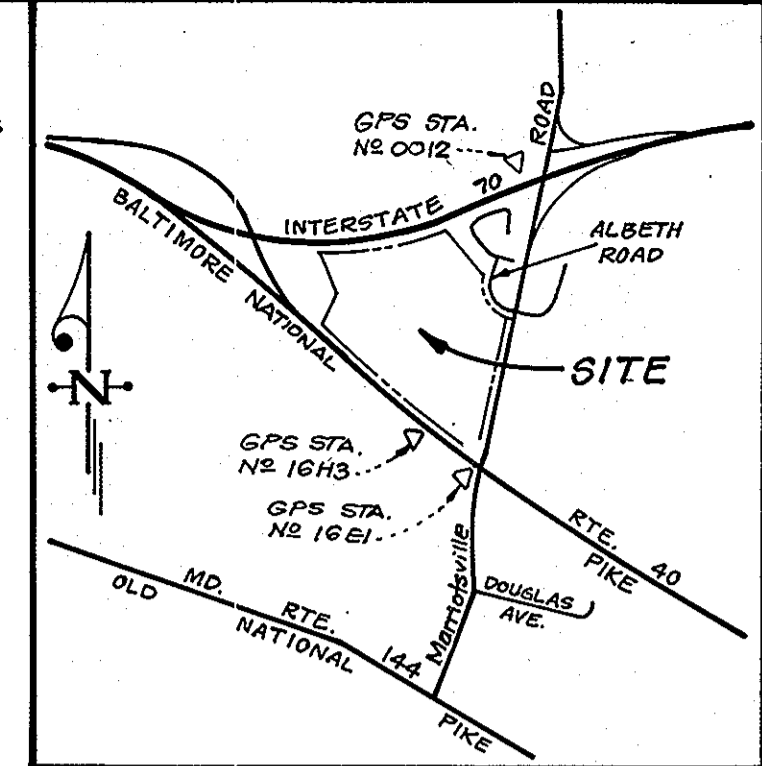


PARKING LOT INTERNAL LANDSCAPING	
NUMBER TREES PROPOSED ON SDP 88-37	76
NUMBER OF EXISTING PARKING LOT TREES	34
NUMBER OF TREES PROPOSED ON SDP 93-128	41

① - ACER RUBRUM / RED MAPLE 2 1/2" CAL. B&B  
 or PYRUS CALL. KESPIRE / KESPIRE PEAR 1 1/2" CAL. B&B  
 CHOSEN AT OWNER'S OPTION.

LEGEND	
Contour Interval	2 Ft.
Existing Contour	
Proposed Contour	
Spot Elevation	
Direction of Drainage	
Existing Trees to Remain	
Existing Parking Lot Trees	
As per SDP 88-37	
Tree Protection Fence	
Percolation Test Locations	
Existing Lights	

- PRIVATE SEWAGE NOTES**
- Maximum Sewage Flow Allocation - 4800 gpd.
  - This plan was reviewed for less than 5000 gpd use and has not been reviewed by MDE.
  - Current number of students and staff - 180  
 Maximum sewage use based on current users \* (SEE BELOW RIGHT)  
 School 180 x 16 = 2880 Gpd (Max. 300 users)  
 School w/ Cafeteria and showers - 180 x 25 = 4500 Gpd (max. 192 users)  
 School w/ Cafeteria only 180 x 20 = 3600 Gpd (240 max users)
  - If school use changes to include either showers or cafeteria, septic field should be revised to accommodate additional flow and to be reviewed by MDE if required. Provided that public water and sewer has not been extended to property.
  - No expansion of the septic system is planned or required at this time.
  - Church is planning and desires to connect public water and sewer as soon as it is available.



**VICINITY MAP**  
 SCALE: 1" = 200'

**SHEET INDEX**

- Sht. 1 - Site Development Plan
- Sht. 2 - Sediment & Erosion Control Plan
- Sht. 3 - Detail Sheet

Temporary Tar & Chip Parking Lot (To be removed or upgraded within 2-4 years)

NO.	REVISION	DATE
2	Add temp. Parking Lot for Roadway, Rev. grading	10-5-94
7	Add salarium to front of proposed building	2-7-97

**APPROVED: FOR ON-SITE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT**  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 11-16-93

**APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING**  
 DIRECTOR: *[Signature]* DATE: 11/24/93  
 CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH: *[Signature]* DATE: 11/23/93

**APPROVED: FOR ON-SITE WATER AND PRIVATE SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS**  
 DIRECTOR: *[Signature]* DATE: 11/5/93  
 CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 11/4/93

**GENERAL NOTES:**

- The existing topography shown was by field run survey by Clark, Finerock & Sackett, Inc. on 4/29/93.
- Department of Planning & Zoning reference file numbers are BA-98-08E, S.D.P. 88-37, BA-93-07E
- All roadways are existing and private.
- The coordinates shown hereon are based upon the Howard County Geographic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Numbers
- The contractor shall notify the Department of Public Works/ Bureau of Construction Inspection at (410) 313-1670 at least (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- No clearing, grading or construction is permitted within wetlands and stream buffers or forest conservation areas.
- Vehicle ingress & egress into public right-of-way is restricted except at locations approved by Howard County Dept. of Planning & Zoning.
- Private water and sewer is to be utilized when available.
- Any damage to county owned rights-of-way to be corrected at the developer's expense.
- The area included in this submission is located on Tax Map No. 16, Parcel 110.
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location of utilities by digging test pits, by hand, at all crossings prior to construction.
- The contractor or developer agrees to work with the Department of Licenses and Permits to resolve any problem with roof water discharge.
- Bench marks taken from Howard County Control Stations 16E1 & 0012.
- Wetlands, 100 Yr. Floodplain & stream shown per previously approved S.D.P. 88-37.
- Existing trees shown taken from field survey by Clark, Finerock & Sackett, Inc. dated 4/29/93.
- Storm Water Management provided in existing wet pond, previously approved under SDP-88-37 as modified by this plan. (Privately Maintained)
- Roof drains to be connected to drainage system within the existing building.
- Forest conservation note: This project is subject to a Reclamation of Interest and Single lot exemption to the Forest Conservation Program. No forest cover is being removed.
- The exterior of the proposed addition shall be constructed of the same materials as the existing building.
- Traffic Study by Darryl Hokstra, P.E. Sept. 17, 1993

