

Lot Coverage Table

Lot #	Coverage Allowed (sq. ft.)	Model	House Coverage	Advt. Coverage (sq. ft.)	Lot #	Coverage Allowed (sq. ft.)	Model	House Coverage	Advt. Coverage (sq. ft.)
131	1687	2500-42	1609	78	148	1931	C-92	1187	452
132	1619	BR	1451	158	149	3450	2500-44	1673	1867
133	1725	BR	1487	248	149	3862	2500-44	1673	2189
134	1881	2500-42	1609	282	151	2274	2500	1545	1611
135	2784	2300	1865	1119	152	1883	C-92/Gal.	1389	284
136	1872	2500-42	1609	283	153	1650	C-92	1487	163
137	3038	2700	2142	896	154	1850	C-92	1487	580
138	1782	2500	1545	237	155	1710	2500-42	1609	101
139	1671	C-92	1487	184	156	1821	2500-38	1481	140
140	2970	2700	2142	828	157	1500	C-92/Gal.	1389	101
141	1552	BR	1451	191	158	1509	1700	1400	100
142	1425	1700	1400	160	159	1980	2500-44	1673	307
143	2073	2500-44	1673	25	160	1883	2500-44	1673	307
144	2225	C-92	1487	738	161	1845	2500	1545	300
145	2088	2500-44	1673	369	162	1821	1700	1400	521
146	2235	2500	1545	580	163	1821	1700	1400	521
147	2174	C-92	1487	687	164	2430	2500-42	1609	821

SHEET INDEX

SHEET NO.	SHEET TITLE
1 OF 4	SITE/GRADING PLAN
2 OF 4	LANDSCAPE PLAN
3 OF 4	SEDIMENT AND EROSION CONTROL PLAN
4 OF 4	SEDIMENT AND EROSION CONTROL DETAILS

Subdivision Name	Section/Area	Lot#s
VILL. OF RIVER HILL	SECTION 2 - AREA 2	LOTS 131-164

Plan # or L.P.	Block #	Zone	Tax/Zone #	Est. Year	Comm. Year
10941-10943	15	NT	35	5TH	10055

Water Code	Sewer Code
I12	6052500

SEE GENERAL NOTE #15 FOR EXPLANATION OF 65 DBA CONTOUR

FOUNDATION MUST BE 2' AWAY FROM ESMT.

FOUNDATION MUST BE 2' AWAY FROM ESMT.

TEMPORARY 24' ACCESS ROAD, LOT 160 WILL NOT BE CONSTRUCTED UNTIL ROAD IS REMOVED AND OPEN SPACE REPAIRED BY SUBDIVISION DEVELOPER

MIN. SEWERABLE ELEVATION CHART

Lot #	Min. Sewerable Elevation	Property Line	Bas. Sub. Elev. Provided	Lot #	Min. Sewerable Elevation	Property Line	Bas. Sub. Elev. Provided
131	414.00	414.00	414.00	148	404.00	404.00	404.00
132	413.70	413.70	413.70	149	392.80	392.80	404.87
133	414.40	414.40	414.40	150	373.80	373.80	401.33
134	413.70	413.70	413.70	151	376.80	376.80	401.87
135	413.80	413.80	413.80	152	373.20	373.20	401.87
136	414.40	414.40	414.40	153	385.50	385.50	403.33
137	413.80	413.80	413.80	154	387.70	387.70	405.00
138	413.80	413.80	413.80	155	398.13	398.13	403.33
139	413.80	413.80	413.80	156	402.80	402.80	413.38
140	413.80	413.80	413.80	157	409.84	409.84	413.33
141	413.30	413.30	413.30	158	414.80	414.80	413.33
142	413.30	413.30	413.30	159	418.33	418.33	413.33
143	413.30	413.30	413.30	160	418.33	418.33	413.33
144	413.30	413.30	413.30	161	418.33	418.33	413.33
145	413.30	413.30	413.30	162	418.33	418.33	413.33
146	413.30	413.30	413.30	163	418.33	418.33	413.33
147	413.30	413.30	413.30	164	418.33	418.33	413.33

- The subject property is zoned NT.
- The coordinates shown herein are based on the Maryland State Grid System and derived from the following Howard County Control Station 247003 and 237001.
- All roadways are public and are existing.
- Total area included in this submission is 243,438 ± sq. ft. or 5.59 Ac. ±.
- Total number of lots is 33.
- Any damage to county-owned right-of-way shall be corrected at the developer's expense.
- Reference Plans: Ph. 209, Part 2, FDP Part No. 30544, 1292-1296, recorded May 21, 1993, PP-80, 792-15, 5-91-02 and Consent No. 34-309-1.
- The prospective developer shall contact the construction/inspection survey division 28 hours in advance of commencement of work at 313-1870.
- Topographic information provided by Howard Research and Developers, Inc.
- All road construction, storm drainage facilities, and public water and sewer are shown for reference only. Use approved plans for all phases of construction.
- All work shall be performed in accordance with the latest version of Howard County Standards, Specifications, and Details for Contractors.
- All driveway entrances shall be constructed in accordance with Howard County Standard Detail R-6-03 and R-4-02.
- Open space Lot 240 is to be conveyed to Columbia Association.
- Decks, open or closed, may extend no more than 3 feet into a required front or rear yard, but windows, eaves, ventilators, balconies, or chimneys may extend more than 10 feet in width if they project no more than 1 foot into the setback area.
- The 65-dBA noise contour line represents the approximate location of the 65-dBA (day-evening-night) noise level generated by Maryland 30 traffic in the year 2015 based upon assumptions about actual conditions at that time. The value represents the average annual level during the single noisiest one-hour period of vehicular traffic during a typical day. This calculation is based on the State Highway Administration's estimate of year 2015 highway traffic volume. The contour line drawn on this plan is advisory, as required by Howard County Design Manual, Volume II, Chapter 5, revised February 1992, and cannot be considered to locate exactly the 65-dBA exposure.
- Soils:

Soil Series/Symbol	Hydro Class	With Basement	Without Basement	Streets and Zoning
C1 (C-92)	B	Medium	Moderate	Medium/Slip
C2 (C-92)	B	Slight	Moderate	Medium/Slip
Clayey (C-92)	C	Moderate	Moderate	Severe/Slip
Clayey (C-92)	C	Moderate	Moderate	Severe/Slip
Maer (B-1E)	B	Severe	Severe	Severe/Slip
- Building Restrictions:

Front R.L.L.	Side R.L.L.	Rear R.L.L.	Notes
20 feet	20 feet	20 feet	These regulations are typical for all lots except as noted on plan where minimum setbacks are shown.
75 feet	75 feet	75 feet	
- The use in common driveway easment for Lots 140 & 141, Loc. 29-2-9, Folio 514.

8-27-93
Date

Professional Engr. No. [Signature]

TAX MAP 35 PARCEL 70
FIFTH ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND

VILLAGE OF RIVER HILL SECTION 2 AREA 2 PHASE 1
LOTS 131-164
OWNER/DEVELOPER

THE MARK BUILDING COMPANY
1301 YORK ROAD
LUTHERVILLE, MARYLAND 21093
(410) 358-5701

DMW
Daft · McCune · Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
200 East Pennsylvania Avenue
Towson, Maryland 21286
410 286 3333
Fax 296 4705

