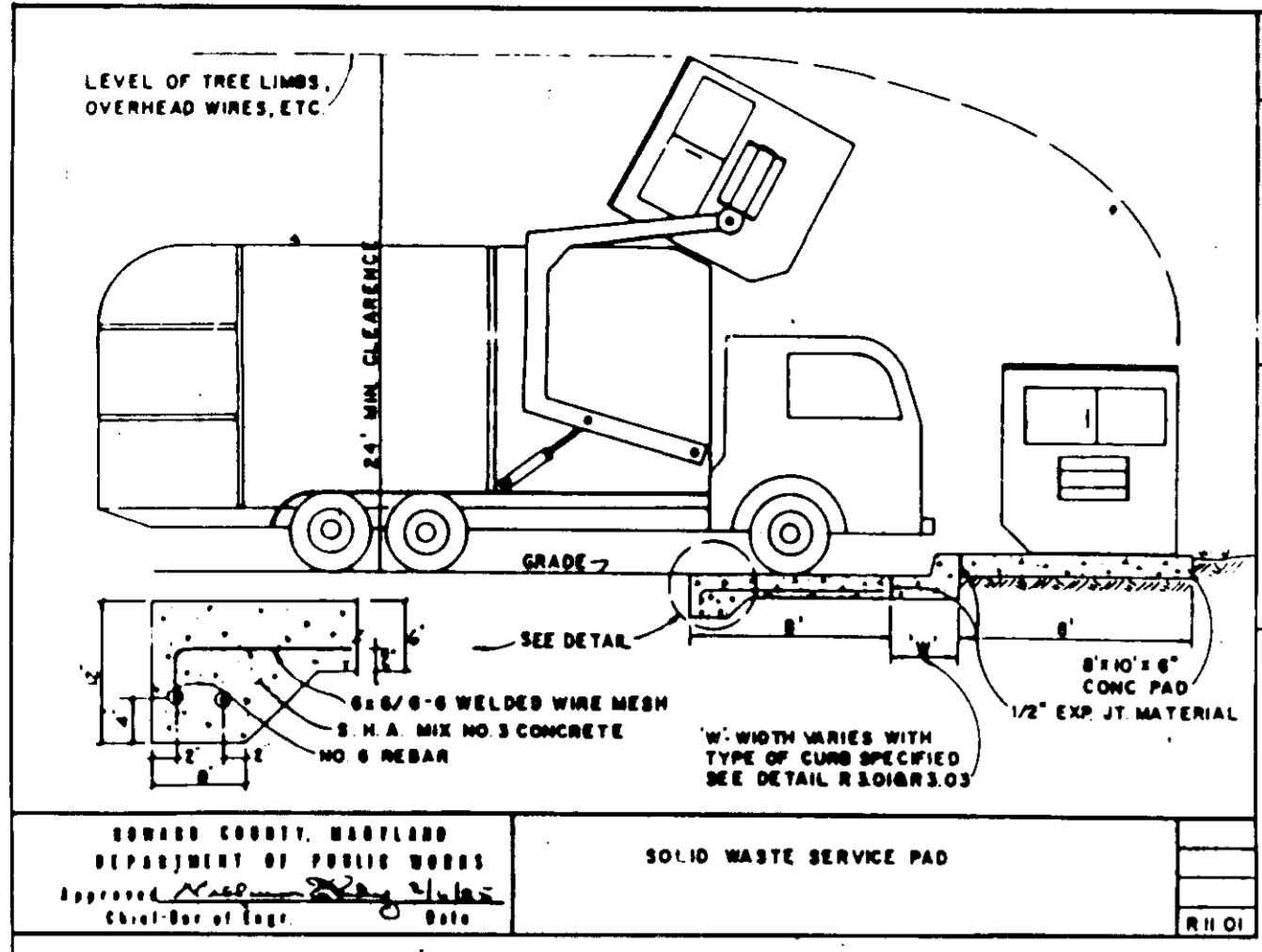
ENGINEER CERTIFICATION
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Il n che* Date: 3/22/94
Name: *FREDERICK N. CHAMBERS IV* No.: 14328