**SITE ANALYSIS**

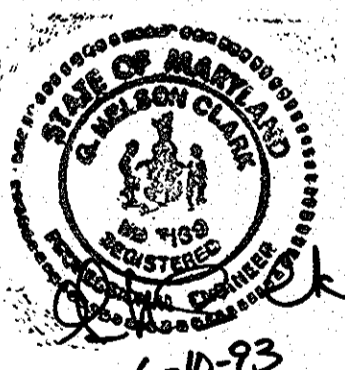
1. Area of Site	63.00 Acres or 2,744,280 SF
2. Limit of Submission Area	2.49 Acres or 108,464 SF
3. Existing Zoning	R-20 per Comp. Zoning of Eastern Howard Co. Religious Center (Church & Private School)
4. Proposed Use	
5. Floor Space Tabulation	
Existing building	± 43,318 S.F.
Proposed expansion	± 44,871 S.F.
Total	± 87,989 S.F.
6. Parking Tabulation	
a. Parking Spaces Required (as per BA 93-070)	
1 space per 20 students	50 spaces
10 spaces for visitors	10 spaces
1 space per 15 student drivers	14 spaces
1 space per 3 auditorium seats	350 spaces
Total spaces required	424 spaces
b. Parking spaces provided	519 spaces (including 14 handicap spaces and 118 Temporary spaces)
7. Area Tabulation	
a. Proposed Building Coverage	
1) Existing building	0.71 Acres
2) Proposed expansion	0.62 Acres
3) Total	1.33 Acres or 2.11% of 63 Acres
b. Paved Parking Area	5.43 Acres or 8.6% of 63 Acres
c. Green Area	56.22 Acres or 89.2% of 63 Acres
8. Lot Coverage Permitted	25%
9. Lot Coverage Provided	2.11%

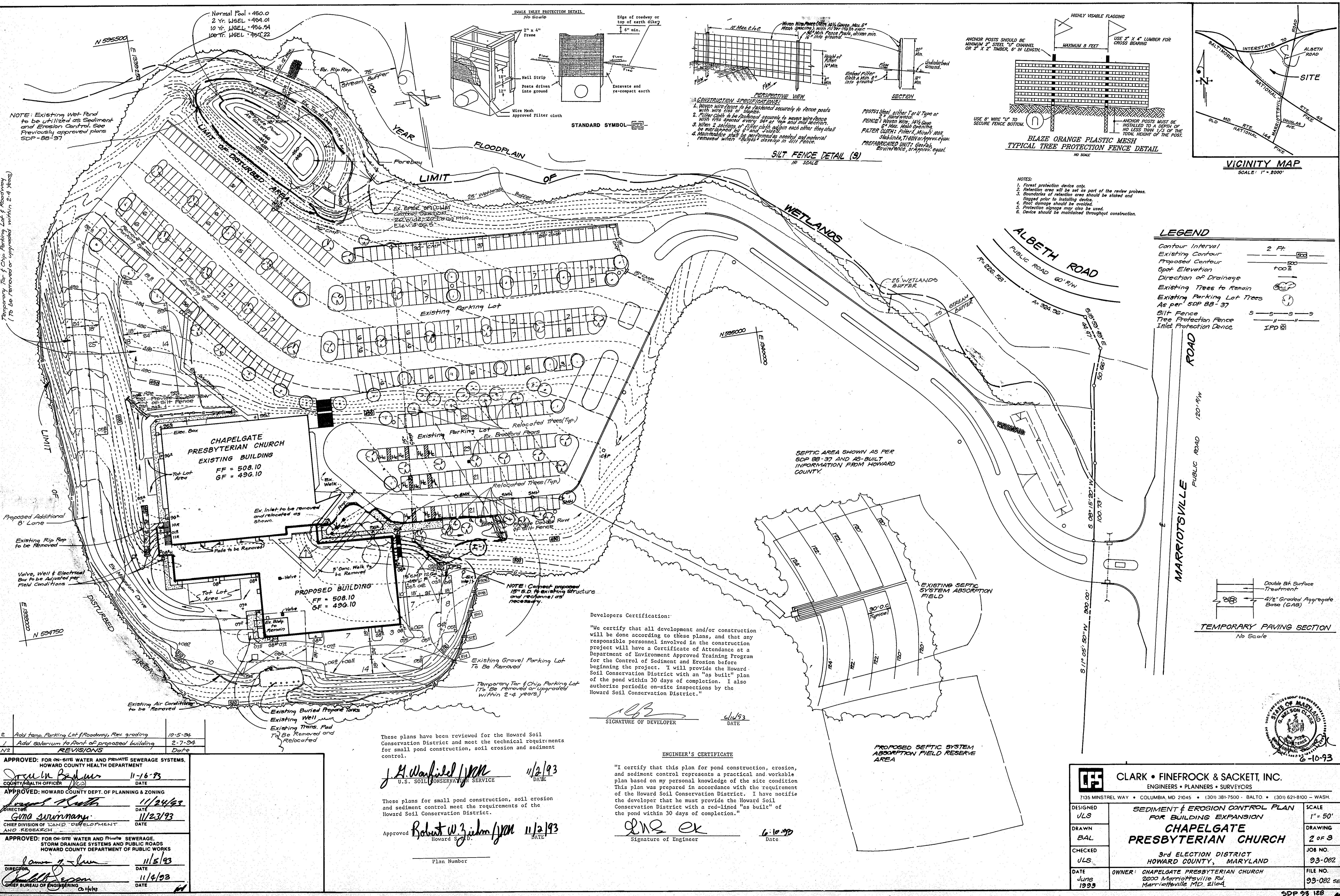
ADDRESS CHART	
Parcel No.	STREET ADDRESS
110	2600 Marriotsville Road
SUBDIVISION NAME	SECTION/AREA
CHAPEL GATE PRESBYTERIAN CHURCH	N/A
PLAT NO. OR L/F	BLOCK NO.
1133/279	9/10
WATER CODE	SEWER CODE
WELL	SEPTIC

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (301) 381-7500 - BALTO. • (301) 621-8100 - WASH.

