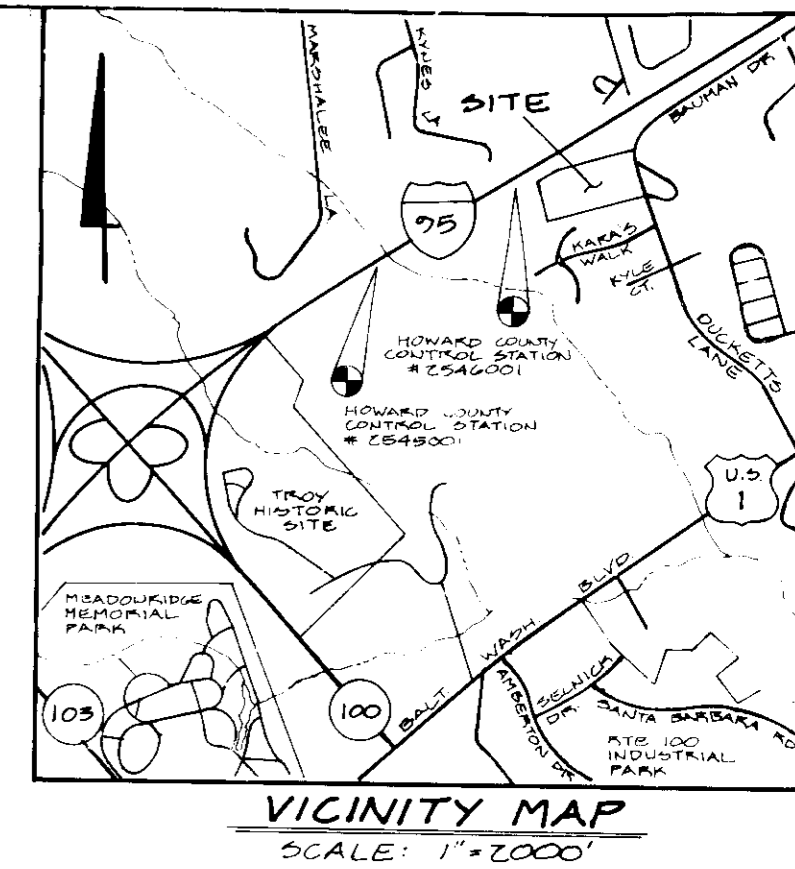


ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
1	6001
2	6005
3	6009
4	6013
5	6017
6	6021
7	6025
8	6029
22	6024
23	6018
24	6012
25	6006
26	6000



LEGEND	
Contour Interval	2 ft
Existing Contour	---
Proposed Contour	- - -
Drainage Flow	→
Walk-out Basement	WOB
Spot Elevation	▲
As-Built Spot Elevation	▲

- GENERAL NOTES:**
- Subject property is zoned: A-12 per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 6.351 Ac.
 - The total number of lots included in this submission are: 26
 - Improvement to property: Single family detached
 - Department of Planning and Zoning reference file numbers are: F-24-04, 5F-23-03 418 2322
 - Utilities shown as existing are taken from approved water and sewer plan Contract #14-3232-D, approved road construction plans F-24-04, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - Storm water management is provided per: F-24-04
 - All roadways are public and existing.
 - The existing topography shown was taken from road construction plans F-24-04 prepared by Fisher, Collins & Carter
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 254600 and 2515001
 - The contractor shall notify the Department of Public Works/Bureau of Construction Inspection at 4101 313-1810 at least five (5) working days prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - In accordance with Sections 12B.1.b & c. of the Zoning Regulations, bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 10 feet into front or rear setbacks.
 - For driveway entrance details, refer to How Co. Design Manual Volume III detail P-01, R-01, R-03, R-05

MINIMUM LOT SIZE CHART						
LOT NO.	GROSS AREA	PISTON AREA	RESTRAINING AREA	100 YEAR FLOODPLAIN	ES & SLOPES	MINIMUM LOT SIZE
3	11,500 #	1034 #	9575 #	N/A	N/A	9575 #
6	16,230 #	2234 #	10,005 #	N/A	N/A	10,005 #
7	16,206 #	2234 #	10,002 #	N/A	N/A	10,002 #