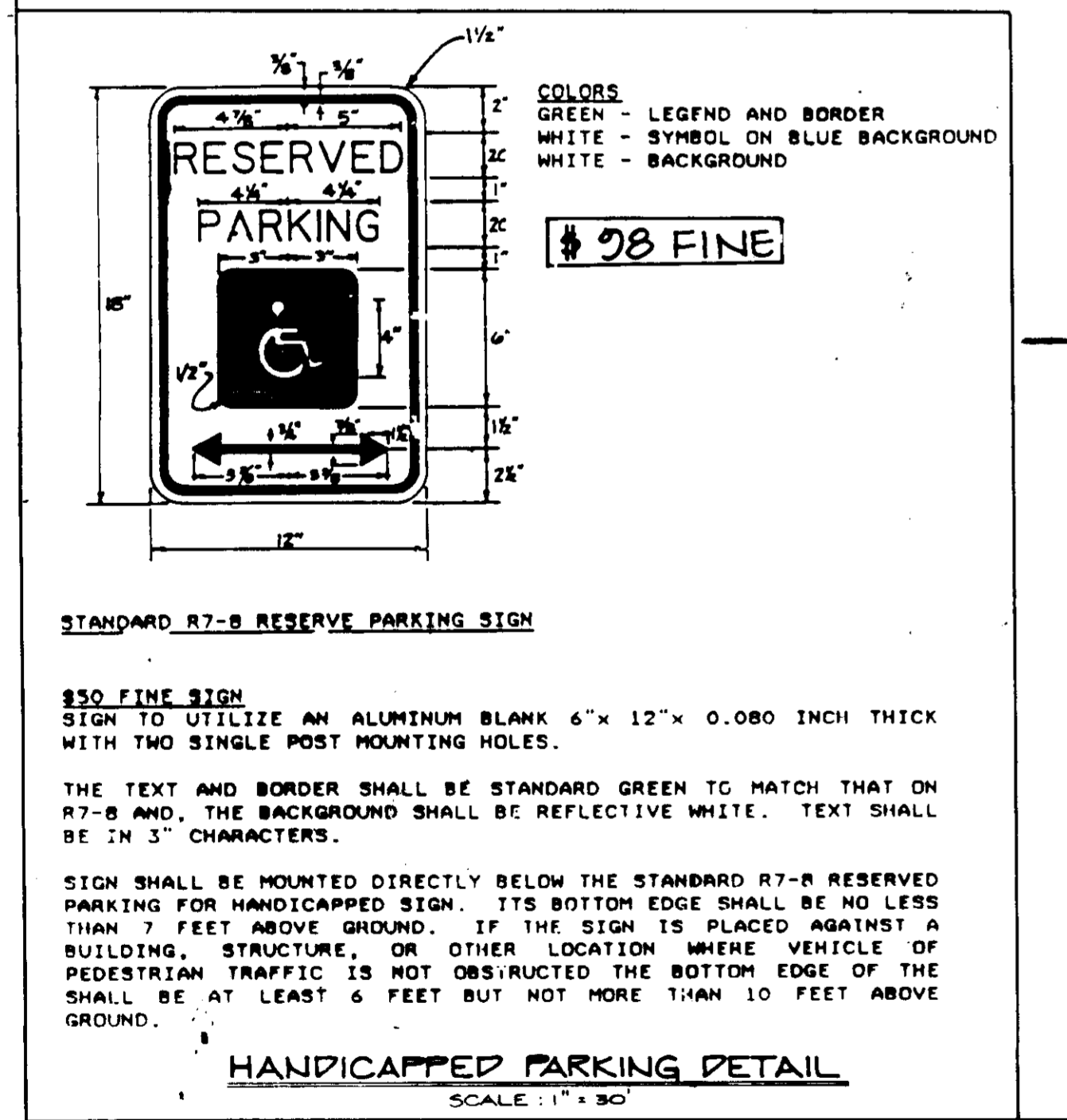
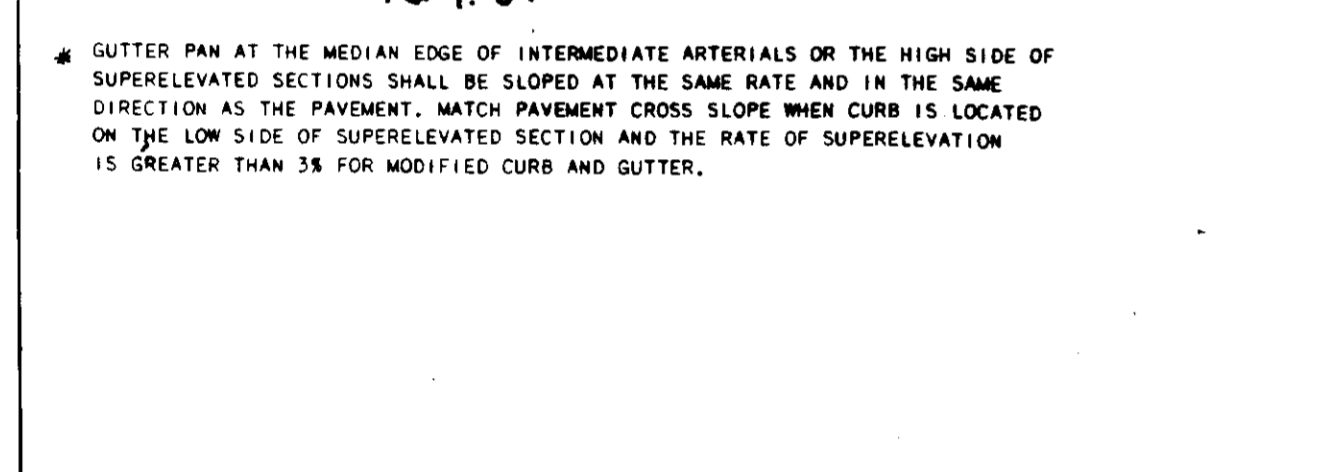
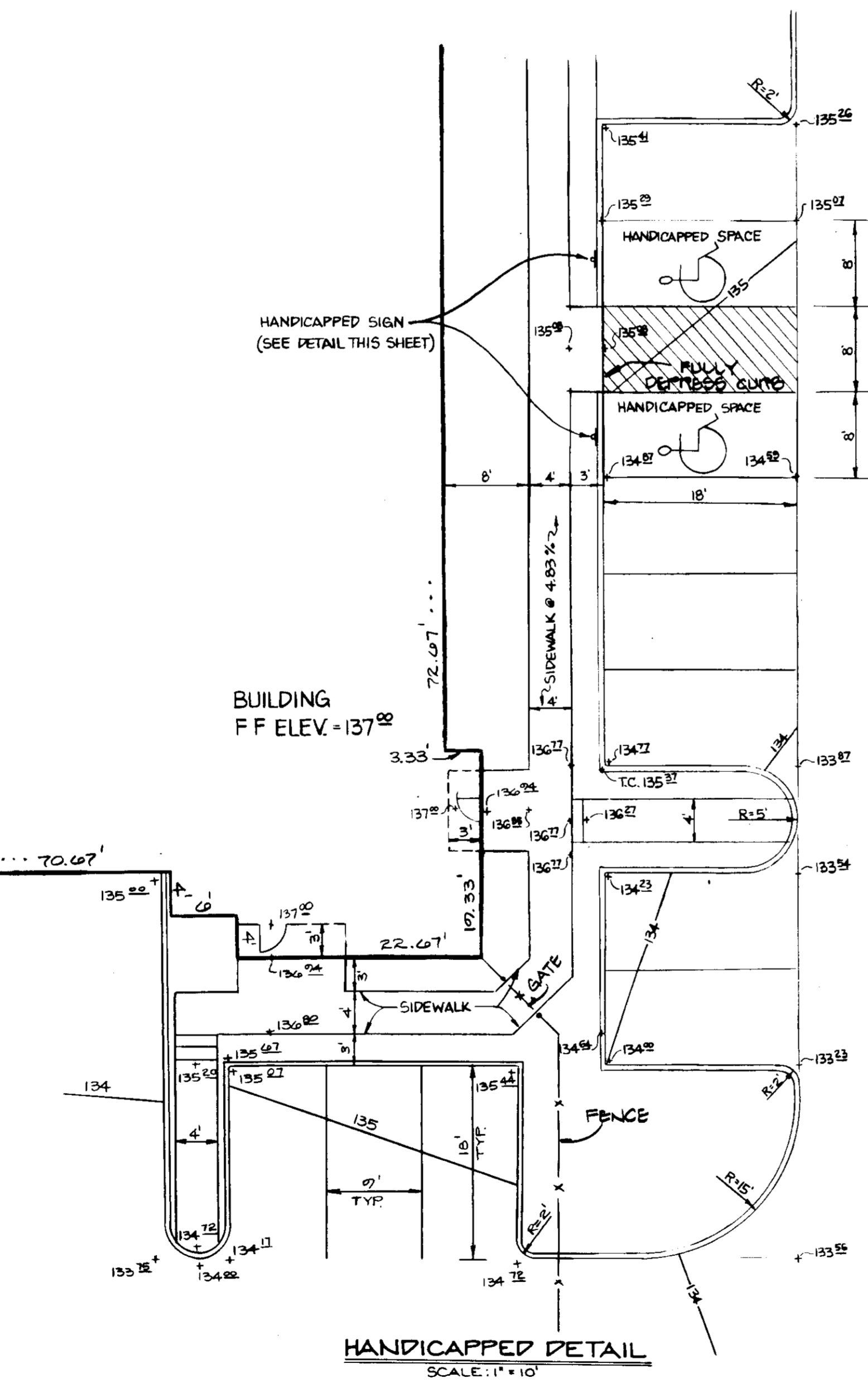
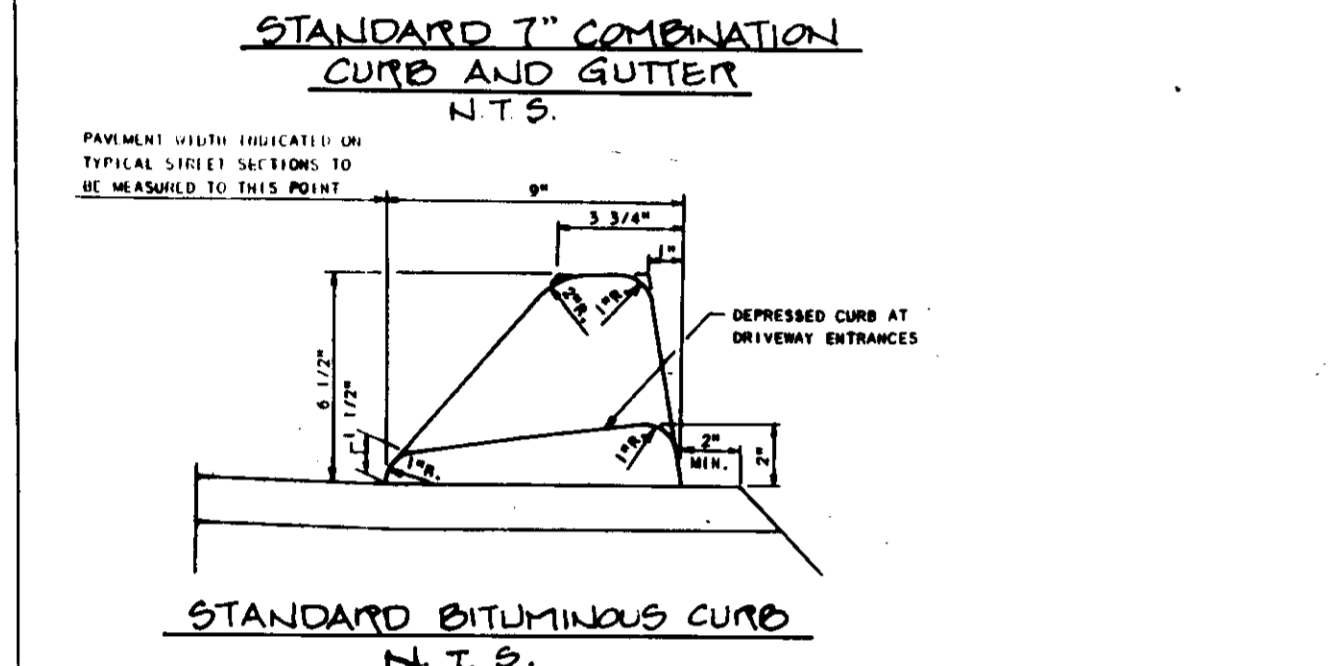
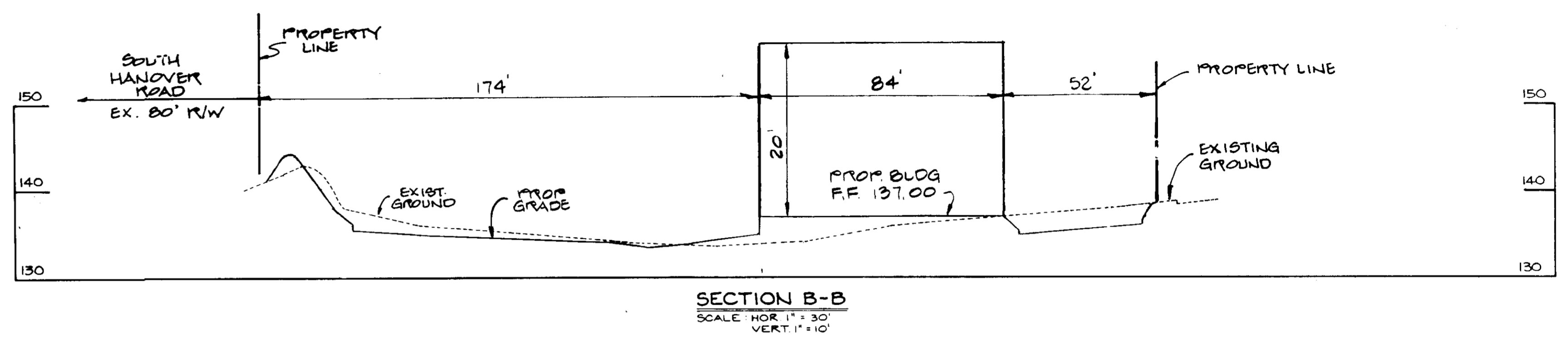
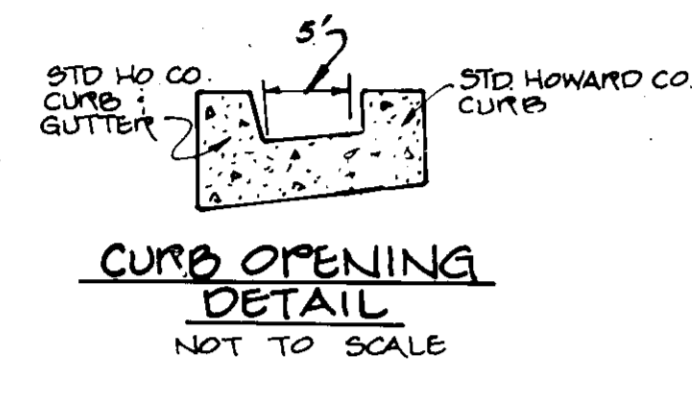
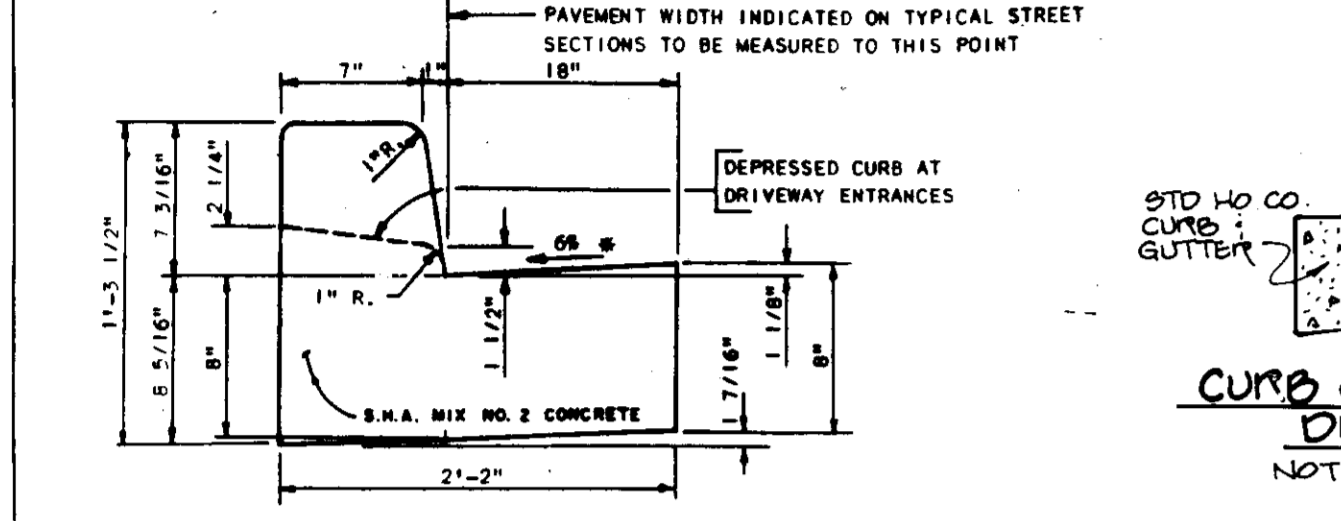
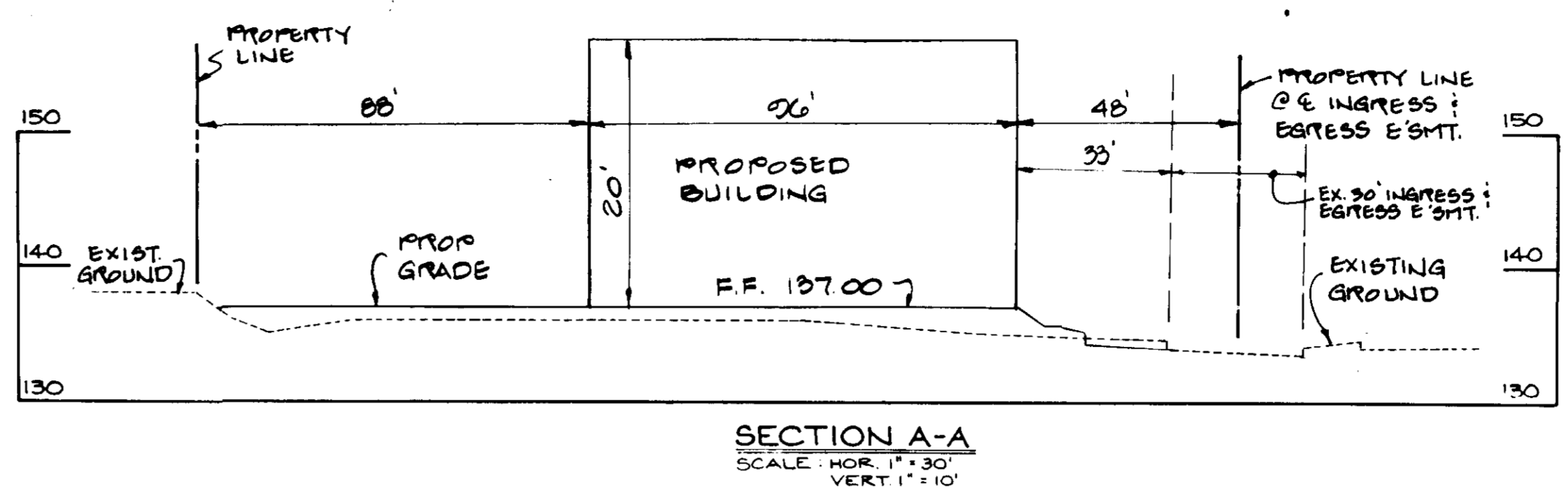
SITE PLAN
PROPOSED OFFICE / WAREHOUSE
HANOVER BUSINESS PARK
PARCEL B-4

TAX MAP 38
HOWARD COUNTY, MARYLAND
SCALE: 1"=30'

ELECTION DISTRICT 1
NOVEMBER 11, 1993
SHEET 1 OF 6
SDP-94-86



SECTION NUMBER	PAVEMENT MATERIALS	
	FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-1	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. BASE PRIME 5" CRUSHER RUN BASE COURSE OR 4" DENSE GRADED STABILIZED AGGREGATE BASE COURSE
P-3	1 1/2" BIT. CONC. SURFACE 1 1/2" BIT. CONC. BASE 4" BIT. CONC. BASE	1 1/2" BIT. CONC. SURFACE 4 1/2" BIT. CONC. BASE PRIME 5" CRUSHER RUN BASE COURSE OR 4 1/2" DENSE GRADED STABILIZED AGGREGATE BASE COURSE



ADDRESS CHART					
BUILDING NO.	STREET ADDRESS				
PARCEL B-4	6205 SOUTH HANOVER ROAD				
SUBDIVISION NAME		SECT./AREA	LOT/PARCEL		
HANOVER BUSINESS PARK			B-4		
PLAT NO. OR L/F	BLOCK NO.	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
10583	13 & 14	M-1	36	1	6012
WATER CODE		SEWER CODE			
A01		2100910			

THESE PLANS FOR S.W.M. CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson 3/25/94
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER _____ DATE _____

REVIEWED FOR THE HOWARD CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Patricia Engle 3/25/94
U.S. SOIL CONSERVATION SERVICE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

N/A
COUNTY HEALTH OFFICER _____ DATE _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

James B. Banta 4/6/94
DIRECTOR

Jim Downing 4/5/94
CHIEF DIVISION OF LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER, SEWER, STORM DRAIN SYSTEM, AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James J. Shaw 3/31/94
DIRECTOR

Paul D. Brown 3/30/94
CHIEF BUREAU OF ENGINEERING DATE

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KENILWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21204
(410) 825-8120

DEVELOPER CERTIFICATION
I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *E.P. Creaney* Date: *2-8-94*

OWNER/DEVELOPER
CREANEY AND SMITH HANOVER LTD. PARTNERSHIP
2200 BROENING HIGHWAY SUITE 10
BALTIMORE, MARYLAND 21224
(410) 653-7500