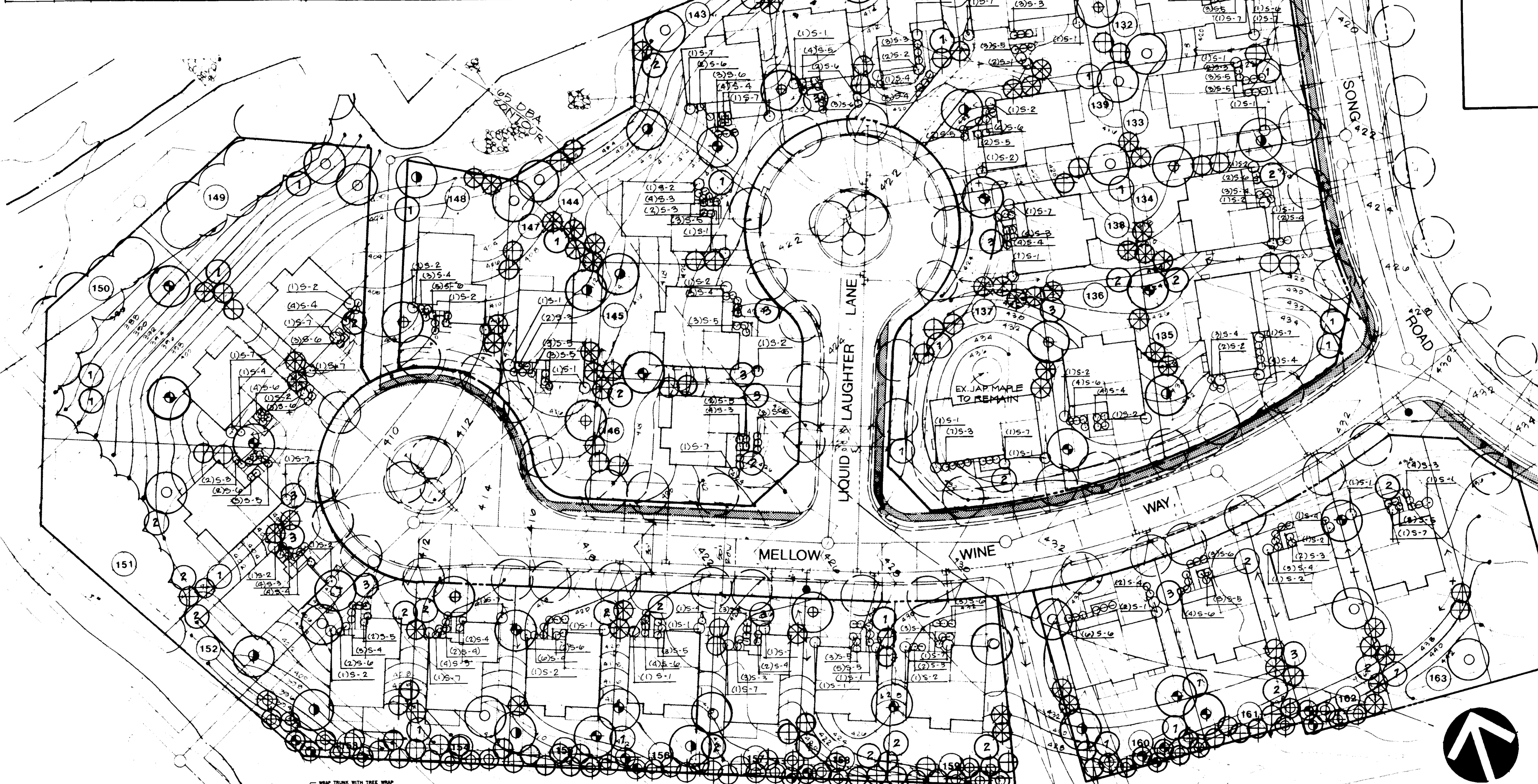
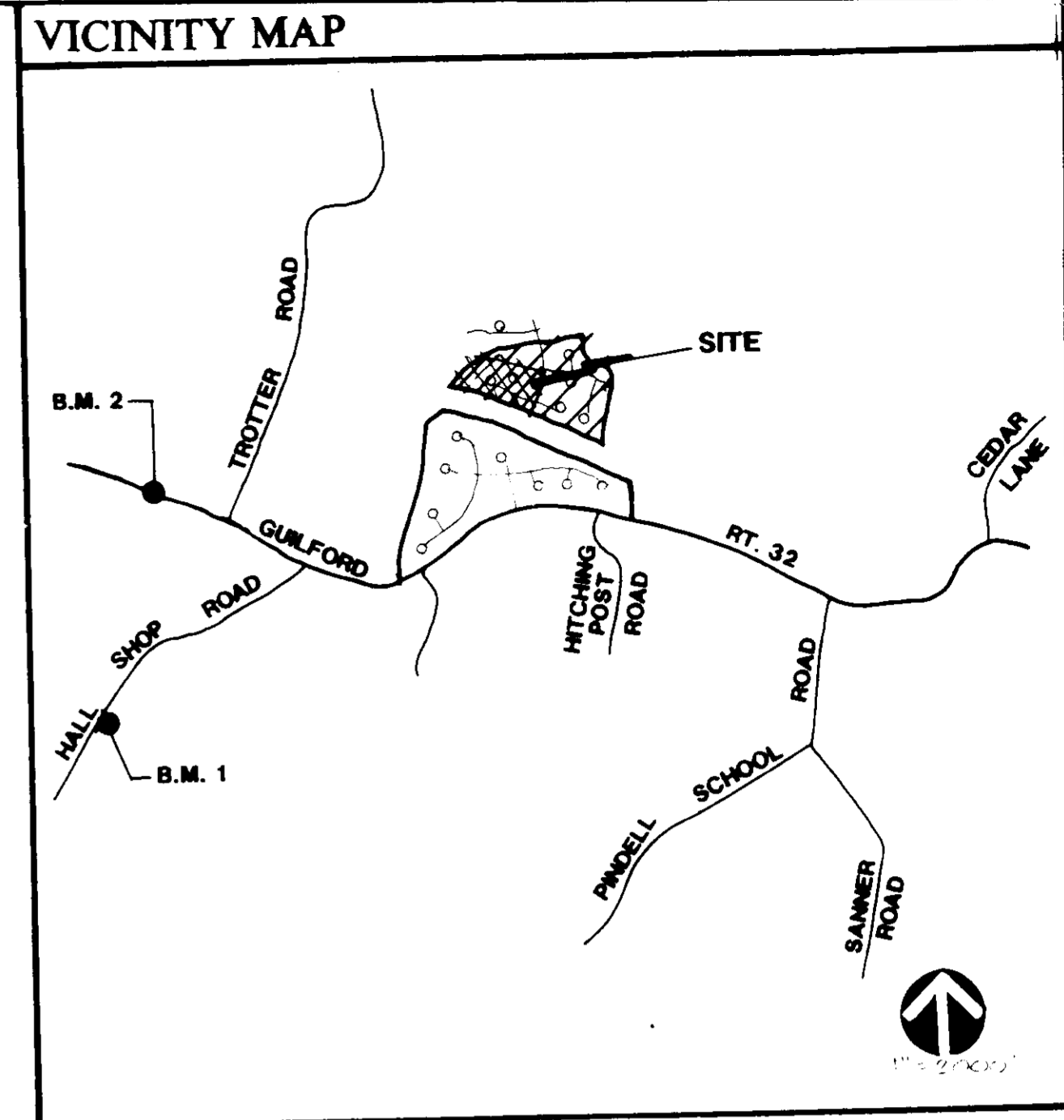
AREA

TITLE
SITE/GRADING PLAN

Des By HGP	Scale 1"=80'-0"	Proj. No. 92032.B
Drn By HGP	Date 8/30/93	
Chk By	Approved	1 OF 4

SOP 94-23

PLANT LIST - TREES			
KEY	QUANT	COMMON NAME	SIZE
○		PROPOSED STREET TREES BY OTHERS.	
○	18	LONDON PLANE TREE	2 1/2"-3" GAL.
○	17	PIN OAK	2 1/2"-3" GAL.
○	15	RED SUNSET MAPLE	2 1/2"-3" GAL.
○	8	SWEET GUM	3"-3 1/2" GAL.
①	25	YOSHINO CHERRY	8'-10'
②	20	BRADFORD GALLERY PEAR	8'-10'
③	12	PURPLE LEAF PLUM	8'-10'
⊗	61	NORWAY SPRUCE	6'-8'
⊕	85	WHITE PINE	6'-8'
⊕	32	WHITE PINE	8'-10'
⊕	11	WHITE PINE	10'-12'



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 11/19/93
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
[Signature] 11/24/93
DIRECTOR DATE

[Signature] 11/23/93
Gina Quammery DATE
CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH

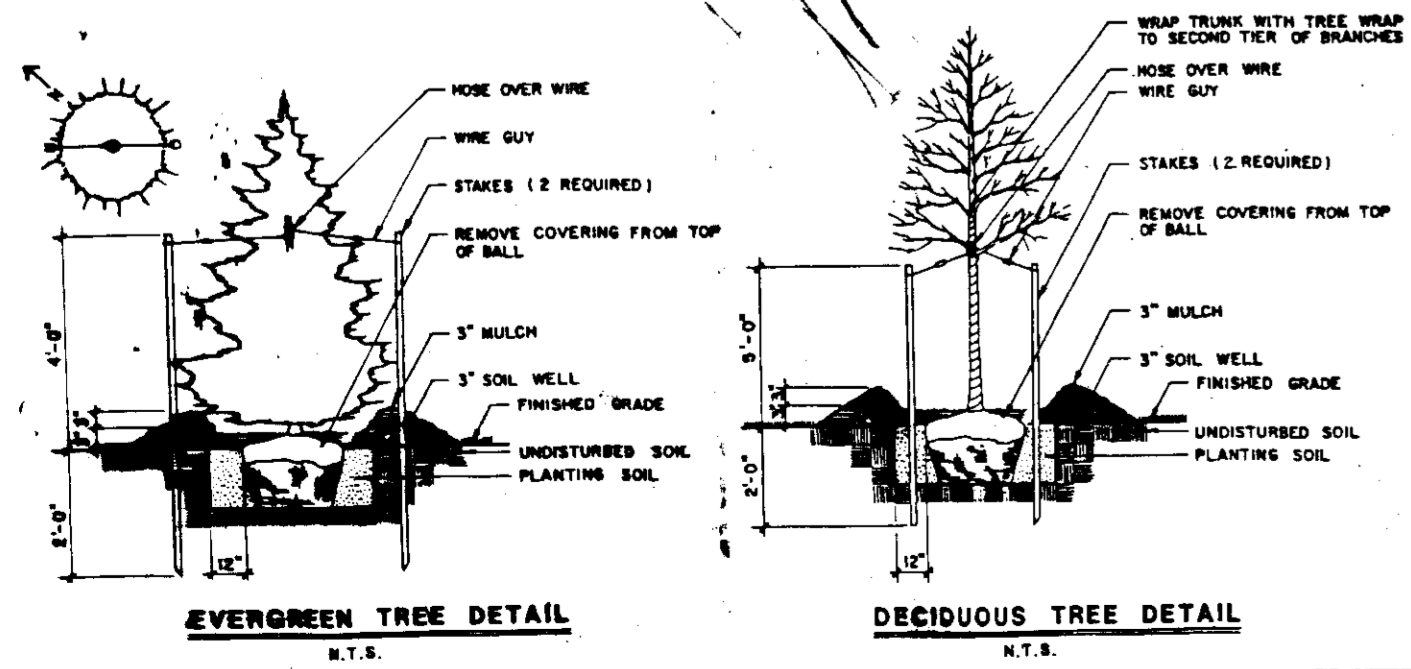
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 11/15/93
DIRECTOR DATE

[Signature] 11/15/93
DATE
CHIEF BUREAU OF ENGINEERING

Date No. Revision Description

VILLAGE OF RIVER HILL
SECTION 2 AREA 2 PHASE I
LOTS 131-163
OWNER/DEVELOPER

THE MARK BUILDING COMPANY
1301 YORK ROAD
LUTHERVILLE, MARYLAND 21093
(410) 356-5701



NOTE: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

PLANT LIST - SHRUBS			
KEY	QUANT	COMMON NAME	SIZE
S-1	22	COMPACT BURNING BUSH	20" x 36"
S-2	20	LEATHERLEAF VIBURNUM	20" x 36"
S-3	50	DENSIFORMIS YEW	24" x 30"
S-4	85	HIND CRIMSON AZALEA	18" x 24"
S-5	60	DELAWARE VALLEY WHITE AZALEA	18" x 24"
S-6	71	COMPACT JAPANESE HOLLY	18" x 24"
S-7	20	CHERRY LAUREL 'SHIPKAENSIS'	24" x 30"

8-27-93
Date

STATE OF MARYLAND
REGISTERED LANDSCAPE ARCHITECT

AREA TAX MAP 35 PARCEL 70
FIFTH ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND

TITLE LANDSCAPE PLAN

Des By HGP Scale 1"=30'-0" Proj. No. 92032.B
Drn By HGP Date 8/30/93
Chk By Approved 2 OF 4

Professional Engr. No. **SDP 94-23**

LEGEND

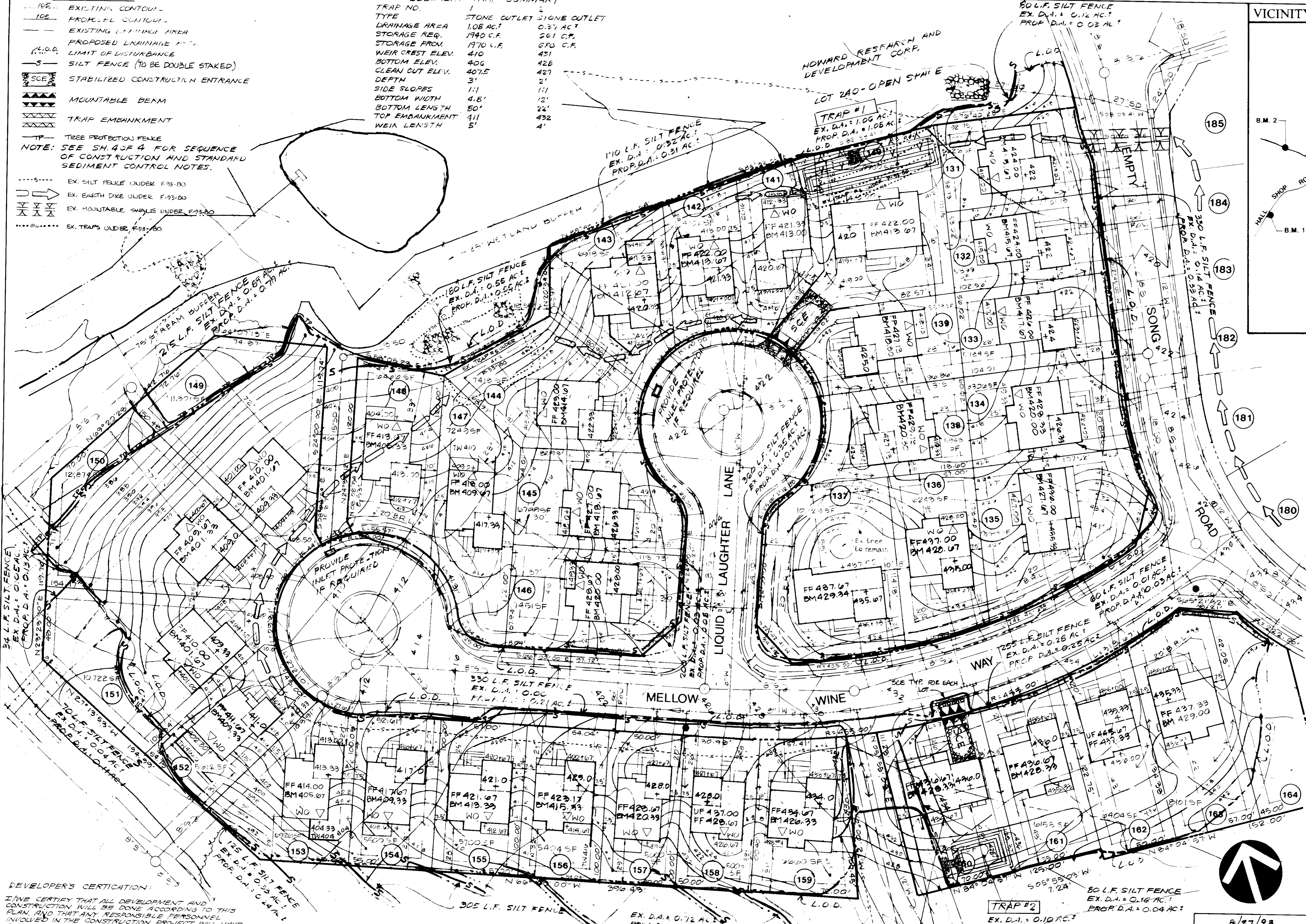
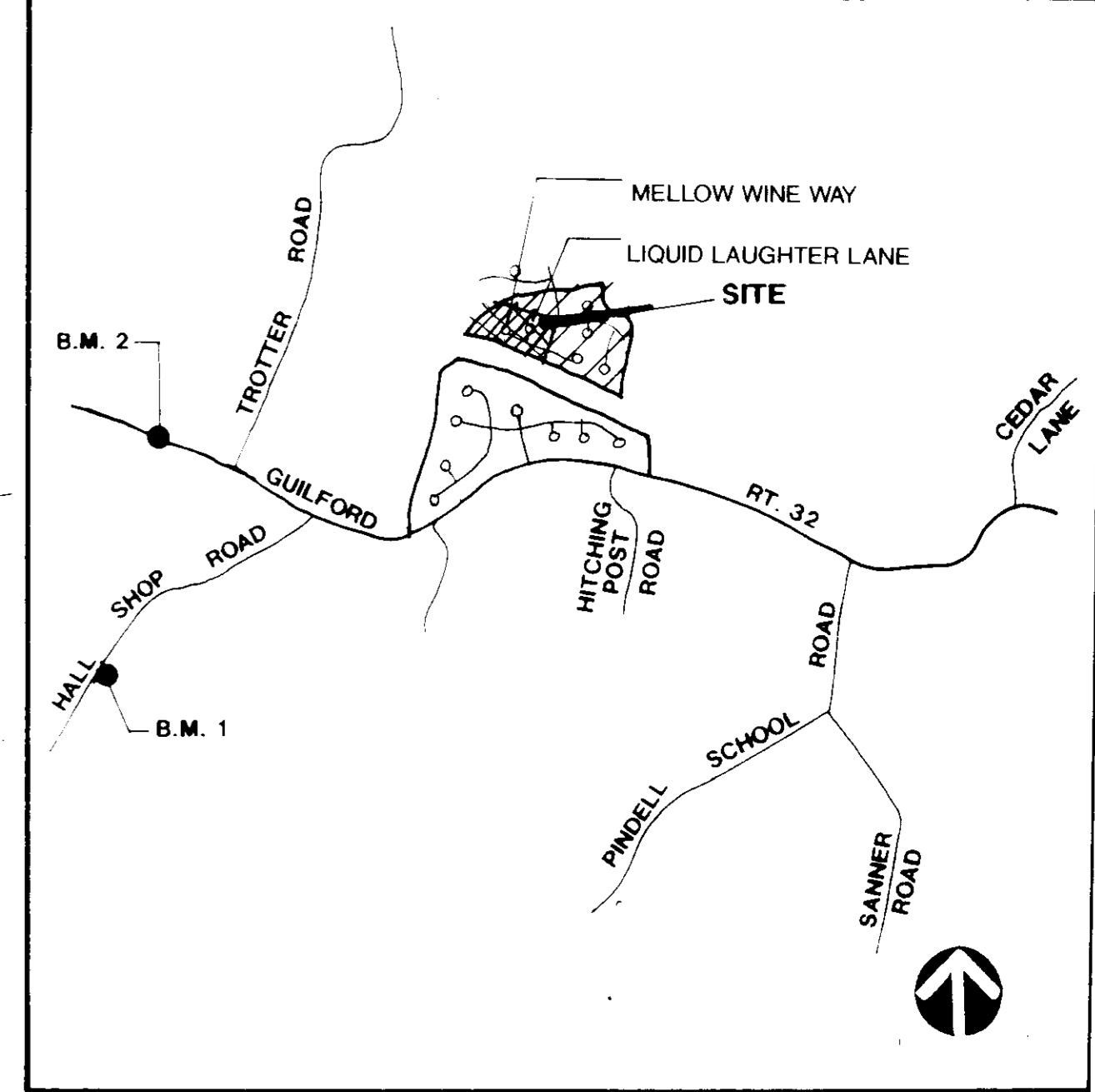
- EX. SILT FENCE UNDER F-93-80
- EX. EARTH DIKE UNDER F-93-80
- EX. MOUNTABLE SWALE UNDER F-93-80
- EX. TRAPS UNDER F-93-80
- EX. SILT FENCE UNDER F-93-80
- EX. EARTH DIKE UNDER F-93-80
- EX. MOUNTABLE SWALE UNDER F-93-80
- EX. TRAPS UNDER F-93-80