NO.	REVISION	DATE
3	Rev. Ex. grad. to reflect As-Built Conditions	4.9.95
2	Rev. hse. & grad. lot 3, AA Case No. 95-01/2-2-95	2.9.95
1	Rev. hse. & grad. lots 5 & 24	7.5.94

NOTE: Tree Plantings shown per F-24-04

NOTE: ALL LOTS WITHIN THIS SUBDIVISION ARE IN A NOISE SENSITIVE AREA AND PROLONGED OUTDOOR EXPOSURE MAY RESULT IN HEARING IMPAIRMENT

SPECIAL NOTES:

- This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction #14-3232-D and/or approved Water and Sewer Plans Contract #14-3232-D
- SEWER SERVICE TO COLAR LOT IS NOT AVAILABLE. FIRST FLOOR SEWER SERVICE ONLY

OWNER / DEVELOPER
 DUCKETT'S LANE JOINT VENTURE
 % THE KACHUBA GROUP
 GREEN SPRING STATION
 2360 WEST JOFFA ROAD
 SUITE 310
 LUTHERVILLE, MD 21053

TITLE	SHEET #
SITE DEVELOPMENT PLANS	1, 2
SEDIMENT EROSION CONTROL PLANS	3, 4, 5

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS
DUCKETT'S RUN		Lots 1 thru 26
PLAT NO. 11204-11205	BLOCK NO. 12	ZONE A-12
TAX MAP NO. 57	ELECTION DIST. 1st	GENUS TRACT 6012
WATER CODE DOT	SEWER CODE	2152700

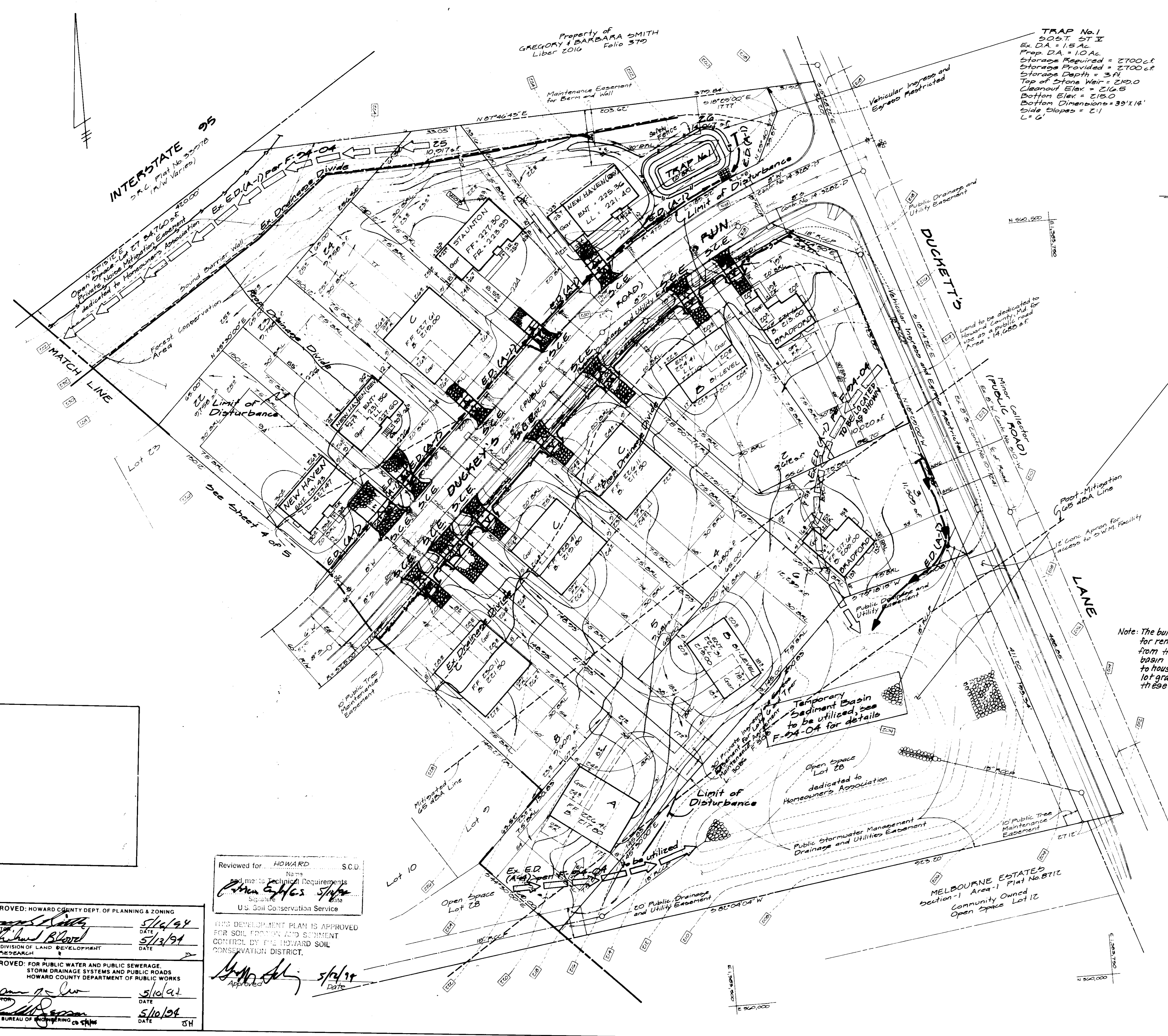
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 Director: [Signature] 5/16/94
 Chief Division of Land Development and Research: [Signature] 5/16/94