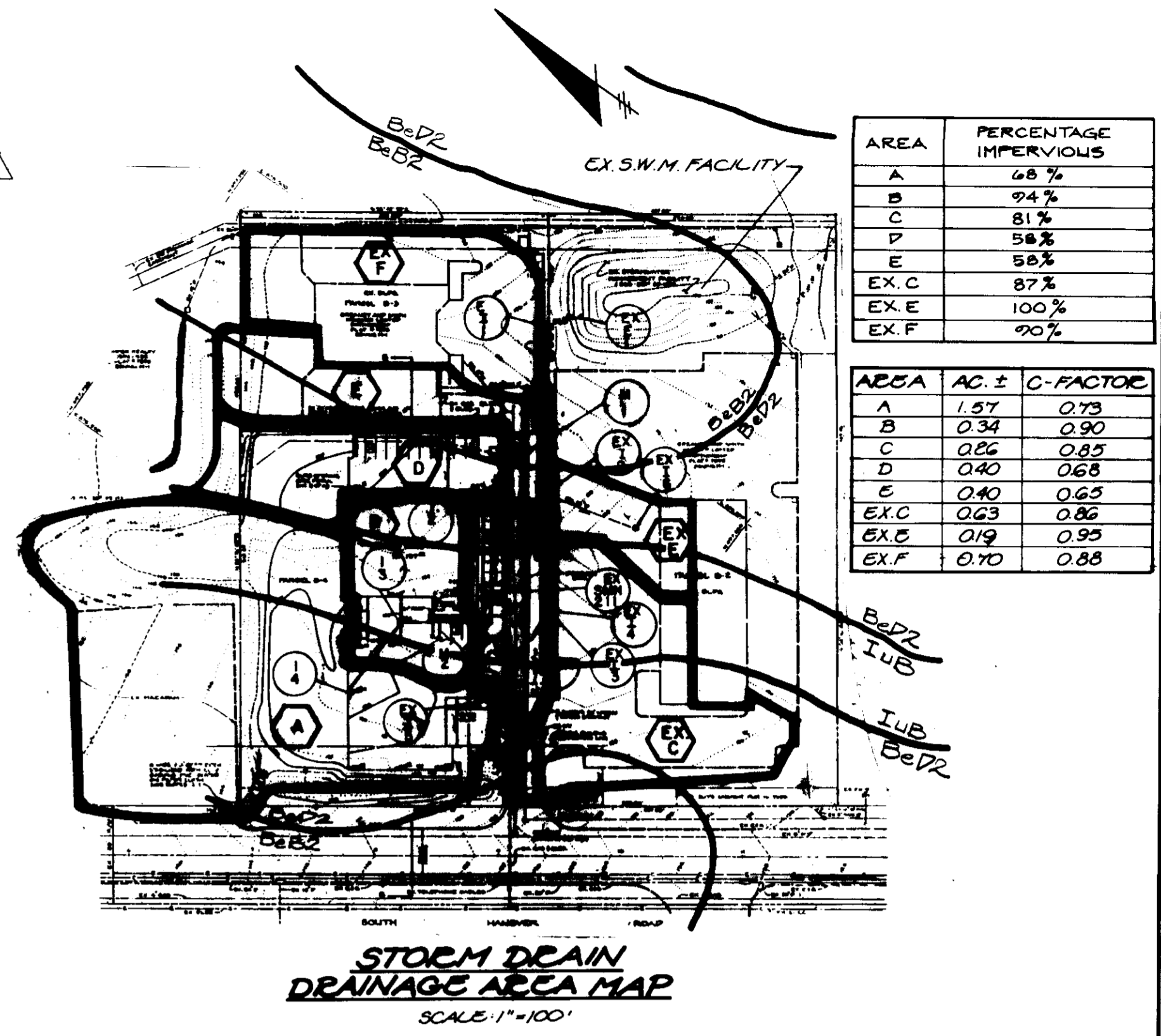
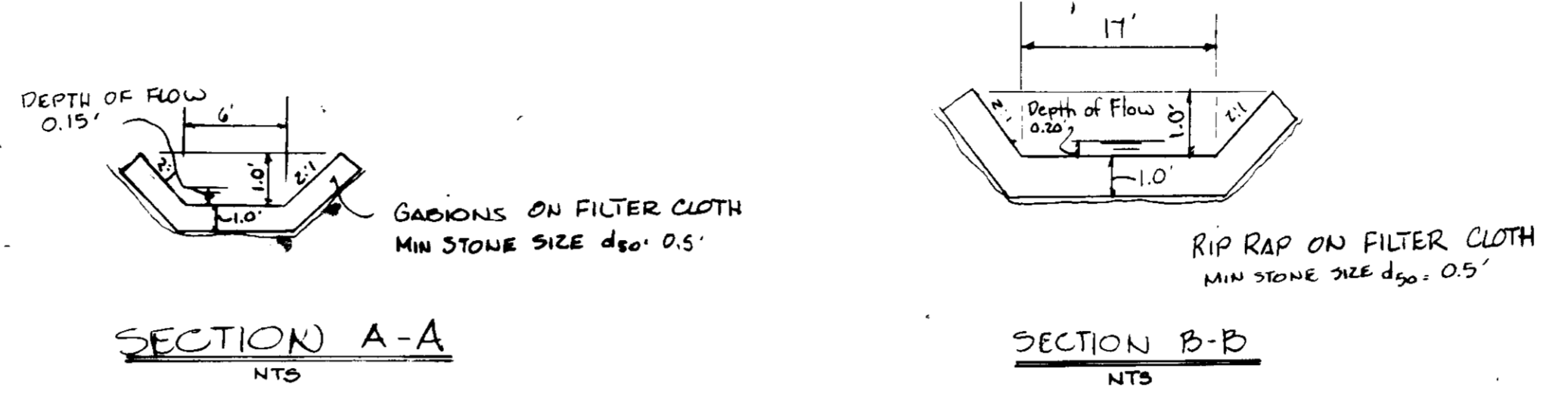
ENGINEER CERTIFICATION
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Frederick N. Chapsey IV* Date: *3/22/94*
Name: **FREDERICK N. CHAPSEY IV** PE # **14328**