SEDIMENT TRAP SUMMARY

TRAP NO.	TYPE	STONE OUTLET	STONE OUTLET
1	STONE OUTLET	STONE OUTLET	STONE OUTLET
1	1.08 AC.	0.37 AC.	
	STORAGE REQ.	1940 C.F.	261 C.F.
	STORAGE PROV.	1970 C.F.	270 C.F.
	WEIR CREST ELEV.	410	431
	BOTTOM ELEV.	406	426
	CLEAN OUT ELEV.	407.5	427
	DEPTH	3'	2'
	SIDE SLOPES	1:1	
	BOTTOM WIDTH	4.5'	12'
	BOTTOM LENGTH	50'	24'
	TOP EMBANKMENT	411	432
	WEIR LENGTH	5'	4'

NOTE: SEE SH. 43F 4 FOR SEQUENCE OF CONSTRUCTION AND STANDARD SEDIMENT CONTROL NOTES.

VICINITY MAP



DEVELOPER'S CERTIFICATION:
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 8/27/93

ENGINEER'S CERTIFICATION:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ERNEST I. SWAPP III M.D.P.E. #16580

REVIEWED FOR THE HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

FOR SOIL CONSERVATION SERVICE THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 8/27/93

NOTE: PROPOSED CONTOURS OUTSIDE THE L.O.D. ARE FOR ULTIMATE CONDITIONS. INTERIM CONTOURS FOR 434 IN LOT 100 AND FOR 422 & 424 IN LOT 129 ARE SHOWN INSIDE THE L.O.D.

TRAP #2
EX. D.A. = 0.10 AC.
PROP. D.A. = 0.31 AC.

TEMPORARY 24' ACCESS ROAD, LOT 100 WILL NOT BE CONSTRUCTED UNTIL ROAD IS REMOVED AND RESURFACED BY DEVELOPER

8/27/93
Date

Ernest I. Swapp III
Professional Eng. No. 16580

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer: *Joyce M. Boyd M.D.P.E. #1* DATE: 11-19-93

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 Director: *James C. Smith* DATE: 11/24/93
 Chief Division of Land Development and Research: *Gino J. Jaramila* DATE: 11/23/93

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *Paul H. Jaramila* DATE: 11/15/93
 Chief Bureau of Engineering: *Paul H. Jaramila* DATE: 11/15/93

105% PER D.P.Z.

Date	No.	Revision Description

VILLAGE OF RIVER HILL
 SECTION 2 AREA 2 PHASE 1
 LOTS 131-163
 OWNER/DEVELOPER

THE MARK BUILDING COMPANY
 1301 YORK ROAD
 LUTHERVILLE, MARYLAND 21093
 (410) 356-5701

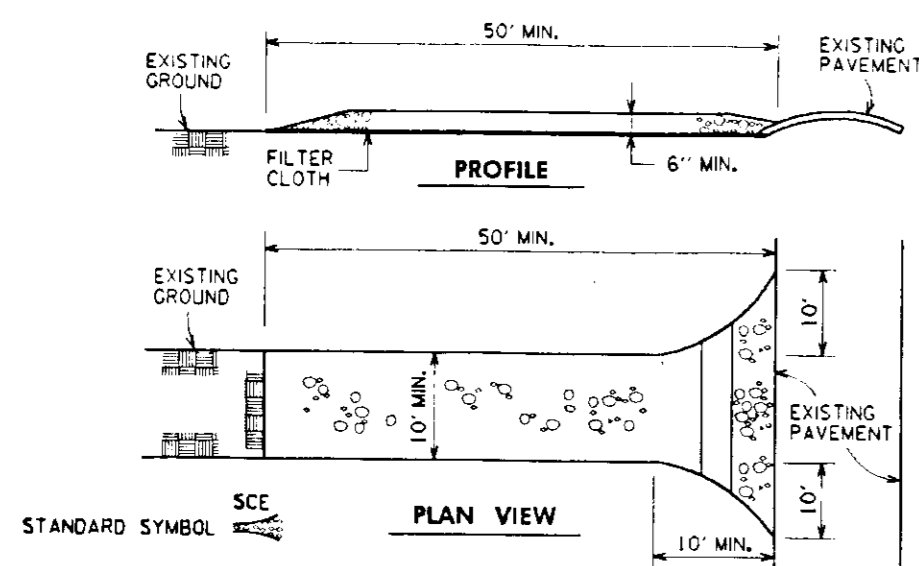
DMW
Daft · McCune · Walker, Inc.
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 410.286.3333
 Fax: 286.4705

