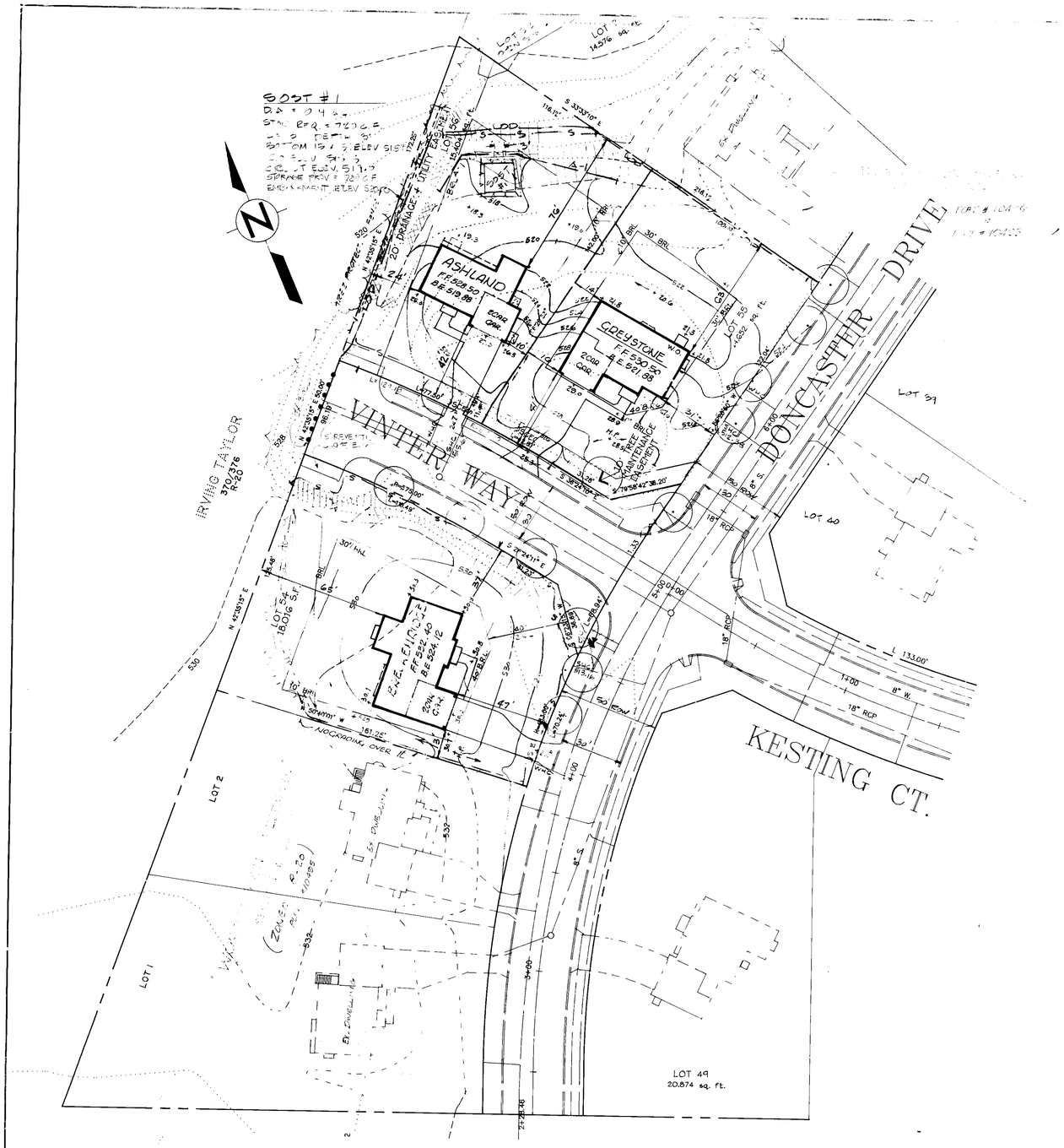
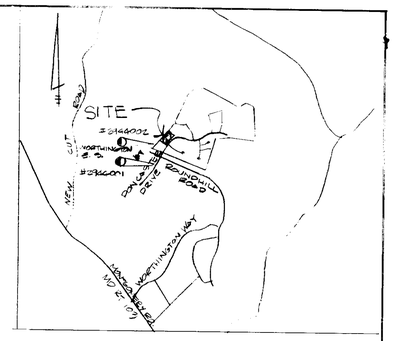