SECTIONS AND DETAILS
**PROPOSED OFFICE / WAREHOUSE
HANOVER BUSINESS PARK
PARCEL B-4**

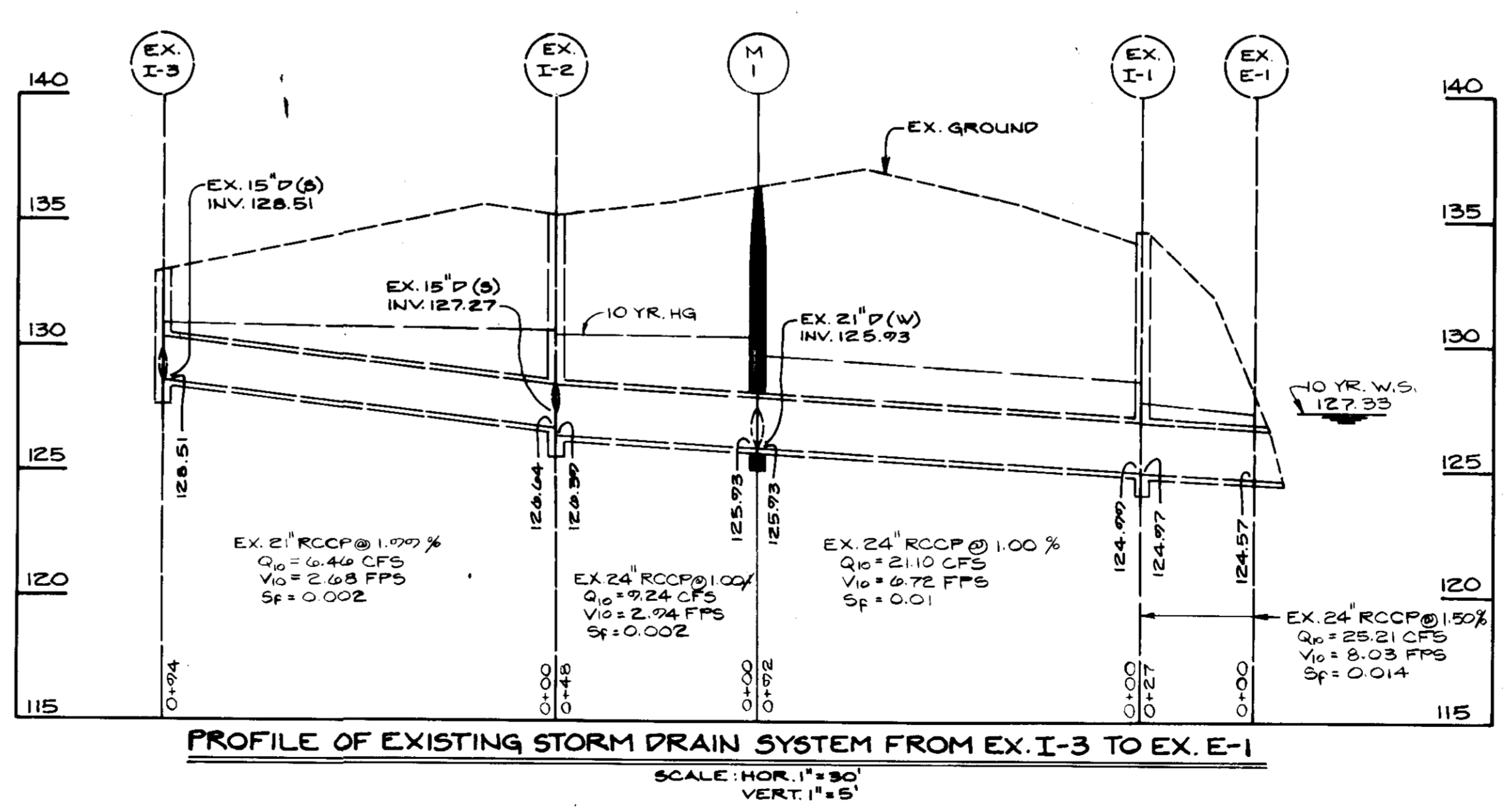
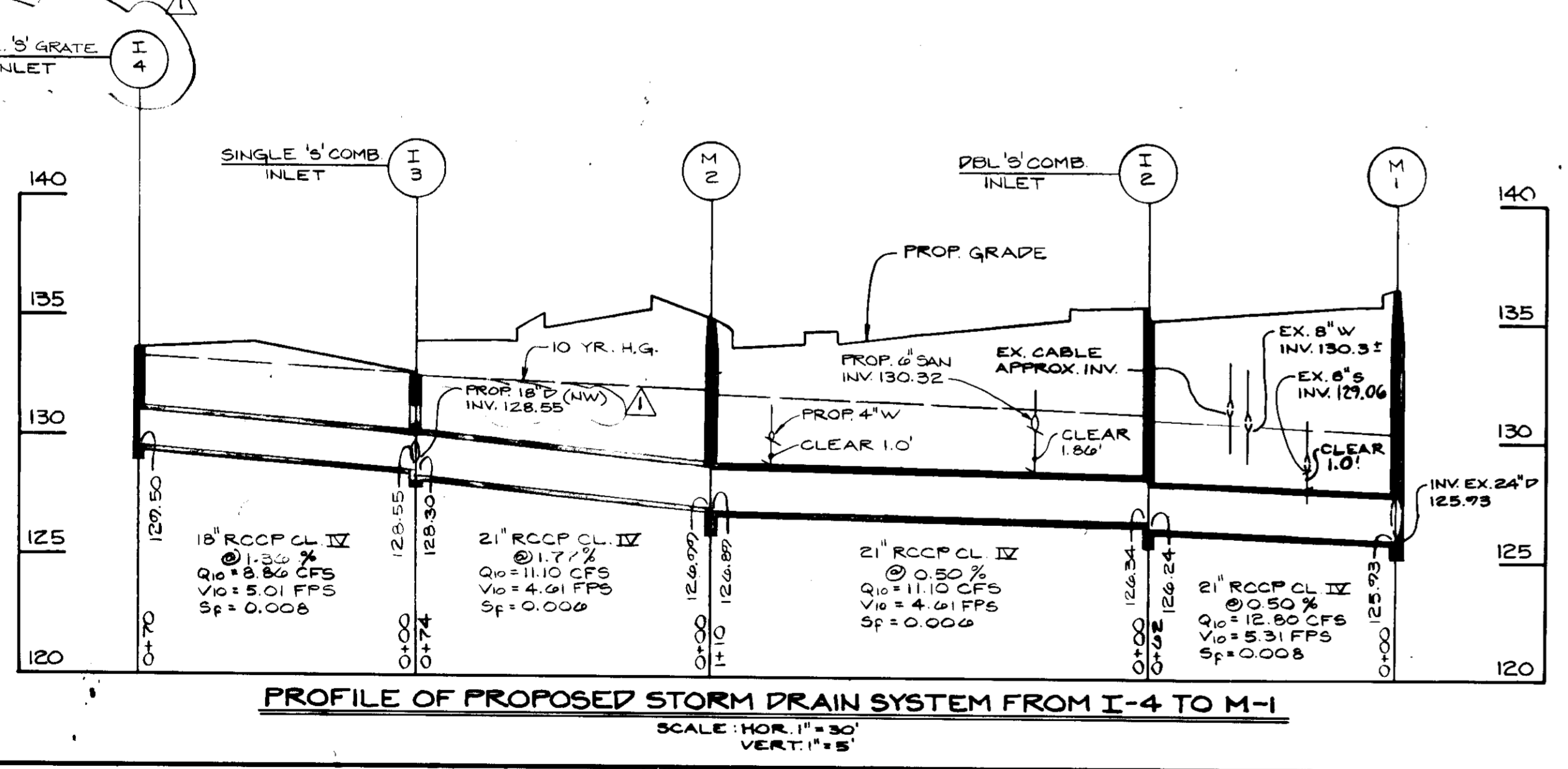
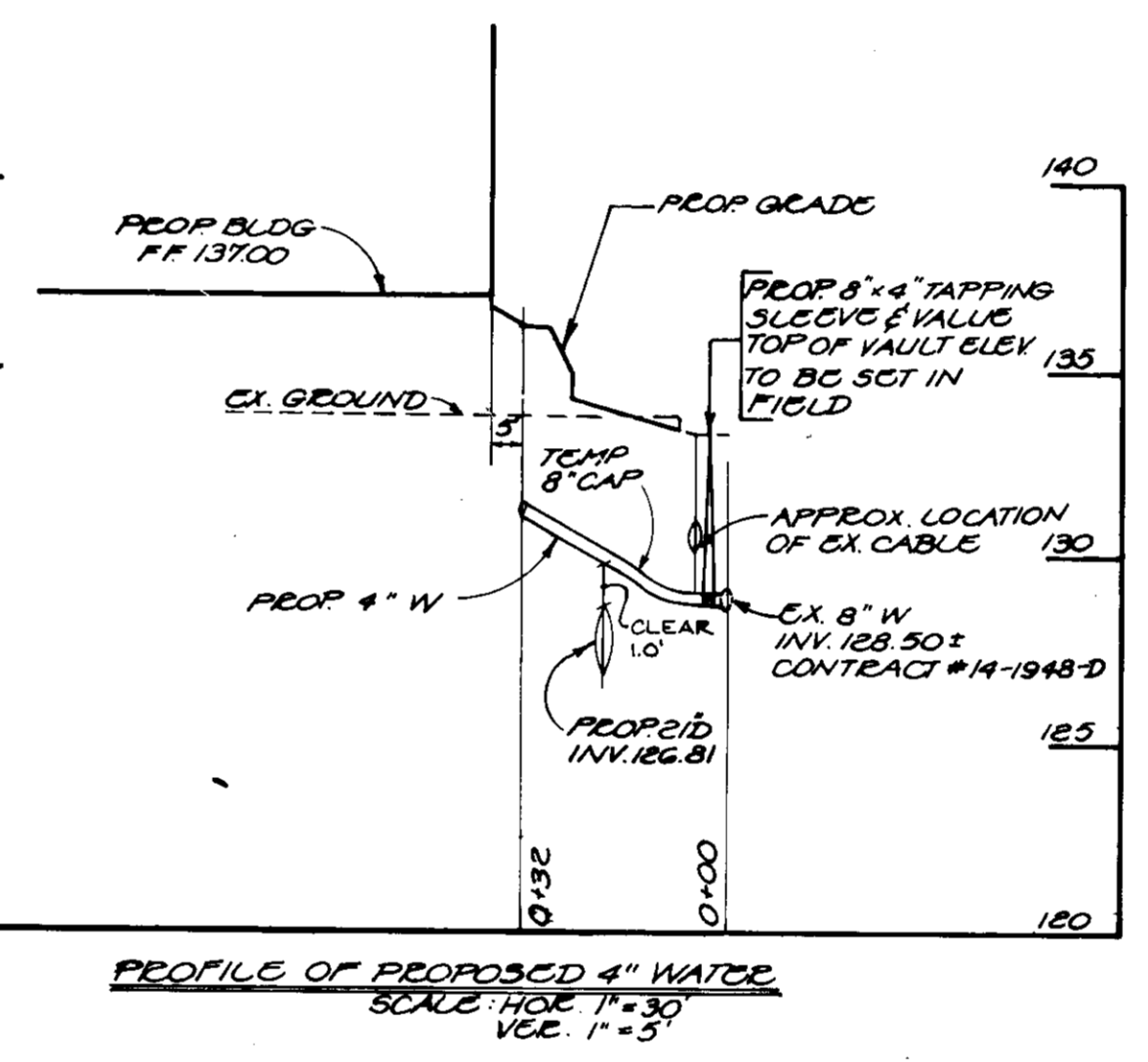
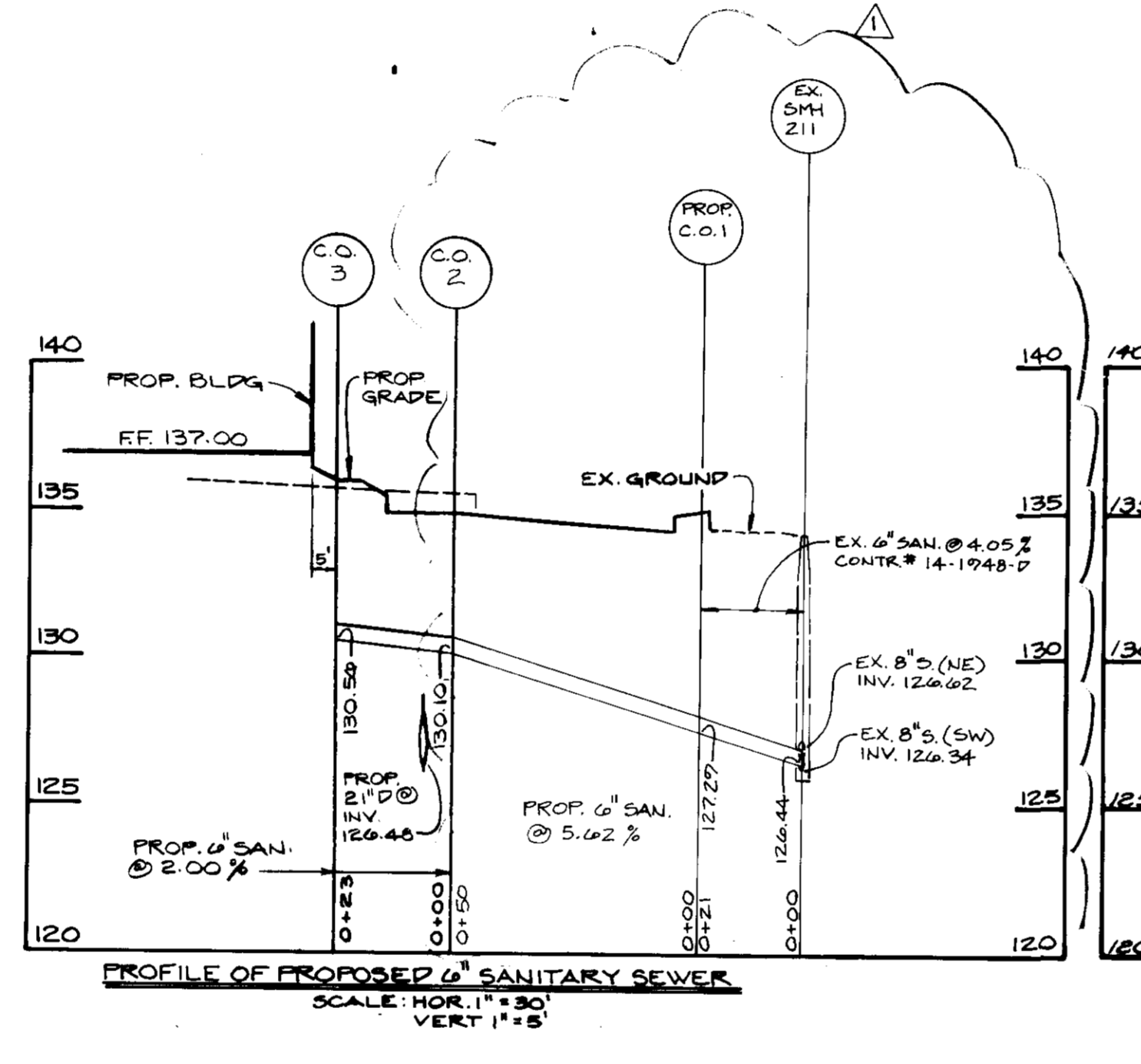
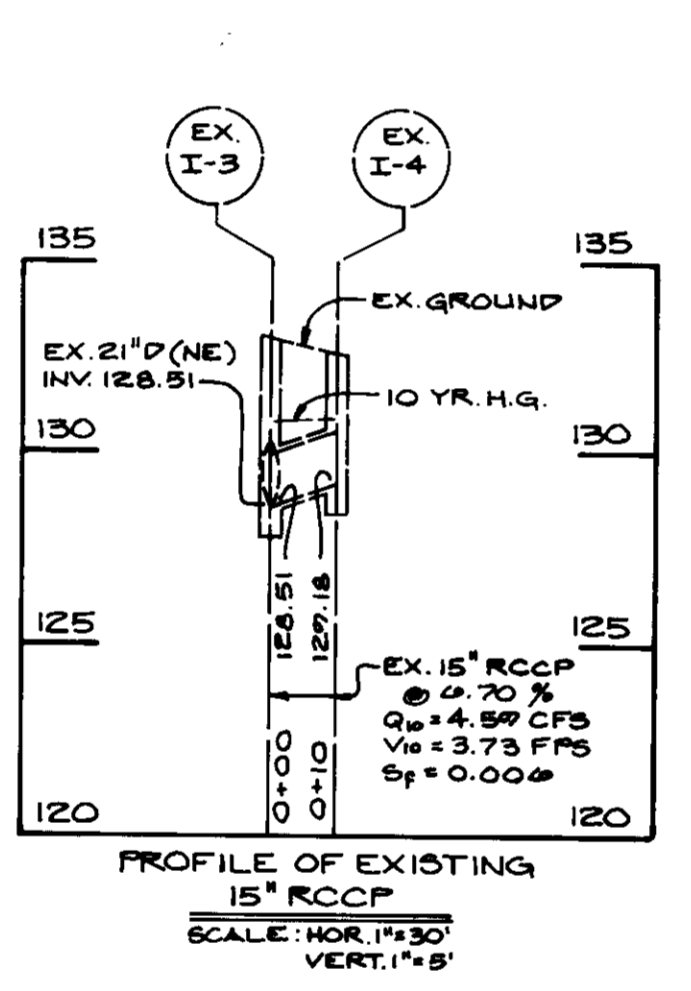
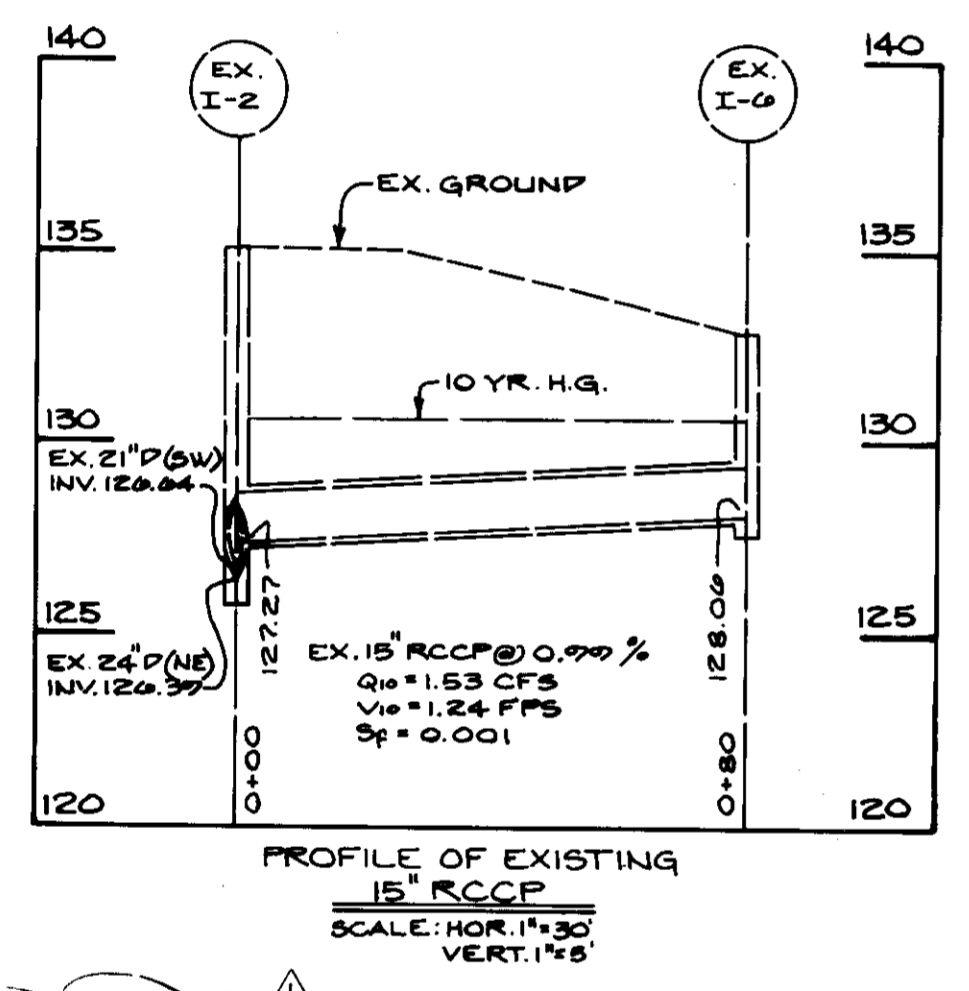
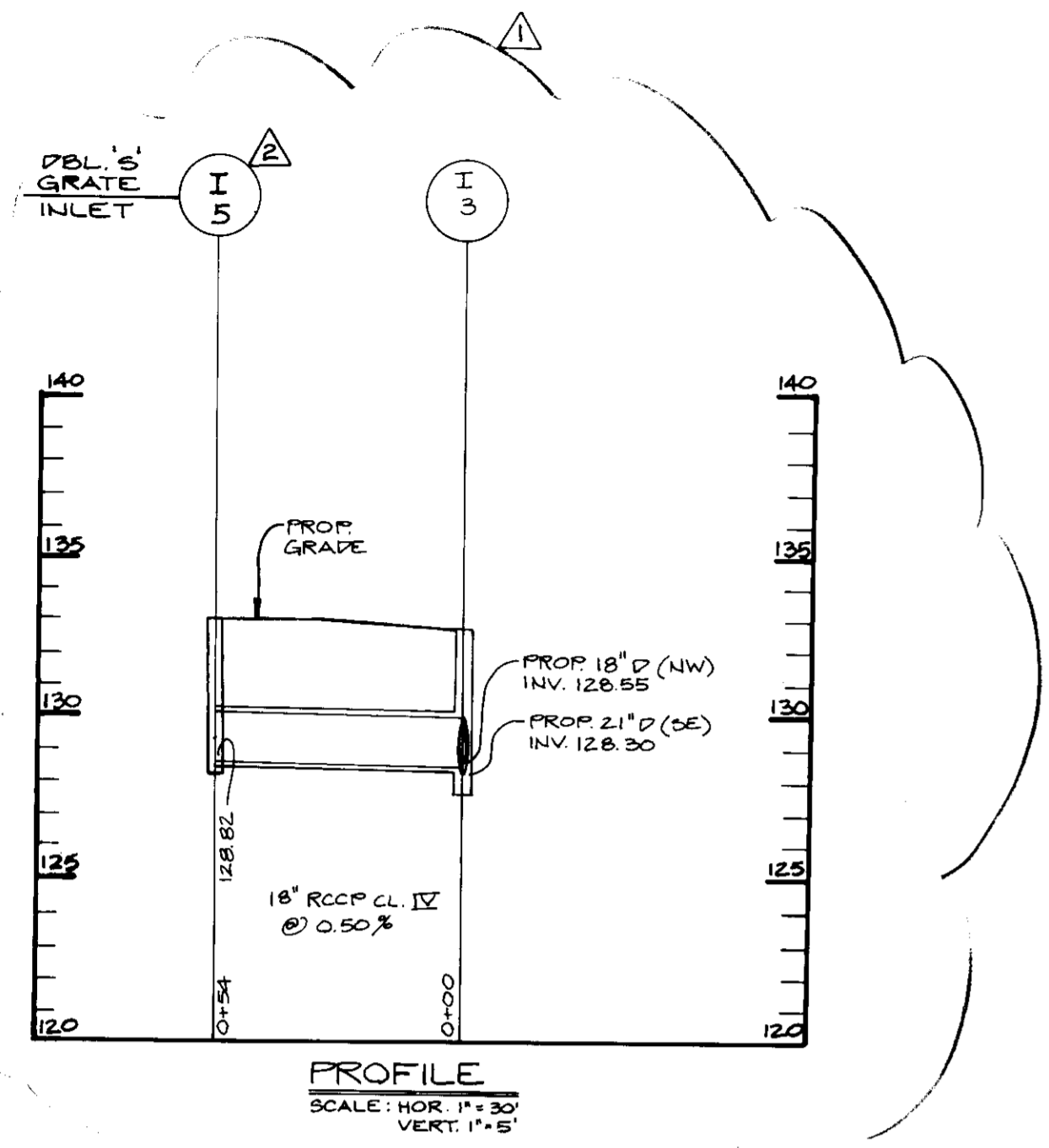
TAX MAP 38
HOWARD COUNTY, MARYLAND ELECTION DISTRICT 1
SCALE 1"=30'
NOV 11, 1994
SHEET 2 OF 6 SDP-94-86