DESIGNED	MJP	SITE DEVELOPMENT PLAN FOR BUILDING EXPANSION	SCALE	1" = 50'
DRAWN	LAI	CHAPEL GATE PRESBYTERIAN CHURCH	DRAWING	1 OF 3
CHECKED	MJP	3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO.	93-082
DATE	May, 1993	OWNER: CHAPEL GATE PRESBYTERIAN CHURCH 2600 Marriotsville Rd. Marriotsville, Md 21044	FILE NO.	93-082 X

SDP 93-128





NOTE: Existing Wet Pond to be utilized as Sediment and Erosion Control. See Previously approved plans SDP-88-37

Temporary Tar & Chip Parking Lot & Roadway (To be removed or upgraded within 2-4 Years)

2	Add Temp. Parking Lot & Roadway, Rev. grading	10-5-94
1	Add Solarium to front of proposed building	2-7-94
<b>REVISIONS</b>		
APPROVED: FOR ON-SITE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT		
<i>J. Paul Adams</i>	11-16-93	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING		
<i>David Smith</i>	11/24/93	DATE
<i>Gina Surinany</i>	11/23/93	DATE
APPROVED: FOR ON-SITE WATER AND PRIVATE SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		
<i>James J. Lee</i>	11/5/93	DATE
<i>Charles Eason</i>	11/4/93	DATE

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

*J. H. Wankel* / U.S. SOIL CONSERVATION SERVICE 11/2/93 DATE

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Approved *Robert W. Zilman* / Howard S.C.D. 11/2/93 DATE

Developers Certification:

"We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

*[Signature]* 6/10/93 DATE

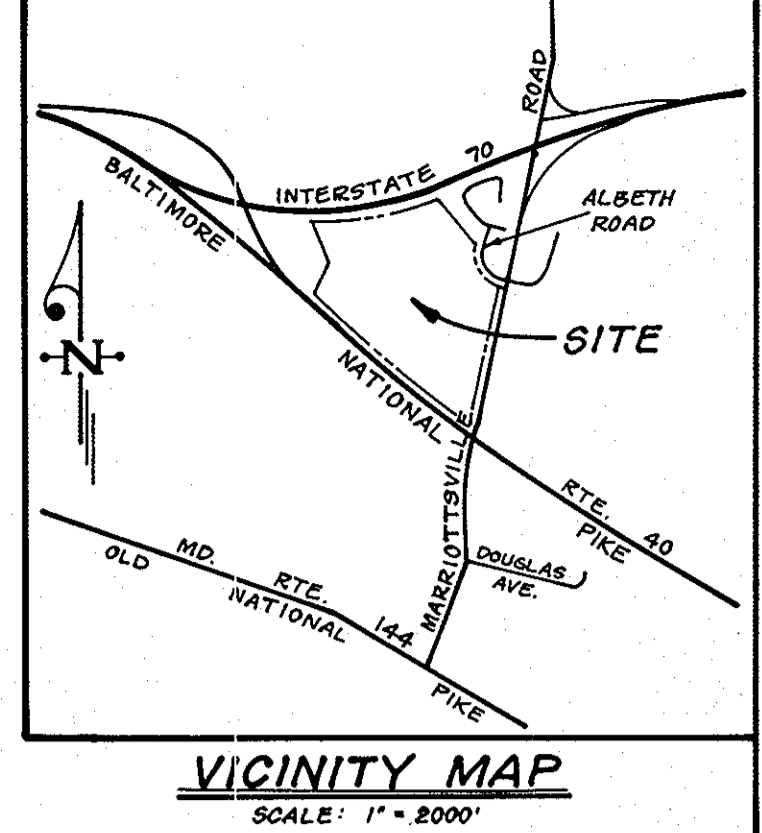
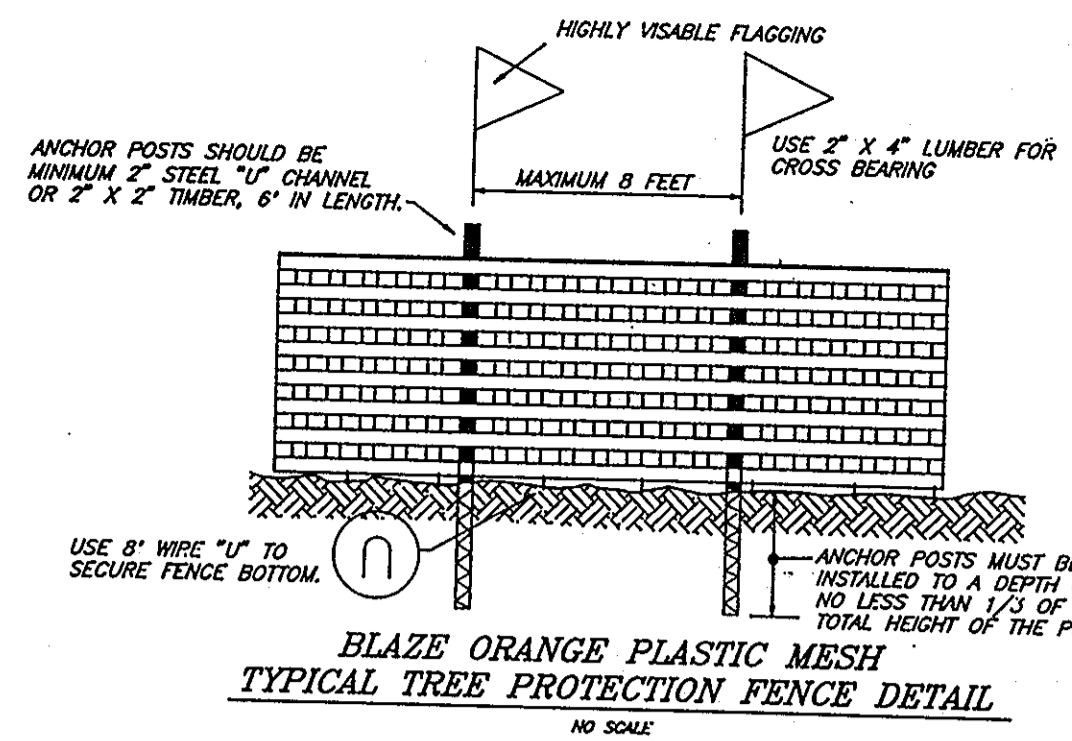
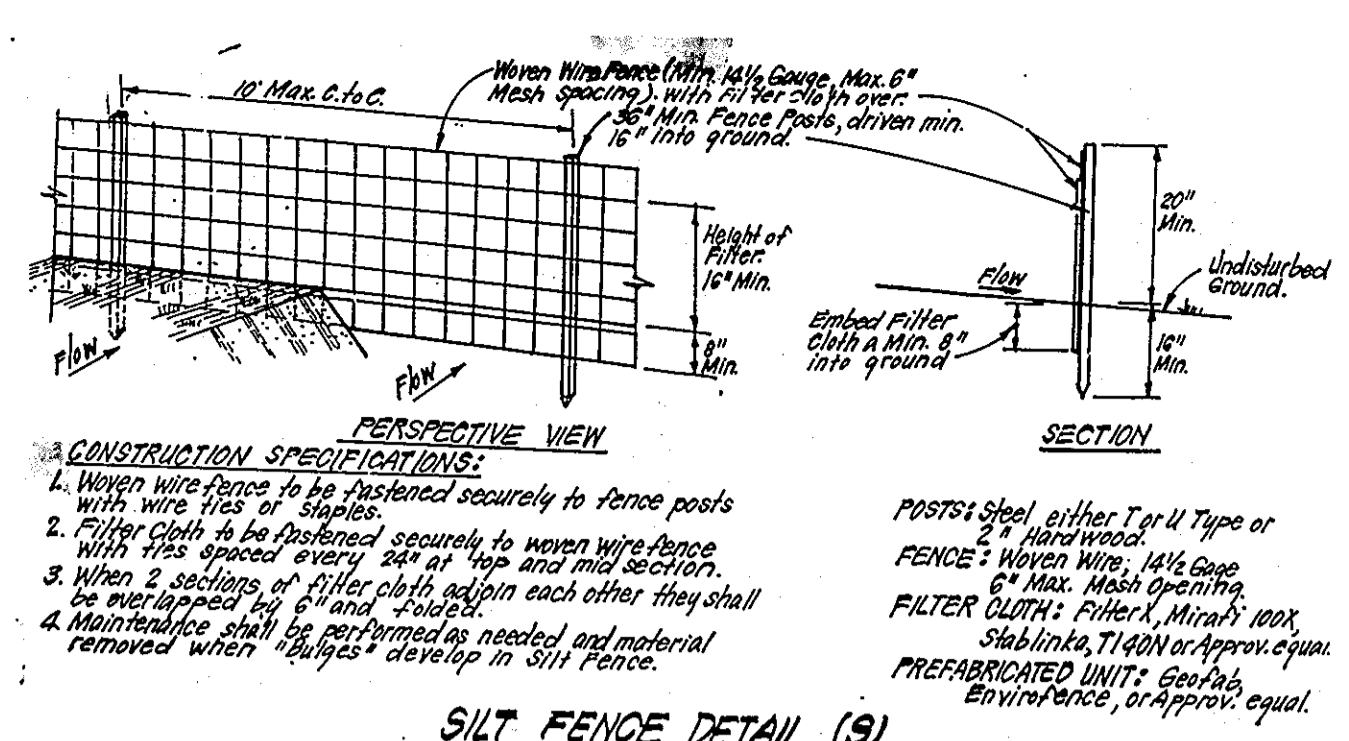
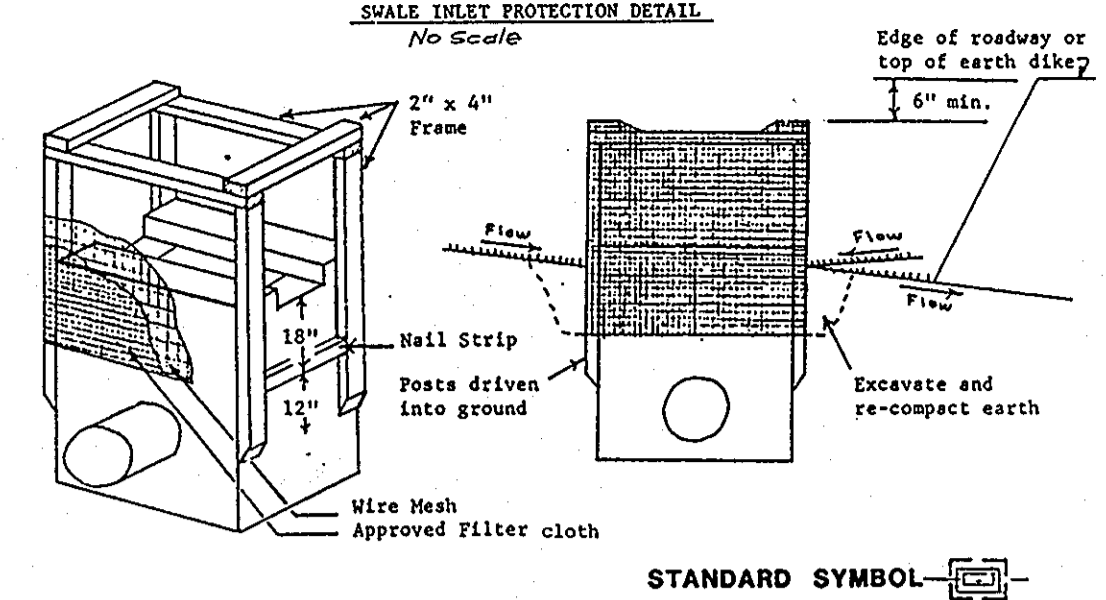
SIGNATURE OF DEVELOPER

**ENGINEER'S CERTIFICATE**

"I certify that this plan for pond construction, erosion, and sediment control represents a practical and workable plan based on my personal knowledge of the site condition. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with a red-lined "as built" plan of the pond within 30 days of completion."

