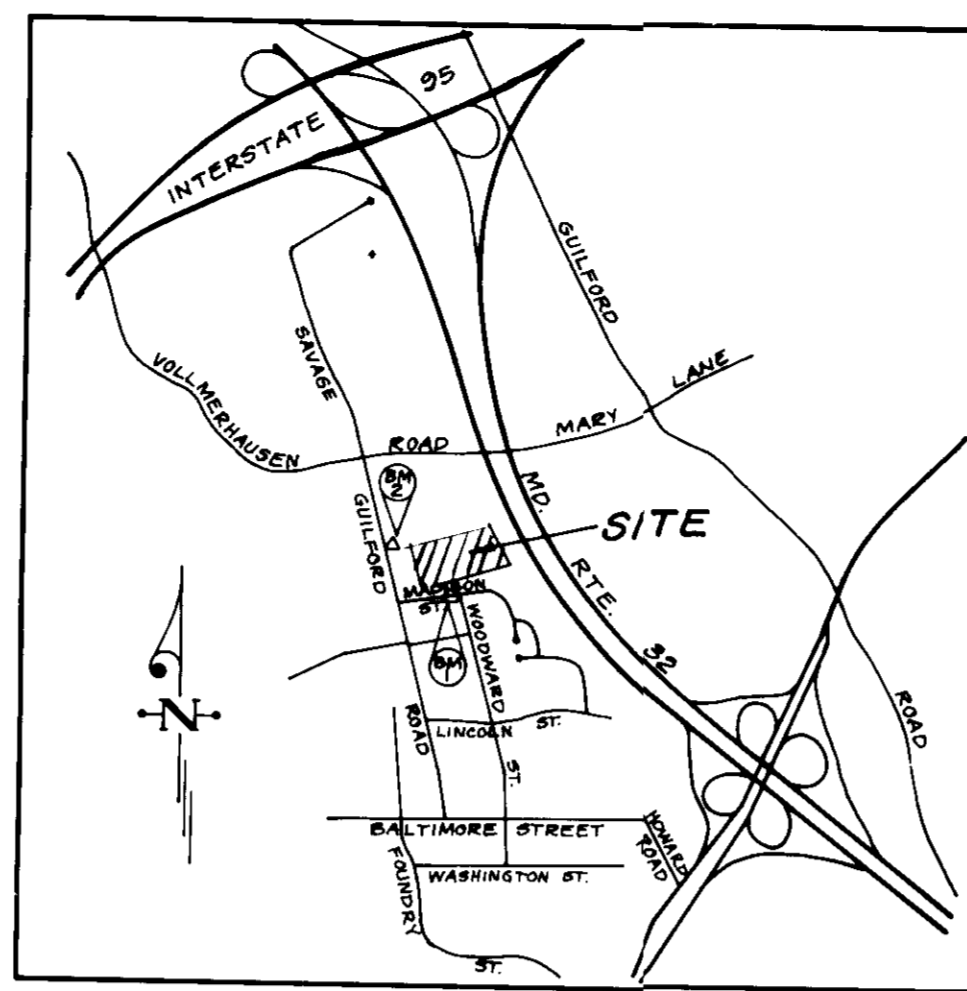


### ADDRESS CHART

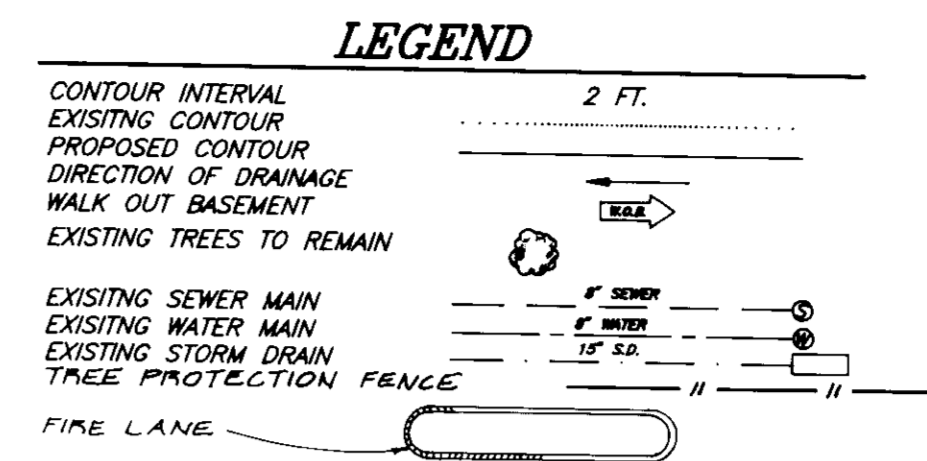
LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS
1	8146 WOODWARD STREET	32	8117 WOODWARD STREET
2	8144 WOODWARD STREET	33	8119 WOODWARD STREET
3	8142 WOODWARD STREET	34	8121 WOODWARD STREET
4	8140 WOODWARD STREET	35	8123 WOODWARD STREET
5	8138 WOODWARD STREET	36	8125 WOODWARD STREET
6	8136 WOODWARD STREET	37	8127 WOODWARD STREET
7	8134 WOODWARD STREET	38	8129 WOODWARD STREET
8	8132 WOODWARD STREET	39	8131 WOODWARD STREET
9	8130 WOODWARD STREET	40	8133 WOODWARD STREET
10	8128 WOODWARD STREET	41	8135 WOODWARD STREET
11	8126 WOODWARD STREET	42	8137 WOODWARD STREET
12	8124 WOODWARD STREET	43	8139 WOODWARD STREET
13	8122 WOODWARD STREET	44	8141 WOODWARD STREET
14	8120 WOODWARD STREET	45	8110 ELLEN WAY
15	8118 WOODWARD STREET	46	8112 ELLEN WAY
16	8116 WOODWARD STREET	47	8114 ELLEN WAY
17	8114 WOODWARD STREET	48	8116 ELLEN WAY
18	8112 WOODWARD STREET	49	8118 ELLEN WAY
19	8110 WOODWARD STREET	50	8120 ELLEN WAY
20	8108 WOODWARD STREET	51	8122 ELLEN WAY
21	8106 WOODWARD STREET	52	8119 ELLEN WAY
22	8104 WOODWARD STREET	53	8117 ELLEN WAY
23	8102 WOODWARD STREET	54	8115 ELLEN WAY
24	8101 WOODWARD STREET	55	8113 ELLEN WAY
25	8103 WOODWARD STREET	56	8111 ELLEN WAY
26	8105 WOODWARD STREET	57	8109 ELLEN WAY
27	8107 WOODWARD STREET	58	8107 ELLEN WAY
28	8109 WOODWARD STREET	59	8105 ELLEN WAY
29	8111 WOODWARD STREET	60	8103 ELLEN WAY
30	8113 WOODWARD STREET	61	8101 ELLEN WAY
31	8115 WOODWARD STREET		



**VICINITY MAP**  
SCALE: 1" = 200'

**BENCHMARK NO. 1**  
Concrete Monument at lot corner and Woodward Street  
N.477,661.780, E.849,914.444  
ELEV. = 275.09