INLET SCHEDULE					
IN#	TYPE	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-2	DBL 3' COMB	*135.00	126.34	126.84	SEE HO.CO STD SD 4.34
I-3	SINGLE 3' COMB	*132.71	128.55	129.50	SEE HO.CO STD SD 4.22
I-4	DBL 3' GRATES	*133.60	—	129.50	SEE HO.CO STD SD 4.23
M-1	STD 4'-0"	136.50	129.93	129.93	SEE HO.CO STD G 5.1E
M-2	STD 4'-0"	134.50	126.99	126.89	SEE HO.CO STD G 5.1E
* DENOTES TOP OF GRATE					
I-5	PBL 3' GRATE	*132.80	—	128.82	SEE HO.CO STD SD 4.23



AREA	PERCENTAGE IMPERVIOUS
A	68%
B	94%
C	81%
D	58%
E	56%
EX.C	87%
EX.E	100%
EX.F	90%

AREA	AC ±	C-FACTOR
A	1.57	0.73
B	0.34	0.90
C	0.22	0.85
D	0.40	0.68
E	0.40	0.65
EX.C	0.63	0.86
EX.E	0.19	0.95
EX.F	0.70	0.88



- LEGENDS:
- (A) DENOTES DRAINAGE AREA
 - (I) DENOTES DRAINAGE STRUCTURES

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

Patricia Engler 3/2/94
U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

Approved: *James P. Robertson* 3/2/94
Howard Soil Conservation District Date

Plan Number: _____
Approved: _____
For public water and public sewerage systems
Howard County Health Department.

N/A to
County Health Officer Date

APPROVED: Howard County Dept. of Planning & Zoning.

James P. Robertson 4/6/94
Director Date

John J. Sullivan 4/5/94
Chief Division of LAND DEVELOPMENT AND RESEARCH Date

APPROVED: For public water and public sewerage storm drainage systems and public roads Howard County Department of Public Works.

James P. Robertson 3/31/94
Director Date

Paul D. Sporn 3/30/94
Chief Bureau of Engineering Date

ADDRESS CHART

BUILDING #	STREET ADDRESS
PARCEL B-4	4605 SOUTH HANOVER ROAD

SUBDIVISION NAME: HANOVER BUSINESS PARK
SECT./AREA: B-4
LOT/PARCEL #

PLAT # OR L/T: 10583
BLOCK # 14-14
ZONE (TAX/ZONE MAP): N-1
ELECT. DIST.: 30
CENSUS TRACT: 6012

WATER CODE: A01
SEWER CODE: 2150518

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KEHLWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21284
(410) 825-8120

ENGINEER CERTIFICATION

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Frederick J. Chapsey IV 3/22/94
Engineer Date
Name: FREDERICK J. CHAPSEY IV PE #14526

DEVELOPER CERTIFICATION

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Developer: *James P. Robertson* Date: 3/2/94
Name: _____

APPROVED BY G.W.S. ADDED PROFILE I-3 TO STUDY 1; REV. PROFILE PROP. 6" SAN.; REV. I-4 INLET TYPE 9/7/94 BY G.W.S. ADDED I-5

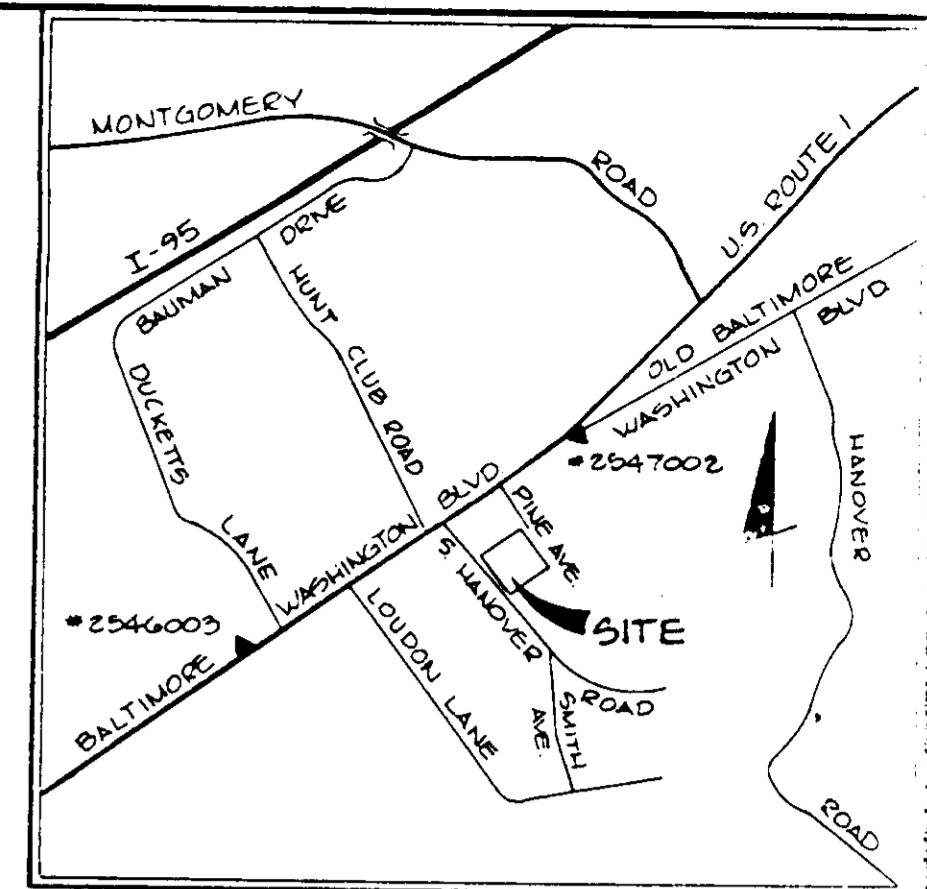
DRAINAGE AREA MAP & PROFILE!
PROPOSED OFFICE / WAREHOUSE
HANOVER BUSINESS PARK
PARCEL B-4

TAX MAP 38 HOWARD COUNTY, MD SCALE: 1"=30'

ELECTION DISTRICT 1
NOV. 11, 1993
SDP-24-80
SDP-44-86

Sequence Of Operations

1. Obtain grading permit
2. Notify the Howard County Department of Licenses and Permits, Sediment Control Inspector, 48 hours before beginning work.
3. Clear, grub and install stabilized construction entrance S.C.E. #1
4. Clear, grub and install storm drain system from M-1 to I-4 only. Provide inlet plugging for I-2 & I-3. Install storm inlet sediment trap ST-III for I-4. (See utility construction notes.)
5. Clear grub and install stabilized construction entrance S.C.E. #2 and remaining sediment control measures and devices.
6. After notifying and obtaining permission from the sediment control inspector, begin rough grading. Maintain positive grading to sediment control measures and devices.
7. Install footings and foundation wall. Continue building construction.
8. Install all utilities.
9. Fine grade the entire site. Maintain positive drainage to sediment control measures and devices. Install stone subbase and concrete curb and gutter. Stabilize remaining areas.
10. After notifying and obtaining permission from the sediment control inspector, remove all sediment control measures and devices.
11. Fine grade the areas. Install remaining stone subbase and concrete curb and gutter.
12. Proceed with paving operations.



VICINITY MAP SCALE 1" = 2000'

LIMIT OF DISTURBANCE - 66,780 SF = 1.53 AC ±

AREA TO BE VEGETATIVELY STABILIZED - 36,090 SF = 0.83 AC ±

AREA TO BE PAVED - 30,690 SF = 0.70 AC ±

EARTH QUANTITIES

TOTAL CUT 2185 CY

TOTAL FILL 2185 CY

NOTE: CONTRACTOR SHALL TAKE OFF QUANTITIES TO HIS OWN SATISFACTION

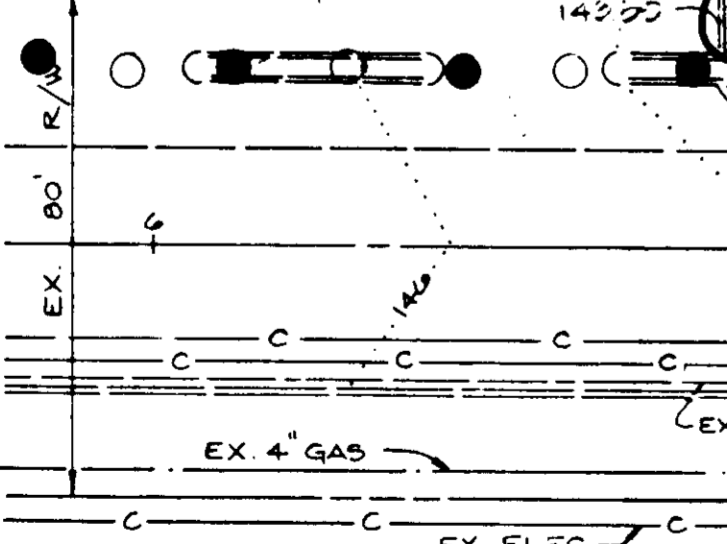
STORM INLET SEDIMENT TRAP ST-III
 EXISTING DRAINAGE AREA - 1.60 AC
 PROPOSED DRAINAGE AREA - 2.13 AC
 STORAGE REQUIRED - 2.13 x 1800 = 3834 CF
 STORAGE PROVIDED - 4140 CF
 BOTTOM DIMENSION - 40' x 70'
 SIDE SLOPES - 2:1
 BOTTOM ELEVATION - 130.00
 WEIR ELEVATION - 132.60
 CLEANOUT ELEVATION - 131.30

LEGEND
 TRACT OUTLINE
 EXISTING GROUND
 PROPOSED GRADE
 HUMBER PARKING SPACE
 HANDICAP PARKING
 HOWARD CO. PARKING P-1
 HOWARD CO. PARKING P-2

SEDIMENT AND EROSION CONTROL LEGEND
 LIMIT OF DISTURBANCE
 SILT FENCE
 MOUNTABLE BERM
 INLET PLUGGING DETAIL
 EARTH DIKE
 TEMPORARY SHALE
 EX RIDGELINE TO STORM INLET SEDIMENT TRAP
 PROP RIDGELINE TO STORM INLET SEDIMENT TRAP

6" WIDE x 1' DEEP CATCH STABILIZED WITH G.I.V. GABIONS PVC COATED ON FILTER CLOTH SIDE SLOPES 2:1

RIP-RAP ON FILTER CLOTH (SEE SECTION B-B, SHT. 3 OF 6)