*[Signature]* 6-10-93 DATE

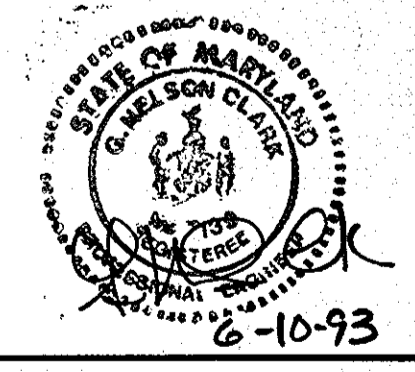
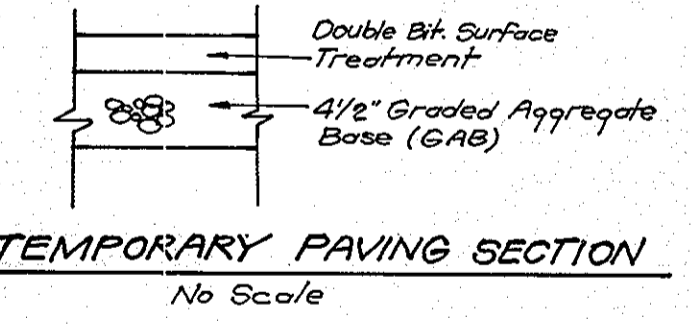
SIGNATURE OF ENGINEER



- NOTES:
- Forest protection device only.
  - Retention area will be set as part of the review process.
  - Boundaries of retention area should be staked and flagged prior to installing device.
  - Root damage should be avoided.
  - Protection signage may also be used.
  - Device should be maintained throughout construction.

**LEGEND**

Contour Interval	2 Ft.
Existing Contour	500
Proposed Contour	100
Spot Elevation	100.2
Direction of Drainage	→
Existing Trees to Remain	○
Existing Parking Lot Trees As per SDP 88-37	○
Silt Fence	—
Tree Protection Fence	—
Inlet Protection Device	IPD



<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b>		SCALE
ENGINEERS • PLANNERS • SURVEYORS		1" = 50'
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 • BALTO • (301) 621-8100 • WASH.		DRAWING
DESIGNED	JLS	2 OF 3
DRAWN	BAL	JOB NO.
CHECKED	JLS	93-082
DATE	June 1993	FILE NO.
OWNER: CHAPEL GATE PRESBYTERIAN CHURCH		93-082 SE
2600 Marriottsville Rd.		
Marriottsville, MD. 21064		

**SEDIMENT AND EROSION CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (918-1010).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:**  

Total Area of Site:	63.00 Ac.
Area Disturbed:	2.400 Ac.
Area to be roofed or paved:	1.200 Ac. #
Area to be vegetatively stabilized:	1.200 Ac.
Total Cut:	6000 cu yd.
Total Fill:	1000 cu yd.

 Off-site Waste/Borrow Area Location: #  
 8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.  
 9. Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.  
 10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.  
 11. All pipes to be blocked at the end of each day (see detail in this sheet).  
 12. The total amount of silt fence: 300 LF

\* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

# Includes Wet Pond Area

**CONSTRUCTION SEQUENCE:**

- | NO. OF DAYS:   | NO. OF DAYS: |
|--|--------------|
| A. Obtain grading permit.  | 7            |
| B. Install tree protection fence where shown.  | 7            |
| C. Install sediment and erosion control devices and stabilize.   | 7            |
| E. Excavate for building and rough grade site.   | 14           |
| F. Construct storm drainage and install IPD.   | 14           |
| F. Construct building addition.  | 90           |
| G. Fine grade and stabilize all disturbed areas on site, in accordance with standards and specs.               | 30           |
| H. Flush out Storm Drainage System draining to SWM facility  | 7            |
| * I. Cleanout and regrade SWM pond, as shown, and stabilize.   | 30           |
| J. Upon approval of the sediment control inspector remove sediment and erosion control measures and stabilize. | 30           |

\* Pond to be accessed of existing parking lot.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

J. H. Washfield / JPM 11/2/93  
 U.S. SOIL CONSERVATION SERVICE DATE

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Approved Robert W. Ziehm / JPM 11/2/93  
 Howard S. DATE

Plan Number

No.	Label and Dimension	Building Expansion	2-7-94

APPROVED: FOR ON-SITE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

APPROVED: FOR ON-SITE WATER AND PRIVATE SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED: FOR ON-SITE WATER AND PRIVATE SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

**PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

- SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
- SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:  
 1) Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq ft.)  
 2) Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil.

**SEEDING:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60lbs per acre (1.4 lbs./1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.5 lbs./1000 sq ft) of waving lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