**BENCHMARK NO. 2**  
Howard County Control Sta. 2042003  
Concrete Monument below surface.  
N.477,861.746, E.849,210.276  
ELEV. = 291.82



**GENERAL NOTES:**

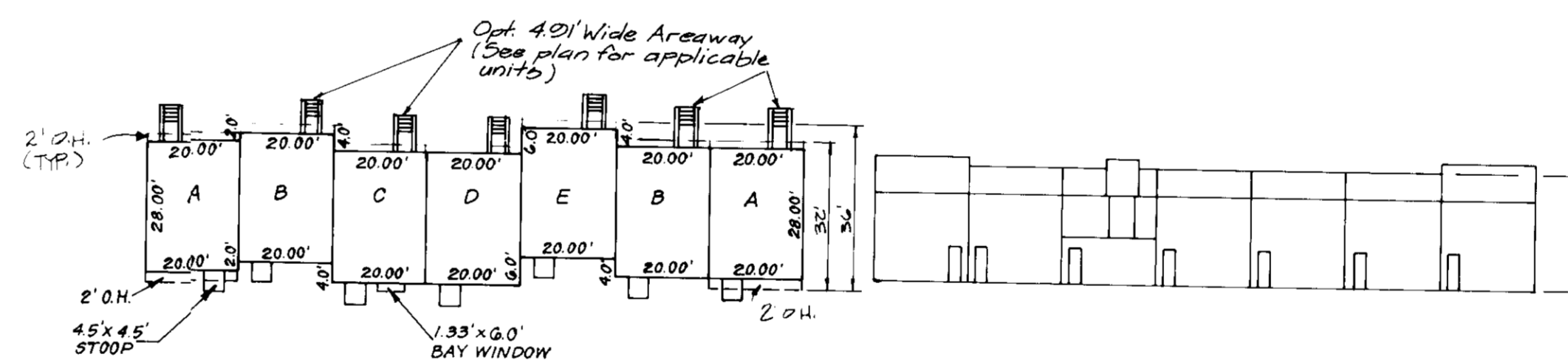
- The contractor shall notify the Department of Public Works/Bureau of Construction Inspection at (410) 313-1810 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The existing topography shown was taken from plans prepared by Boender Assoc. dated Oct., 1991.
- The coordinates shown hereon are based upon the NAD'27 Maryland Coordinate System as projected by Howard County Geodetic Control Stations No.: 2042003.
- Storm water management is provided per:
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Utilities shown as existing are taken from approved water and sewer plan Contract # 24-3238-D, approved road construction plans F-93-39, and actual field survey.
- Department of Planning and Zoning reference file numbers are: S-92-01, WP-92-05, WP-92-146, WP-92-66, F-93-39, P.B. Case 275
- Woodward Street is a public road and Ellen Way is a private drive.
- Subject property is zoned: R-SC per B-2-B5 Comprehensive Zoning Plan.
- The total area included in this submission is: 2.32 Ac.
- The total number of lots included in this submission are: 61
- The maximum lot coverage is: 60%
- Improvement to property: Townhouses
- No clearing, grading, or construction is permitted within the wetland or stream buffers, except as approved by the Dept. of Planning and Zoning.
- See Waiver Petitions: WP-92-05, Section 16.120, waiving the Preliminary Plan process; WP-92-146, Section 16.137(A)(3)(c) waiving road improvements and WP-92-66, Section 16.115(B)(5) waiving 200' maximum length of private drive.
- Limit of Wetlands, 100 Year Floodplain, 75' Stream Setback and 65' Decadal Line were taken from approved Road Construction Plans, F-93-39
- Private maintenance within in County right-of-way shall include routine maintenance such as litter removal, re-striping, etc. The county shall be responsible for pavement resurfacing and structural (66 curb, drain) repair.

**SPECIAL NOTES:**

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.O.P. are not to be used for construction. For construction, see approved Road Construction Plans F-93-39 and/or approved Water and Sewer Plans Contract #C-24-3238-D.

### SEWER HOUSE CONNECTION ELEVATION LOT CHART

LOT NO.	ELEV.	LOT NO.	ELEV.	LOT NO.	ELEV.	LOT NO.	ELEV.	LOT NO.	ELEV.
1	355.3	14	348.7	27	327.4	40	323.6	53	326.7
2	355.1	15	347.2	28	326.2	41	324.1	54	326.8
3	355.0	16	345.8	29	324.9	42	343.5	55	326.9
4	354.9	17	341.8	30	323.5	43	343.4	56	332.9
5	354.8	18	340.0	31	322.6	44	342.7	57	334.6
6	353.9	19	338.7	32	321.8	45	342.2	58	336.1
7	353.7	20	337.5	33	321.3	46	341.7	59	337.8
8	353.5	21	336.2	34	320.7	47	331.7	60	339.3
9	353.1	22	335.0	35	320.1	48	331.1	61	340.6
10	352.0	23	333.6	36	321.7	49	329.0		
11	350.9	24	331.8	37	322.3	50	326.2		
12	350.2	25	330.1	38	322.5	51	325.8		
13	349.5	26	328.8	39	323.0	52	326.6		



**TYPICAL HOUSE TYPES**  
SCALE: 1" = 30'

1.50' x 2.0' = 1000 SF MIN. LOT SIZE

**SHEET INDEX**

DESCRIPTION	SHEET No.
SITE DEVELOPMENT COVER SHEET	1
SITE DEVELOPMENT PLAN	2
SEDIMENT & EROSION CONTROL PLAN	3
SEDIMENT & EROSION CONTROL DETAILS SHEET	4
LANDSCAPE PLAN	5

**SITE ANALYSIS**

- Subject property is zoned R-SC per 8/2/85 Comprehensive Zoning Plan.
- Unit type proposed: Single Family attached
- Number of Units allowed: 61
- Number of Units provided: 61
- Number of Parking Spaces Required: 122 (2 per Unit)
- Number of Parking Spaces Provided: 132
- Area Tabulation:
  - a) Total Lot Area: 2.3 Ac.
  - b) Public Road Area: 1.02 Ac.
- Building coverage permitted: 60%
- Building coverage proposed: 34%

SUBMISSION NAME SHIPLEY MEADOWS	SECTION/AREA	LOTS/PARCELS LOTS 1 - 61
PLAT NO. 11007-11001	BLOCK NO. 5	ZONE R-SC
TAX MAP NO. 47	ELECTION DIST. 6TH	CENSUS TRACT 606002
WATER CODE C-01	SEWER CODE 4280000	

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.**  
HOWARD COUNTY HEALTH DEPARTMENT  
DATE: 11-10-93

**APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING**  
DATE: 11/14/94

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE.**  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
DATE: 11/10/93