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
 Storm Drainage Systems and Public Roads
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: [Signature] 5/16/94
 Chief Bureau of Engineering: [Signature] 5/10/94

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 • BALTO • (301) 621-8100 • WASH

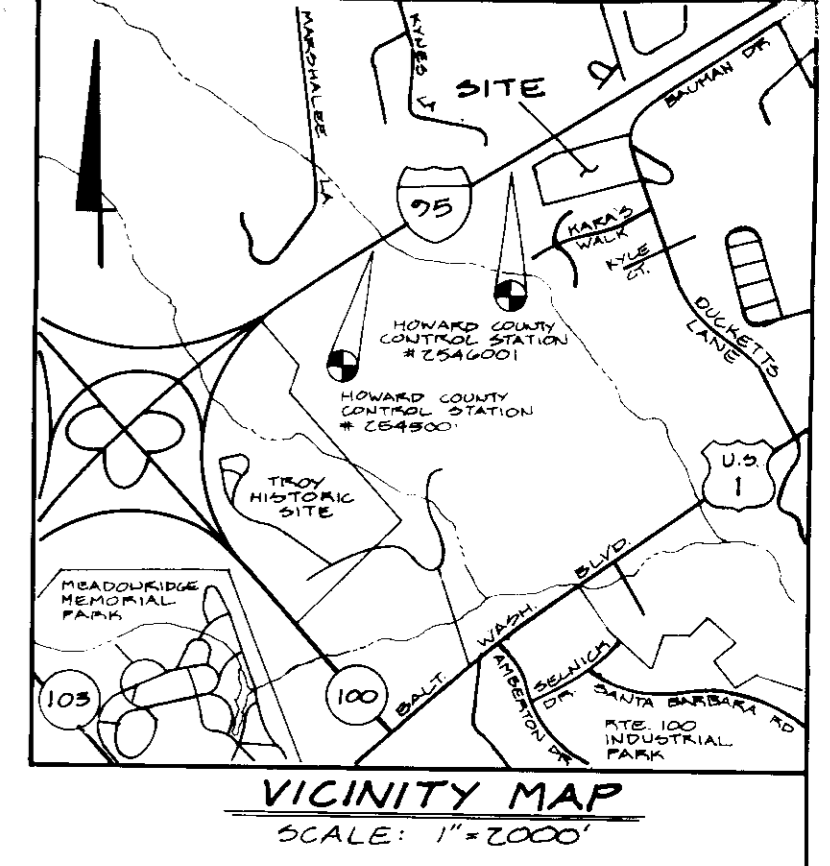
DESIGNED	JME	SITE DEVELOPMENT PLAN	SCALE 1" = 30'
DRAWN	MCA	DUCKETT'S RUN	DRAWING 1 of 5
CHECKED	JME	LOTS 1 thru 26	JOB NO. 03-151
DATE	4-22-94	TAX MAP 57 PARCEL 476	FILE NO. 03-151X
		1st ELECTION DISTRICT	
		HOWARD COUNTY, MARYLAND	
		RYAN HOMES, INC.	
		1829 Eastovertown Road #210	
		Baltimore, Maryland 21208	