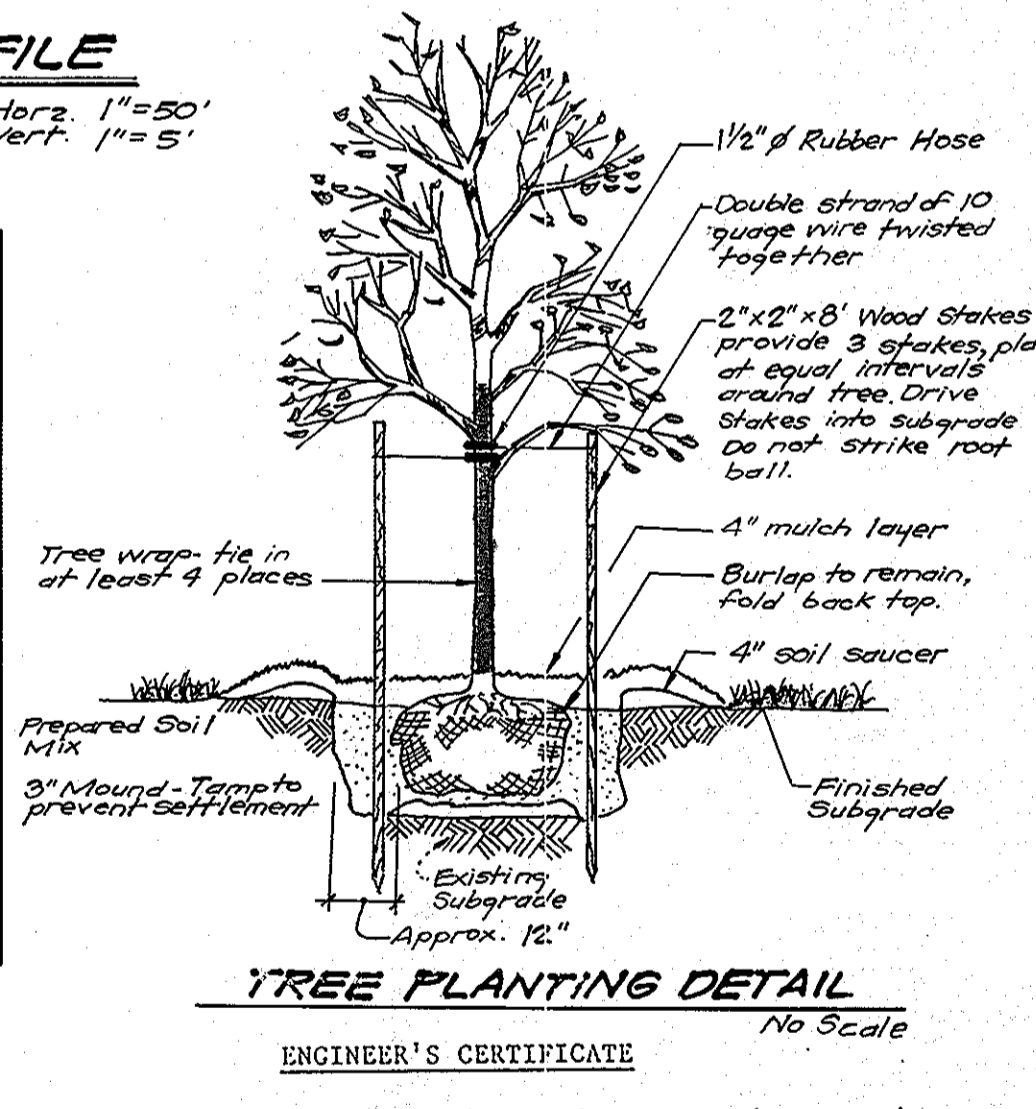
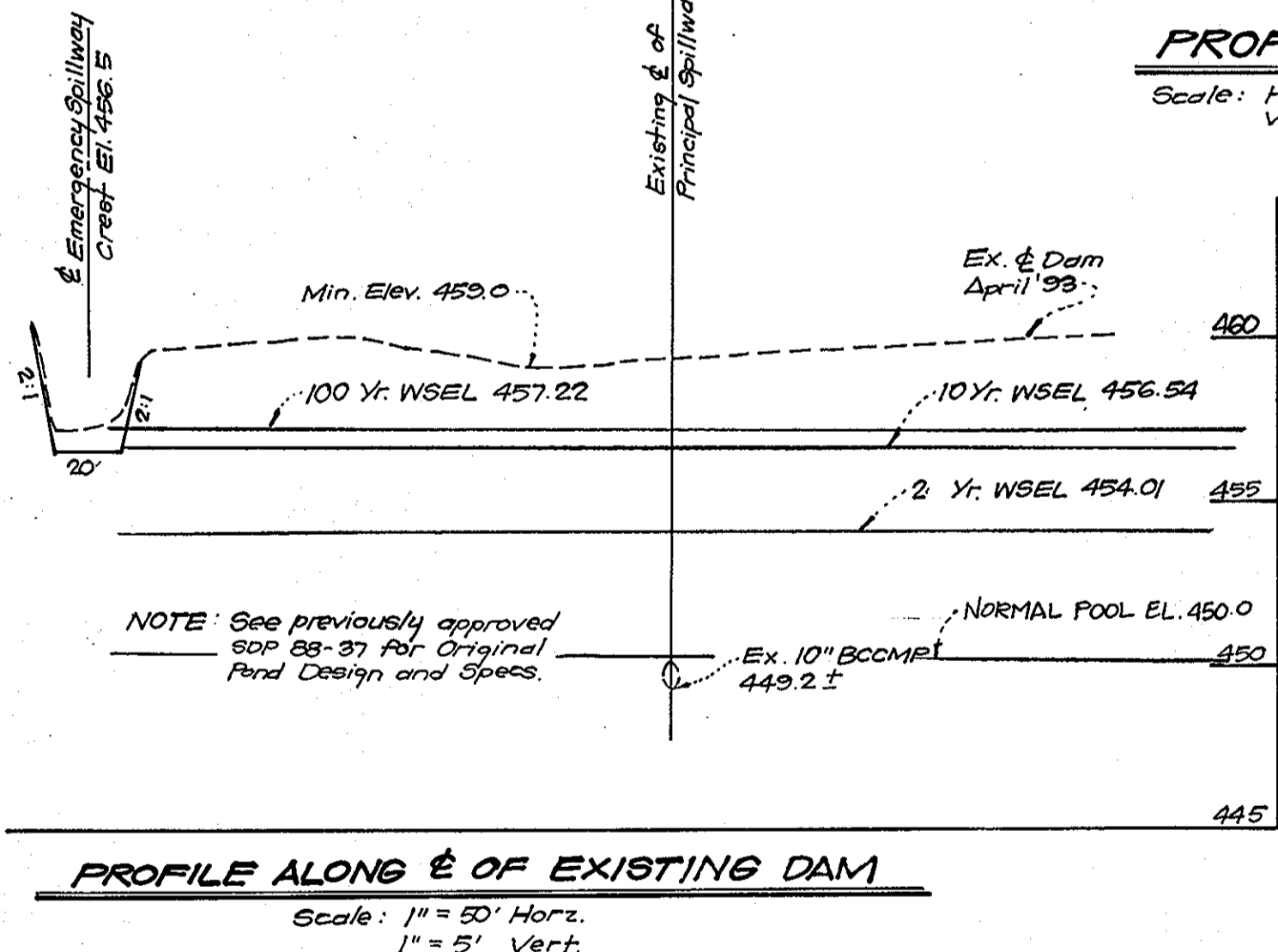
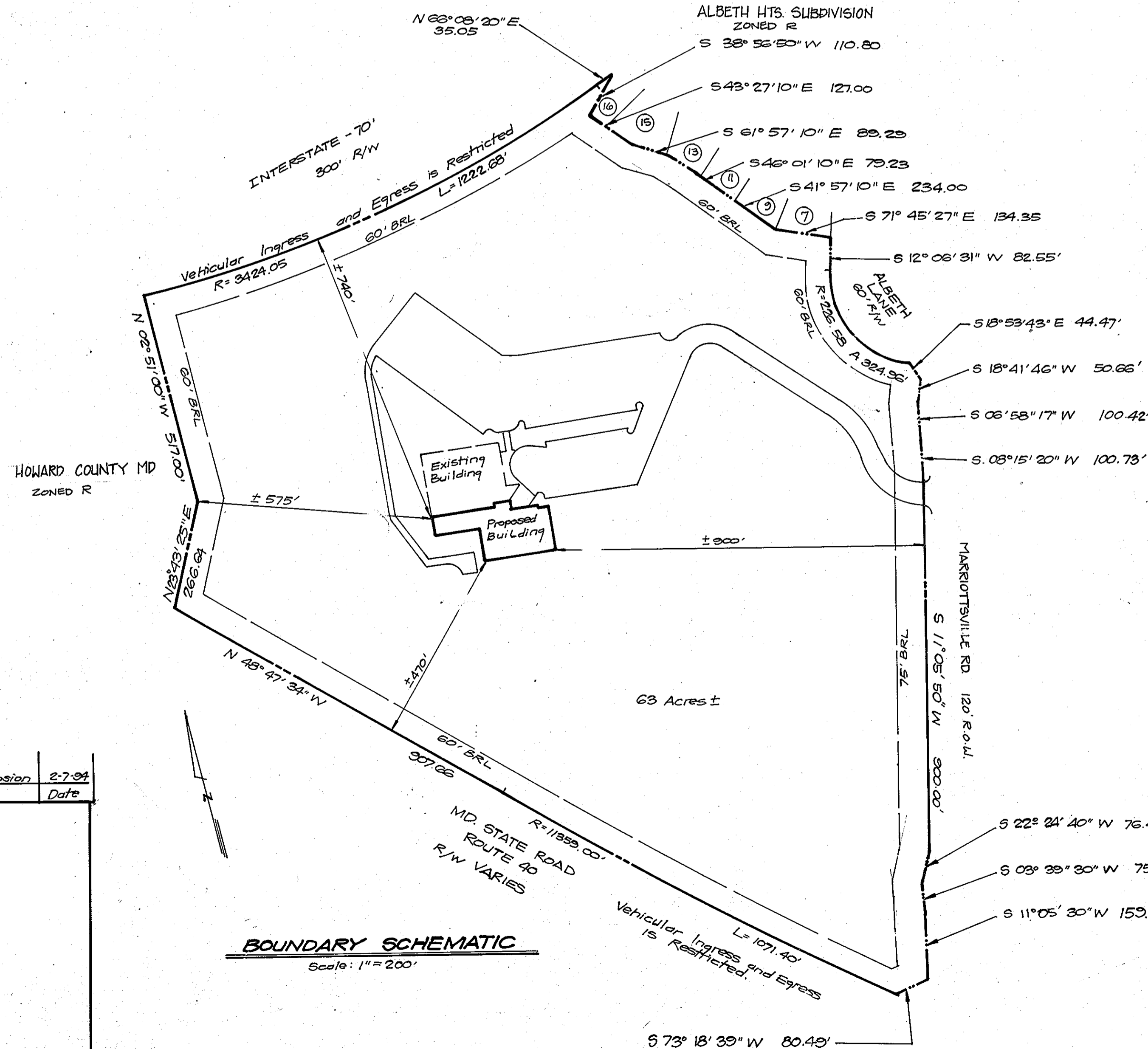
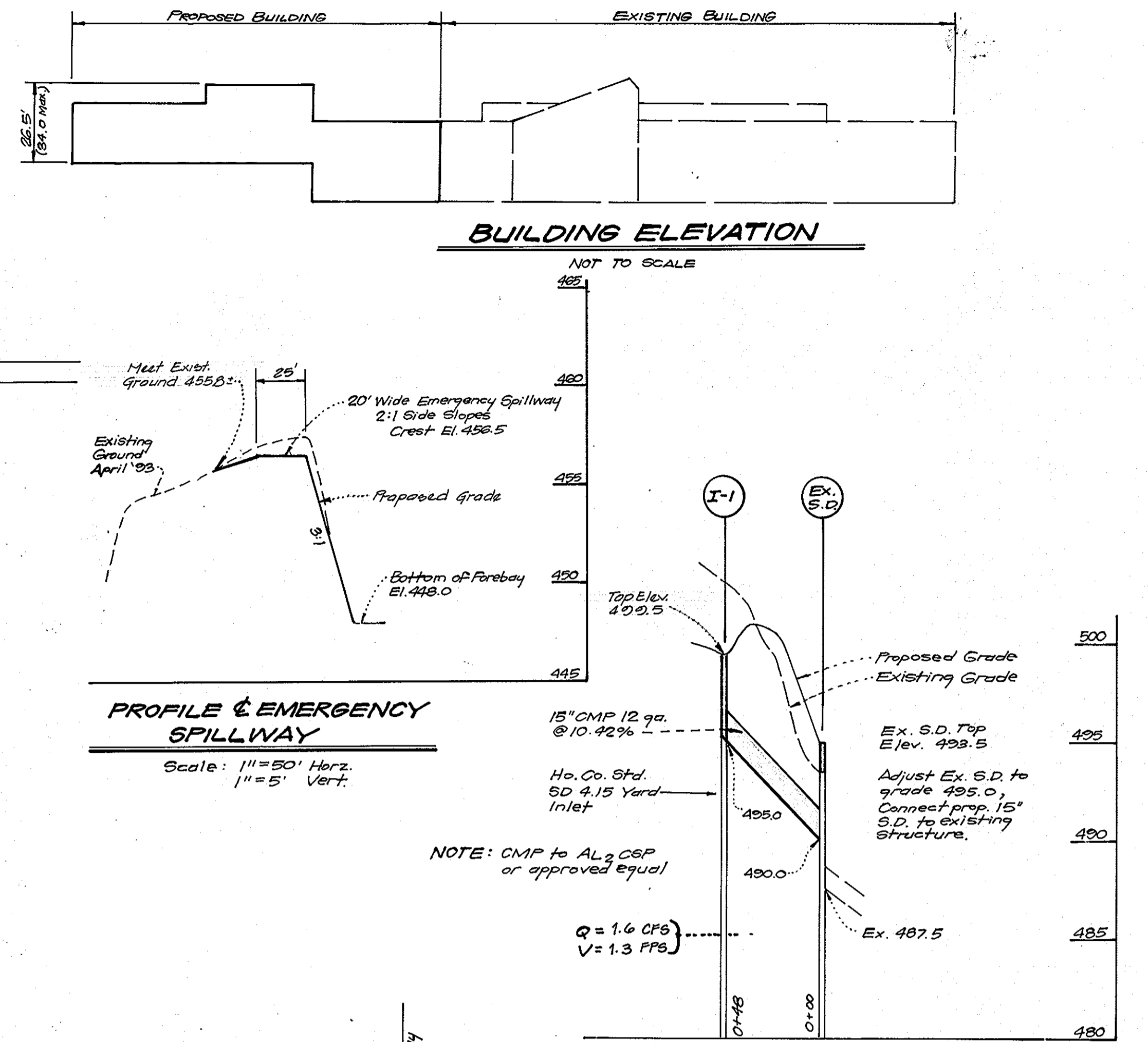