10-14-93



**OWNER / DEVELOPER:**  
VOLLMERHAUSEN - SECT. III, INC.  
PO BOX 39  
COLUMBIA, MARYLAND 21045  
1-301-535-3700

PLATS UNRECORDED DATE CHECKED BY  
RECORDED

**CLARK • FINEFLOCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS

DESIGNED: MJP  
DRAWN: LAI  
CHECKED: MJP  
DATE: 7/1/93

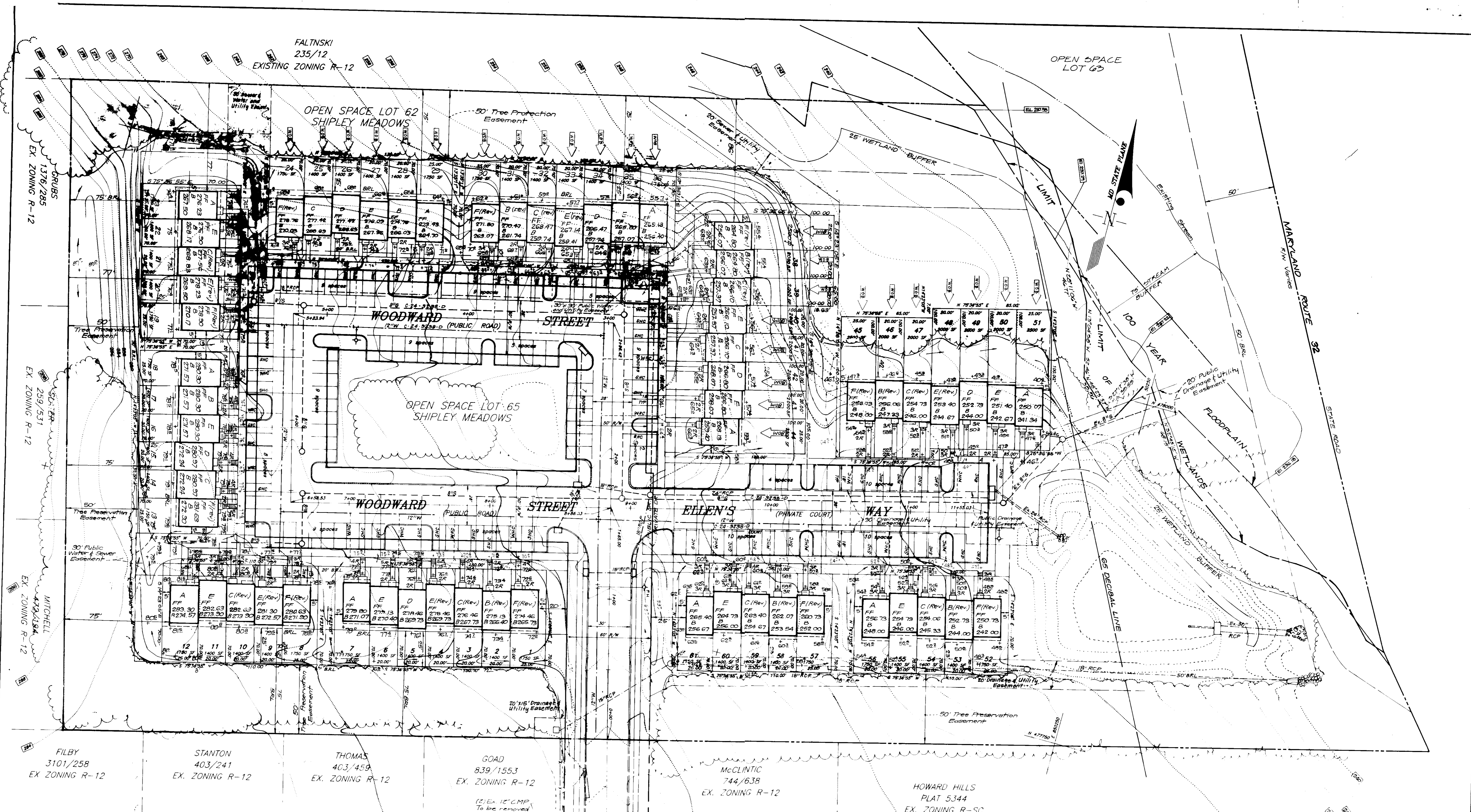
**SITE DEVELOPMENT PLAN**  
**LOTS 1 THRU 61**  
**SHIPLEY MEADOWS**

6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

FOR: THE RYLAND GROUP  
7130 MINSTREL WAY SUITE 215  
COLUMBIA, MD 21044

SCALE: As Shown  
DRAWING: 1 of 5  
JOB NO.: 92-022  
FILE NO.: 92-022X

**SDP-94-01**



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER *[Signature]* DATE 1-16-93

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 DIRECTOR *[Signature]* DATE 11/14/94

APPROVED: DIVISION OF LAND DEVELOPMENT AND RESEARCH  
 CHIEF *[Signature]* DATE 1/13/94

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR *[Signature]* DATE 11/10/93

CHIEF BUREAU OF ENGINEERING M.K. DATE 11/10/93

10-14-93

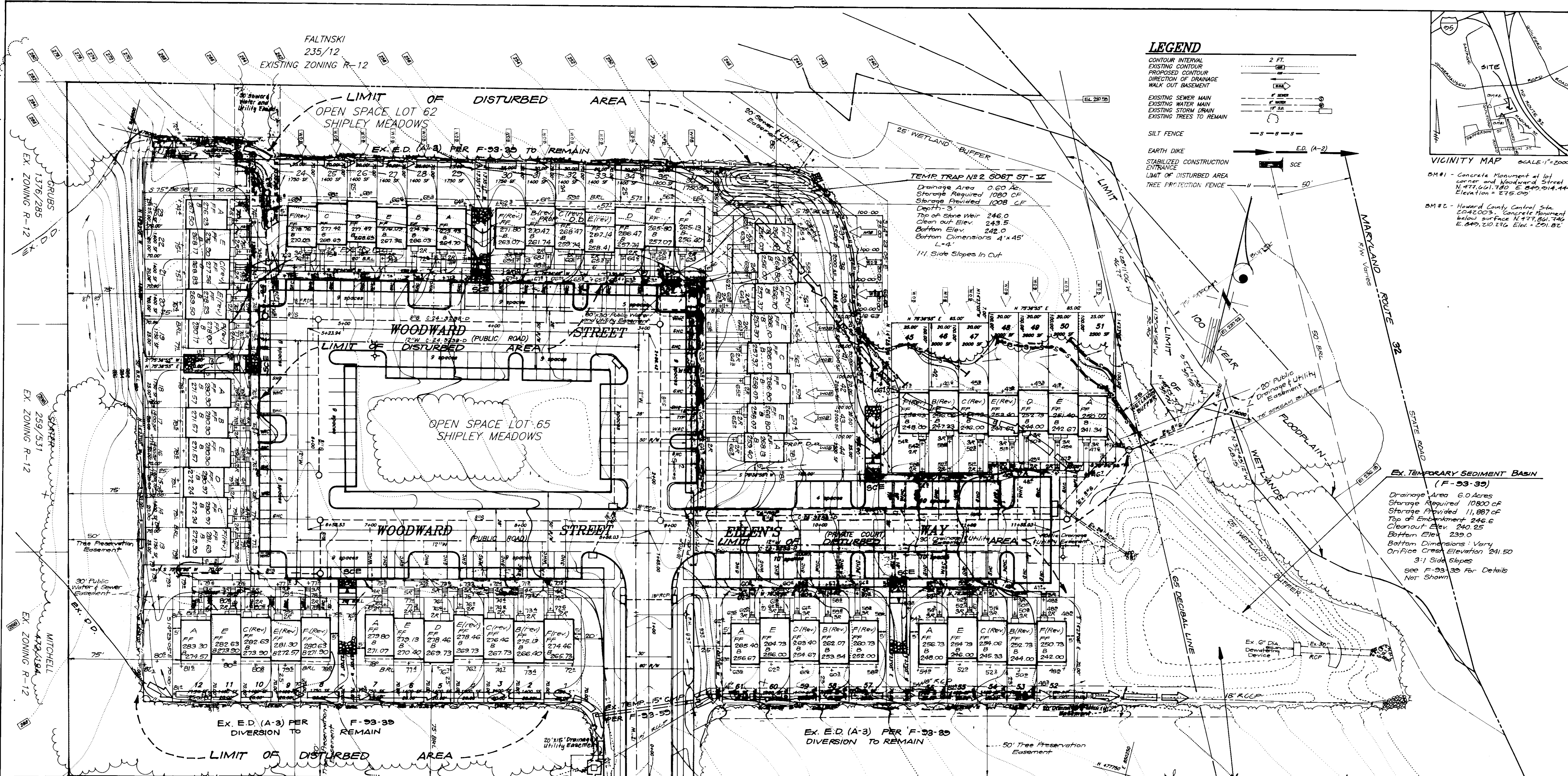
1 Rev. hse. f. ord. lots 19-23  
 REVISIONS 2-2-95  
 Date