SDP-04 53



Property of
GREGORY & BARBARA SMITH
Liber 2016 Folio 379

TRAP No. 1
505 T. ST. II
Ex. DA = 1.5 Ac.
Prop. DA = 1.0 Ac.
Storage Required = 2700 c.f.
Storage Provided = 2700 c.f.
Storage Depth = 3 ft.
Top of Stone Weir = 212.0
Cleanout Elev. = 216.5
Bottom Elev. = 215.0
Bottom Dimensions = 39' x 14'
Side Slopes = 2:1
L = 6'



LEGEND

Contour Interval	2 Ft.
Existing Contour	--- (dashed line)
Proposed Contour	--- (solid line)
Drainage Flow	--- (arrow)
Spot Elevation	+100
Walk-out Basement	--- (dashed line with 'WOB')
Stabilized Construction	--- (hatched pattern)
Entrance	--- (arrow)
Silt Fence	--- (line with 'S')
Safety Fence	--- (line with 'F')
Existing Earth Dike	--- (line with 'ED')
Proposed Earth Dike	--- (line with 'ED (A-1)')

SEDIMENT BASIN (2-Year Management)
 Ex. Drainage Area = 3.30 Ac.
 Prop. Drainage Area = 3.90 Ac.
 Bottom Elev. = 205.00
 Vol. Req. for Sediment Control = 9900 c.f.
 Elev. of Sediment Control Vol. = 207.00
 Cleanout Elev. = 206.00
 2-Year Management Elev. = 209.71
 10-Year Elevation = 210.48
 Rider Crest Elev. = 209.45
 Emergency Spillway Crest Elev. = 210.45
 Top of Dam Elev. = 212.45

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
 Signature: *[Signature]* Date: 11/13/93

Note: The builder is responsible for removing sediments from the existing sediment basin which are attributed to house construction and lot grading proposed on these plans.

ENGINEER'S CERTIFICATE
 "I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature: *[Signature]* Date: 11-12-93

OWNER / DEVELOPER
 DUCKETT'S LANE JOINT VENTURE
 % THE RACHUBA GROUP
 GREEN SPRING STATION
 2360 WEST JOPPA ROAD
 SUITE 310
 LUTHERVILLE, MD 21093

Reviewed for HOWARD S.C.D. No. 93-01
 and meets Technical Requirements
 Signature: *[Signature]*
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Approved: *[Signature]* Date: 5/13/94

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 Director: *[Signature]* Date: 5/16/94
 Chief Division of Land Development and Research: *[Signature]* Date: 5/13/94
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 Director: *[Signature]* Date: 5/10/94
 Chief Bureau of Engineering: *[Signature]* Date: 5/10/94

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 • BALTO. • (301) 621-8100 • WASH.

DESIGNED	SEDMENT & EROSION CONTROL PLAN	SCALE	1" = 30'
DRAWN	DUCKEY'S RUN	DRAWING	3 of 5
CHECKED	LOTS 1 thru 28	JOB NO.	03-151
DATE	TAX MAP - ST PARCEL 47B	FILE NO.	03-151
	1st ELECTION DISTRICT		
	HOWARD COUNTY, MARYLAND		
	FOR: RYAN HOMES, INC.		
	1829 Reisterstown Road #200		
	Baltimore, Maryland 21203		

SDP 94-53

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

- SEEDING PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
- SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:
- 1) Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq ft.)
 - 2) Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 800 lbs per acre (1.4 lbs./1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs./1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq ft) for anchoring.