UTILITY CONSTRUCTION NOTES
 1. CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY SILT FENCES SHALL BE PLACED BELOW (DOWNSIDE) THE TRENCH
 2. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
 3. ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 658 KENILWORTH DRIVE, SUITE 100
 TOWSON, MARYLAND 21204
 (410) 825-8120



DEVELOPER CERTIFICATION
 I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *Ed Creaney* Date: *2-2-94*

OWNER/DEVELOPER
CREANEY AND SMITH HANOVER LTD. PARTNERSHIP
 2200 BROENING HIGHWAY SUITE 10
 BALTIMORE, MARYLAND 21224
 (410) 653-7300

ENGINEER CERTIFICATION
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer Name: *Il n duc* Date: *3/22/94*
 Name: FREDERICK N. CHAPSEY IV License No. 14328

EROSION & SEDIMENT CONTROL PLAN
 PROPOSED OFFICE
 HANOVER BUSINESS PARK
 PARCEL B-4
 TAX MAP 38 HOWARD COUNTY, MARYLAND ELECTION DISTRICT 1
 SCALE: 1" = 30' NOVEMBER 11, 1993
 SHEET 4 OF 6 SDP-94-86

THESE PLANS FOR S.W.M. CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

John R. Borton 3/22/94
 APPROVED FOR HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER: 3/22/94

REVIEWED FOR THE HOWARD CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Peterson Egan 3/22/94
 U.S. SOIL CONSERVATION SERVICE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

N/A TO COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Angela Suter 4/6/94
 DIRECTOR

Jim Shannon 4/5/94
 CHIEF DIVISION OF LAND DEVELOPMENT, SITE AND RESEARCH

APPROVED FOR PUBLIC WATER, SEWER, STORM DRAIN SYSTEM, AND PUBLIC ROADS.
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James M. Chew 3/1/94
 DIRECTOR

Paul D. Segan 3/30/94
 CHIEF BUREAU OF ENGINEERING

ADDRESS CHART

BUILDING NO. STREET ADDRESS
 PARCEL B-4 6205 SOUTH HANOVER ROAD

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
HANOVER BUSINESS PARK		B-4
PLAT NO. OR LIF	BLOCK NO.	ZONE
10583	13#14	M-1
TAX MAP	ELECT. DIST.	CENSUS TRACT
38	1	6012
WATER CODE	SEWER CODE	
A01	2150518	

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-16317)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seedings dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	1.628 Acres
Area Disturbed	1.628 Acres
Area to be roofed or paved	0.78 Acres
Area to be vegetatively stabilized	0.87 Acres
Total Cut	2,100 Cu. yds
Total Fill	2,100 Cu. yds
Offsite waste/borrow area location	
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County DPM sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- TECHNIQUES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE FEET DEPTH. ALL UTILITIES SHALL BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, UNLESS OTHERWISE SPECIFIED.**

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeding Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened. Loosen soil to a depth of 2-3 inches. In lieu of soil test recommendations, use one of the following schedules:

- Preferred:** Apply 2 tons per acre dolomitic limestone (92 lb./1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lb./1000 sq ft) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lb./1000 sq. ft.).
- Acceptable:** Apply 2 tons per acre dolomitic limestone (92 lb./1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lb./1000 sq. ft) before seeding. Harrow or disk into upper three inches of soil.

Seeding: For the period March 1 thru April 30, and August 1 thru October 15, seed with 25 lbs per acre (1.4 lb./1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lb./1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 29, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lb./1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

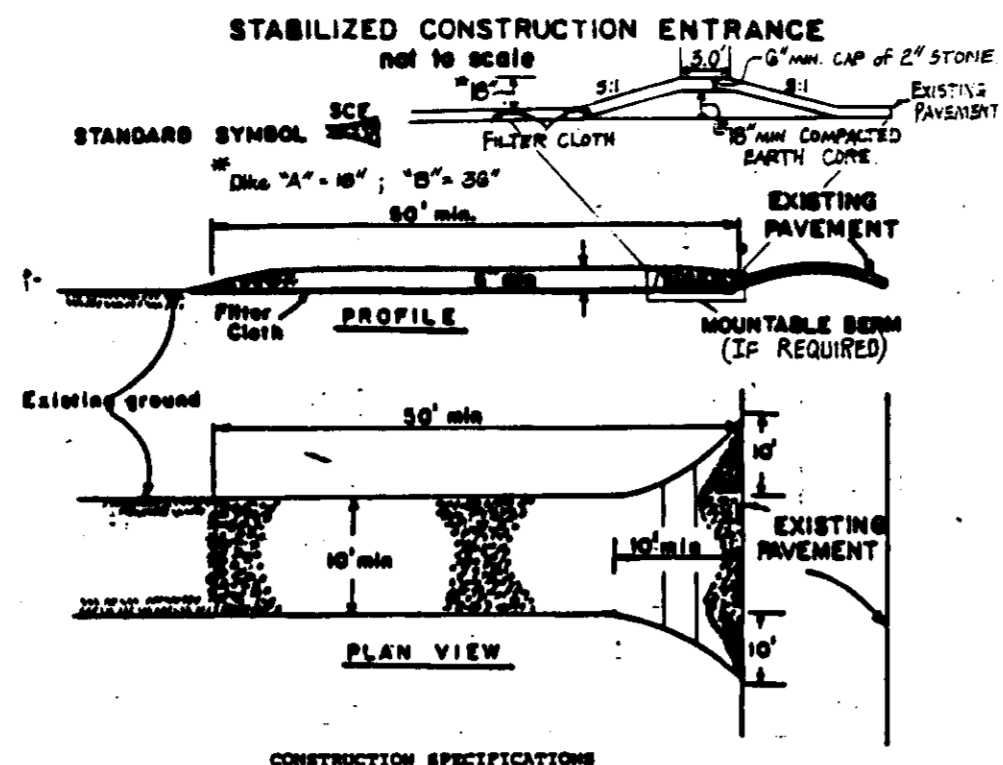
Seeding Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 60 lbs per acre 10-10-10 fertilizer (14 lb./1000 sq ft).

Seeding: For the period March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 tons per acre of annual type (3.2 lb./1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lb./1000 sq ft). For the period November 16 thru February 29, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lb./1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal./1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gal per acre (8 gal./1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. For rate and methods not covered.

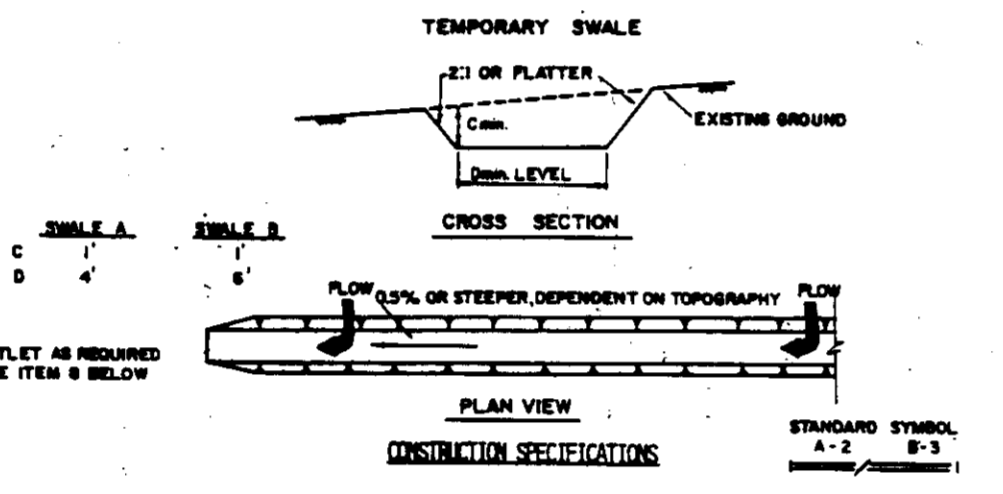


CONSTRUCTION SPECIFICATIONS

- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
- Length - As required, but not less than 30 ft. (except on a single residence lot where a 30 ft minimum length would apply).
- Thickness - Not less than 6" (4" inches).
- Width - Ten (10) ft. minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
- Surface Water - All surface water flowing or diverted across construction entrance shall be piped across the entrance. If piping is impractical, a manhole basin with 5:1 slopes will be provided.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right-of-way must be removed immediately.
- Warning - Signs shall be placed to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

U. S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE
College Park, Md.

STABILIZED CONSTRUCTION ENTRANCE
Standard Drawing
SCT-1



CONSTRUCTION SPECIFICATIONS

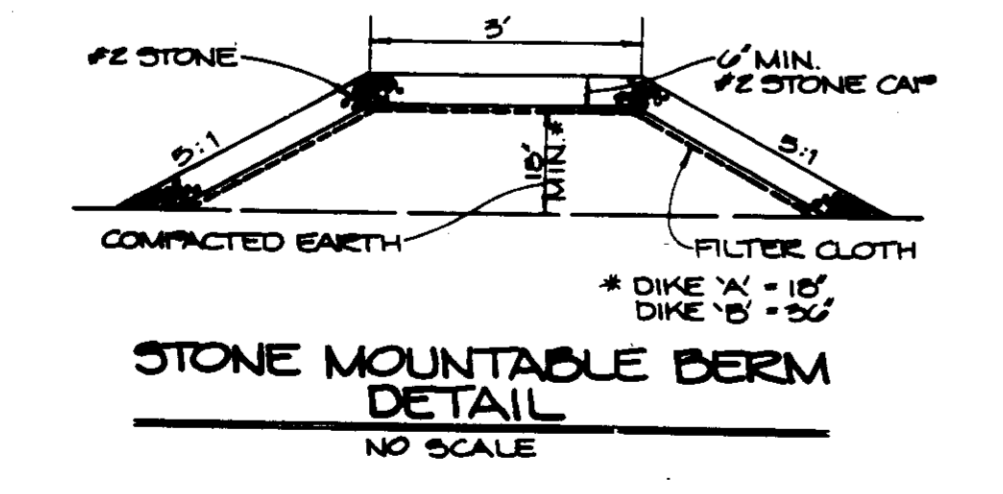
- All temporary swales shall have unimproved positive grade to an outlet.
- Diverted runoff from a disturbed area shall be conveyed to a sediment trapping device.
- Diverted runoff from an undisturbed area shall outlet directly into an undisturbed stabilized area at non-erosive velocity.
- All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the swale.
- The swale shall be excavated or shaped to line, grade, and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
- Fills shall be compacted by earth moving equipment.
- All earth removed and not needed on construction shall be placed so that it will not interfere with the functioning of the swale.
- Stabilization shall be as per the chart below:

TYPE OF TREATMENT	CHANNEL SIZE	A (5 ac or less)	B (5 ac - 10 ac)
1	0.5-3.0K	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0K	SEED AND STRAW MULCH	SEED USING LIME OR EXCELSTON 300
3	5.1-8.0K	SEED WITH LIME OR EXCELSTON 300	LINED RIP-RAP 4-8"
4	8.1-20K	LINED 4-8" RIP-RAP	ENGINEERED DESIGN

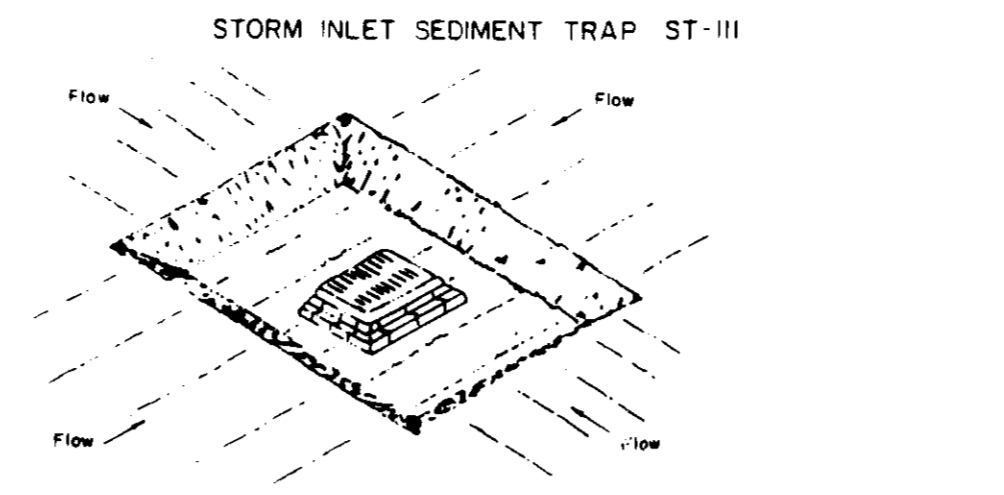
PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

U. S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE
COLLEGE PARK, MARYLAND

TEMPORARY SWALE
Standard Drawing
TS-1



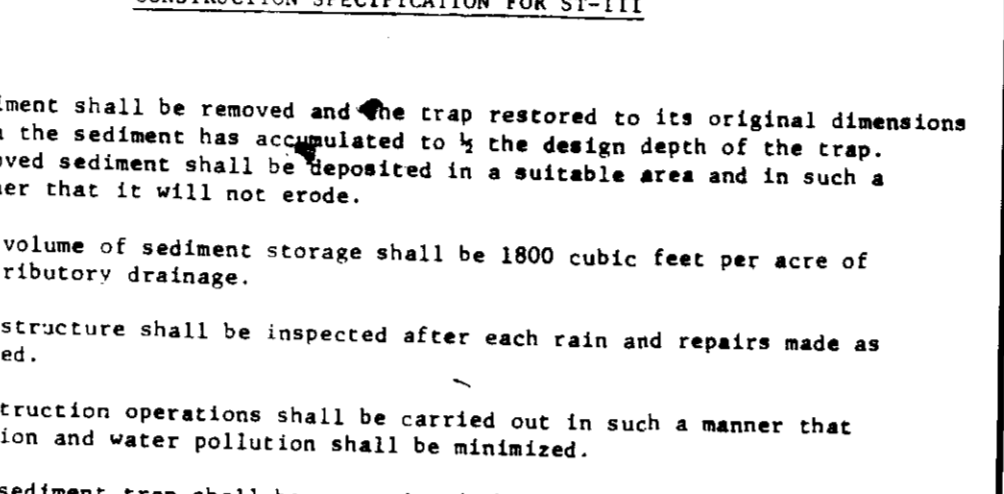
STONE MOUNTABLE BERM DETAIL
NO SCALE



CONSTRUCTION SPECIFICATION FOR ST-III

- Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The volume of sediment storage shall be 1800 cubic feet per acre of contributory drainage.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
- The sediment trap shall be removed and the area stabilized when the constructed drainage area has been properly stabilized.
- All cut slopes shall be 1:1 or flatter.