INDIVIDUAL NAME	SECTION/AREA	LOT/PARCEL
DAFT	SECTION 2/AREA 2	P. 70
McCUNE	SECTION 2/AREA 2	P. 70
WALKER	SECTION 2/AREA 2	P. 70

TITLE: **SEDIMENT CONTROL CONTRACT PLAN**

Des. By: [] Scale: 1"=30'-0" Proj. No. 92032.B
 Drn. By: [] Date: 8/30/93
 Chk. By: [] Approved: []

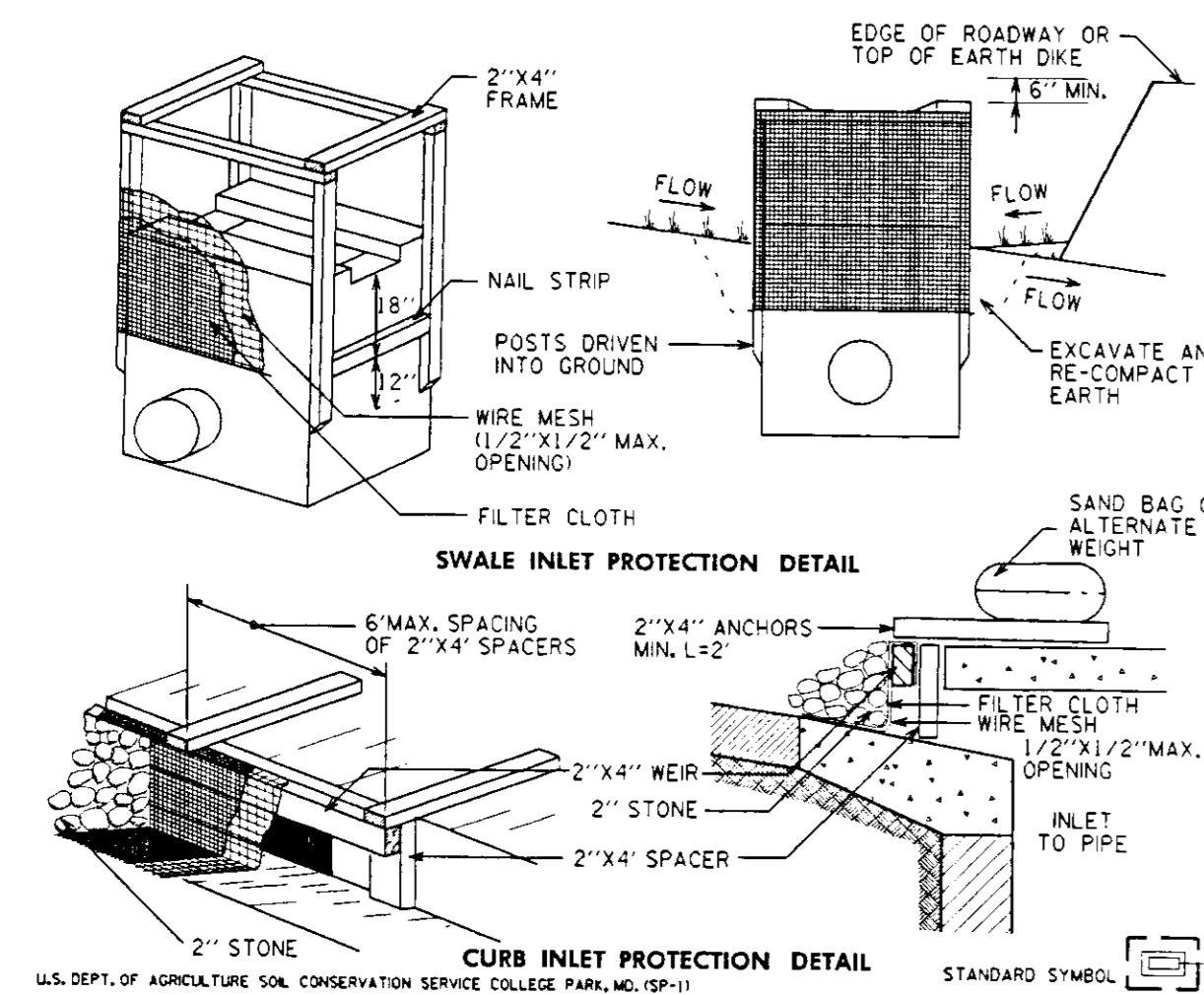
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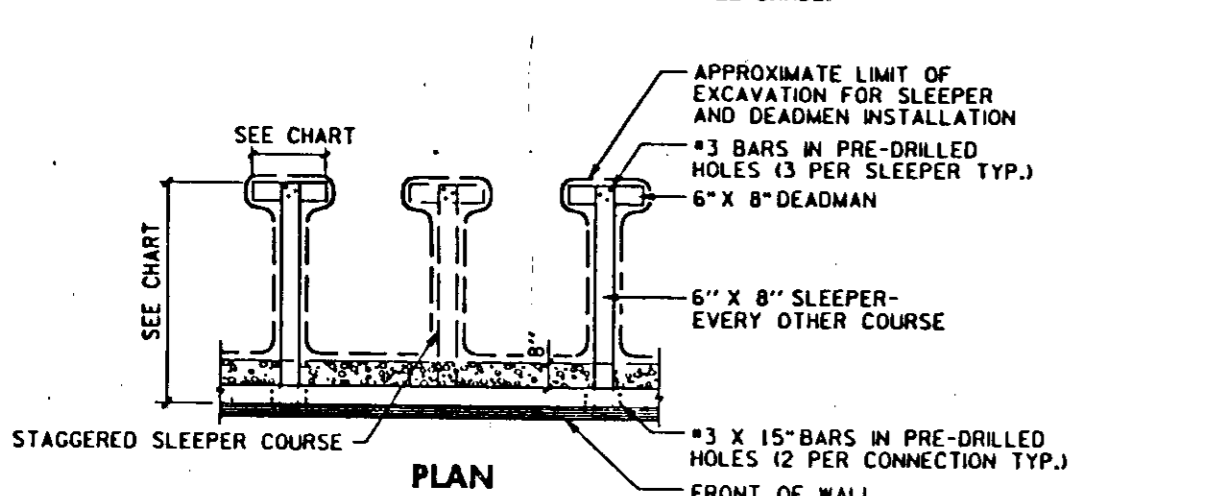
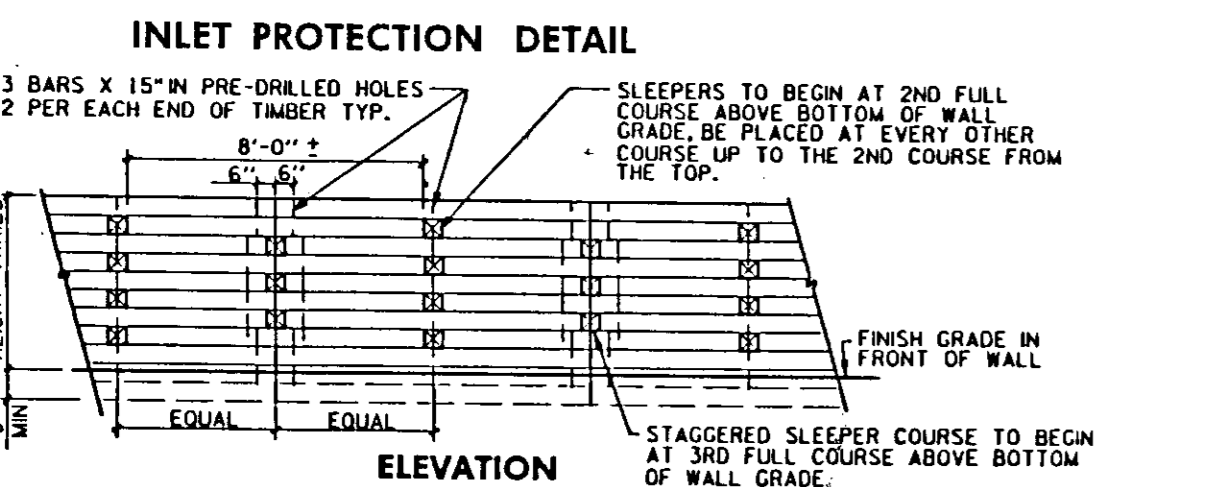
- CONSTRUCTION SPECIFICATIONS:**
1. STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH AS REQUIRED BUT NOT LESS THAN 30 FEET EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
 3. THICKNESS - NOT LESS THAN 6" TO 8" THICK.
 4. WIDTH - TEN (10) FEET MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE WIDTH CHANGES OCCUR.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. WIRE MESH OR FIBER FABRIC SHALL BE FASTENED TO THE CURB AND APRON.
 6. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. WIRE MESH OR FIBER FABRIC SHALL BE FASTENED TO THE CURB AND APRON.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT FLOODING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAY. THIS MAY BE ACCOMPLISHED BY PRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND REPAIRING OF ANY WEAR SURF TO THE ENTRANCE.
 8. SEDIMENT TRAP - SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AT EACH RAIN.