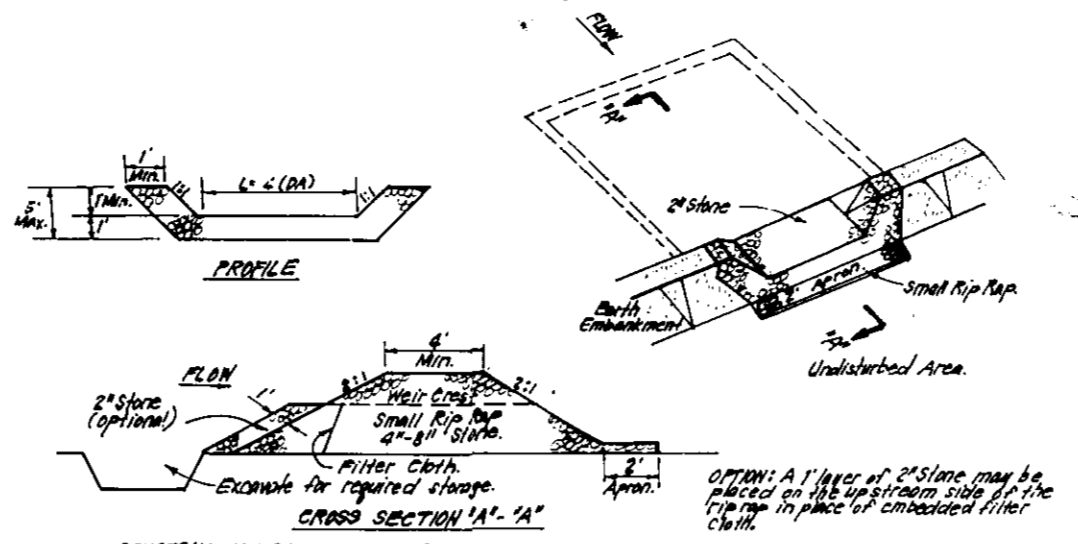
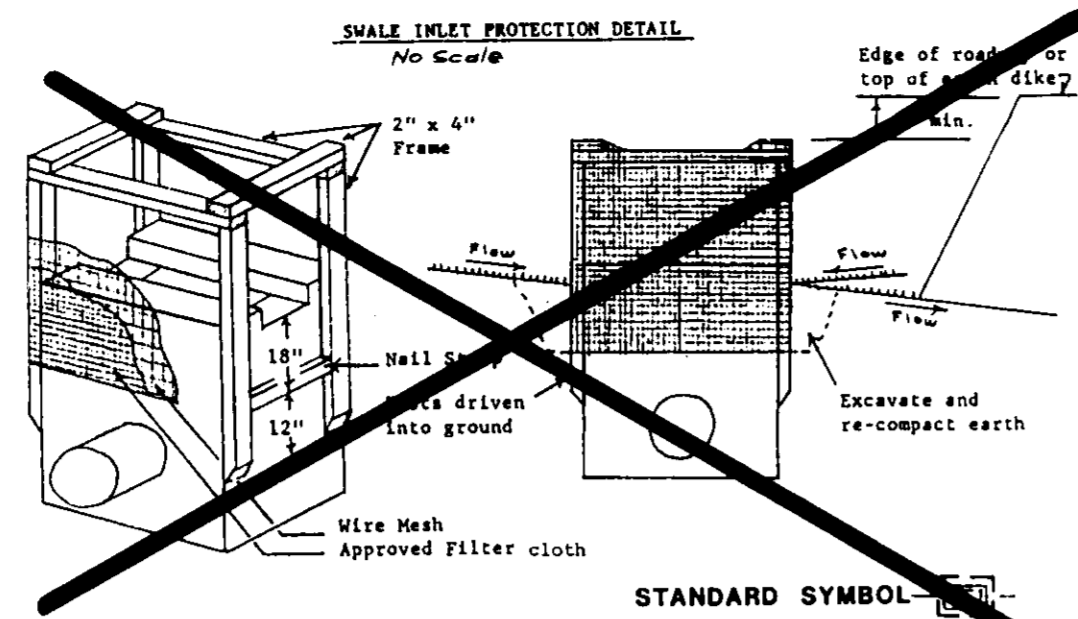
MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

SEEDING PREPARATION: Loosen upper three inches of soil by raking, discing, or other acceptable means before seeding, if not previously loosened.