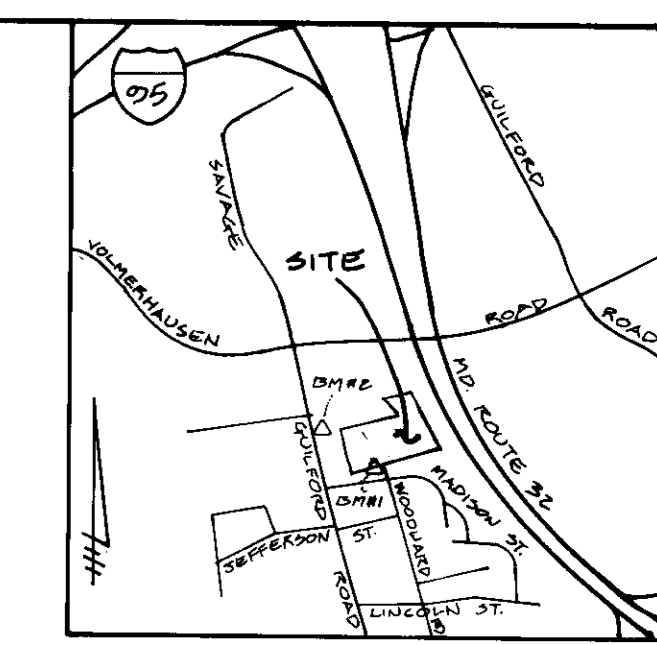
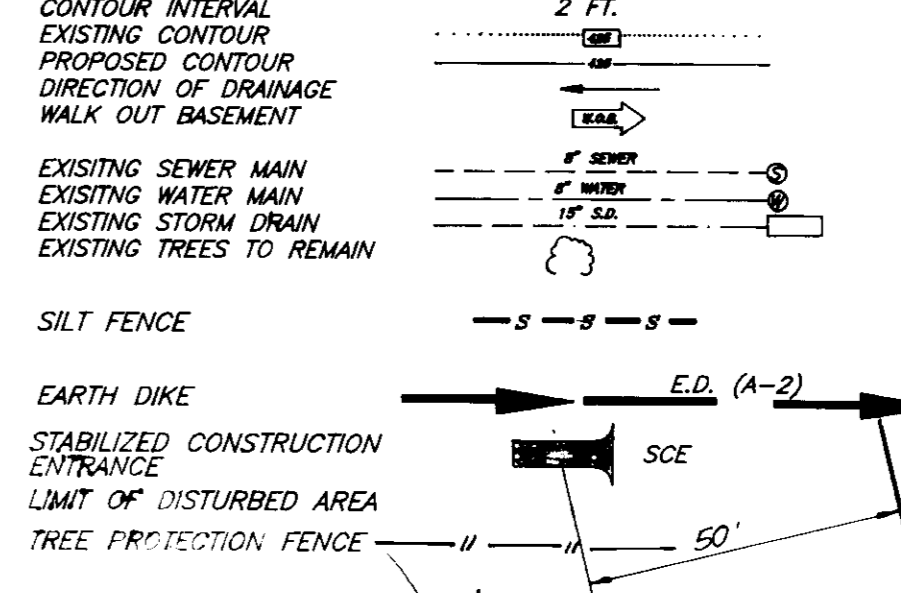
OWNER/DEVELOPER  
 VOLLMEYERHAUSEN - SECT. III, INC.  
 P.O. BOX 30  
 COLUMBIA, MARYLAND 21045  
 1-301-536-3700

<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS <small>7337 MINSTERIE WAY • COLUMBIA, MD 21045 • (410) 871-7400 • FAX (410) 871-8800 • WASH.</small>		SCALE 1" = 30' DRAWING 2 OF 5 CHECKED MJP DATE June 1993	<b>SITE DEVELOPMENT PLAN</b> LOTS 1 THRU 61 <b>SHIPLEY MEADOWS</b> 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND <small>FOR THE RYLAND GROUP          7130 MINSTREL WAY SUITE 215          COLUMBIA, MD 21045</small>	JOB NO 92-022 FILE NO 92-022-X
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SDP-94-07



**LEGEND**



**TEMP. TRAP NO. 2 608T ST-11**  
 Drainage Area 0.60 Acres  
 Storage Required 1080 CF  
 Storage Provided 1008 CF  
 Depth - 3'  
 Top of Stone Weir 246.0  
 Clean out Elev. 243.5  
 Bottom Elev. 242.0  
 Bottom Dimensions 4'x45'  
 1:1 Side Slopes In Cut

**EX. TEMPORARY SEDIMENT BASIN (F-93-39)**  
 Drainage Area 6.0 Acres  
 Storage Required 10800 CF  
 Storage Provided 11,887 CF  
 Top of Embankment 246.6  
 Clearout Elev. 240.25  
 Bottom Elev. 239.0  
 Bottom Dimensions Vary  
 Orifice Crest Elevation 241.50  
 3:1 Side Slopes  
 See F-93-39 For Details  
 Not Shown

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 11-16-93  
 APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 DIRECTOR: *[Signature]* DATE: 11/14/93  
 CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH  
 DATE: 11/13/94  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE.  
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 11/10/93  
 CHIEF BUREAU OF ENGINEERING M.K. DATE: 11/10/93

10-14-93

Reviewed for HOWARD S.C.D.  
 and made recommendations  
*[Signature]*  
 US Soil Conservation Service  
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*[Signature]* 10/29/93  
 Approved

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 "I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."  
*[Signature]* 7-2-93  
 THE RYLAND GROUP, INC.