LEGEND

EX. CURB + GUTTER
EX. CONCRETE WALK
EX. PROPERTY LINE
EX. CONTOUR ....520....
PROP. SPOT GRADE +529.2
PROP. CONTOUR 520
LIMIT OF DISTURBANCE — LOD —
PROP. SWALE
SILT FENCE —S—
STABILIZED CONSTRUCTION ENTRANCE)SCE(
PERIMETER DIKE/SWALE
STREET TREE
TREES TO REMAIN
STEEP SLOPES (15-25%)
STEEP SLOPES >25%
TREE PROTECTION --TP--



VICINITY MAP
1" = 200'

ADDRESS CHART	
LOT #	STREET ADDRESS
54	4386 DONCASTER DRIVE
55	4503 VINTER WAY
56	4504 VINTER WAY

Sequence of Operations

1. Obtain a grading permit (1 day)
2. Clear and grub for sediment and erosion control measures only (1 day)*
3. Install all sediment and erosion control measures. Install tree protection fences. (1 day)
4. Clear and Grub Remainder of Site. (2 days)
5. Excavate foundations and rough grade site excluding lots. (4 weeks)
6. Install Utilities. (2 weeks)
7. Stabilize paving areas with aggregate. (1 week)
8. Construct houses. (3 months)
9. Fine grade, topsoil and seed all disturbed areas. (6 months, concurrent with steps 5-8)
10. After turf is established and upon approval of the sediment control inspector, remove temporary sediment control measures and clean up site.

* Refurbish sediment basins #1 and #2 to their original dimensions per F-92-50 and install dewatering devices. Basin #2 riser crest to remain at elevation 482.3 until all upland areas are permanently stabilized.

General Notes

1. The land included is zoned R-20
2. Coordinates shown are extensions made from the Maryland State Plane Coordinate System. Bearings refer to the true north and are based on Howard County Geodetic Survey Point No. 2944001 and No. 2944002
3. The area covered in this submission is located on Tax Map 31
4. The Total Area on this Plan is 48,072 sq. ft. 1.10 ac.)
5. All roads are Public and Existing.
6. Any Damage to County Owned right-of-ways shall be corrected at the developer's expense.
7. Total Number of Lots in this submission is 3.
8. Street Trees will be provided in accordance with Section 16.124 of the Howard County Subdivision Regulations by the Developer. per F-92-50
9. The Contractor shall notify the Department of Public Works, Bureau of Construction Inspection at (410) 313-1880 at least five (5) working days prior to the start of work.
10. The Contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work.
11. Topographic information shown on this plan was taken from the grading and sediment control plans for F-92-50. Plans were prepared by Riemer Muegge & Associates, Inc. dated Jan. 21, 1992. The original topo was taken from a field run survey dated December 1988 by Dewberry and Davis and ammended by TSA Group, Inc., May 1993. The contour interval shown is two feet.
12. All elevations shown are based on the USC&GS mean sea level datum, 1929.
13. Benchmarks: #1 - Ho. Co. Control Pt. 2944002, Elev. 535.27, N-514,196.36, E-858,596.39 ; #2 - San. Sewer Manhole Rim in Roundhill Road, Elev. 509.53, N-513,618.7, E-859,325.9
14. Storm water management facilities are extended detention facilities and were approved under F-92-50. (Basin # 1 & #2)
15. Existing utilities shown hereon were taken from Water and Sewer Extensions Contract # 14-3160-D and the Roadways, Storm Drain and SWM Plans for the Final Development Plan # F-92-50 and revised by TSA Group, Inc. May 1993
16. Porches or decks, open or closed, cannot project more than 10 feet into the required front or rear yard building restriction lines, per Section 128 of the Zoning Regulations.
17. All fireplace chimneys and bay windows not more than 10 feet in width may project not more than four feet into any required yard per Section 128 of the Zoning Regulations.
18. WP-91-178 was a waiver requesting to waive Section 16.120(A)(3), to extend the approved preliminary plan for six months (P-90-07) and to reactivate WP-90-20 (Waiving section 16.116(C)(6) grading adjacent to stream banks and wetlands). It was approved by letter dated June 13 1991.
19. WP-93-52 was approved on December 29, 1992 to waive Section 16.119 and 16.120 to not require submission of a sketch and preliminary plan for this re-subdivision.
20. This Site is 15% vegetated, which consists of 85% mature Tulip Poplar and 15% Cherry, Locust and Flowering Dogwood.
21. This submittal is a revision of Lots 3-6 of SDP 92-106, which were re-subdivided into Lots 54 thru 56. by F-93-30
22. The Contractor/Builder shall verify the location and depth of sewer connection prior to dwelling construction.
23. Contractor/Builder shall verify road elevations at driveways prior to construction. Driveway grades shall not exceed 14%.
24. This plan is for house location, grading and sediment control only. Lot corners shall be staked from the approved final Record Plat #10353
25. All Driveways to be built to most Howard Co DPW Standards, P6.11 & P6.13
27. WATER & SEWER CONTRACT # 14-3160-D