U.S. DEPT. OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MD. 19711

STABILIZED CONSTRUCTION ENTRANCE



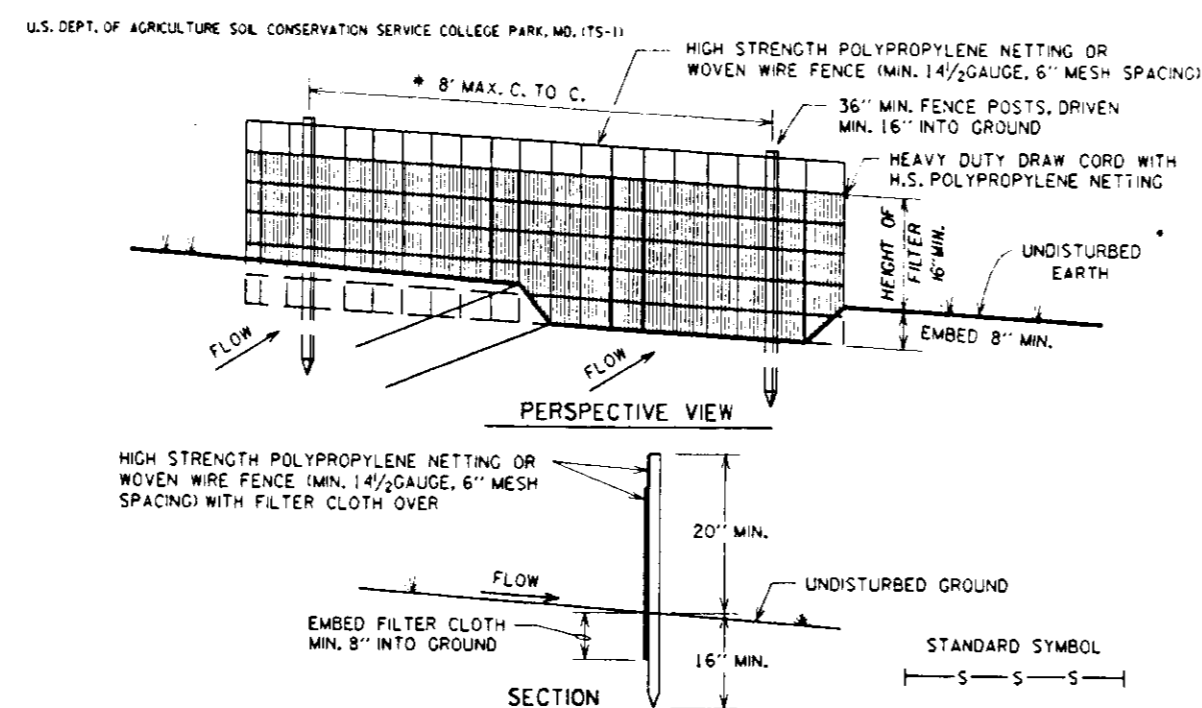
U.S. DEPT. OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MD. 19711



TIMBER RET. WALL WITH TIEBACKS

DEVELOPER'S CERTIFICATION:
 "I, WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 MARY ROSENBERG 8/27/93 DATE

ENGINEER'S CERTIFICATION:
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 ERNEST J. SHEPPE II PE# 16580 8/27/93 DATE



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. HIGH STRENGTH POLYPROPYLENE NETTING OR WOVEN WIRE FENCE (MIN. 14 GAUGE, 6" MESH SPACING) SHALL BE FASTENED TO THE CURB AND APRON.
2. FILTER CLOTH TO BE FASTENED TO THE CURB AND APRON.
3. WHEN TWO SECTIONS OF FILTER CLOTH JOIN, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PROVIDED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.

SILT FENCE

CONSTRUCTION SPECIFICATIONS

1. MATERIALS:
 - A. WOODEN FRAME IS TO BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER.
 - B. WIRE MESH MUST BE OF SUFFICIENT STRENGTH TO SUPPORT FILTER FABRIC AND STONE FOR CURB INLETS, WITH WATER FILL IMPROVED AGAINST IT.
 - C. FILTER CLOTH MUST BE OF A TYPE APPROVED FOR THIS PURPOSE, RESISTANT TO SUNLIGHT WITH SIEVE SIZE 60-100 TO ALLOW PASSAGE OF WATER AND REMOVAL OF SEDIMENT.
 - D. STONE IS TO BE 2" IN SIZE AND CLEAN, SINCE FINES WOULD CLOG THE CLOTH.
2. PROCEDURE:
 - A. SWALE, DITCHLINE, OR YARD INLET PROTECTION:
 1. EXCAVATE COMPLETELY AROUND INLET TO A DEPTH OF 18" BELOW NOTCH ELEVATION.
 2. ASSEMBLE TOP PORTION OF 2" x 4" FRAME USING OVERLAP JOINT SHOWN.
 3. STRETCH WIRE MESH TIGHTLY AROUND FRAME AND FASTEN SECURELY. ENDS MUST MEET AT POST.
 4. STRETCH FILTER CLOTH TIGHTLY OVER WIRE MESH. THE CLOTH MUST EXTEND FROM TOP OF FRAME TO 18" BELOW INLET NOTCH ELEVATION. FASTEN SECURELY TO FRAME. ENDS MUST MEET AT POST.
 5. SAND BAG OR ALTERNATE WEIGHT SHALL BE PLACED OVER THE CLOTH.
 6. FORM THE INLET FLOW CHANNEL TO THE CONCRETE GUTTER AGAINST THE FACE OF CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 2" STONE OVER THE WIRE MESH AND FILTER FABRIC IN THE GUTTER.
 7. THIS TYPE OF PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACED AS NEEDED.
 8. ASSURE THAT STORM FLOW DOES NOT BYPASS INLET BY INSTALLING TEMPORARY EARTH OR ASPHALT DICES DIRECTING FLOW INTO INLET.
 - B. CURB INLET PROTECTION:
 1. ATTACH A CONTINUOUS PIECE OF WIRE MESH (30" MINIMUM WIDTH BY THROAT LENGTH PLUS 4") TO THE 2" x 4" WIRE MESHING. THROAT LENGTH PLUS 2" IS SHOWN ON THE STANDARD DRAWING.
 2. PLACE A PIECE OF APPROVED FILTER CLOTH (60-100 SIEVE SIZE) OF THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH TO THE 2" x 4" WIRE MESH.
 3. SECURELY NAIL THE 2" x 4" WIRE TO 2" LONG VERTICAL SPACERS TO BE LOCATED BETWEEN THE WIRE AND NAIL FACE (MINIMUM 2" SPACERS).
 4. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL ANCHORS (MINIMUM 2" LENGTHS OF 2" ACROSS THE INLET TOP AND BE WELD IN PLACE.) SAND BAGS OR ALTERNATE WEIGHT SHALL EXTEND TO THE THROAT OPENING.
 5. THE ASSEMBLY MUST BE PLACED SO THAT THE END SPACERS ARE A MINIMUM 1" BEYOND BOTH ENDS OF THE THROAT OPENING.
 6. FORM THE INLET FLOW CHANNEL TO THE CONCRETE GUTTER AGAINST THE FACE OF CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 2" STONE OVER THE WIRE MESH AND FILTER FABRIC IN THE GUTTER.
 7. THIS TYPE OF PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACED AS NEEDED.
 8. ASSURE THAT STORM FLOW DOES NOT BYPASS INLET BY INSTALLING TEMPORARY EARTH OR ASPHALT DICES DIRECTING FLOW INTO INLET.