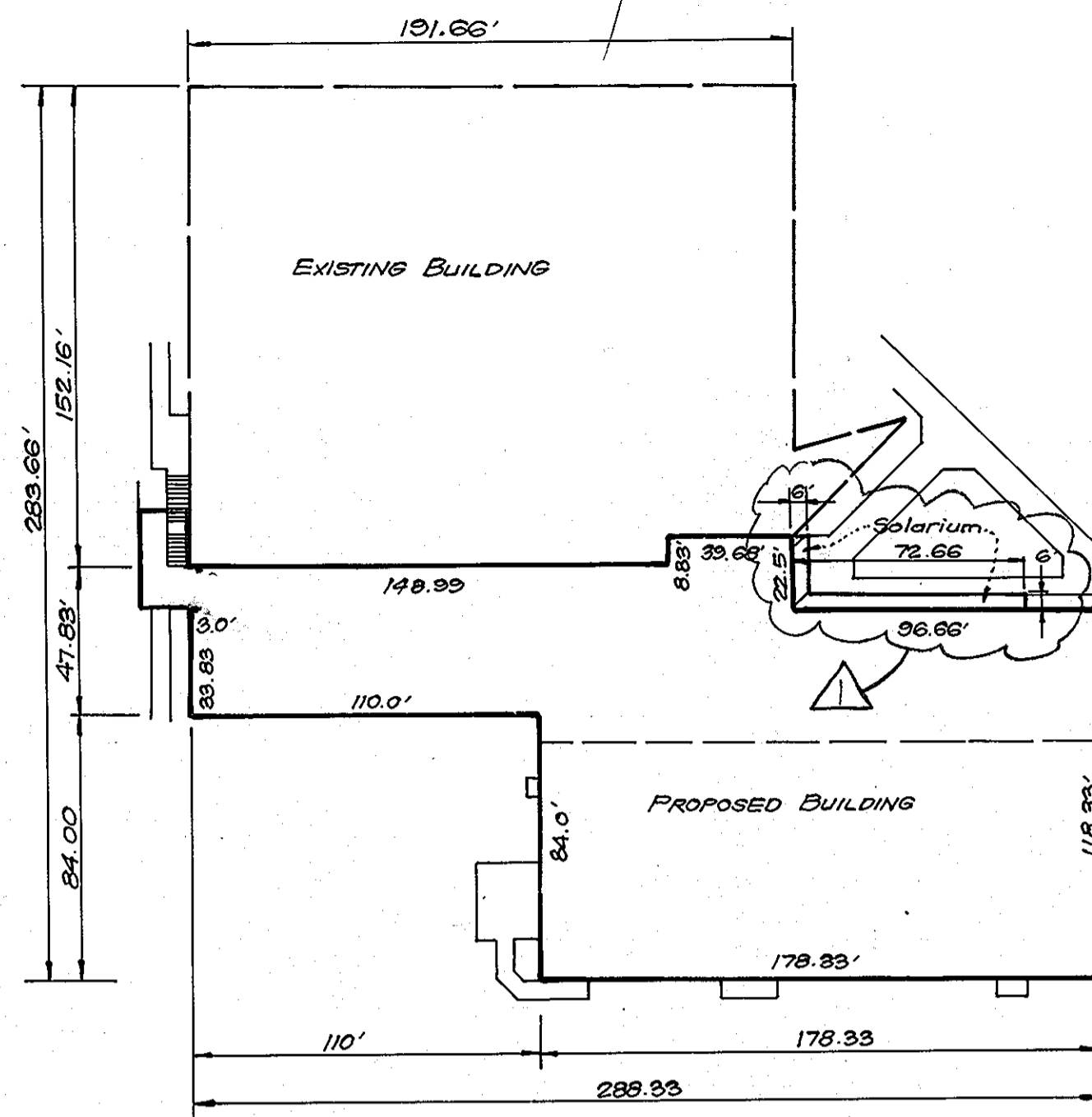
**MAINTENANCE:** Inspect all seeded areas and make needed repairs, replacements and reseeding.