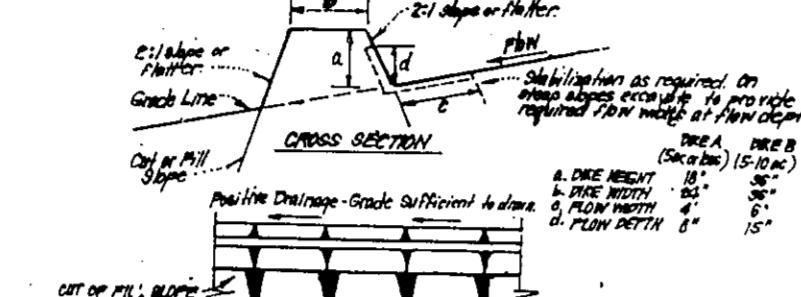
- SOIL AMENDMENTS:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq ft).
- SEEDING:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs./1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.



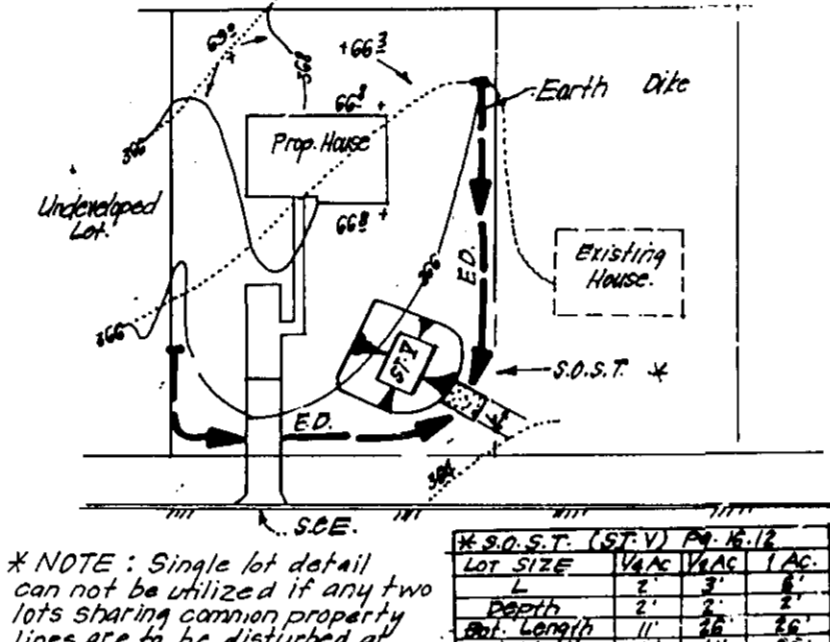
- CONSTRUCTION SPECIFICATIONS:**
1. Area under the sediment trap shall be cleared, graded and striped of any vegetation and root mat. The trap area shall be 10' x 10'.
 2. The S.O.S.T. shall be constructed of concrete or other equally durable material. The construction shall be completed by the contractor.
 3. All fill and soil in the outlet shall be well rippled 4" along with 1" thickness of 2" aggregate placed on the surface.
 4. The trap shall be installed in the outlet in the direction of flow.
 5. Sediment shall be removed from the trap as needed.
 6. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 7. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

STONE OUTLET SEDIMENT TRAP (S.O.S.T.) S.T.