Maximum Drainage Area: 3 Acres

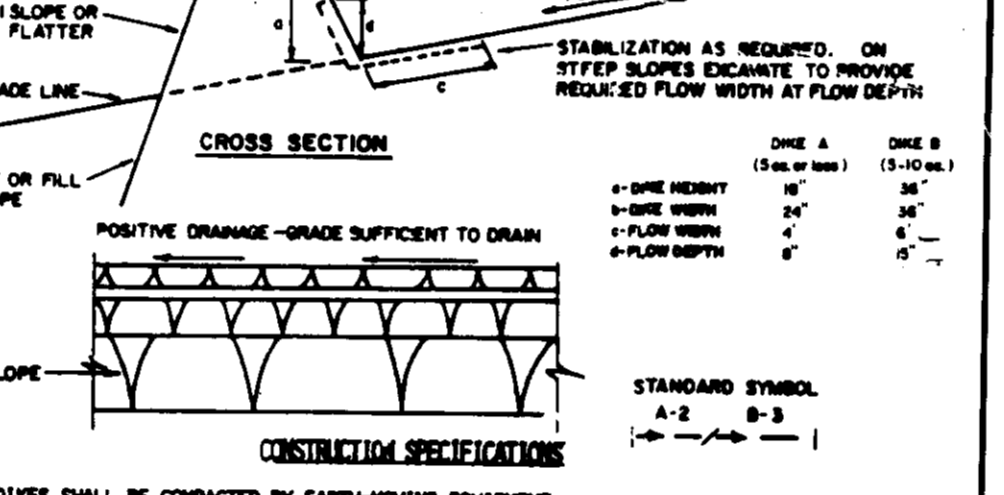


CONSTRUCTION SPECIFICATIONS

- All dikes shall be compacted by earth-moving equipment.
- All dikes shall have positive drainage to an outlet.
- Top width may be wider and side slopes may be flatter if desired to facilitate crossing by construction traffic.
- FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
- EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT ADJACENTLY STABILIZED.
- STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH, LIME OR EXCELSTON 300, OR (B) FLOW CHANNEL AS PER THE CHART BELOW.
- STABILIZATION SHALL BE AS PER THE CHART BELOW:

TYPE OF TREATMENT	CHANNEL SIZE	DIKE A	DIKE B
1	0.5-3.0K	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0K	SEED AND STRAW MULCH	SEED USING LIME OR EXCELSTON 300
3	5.1-8.0K	SEED WITH LIME OR SOOD	LINED RIP-RAP 4-8"
4	8.1-20K	LINED RIP-RAP 4-8"	ENGINEERED DESIGN

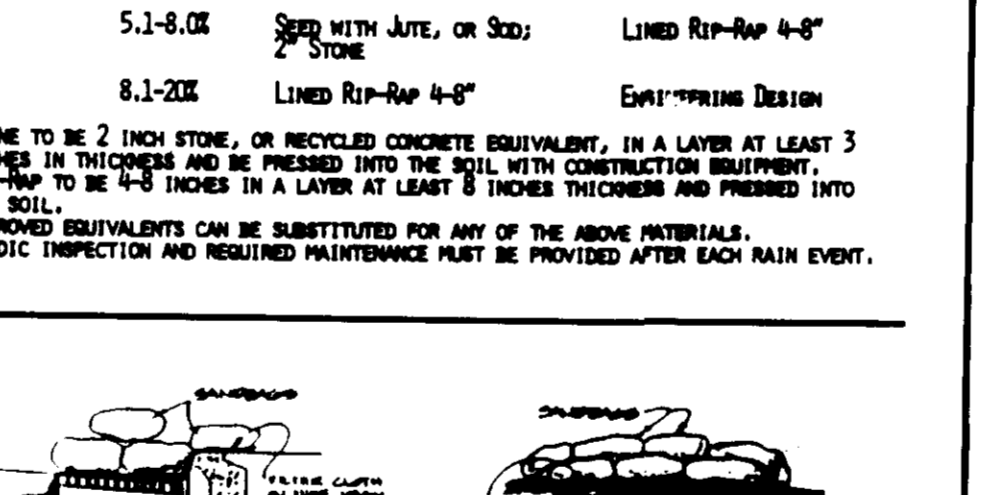
PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

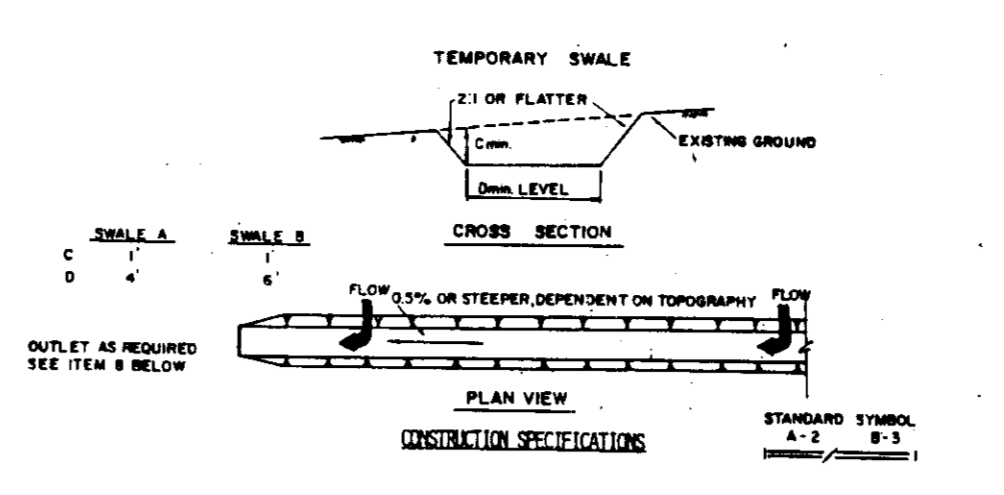
- High strength polypropylene netting of 12" mesh shall be used. Posts shall be spaced every 10 feet.
- Filter cloth to be fastened securely to wooden stakes with wire staples.
- Make the sections of filter cloth overlap each other by 6 inches and overlap by six inches and folded.
- Maintenance shall be performed as needed and water removed from the silt fence.

POSTS: STEEL EITHER T OR U TYPE OR 1 1/2" DIA. (ACTUAL) HOLLOW
FENCE: 12" MESH POLYPROPYLENE NETTING
FILTER CLOTH: 200 MICRON (200) PLASTIC TISSUE OR APPROVED EQUIVALENT
PREPARED UNIT: GEOTECH, INCORPORATED OR APPROVED EQUIVALENT



CONSTRUCTION SPECIFICATIONS

- STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.
- ALL TOP TO BE 4-8 INCHES IN A LAYER AT LEAST 8 INCHES THICKNESS AND PRESSED INTO THE SOIL.
- APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.



CONSTRUCTION SPECIFICATIONS

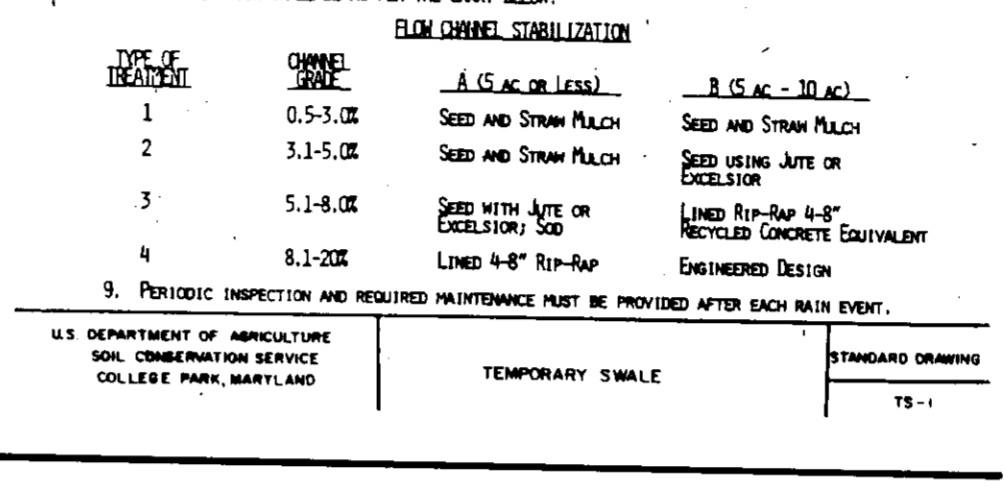
- All temporary swales shall have unimproved positive grade to an outlet.
- Diverted runoff from a disturbed area shall be conveyed to a sediment trapping device.
- Diverted runoff from an undisturbed area shall outlet directly into an undisturbed stabilized area at non-erosive velocity.
- All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the swale.
- The swale shall be excavated or shaped to line, grade, and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
- Fills shall be compacted by earth moving equipment.
- All earth removed and not needed on construction shall be placed so that it will not interfere with the functioning of the swale.
- Stabilization shall be as per the chart below:

TYPE OF TREATMENT	CHANNEL SIZE	A (5 ac or less)	B (5 ac - 10 ac)
1	0.5-3.0K	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0K	SEED AND STRAW MULCH	SEED USING LIME OR EXCELSTON 300
3	5.1-8.0K	SEED WITH LIME OR EXCELSTON 300	LINED RIP-RAP 4-8"
4	8.1-20K	LINED 4-8" RIP-RAP	ENGINEERED DESIGN

PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

U. S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE
COLLEGE PARK, MARYLAND

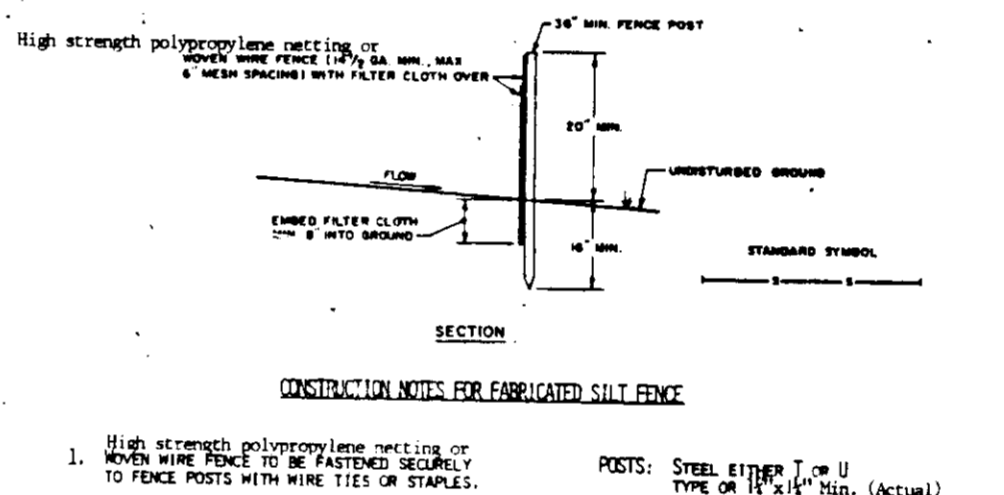
TEMPORARY SWALE
Standard Drawing
TS-1



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

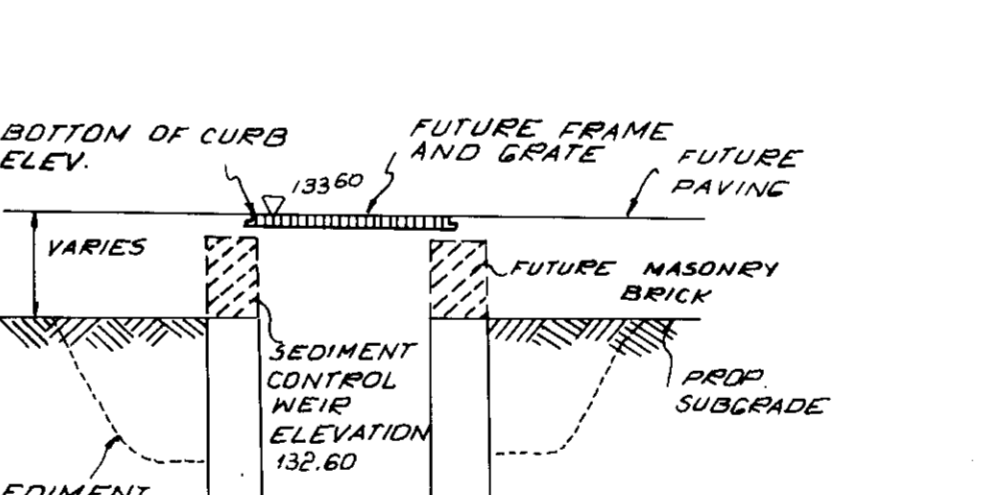
- High strength polypropylene netting of 12" mesh shall be used. Posts shall be spaced every 10 feet.
- Filter cloth to be fastened securely to wooden stakes with wire staples.
- Make the sections of filter cloth overlap each other by 6 inches and overlap by six inches and folded.
- Maintenance shall be performed as needed and water removed from the silt fence.