**TEMPORARY SEEDING NOTES**

**SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, discing, or other acceptable means before seeding, if not previously loosened.

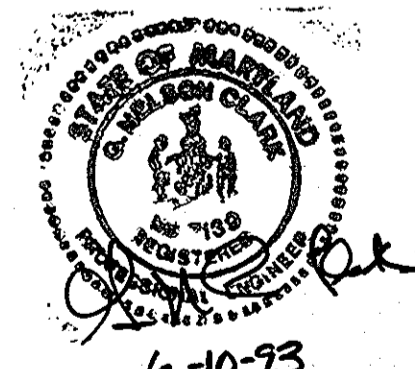
- SOIL AMENDMENTS:** Apply 600 lbs per acre 10-10-10 fertilizer (14lbs./1000 sq ft).  
**SEEDING:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of waving lovegrass (.07 lbs./1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.  
**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.



ENGINEER'S CERTIFICATE  
 I certify that this plan for pond construction, erosion, and sediment control represents a practical and workable plan based on my personal knowledge of the site condition. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with a red-lined "as built" of the pond within 30 days of completion.  
 Signature of Engineer: [Signature]  
 Date: 6-10-93

Developers Certification:  
 "We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction of a project will have a Certificate of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."  
 Signature of Developer: [Signature]  
 Date: 6/16/93



<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 817-7500 BALTO • (301) 621-8100 - WASH		
DESIGNED ULS	DETAIL SHEET FOR BUILDING EXPANSION	SCALE As Shown
DRAWN BAL	<b>CHAPEL GATE PRESBYTERIAN CHURCH</b>	DRAWING 3 OF 3
CHECKED ULS	3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 93-082
DATE JUNE 1993	OWNER: CHAPEL GATE PRESBYTERIAN CHURCH 2800 Marriottsville Rd. Marriottsville, MD 21104	FILE NO. 93-082