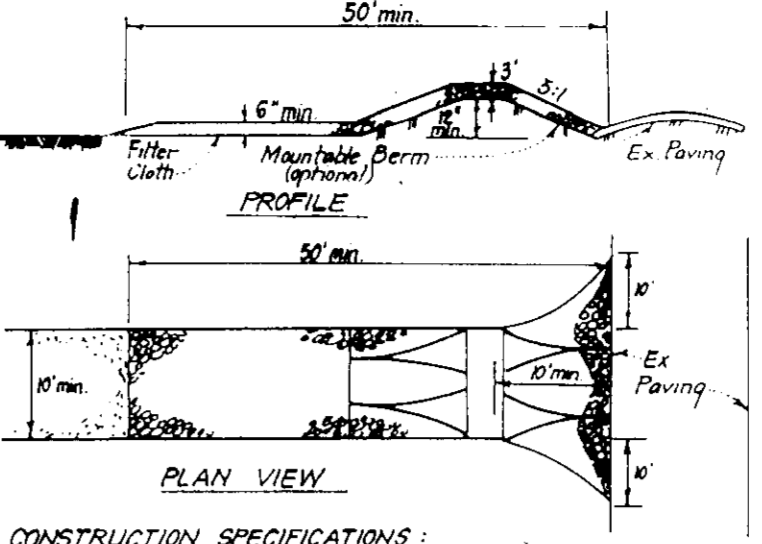
- CONSTRUCTION SPECIFICATIONS:**
1. All dikes shall be constructed by earth moving equipment.
 2. All dikes shall have a minimum height of 18" and a minimum width of 18" at the top.
 3. The mesh shall be under and soil slopes may be either 1:1 or 2:1.
 4. The mesh shall be secured to the dike with 18" x 18" wire mesh.
 5. The mesh shall be secured to the dike with 18" x 18" wire mesh.
 6. The mesh shall be secured to the dike with 18" x 18" wire mesh.

TYPE OF	GRADE	DISE A	DISE B
1	45-50%	18" x 18" Mesh	18" x 18" Mesh
2	51-55%	18" x 18" Mesh	18" x 18" Mesh
3	56-60%	18" x 18" Mesh	18" x 18" Mesh
4	61-65%	18" x 18" Mesh	18" x 18" Mesh



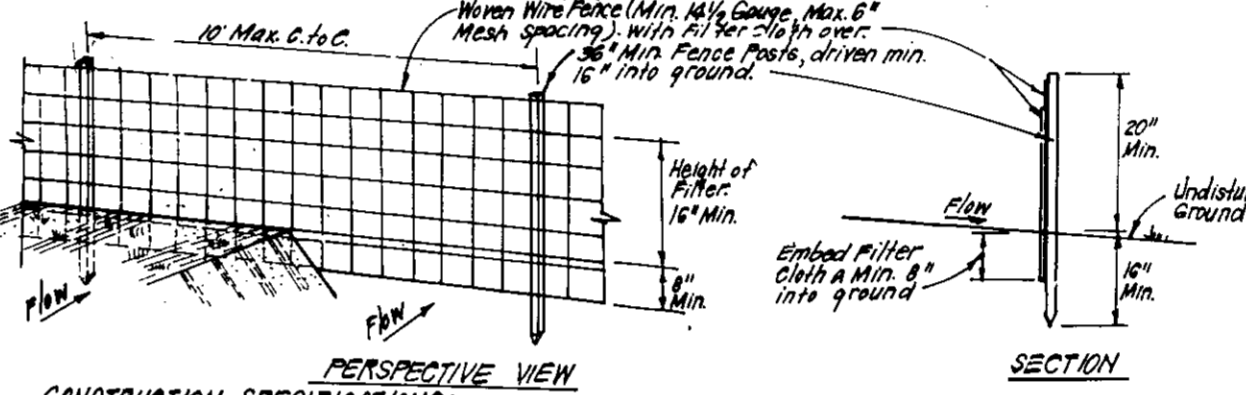
- CONSTRUCTION SPECIFICATIONS:**
1. Weep wire fence to be fastened securely to fence posts with wire ties or staples.
 2. Filter cloth to be fastened securely to weep wire fence with ties spaced every 36" at top and mid section.
 3. When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and stapled.
 4. Maintenance shall be performed as needed and material removed when "bulges" develop in silt fence.