INLET PROTECTION DETAIL

Sequence of Construction

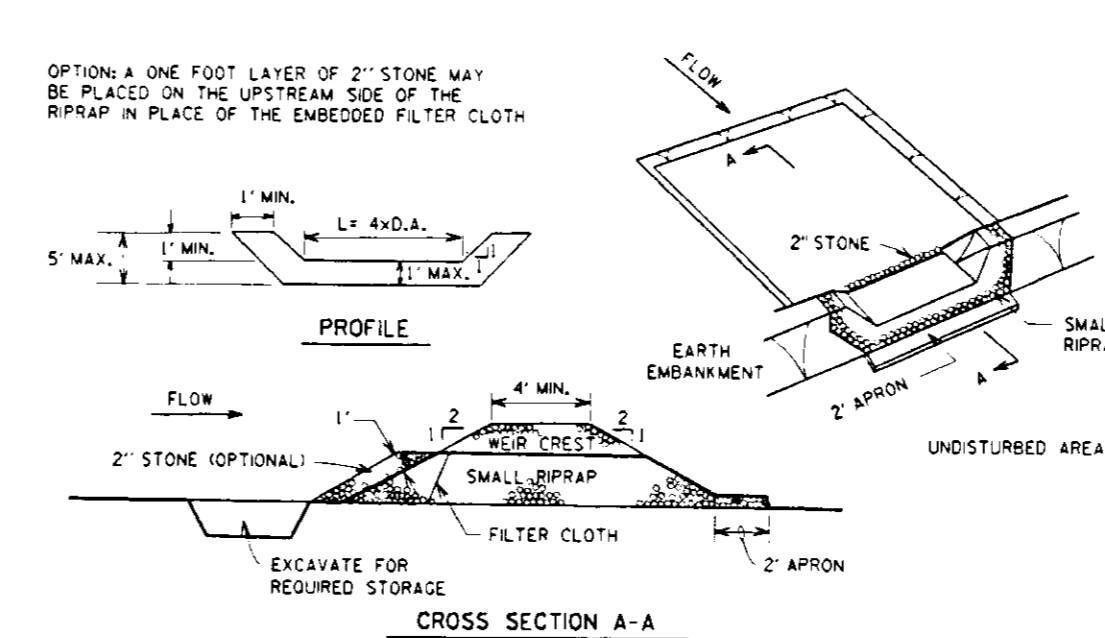
1. Obtain a grading permit.
2. Notify the Howard County Office of Inspection and Permits (313-1855) a minimum of 48 hours prior to the start of any construction. INSTALL TREE PROTECTION FENCE AND INSTALLATION OF SEDIMENT CONTROL DEVICES.
3. Clear and grub for and install sediment and erosion control measures or devices.
4. Stabilize all nonactive graded surfaces with temporary seeding.
5. Mass grade site and begin house construction and provide each lot with stabilized construction entrance at driveway location.
6. The temporary access road to join Glorious Light Place and Mellow Wine Way shall not be disturbed other than the installation of the stabilized construction entrance. All proposed grading shown in the roadway and the construction of the house on Lot 160 shall be postponed until permanent access is provided in accordance with F 93-80.
7. House construction on Lots 140 and 141 shall not begin until Sediment Trap No. 1 is removed and all of the upstream drainage areas to the trap are stabilized. Provide silt fence on the downstream side of the house construction on Lots 140 and 141 prior to beginning these houses.
8. Fine grade site. Install sanitary sewer house connections to Lots 149, 150, and 151. Construct driveways to final grades. Stabilize all disturbed areas with permanent seeding.
9. With the prior permission of the Sediment Control Inspector and the Howard County Sediment Control Division remove sediment controls. Fine grade and stabilize these areas.

Reviewed for Howard S.C.D. and meets Technical Requirements

Ernest J. Sheppe II 8/27/93 Date
 U.S. Soil Conservation Service

This Development Plan is Approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Howard S.C.D. 8/27/93 Date



CONSTRUCTION SPECIFICATIONS FOR ST-V

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBSTRUCTIONAL MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVELING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE GUTTER SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UPSLOPE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH OF THE TRAP.
6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

STONE OUTLET SEDIMENT TRAP

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
Seeded Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

- Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules:
- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq. ft.)
 - 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31 seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs./1000 sq. ft.) of creeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) - 2 tons per acre of well anchored red straw mulch and seed as soon as possible in the spring. Option (2) - Use sod. Option (3) - Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gal per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance - Inspect all seeding area and make needed repairs, replacements and reseeded.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
Seeded preparation - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments - Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.)

Seeding - For the periods March 1 thru April 30, and August 15 thru October 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq. ft.). For the period May 1 thru August 14, seed with 5 lbs per acre of creeping lovegrass (0.7 lbs./1000 sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

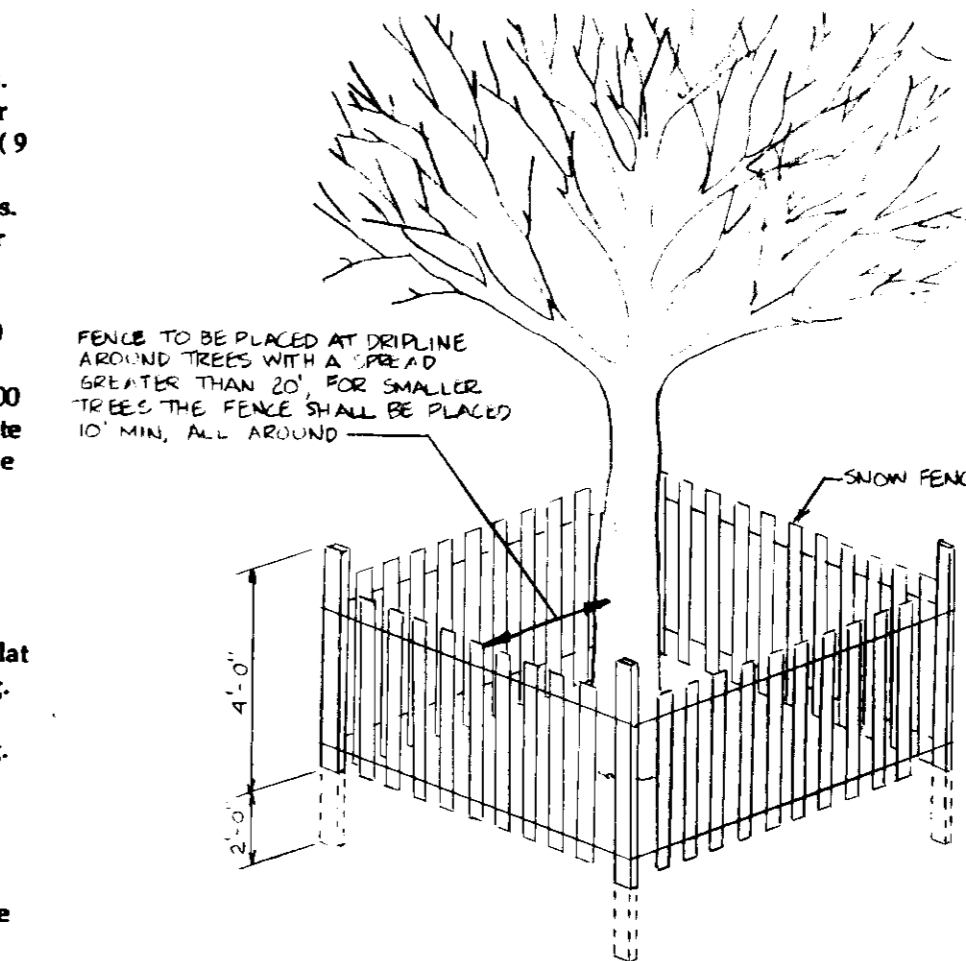
Mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 ft. or higher, use 348 gal per acre (8 gal/1000 sq. ft.) for anchoring.

Refer to the 1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control for additional rates and methods not covered.