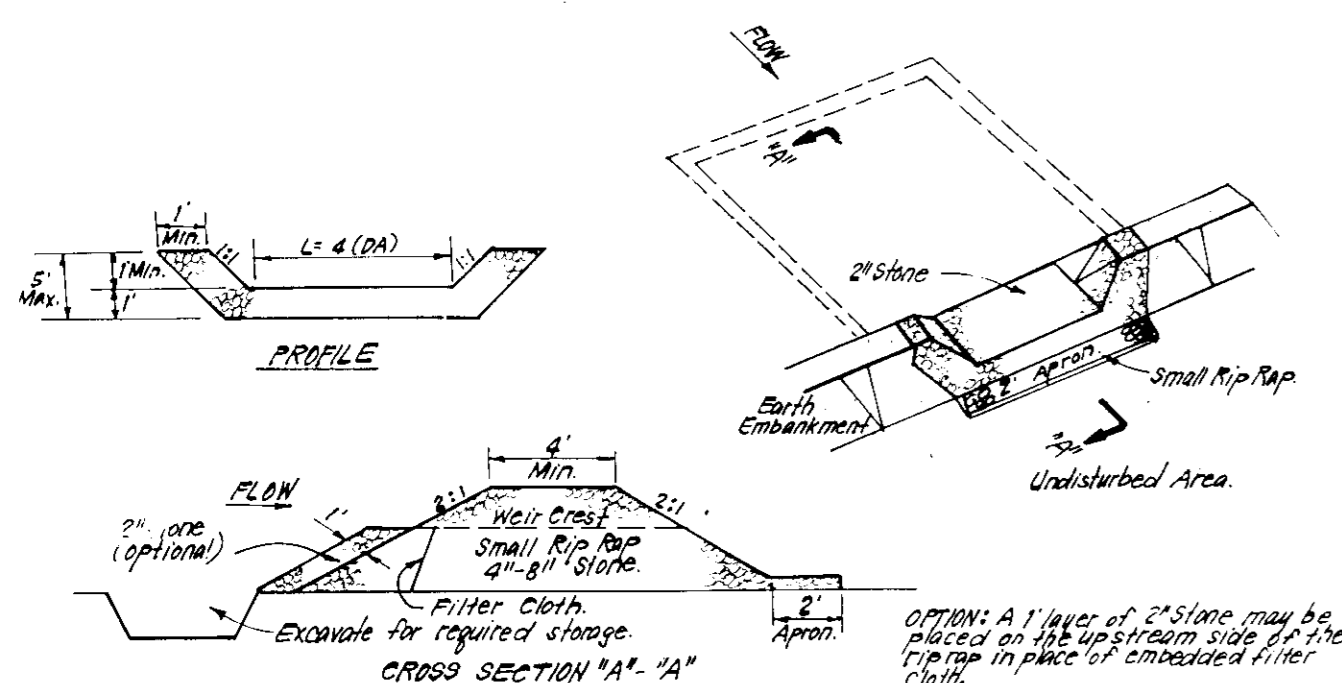
**ENGINEER'S CERTIFICATE**  
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
*[Signature]* 7-2-93

NOTE: The builder is responsible for removing sediment from sediment basin, which is attributed to house construction and lot-grading.

OWNER / DEVELOPER  
 VOLLMEHAUDEN - DECT. III, INC.  
 P.O. BOX 30  
 COLUMBIA, MARYLAND 21045  
 1-301-599-3700

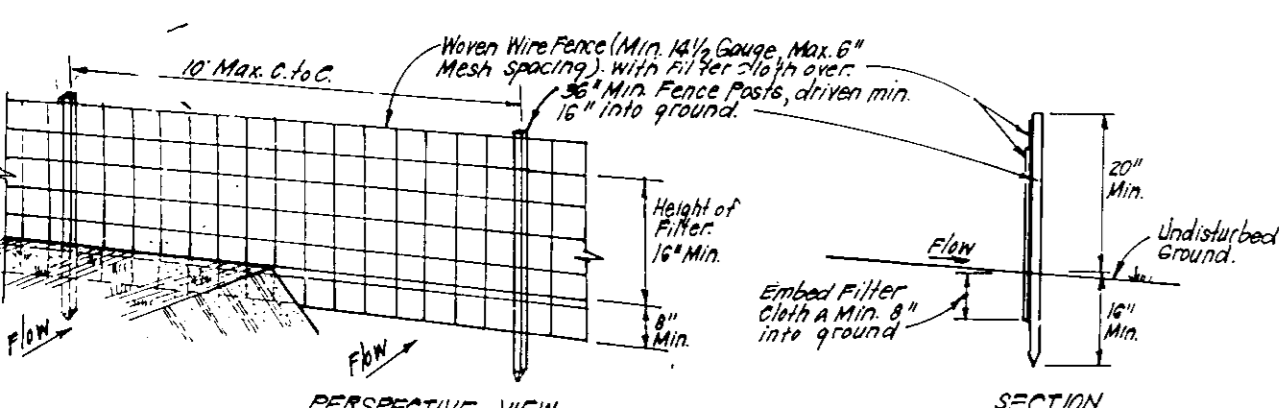
**CLARK • FINEPROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7130 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7000 • FAX: (410) 381-7001 • WASH.  
 DESIGNED: KIWM  
 DRAWN: BAL  
 CHECKED: KIWM  
 DATE: JULY 1993  
**SEDIMENT & EROSION CONTROL PLAN**  
 LOTS 1 THRU 61  
**SHIPLEY MEADOWS**  
 6TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 FOR THE RYLAND GROUP  
 7130 MINSTREL WAY, SUITE 215  
 COLUMBIA, MD 21045  
 SCALE: 1" = 30'  
 DRAWING: 3 OF 5  
 JOB NO: 92-022  
 FILE NO: 92-0225E