REVISION BLOCK

CHANGE #	LOT #	REASON FOR REVISION	DATE
1	56	MODEL CHANGE (USE)	11/2/93
2	54	"	" " 11/2/93
3	55	"	" " 3/24/94

DEVELOPERS/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONS INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MD DEPT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION CONTROL BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.

Floyd F. Grayson Jr. 6/21/93
SIGNATURE OF DEVELOPER / BUILDER DATE

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John Lillie 6/23/93
/ENGINEER DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER DATE 9-29-93

APPROVED HOWARD COUNTY DEPT. OF PLANNING & ZONING

PLANNING DIRECTOR DATE 10/4/93

Gina Fiumara 10/4/93
CHIEF, DIVISION OF LAND DEVELOPMENT & RESEARCH DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James M. Irvin 9.22.93
DIRECTOR DATE

CHIEF BUREAU OF ENGINEERING DATE 9/22/93

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John A. Robertson 9/15/93
APPROVED DATE

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

[signature] 9/15/93
SIGNATURE DATE
U.S. SOIL CONSERVATION SERVICE

LAND DESIGN ASSOCIATES
718 HIGHWOOD DRIVE
BALTIMORE, MD 21212
TEL. 410-323-6344

SUBDIVISION NAME WORTHINGTON RESERVES			SECT./AREA SECTION 1	LOTS 54 thru 56	
PLAT # or L/F 10353	BLOCK #	ZONE R-20	TAX/ZONE MAP 31	ELEC. DIST. 2ND	CENSUS TR. 6027
WATER CODE 601			SEWER CODE 1257013		

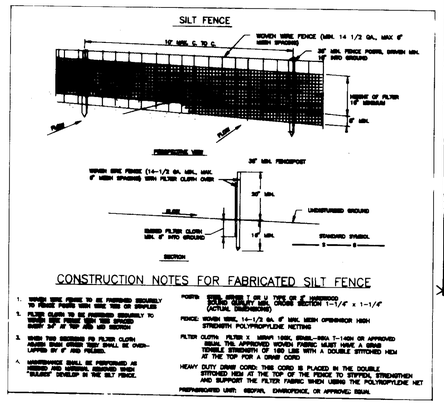
PREVIOUS SUBMITTALS

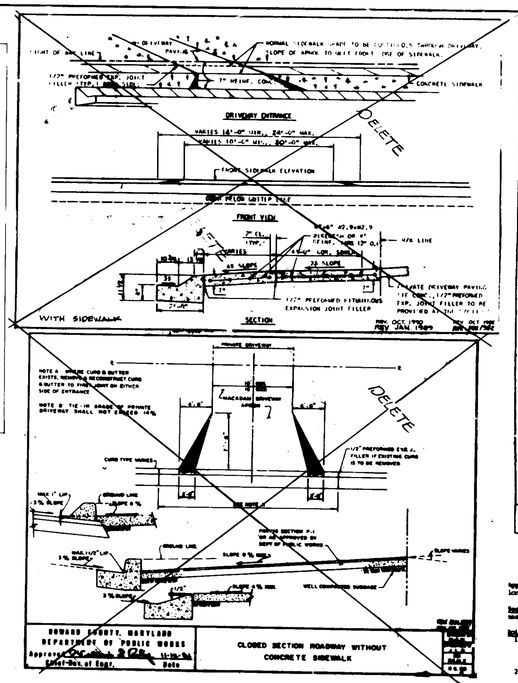
F-92-50 WP-90-20
P-90-07 WP-91-178
S-89-50 WP-93-52
F-93-30 SDP-92-106