POSTS: STEEL EITHER T OR U TYPE OR 1 1/2" DIA. (ACTUAL) HOLLOW
FENCE: 12" MESH POLYPROPYLENE NETTING
FILTER CLOTH: 200 MICRON (200) PLASTIC TISSUE OR APPROVED EQUIVALENT
PREPARED UNIT: GEOTECH, INCORPORATED OR APPROVED EQUIVALENT



CONSTRUCTION SPECIFICATIONS

- STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.
- ALL TOP TO BE 4-8 INCHES IN A LAYER AT LEAST 8 INCHES THICKNESS AND PRESSED INTO THE SOIL.
- APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.



STORM INLET SEDIMENT TRAP ST-III DETAIL
N.T.S.

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

Patricia Cagle 3/25/94
U.S. Soil Conservation Service Date

John R. Robertson 3/25/94
Approved: Howard Soil Conservation District Date

APPROVED: For public water and public sewerage systems
Howard County Health Department.

N/A

County Health Officer Date

APPROVED: Howard County Dept. of Planning & Zoning.

Jessica Witten 4/6/94
Director Date

Jim Suranway 4/5/94
CHMD Division of LAND DEVELOPMENT Date

APPROVED: For public water and public sewerage storm drainage systems and public roads Howard County Department of Public Works.

James P. Johnson 3/21/94
Director Date

Paul W. Johnson 3/30/94
Chief Bureau of Engineering Date

ADDRESS CHART

BUILDING #	STREET ADDRESS
PARCEL B-4	6205 SOUTH HANOVER ROAD

SUBDIVISION NAME: HANOVER BUSINESS PARK
FLAT # OR L/F: 10523
BLOCK # 10523
ZONE TAX/ZONE MAP: M-1
ELECT. DIST: 3B
CENSUS TRACT: 6012

WATER CODE: A01
SEWER CODE: 2150518

EROSION AND SEDIMENT CONTROL DETAILS FOR HANOVER BUSINESS PARK PARCEL B-4

TAX MAP: 3B
HOWARD COUNTY, MD
SCALE: AS SHOWN

ELECTION DIST 1
JANUARY 3 1994
SHT. 5 OF 6
SDP-94-86

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KENLWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21284
(301) 825-8120

ENGINEER CERTIFICATION

"I certify that the plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

John A. Chapey IV 3/22/94
Engineer Date
Name: FREDERICK N. CHAPEY IV PE # 14328

OWNER/DEVELOPER

CREANY AND SMITH HANOVER LTD PARTNERSHIP
2200 BROENING HIGHWAY SUITE 110
BALTIMORE, MD 21284
(410) 633-7300

DEVELOPER CERTIFICATION

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic inspection by the Howard Soil Conservation District."

Developed by: *John A. Chapey IV* Date: 2-8-94
Name: *John A. Chapey IV*

DEVELOPER CERTIFICATION

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic inspection by the Howard Soil Conservation District."

Developed by: *John A. Chapey IV* Date: 2-8-94
Name: *John A. Chapey IV*

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, OR AS SHOWN ON THESE PLANS.
 - ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
 - ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL MAINTAIN AT LEAST 2' LEVEL BENCH BEHIND ALL CURBS AND GUTTERS.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
 - ALL SLOPES SHALL BE 2:1 OR FLATTER.
 - THE CONTRACTOR SHALL NOTIFY THE C & P TELEPHONE CO. AND THE GAS AND ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK SHOWN ON THESE PLANS BY CALLING "MISS UTILITY" CALL COLLECT 1-559-0100.
 - FOR DETAILS OF RAMPS AND SIGNS FOR THE HANDICAPPED SEE THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED AND AS SHOWN HEREON.
 - THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5' OF COVER OVER ALL PROPOSED WATER LINES, UNLESS OTHERWISE NOTED ON THE PLAN.
 - THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION/INSPECTION/SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 892-2417 OR 792-7272.
 - THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING, CURB AND GUTTER, ETC., THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
 - ALL UTILITIES INSTALLED UNDER PAVING SHALL RECEIVE FULL TRENCH COMPACTION.
 - ALL WATER MAIN TEES, BENDS, CAPS, ETC., SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
 - CONTRACTOR TO PROVIDE "AS-BUILT" LOCATION AT WATER MAIN IF THERE IS ANY DEVIATION FROM THE PLAN LOCATION.
 - ALL CURBS & GUTTER SHALL BE HOWARD COUNTY STD. COMBINATION CONCRETE CURBS & GUTTER.
- FILE NUMBERS: VP 85-130, V.P. 85-130A1, F 84-57, F 89-153, SDP 89-159

IMPER REALTY
1374-522
PLAT # 7595
ZONING M-1

PLANTING PLAN 11-16-93 REV. 2-7-94

KEY	QTY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
⊕	21	QUERCUS PALMSTRUP PIH OAK	2 1/2-3' C	D & D	
⊕	3	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2 1/2-5' C	D & D	
⊕	14	TILIA CORDATA GREENHEDGE GREENHEDGE LINDEN	2 1/2-5' C	D & D	
⊕	25	ZELKOVA SERRATA VILLAGE GREEN VILLAGE GREEN ZELKOVA	2 1/2-5' C	D & D	
⊕	7	MAGNOLIA SOULANGIANA SAUCKER MAGNOLIA	6-10' HT	D & D	HEAVY
⊕	9	PIHUS STROBUS EASTERN WHITE PINE	6-8' HT	D & D	
⊕	10	TSUGA CANADENSIS CANADIAN HEMLOCK	6-8' HT	D & D	

NOTES:

- Contractor is to notify Miss Utility a minimum of 72 hours prior to digging. Telephone: 1-800-257-7777
- The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in the field by the Landscape Architect.
- This plan is to be used for planting only.
- No tree or shrub planting pits are to be left open or unattended.

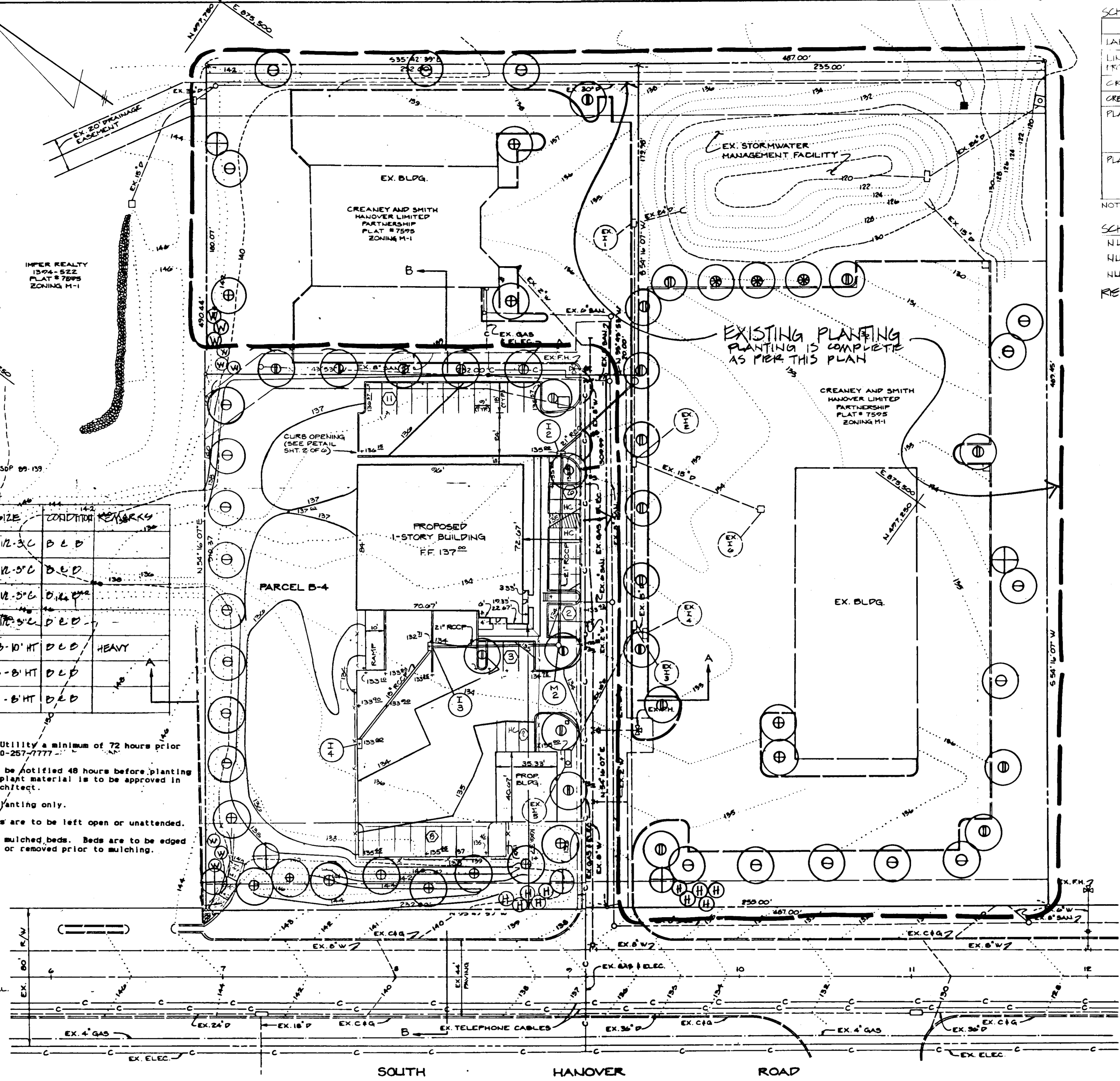
LEGEND

- TRACT OUTLINE
EXISTING GRADE
PROPOSED GRADE
NUMBER, SPECIES, SIZE
HANDICAPPED PARKING
HOWARD AS PAVING P-1
HOWARD AS PAVING P-2

NOTE: FOR PAVING SECTIONS SEE SHEET 2 OF FOR HANDICAPPED DETAIL SEE SHEET 2 OF

NOTE: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 10-124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

NOTE: FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$1,800.00.



SCHEDULE A: PERIMETER LANDSCAPE EDGE

CATEGORY	ADJ. TO PERIMETER PROP.	
	E-BUFFER	A-LIGHT BUFFER
LANDSCAPE TYPE		
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	255'	320'
CREDIT FOR EXISTING VEG.	40	NO
CREDIT FOR WALL, FENCE OR BERM	YES-DEEMAT R AD	NO
PLANTS REQUIRED		
SHADE TREES	5	5
EVERGREENS	55	
SHRUBS		
PLANTS PROVIDED		
SHADE TREES	7	9
EVERGREENS	5	6
(2:1) FLOWERING TREES	1	5

NOTE: BERM & EVERGREEN TREES PROVIDED IN LIEU OF SHRUB PLANTING REQUIREMENTS

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES = 22
NUMBER OF TREES REQUIRED = 2
NUMBER OF TREES PROVIDED = 4 SHADE TREES

REV 3-16-94 ADD SCHEDULE A & D

THESE PLANS FOR S.W.M. CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED FOR THE HOWARD SOIL CONSERVATION DISTRICT
DATE 3/25/94

APPROVED FOR THE HOWARD CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DATE 4/6/94

APPROVED FOR PUBLIC WATER AND PUBLIC SEWER SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE 4/15/94

APPROVED FOR PUBLIC WATER, SEWER, STORM DRAIN SYSTEM AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE 3/2/94

APPROVED FOR THE HOWARD COUNTY DEPARTMENT OF ENGINEERING
DATE 3/30/94

ADDRESS CHART

BUILDING NO.	STREET ADDRESS
PARCEL B-4	6205 SOUTH HANOVER ROAD

SUBDIVISION NAME HANOVER BUSINESS PARK	SECT./AREA	LOT/PARCEL B-4
PLAT NO. OR L/F 10503	BLOCK NO. 13+14	ZONE M-1
TAX MAP 3B	ELECT. DIST. 1	CENSUS TRACT 6012
WATER CODE A01	SEWER CODE	2150518

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KEILWORTH DRIVE
TOWSON, MD. 21204
(410) 825-8120



DEVELOPER CERTIFICATION
I/we certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: *C.P. Creaney* Date: 2-8-94
Name: C.P. CREANEY

OWNER/DEVELOPER
CREANEY AND SMITH HANOVER LTD. PARTNERSHIP
2200 BROENING IRVING SUITE 80
BALTIMORE, MARYLAND 21224
(410) 633-7900

ENGINEER CERTIFICATION
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *F.N. Chapey IV* Date: 3/22/94
Name: FREDERICK N. CHAPEY IV PE # 14328



LANDSCAPE PLAN
PROPOSED OFFICE HANOVER BUSINESS PARK PARCEL B-4
TAX MAP: 3B
HOWARD COUNTY, MARYLAND
SCALE: 1"=50'
ELECTION DISTRICT 1
NOV 11, 1993
SHEET 6 OF 6
SDP-94-86