SDP-94-07



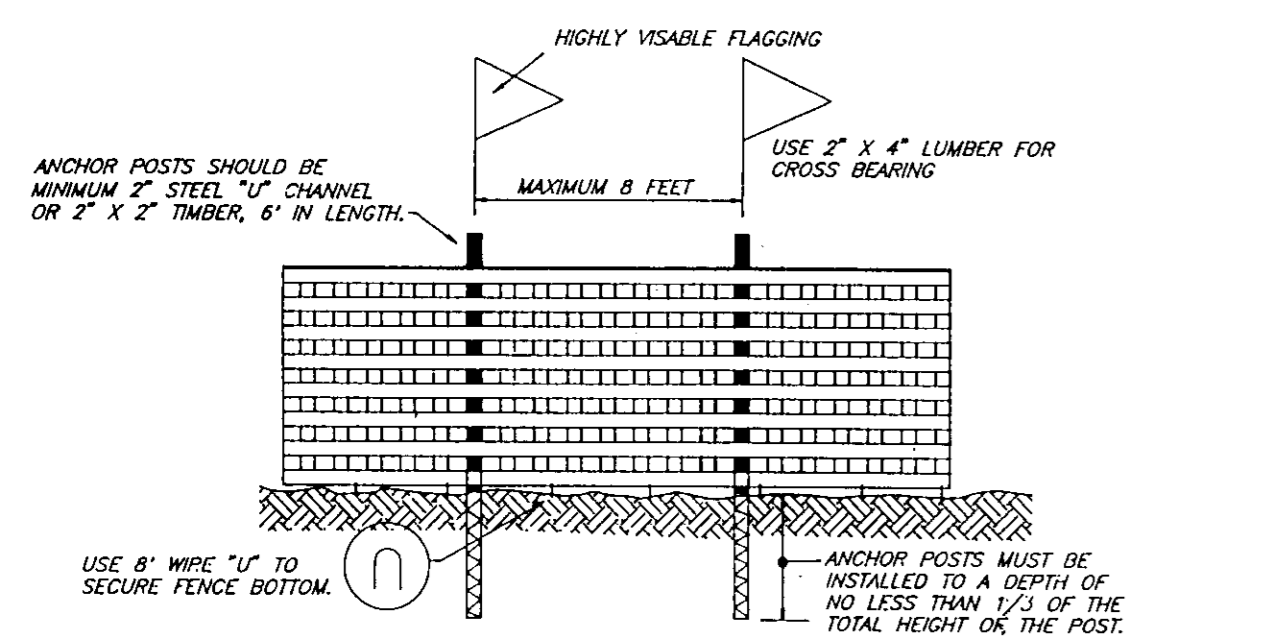
- CONSTRUCTION SPECIFICATIONS:**
1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The root area shall be clipped.
  2. The fill material for the embankment shall be free of roots and other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by tamping with equipment while it is being constructed.
  3. All cut and fill slopes shall be 3:1 or flatter.
  4. The stone used in the outlet shall be small rip rap 4-8" along with 1" thickness of 2" aggregate placed on the up-slope side on the small rip rap or embedded in the rip rap.
  5. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
  6. The structure shall be inspected after each rain and repairs made as needed.
  7. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
  8. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

**STONE OUTLET SEDIMENT TRAP (S.O.ST.) ST.V.**  
NO SCALE



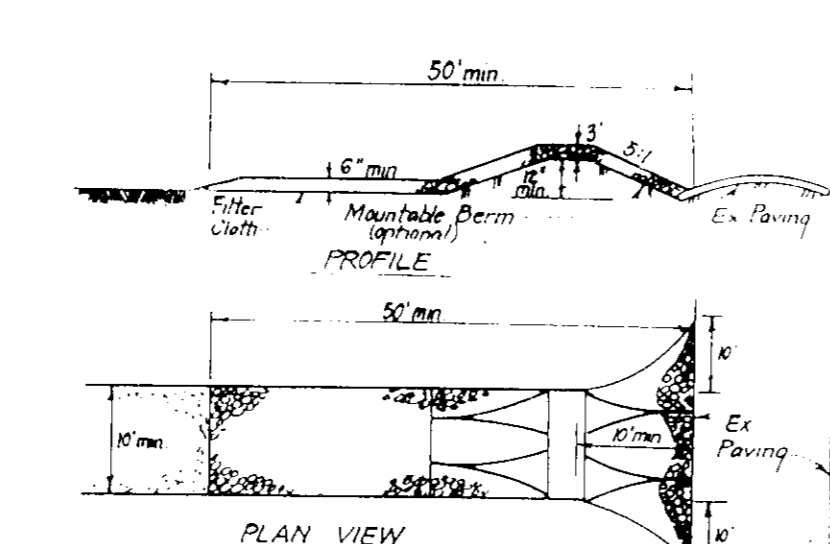
- CONSTRUCTION SPECIFICATIONS:**
1. Weave wire fence to be fastened securely to fence posts with wire ties or staples.
  2. Filter cloth to be fastened securely to weave wire fence with ties spaced every 30" at top and mid section.
  3. When 2 sections of filter cloth within each other they shall be overlapped by 6" and stapled.
  4. Maintenance shall be performed as needed and material removed when depth develops on silt fence.

**SILT FENCE DETAIL (S)**  
NO SCALE



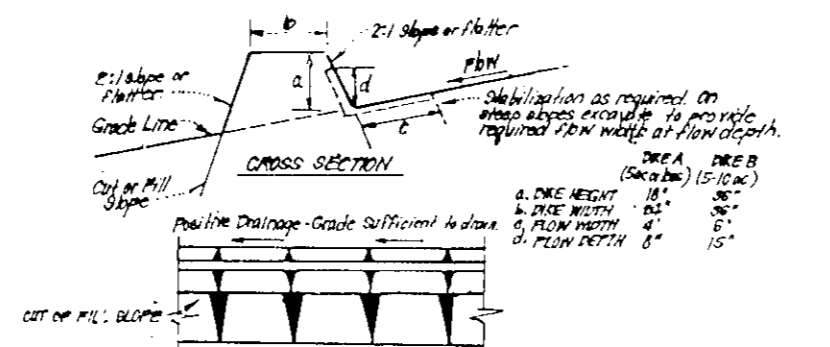
**TYPICAL TREE PROTECTION FENCE DETAIL**  
NO SCALE

- NOTES:**
1. Forest protection device only.
  2. Retention area will be set as part of the review process.
  3. Boundaries of retention area should be staked and flagged prior to installing device.
  4. Root damage should be avoided.
  5. Protection signage may also be used.
  6. Device should be maintained throughout construction.



- CONSTRUCTION SPECIFICATIONS:**
1. Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent.
  2. Length - As required, but not less than 50 feet, except on a single residence lot where a 30 foot minimum length would apply.
  3. Thickness - Not less than six (6) inches.
  4. Width - Ten (10) feet minimum, but not less than the full width of points where ingress or egress occurs.
  5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
  6. Surface Water - All surface water flowing or diverted toward construction entrance shall be used across the entrance. If trapping is impractical, a mountable berm with 5:1 slopes will be permitted.
  7. Maintenance - The entrance shall be maintained in a condition, which will prevent tracking or blowing of sediment onto public rights-of-way. This may require periodic top dressing, with additional stone as construction drainage and repair and/or cleanup of any impurities used to trap sediment. All sediment collected, dropped, washed, or tracked onto public rights-of-way must be removed immediately.
  8. Working - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
  9. Periodic inspection and needed maintenance shall be provided after each rain.