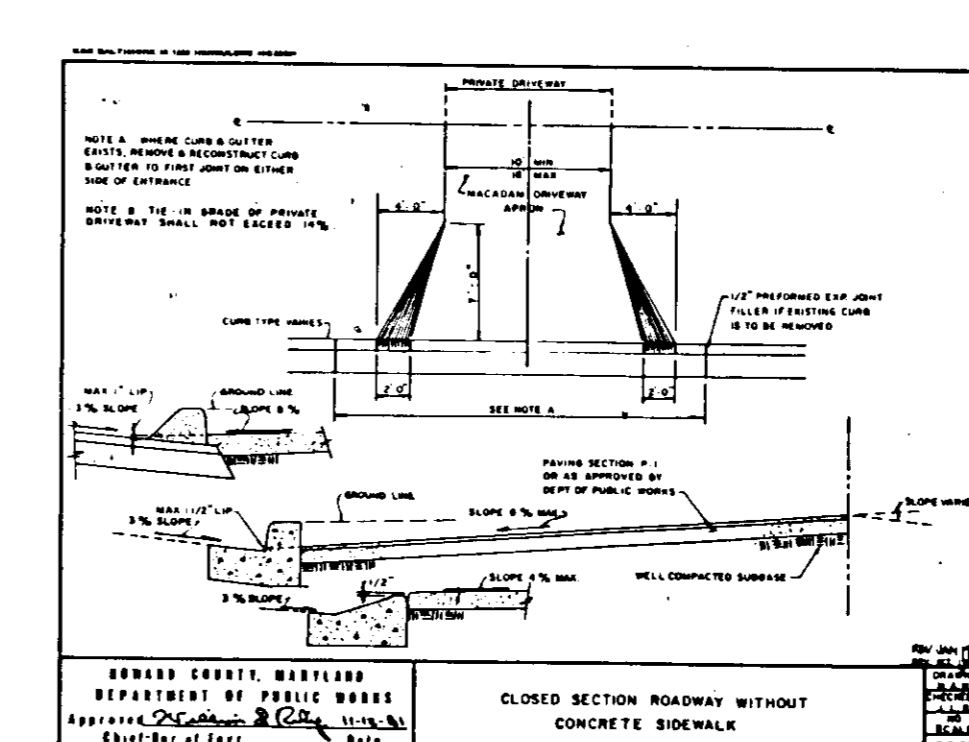
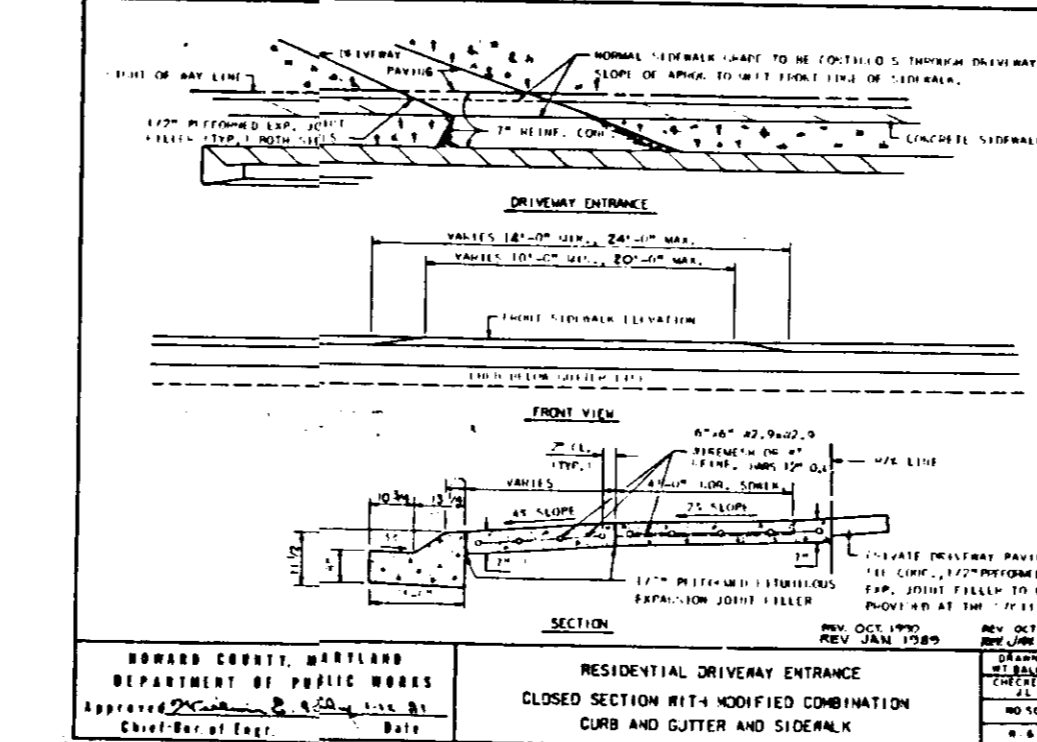
HOWARD COUNTY SEDIMENT CONTROL GENERAL NOTES

1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION.
2. ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3. FOLLOWING METAL SOIL DISTURBANCE OR RESTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A. SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - B. FOURTEEN DAYS AS TO ALL OTHER DISTURBED AREAS.
4. ALL SEDIMENT TRAPS, BASINS, SHEDS MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1 CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SECTION 3.1.1.5) OR TEMPORARY SEEDING (SECTION 3.1.1.6) AND MAXIMUM EROSION CONTROL MEASURES WITHIN 14 DAYS OF THE DATE OF PROPER SEEDING WHEN RECOMMENDED SEEDING DOES NOT ALLOW FOR PROPER SEEDING AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:

TOTAL AREA OF SITE	ACRES
AREA TO BE DISTURBED OR GRADED	ACRES
AREA TO BE VEGETATED OR STABILIZED	ACRES
TOTAL CUT	CUBIC YARDS
TOTAL FILL	CUBIC YARDS
OFF-SITE WASTE/BORROW AREA LOCATION	WASTE / BORROW AREA
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING OR OTHER ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ALL SEDIMENT CONTROL STRUCTURES MUST BE INSPECTED BY SEEDING NECESSARY BY THE HOWARD COUNTY DPM SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE PERIMETER EROSION AND SEDIMENT CONTROL, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER THAN THAT AUTHORIZED BY THIS PLAN, MUST BE OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.



TREE PROTECTION FENCE DETAIL
 NOTES:
 1. SPACED GRADE, ETC. OF LUMBER SHALL BE AT THE OPTION OF THE CONTRACTOR.
 2. NO CONSTRUCTION MATERIALS, EQUIPMENT OR EXCAVATED EARTH SHALL BE ALLOWED WITHIN THE PROTECTED AREA.



8/27/93 Date
 Ernest J. Sheppe II Professional Eng. No. 16580
 Des By: Ernest J. Sheppe II
 Drn By: Ernest J. Sheppe II
 Chk By: Ernest J. Sheppe II
 Scale: 1" = 10'-0"
 Date: 8/30/93
 Approved: Ernest J. Sheppe II
 Project No. 92032.8
 4 OF 4
 SDP 94-23

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 JAMES M. BOND, MD, MPH 11/19/93 DATE
 COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 JAMES M. BOND, MD, MPH 11/24/93 DATE
 DIRECTOR

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC WORKS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 RICHARD J. JACOBSON 11/15/93 DATE
 DIRECTOR

APPROVED: RICHARD J. JACOBSON 11/15/93 DATE
 CHIEF, BUREAU OF ENGINEERING

VILLAGE OF RIVER HILL
 SECTION 2 AREA 2 PHASE 1
 LOTS 131-163
 OWNER/DEVELOPER
 THE MARK BUILDING COMPANY
 1301 YORK ROAD
 LUTHERVILLE, MARYLAND 21093
 (410) 356-5701

DMW
 Daft McCune Walker, Inc.
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 MD 206 3333
 Fax 206 4705

SECTION: VILLAGE OF RIVER HILL SECTION 2 AREA 2 LOT/PARCEL: P 70
 PLAN NO.: 92032.8 TOWN MAP: 55 ELECT. DISTRICT: 10 CENSUS TRACT: 100515
 WATER CODE: 112 SERVIC CODE: W052000

TITLE
SEDIMENT & EROSION CONTROL PLAN DETAILS