SILT FENCE DETAIL (S)



- CONSTRUCTION SPECIFICATIONS:**
1. Stone size—Use 2" stone, or reclaimed or recycled concrete equivalent.
 2. Length—As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 3. Thickness—Not less than six (6) inches.
 4. Width—Ten (10) feet minimum, but not less than the full width of points where ingress or egress occurs.
 5. Filter Cloth—Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 6. Surface Water—All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable curb with 5:1 slopes will be permitted.
 7. Maintenance—The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment into public rights-of-way. This may require periodic cleaning with additional stone or concrete deck and repair and/or cleanout if any measures used to trap sediment. All sediment spilled, trapped, washed or tracked onto public rights-of-way must be removed immediately.
 8. Working—Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 9. Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE (SCE)



- CONSTRUCTION SPECIFICATIONS:**
1. Weep wire fence to be fastened securely to fence posts with wire ties or staples.
 2. Filter cloth to be fastened securely to weep wire fence with ties spaced every 36" at top and mid section.
 3. When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and stapled.
 4. Maintenance shall be performed as needed and material removed when "bulges" develop in silt fence.

SILT FENCE DETAIL (S)

SEDIMENT AND EROSION CONTROL NOTES

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (919-1985).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. SITE ANALYSIS:

Total Area of Site:	6,251 Ac.
Area Disturbed:	0.04 Ac.
Area to be vegetatively stabilized:	5.74 Ac.
Total Cut:	52,000 cu yd.
Total Fill:	17,000 cu yd.
8. Offsite Waste/Borrow Area Location: _____
9. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
10. All sediment control must be provided, if deemed necessary by the Howard County DPM Sediment Control Inspector. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

11. All pipes to be blocked at the end of each day (see detail this sheet).
 12. The total amount of silt fence = 9900 LF.
- It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:

NO.	DESCRIPTION	NO. OF DAYS
1	Obtain grading permit	7
2	Install tree protection fence.	N/A
3	Install sediment and erosion control devices and stabilize.	14
4	Excavate for foundations, rough grade and temporarily stabilize.	30
5	Construct structures, sidewalks and driveways.	60
6	Final grade and stabilize in accordance with Sds. and Specs.	14
7	Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

Builder is responsible for refurbishing the S.W.M. basin to original approved condition. Delay construction of houses on lot 1. See single lot sediment control detail, this sheet.

OWNER / DEVELOPER
 DUCKETT'S LANE JOINT VENTURE
 1/2 THE RACHUBA GROUP
 GREEN SPRING STATION
 2360 WEST JOFFA ROAD
 SUITE 310
 LUTHERVILLE, MD 21093

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 DATE: 5/16/94
 DATE: 5/13/94

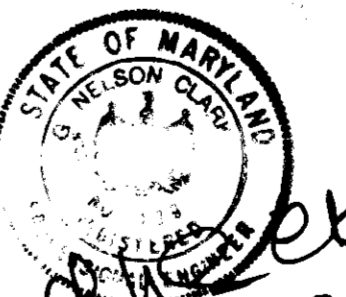
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DATE: 5/16/94
 DATE: 5/10/94

Reviewed for HOWARD S.C.D.
 Name: Patricia Engle
 Signature: [Signature]
 Title: [Title]
 US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
 Approved: [Signature]

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.



CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED	SEDIMENT & EROSION CONTROL NOTES	SCALE	AS NOTED
KIWM	DUCKEY'S RUN	DRAWING	5 of 5
DRAWN	LOTS 1 thru 28	JOB NO.	93-151
MCR	TAX MAP-37 PARCEL-478	FILE NO.	93-151-2
CHECKED	1st ELECTION DISTRICT		
KIWM	HOWARD COUNTY, MARYLAND		
DATE	FOR: RYAN HOMES, INC.		
4-22-94	10231 Reisterstown Road #100		
	Baltimore, Maryland 21208		

SDR 94-53