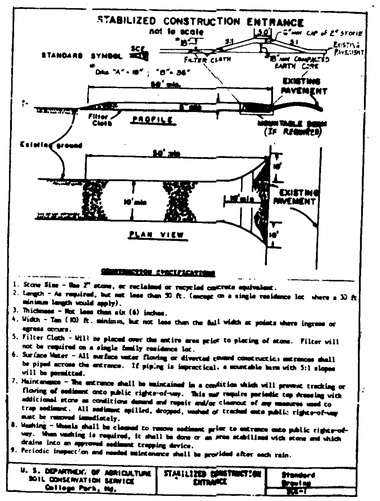
WORTHINGTON RESERVES
SECTION ONE - LOTS 54 THRU 56
2ND ELECTION DISTRICT HOWARD COUNTY, MD

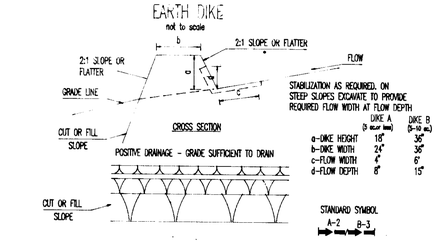
SITE DEVELOPMENT AND SEDIMENT CONTROL

FOR: GRAYSON HOMES INC. 9025 CHEVROLET DRIVE ELLICOTT CITY, MD 21043	DESIGNED: DCB DRAWN: CAD CHECKED: ELP	SCALE: 1"=30' SHEET 1 OF 2 DATE: JUNE 8, 1993









1. ALL DIKES SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
2. ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
3. TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.
4. FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
5. EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT ADEQUATELY STABILIZED.
6. STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON, (B) FLOW CHANNEL AS PER THE CHART BELOW.

FLOW CHANNEL STABILIZATION

TYPE OF TREATMENT	CHANNEL GRADE	DIKE A	DIKE B
1	.5–3.0%	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1–5.0%	SEED AND STRAW MULCH	SEED USING JUTE, OR EXCELSIOR; 500; 2" STONE
3	5.1–8.0%	SEED WITH JUTE, OR SOD; 2" STONE	LINED RIP–RAP 4–8"
4	8.1–20%	LINED RIP–RAP 4–8"	ENGINEERING DESIGN

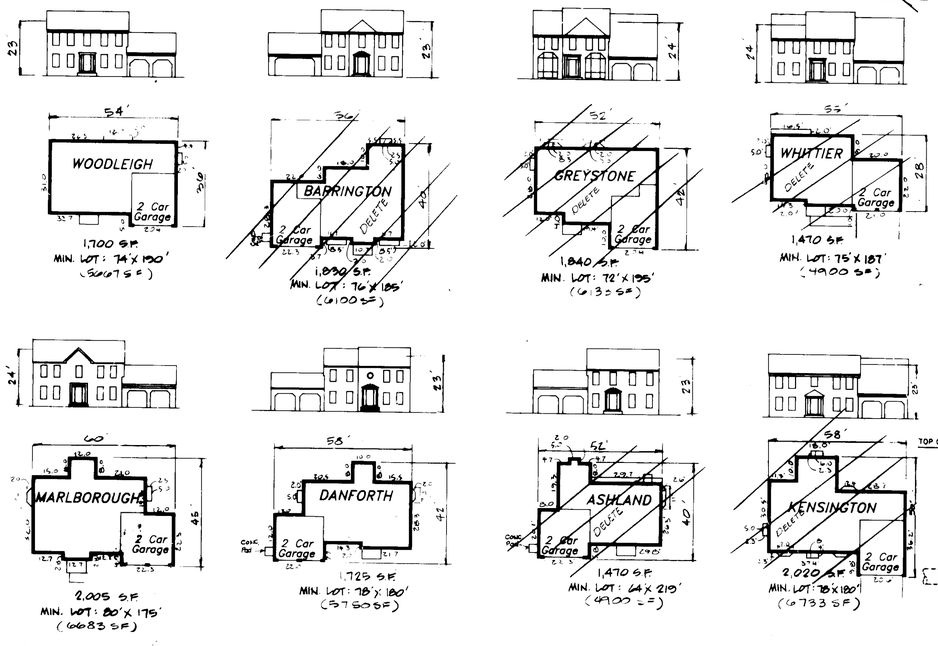
A. STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUALVALENT, IN A LAYER AT LEAST 3 INCHEX IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.
B. RIP–RAP TO BE 4–8 INCHES IN A LAYER AT LEAST 8 INCHES THICKNESS AND PRESSED INTO THE SOIL.
C. APPROVED EQUALVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.
7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

SEDIMENT CONTROL NOTES

1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction (992-2437)
2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3) Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage
5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec.51) sod (Sec.54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7) Site Analysis:

Total Area of Site	1.1 Acres
Area Disturbed	1.0 Acres
Area to be roofed or paved	0.2 Acres
Area to be vegetatively stabilized	0.8 Acres
Total Cut	200 Cu. yds.
Total Fill	1,200 Cu. yds.
Offsite waste/borrow area location	N A

8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9) Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made



NOTE: THERE WILL BE NO LIBRARIES, SOLARIUMS OR COVERED DECK OPTIONS ON THIS ORIG. SUBMISSION."

HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
1) **Preferable** — Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 urea form fertilizer (9 lbs/1000 sq. ft.)
2) **Acceptable** — Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lb per acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding — For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lb per acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) - Use sod. Option (3) - Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching — Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas in slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance — Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed preparation: — Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

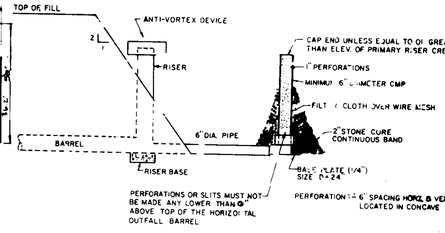
Soil Amendments: — Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).

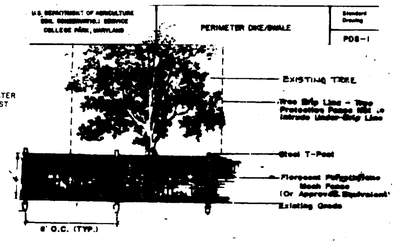
Seeding: — For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual rye (3 2 lbs/1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

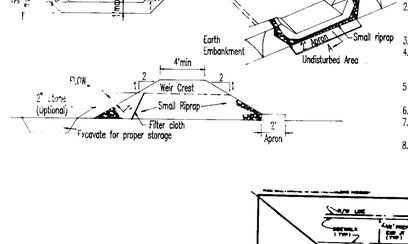
Mulching: — Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 ft. or higher, use 348 gal per acre (8 gal/1000 sq. ft.) for anchoring.

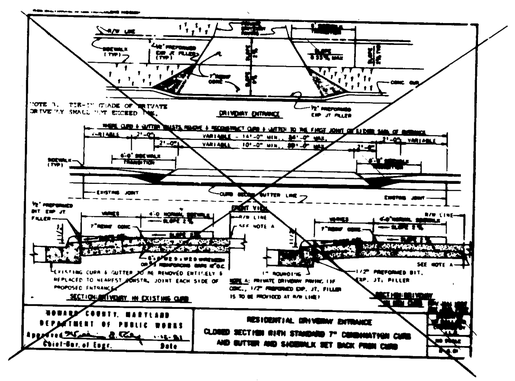
Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

REV 1/91









DEVELOPERS/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONS INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DNR DEPT. OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION CONTROL BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.

SIGNATURE OF DEVELOPER / BUILDER — DATE 6/22/93

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

BUILDER — DATE 6/21/93

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER — DATE 9-24-93

APPROVED HOWARD COUNTY DEPT. OF PLANNING & ZONING

PLANNING DIRECTOR — DATE 10/4/93

CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH — DATE 10/4/93

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR — DATE 9/22/93

CHIEF BUREAU OF ENGINEERING — DATE 9/22/93

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED — DATE 9/15/93

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

SIGNATURE — DATE 9/15/93
U.S. SOIL CONSERVATION SERVICE

LAND DESIGN ASSOCIATES
718 HIGHWOOD DRIVE
BALTIMORE, MD 21212
TEL. 410-323-6344

SUBDIVISION NAME WORTHINGTON RESERVES			SECT./AREA SECTION 1	LOTS 54-56	
PLAT # OR L/F 5225	BLOCK #	ZONE R-20	TAX/ZONE MAP 31	ELEC. DIST. 2ND	CENSUS TR. 6027
WATER CODE G01			SEWER CODE 1257013		

PREVIOUS SUBMITTALS
F-92-50 WP-90-20
P-90-07 WP-91-178
S-89-50

WORTHINGTON RESERVES
SECTION ONE
2ND ELECTION DISTRICT — LOTS 54 - 56 — HOWARD COUNTY, MD

SITE DEVELOPMENT AND SEDIMENT CONTROL

FOR: GRAYSON HOMES INC.
9025 CHEVROLET DRIVE
ELLICOTT CITY, MD 21043

DESIGNED: RW
DRAWN: CAD
CHECKED: SLP

SCALE: 1"=30'
SHEET 2 OF 2
DATE: 6-8-93

SDP 94-02