**STABILIZED CONSTRUCTION ENTRANCE (SCE)**  
NO SCALE



- CONSTRUCTION SPECIFICATIONS:**
1. All dikes shall be constructed by earth moving equipment.
  2. All dikes shall have a minimum height of 2 feet.
  3. The width may be wider and side slopes may be flatter if desired to facilitate cleaning by construction drainage.
  4. Final location should be adjusted as needed to utilize a stabilized soil within 5 feet of the dike.
  5. Earth dikes shall have an outlet that discharges with minimum of erosion. Dikes shall be designed to a sediment trapping device such as a sediment trap or sediment basin where dikes are situated in the drainage area above the dike and not immediately adjacent to it.
  6. Dikes shall have a 5:1 to 10:1 slope with a minimum height of 2 feet. The dike shall be 2 feet high, or recycled concrete equivalent, in a layer of least 3" thick over the surface area with construction equipment.
  7. Rip rap to be 4" in a layer 2" deep of rip rap placed into soil.
  8. Approved equivalent can be substituted for any of the above materials.
  9. Periodic inspection and needed maintenance must be provided after each rain.

**EARTH DIKE DETAIL (E.D.)**  
NO SCALE

**PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

- SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:
- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.)
  - 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil.

**SEEDING:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs./1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs./1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

**MAINTENANCE:** Inspect all seeded areas and make needed repairs, replacements and reseedings.

**TEMPORARY SEEDING NOTES**

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq ft).

**SEEDING:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs./1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT GOVERNED.

**SEDIMENT AND EROSION CONTROL NOTES**

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (S13-1855).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. **SITE ANALYSIS:**

Total Area of Site:	2.78 AC.
Area Disturbed:	3.02 AC.
Area to be roofed or paved:	0.02 AC.
Area to be vegetatively stabilized:	2.30 AC.
Total Cut:	
Offsite Waste/Borrow Area Location:	
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. All pipes to be blocked at the end of each day (see detail in this sheet).
12. The total amount of silt fence = 4200 L.F.

It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

**CONSTRUCTION SEQUENCE:**

NO.	DESCRIPTION	NO. OF DAYS
1	Obtain grading permit	7
2	Install tree protection fence. (if required)	7
3	Install sediment and erosion control devices and stabilize.	14
4	Excavate for foundations, rough grade and temporarily stabilize.	30
5	Construct structures, sidewalks and driveways.	90
6	Final grade and stabilize in accordance with Stds. and Specs.	14
7	Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

\* Delay construction of houses on lots 45-51 until permission to remove existing earth dikes has been obtained.

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.**  
HOWARD COUNTY HEALTH DEPARTMENT

*[Signature]* 11-16-93  
COUNTY HEALTH OFFICER DATE

**APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING**

*[Signature]* 11/14/94  
DIRECTOR DATE

*[Signature]* 11/19/94  
CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE.**  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*[Signature]* 11/16/93  
DIRECTOR DATE

*[Signature]* 11/16/93  
CHIEF BUREAU OF ENGINEERING M.C.E. DATE

10-14-93

Reviewed for HOWARD S.C.D. Name  
and meets Technical Requirements  
*[Signature]*  
Signature  
US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 10/27/93  
Approved

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

*[Signature]* 7-2-93  
THE RYLAND GROUP, INC. DATE

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*[Signature]* 7-2-93  
DATE

**OWNER/DEVELOPER**  
VOLLMEHAUDEN - SECT. III, INC.  
P.O. BOX 90  
COLUMBIA, MARYLAND 21045  
1-301-537-3700

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTREL WAY • COLUMBIA MD 21045 • (410) 381-7500 - BALTO • (301) 621-8100 - WASH

**DESIGNED MUP** **SEDIMENT and EROSION CONTROL DETAIL SHEET** **SCALE 1"=30'**

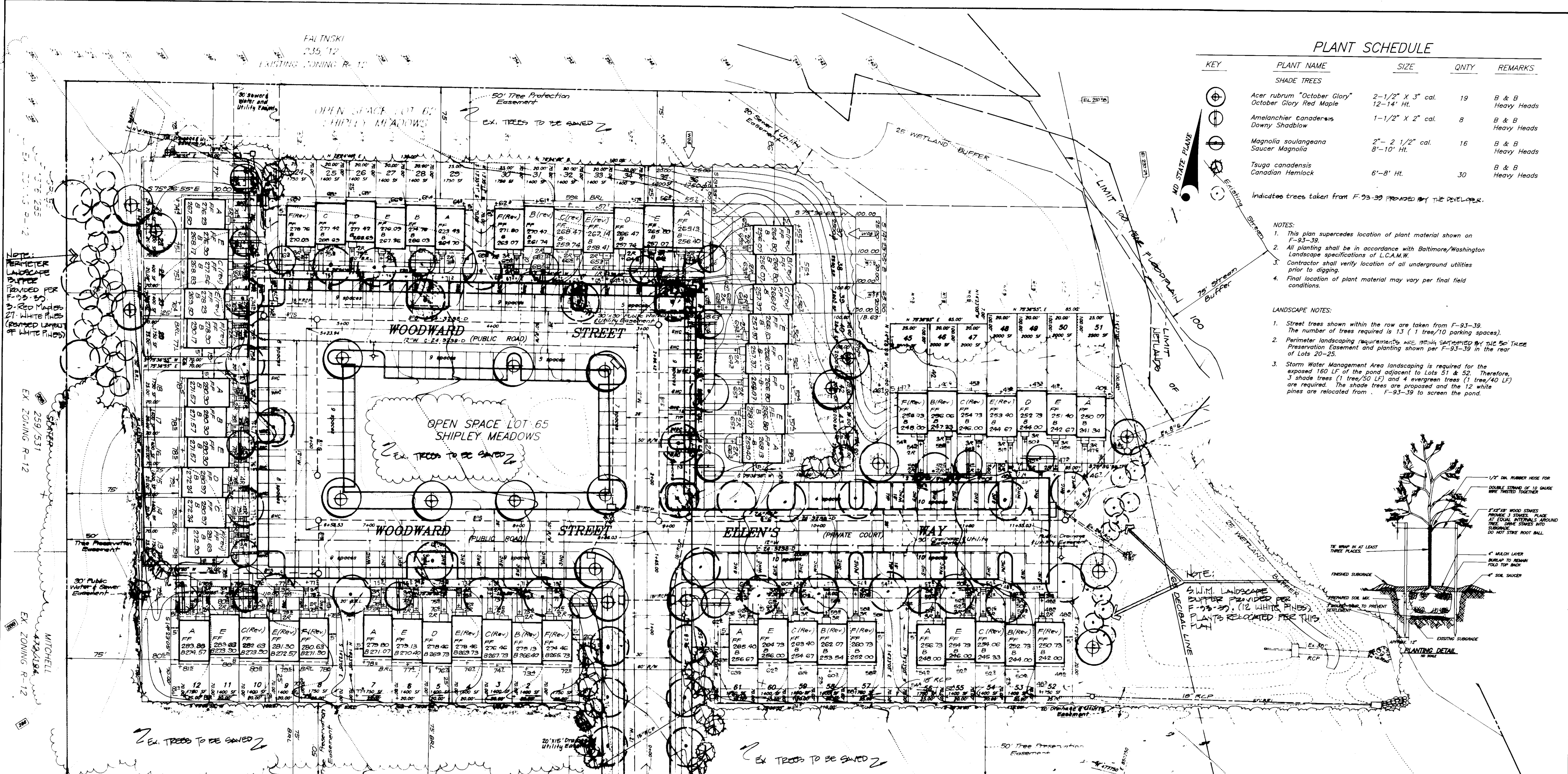
**DRAWN BAL** **LOTS 1 THRU 61** **DRAWING 4 OF 5**

**CHECKED MJP** **SHIPLEY MEADOWS** **JOB NO. 92-022**

**DATE** **6TH ELECTION DISTRICT** **FILE NO.**

**JUNE 1993** **HOWARD COUNTY, MARYLAND** **7130 MINSTREL WAY SUITE 215 COLUMBIA, MD. 21045** **92-022-X**

**SDP-94-07**



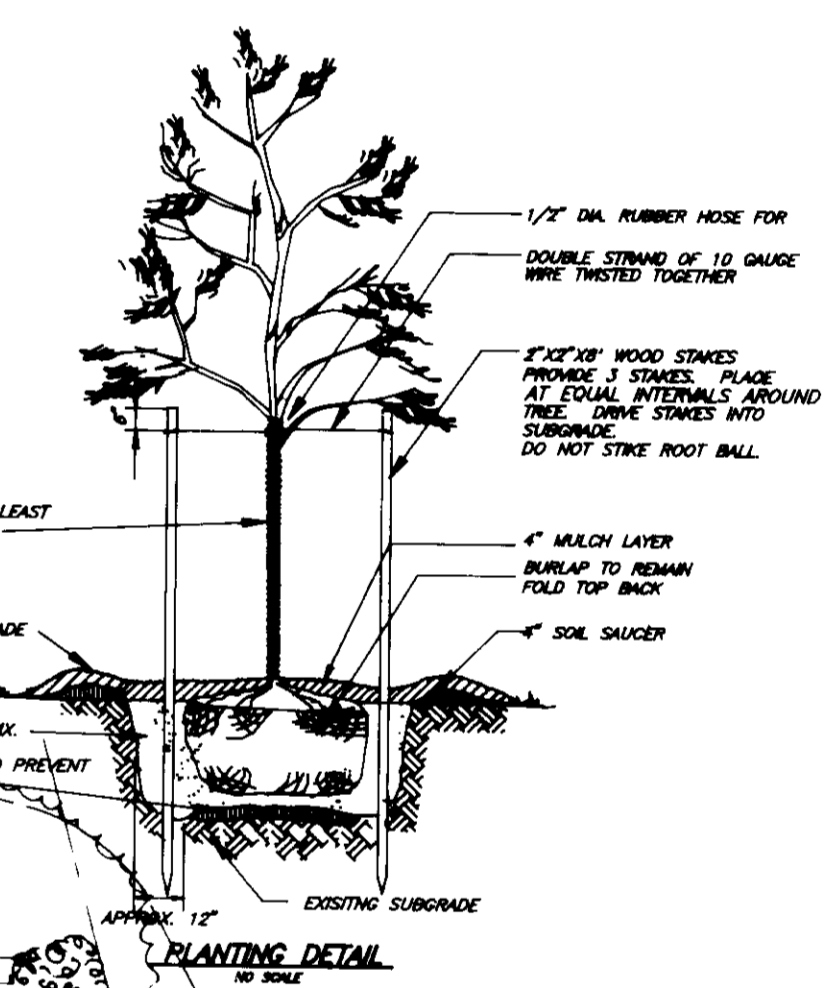
**PLANT SCHEDULE**

KEY	PLANT NAME	SIZE	QNTY	REMARKS
<b>SHADE TREES</b>				
⊕	Acer rubrum "October Glory"	2-1/2" X 3" cal.	19	B & B Heavy Heads
⊕	October Glory Red Maple	12-14' Ht.		
⊕	Amelanchier canadensis	1-1/2" X 2" cal.	8	B & B Heavy Heads
⊕	Downy Shadblow			
⊕	Magnolia soulangeana	2" - 2 1/2" cal.	16	B & B Heavy Heads
⊕	Saucer Magnolia	8'-10' Ht.		
⊕	Tsuga canadensis	6'-8' Ht.	30	B & B Heavy Heads
⊕	Canadian Hemlock			

Indicates trees taken from F-93-39 PROVIDED BY THE DEVELOPER.

- NOTES:
- This plan supersedes location of plant material shown on F-93-39.
  - All planting shall be in accordance with Baltimore/Washington Landscape specifications of L.C.A.M.W.
  - Contractor shall verify location of all underground utilities prior to digging.
  - Final location of plant material may vary per final field conditions.

- LANDSCAPE NOTES:
- Street trees shown within the row are taken from F-93-39. The number of trees required is 13 (1 tree/10 parking spaces).
  - Perimeter landscaping requirements are as shown, separated by the 50' Tree Preservation Easement and planting shown per F-93-39 in the rear of Lots 20-25.
  - Storm Water Management Area landscaping is required for the exposed 160 LF of the pond adjacent to Lots 51 & 52. Therefore, 3 shade trees (1 tree/50 LF) and 4 evergreen trees (1 tree/40 LF) are required. The shade trees are proposed and the 12 white pines are relocated from F-93-39 to screen the pond.



NOTE: S.W.M. LANDSCAPE BUFFER PROVIDED PER F-93-39. (12 WHITE PINES) PLANTS RELOCATED PER THIS PLAN.

FILBY 310/258 EX ZONING R-12  
 STANTON 403/241 EX ZONING R-12  
 THOMAS 403/459 EX ZONING R-12  
 GOAL 839/1553 EX ZONING R-12  
 McCLINTIC 744/638 EX ZONING R-12  
 HOWARD HILLS PLAT 5344 EX ZONING R-12

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: [Signature] DATE: 11-16-93

APPROVED HOWARD COUNTY DEPT OF PLANNING & ZONING  
 DIRECTOR: [Signature] DATE: 11/14/94  
 CHIEF DIVISION OF DEVELOPMENT AND RESEARCH: [Signature] DATE: 11/13/94

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: [Signature] DATE: 11/16/93  
 CHIEF BUREAU OF ENGINEERING M.K.K.: [Signature] DATE: 11/16/93

10-14-93

OWNER/DEVELOPER  
 Younghans & Smith  
 P.O. Box 57  
 Columbia MD 21045  
 410-522-3700



**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA MD 21045 • (410) 271-2000 • BALTO • (410) 411-1100 • WASH

DESIGNED	MJP	LANDSCAPE PLANTING PLAN	SCALE	1" = 30'
DRAWN	MJP	LOTS 1 THRU 61	DRAWING	5015
CHECKED	MJP	<b>SHIPLEY MEADOWS</b>	JOB NO.	92-022
DATE	11-2-93	6TH ELECTION DISTRICT	FILE NO.	92-022 LS
		HOWARD COUNTY, MARYLAND		
		FOR THE HYLAND GROUP		
		7130 MINSTREL WAY SUITE 215		
		COLUMBIA, MD 21045		