

SHEET INDEX	
NO	DESCRIPTION
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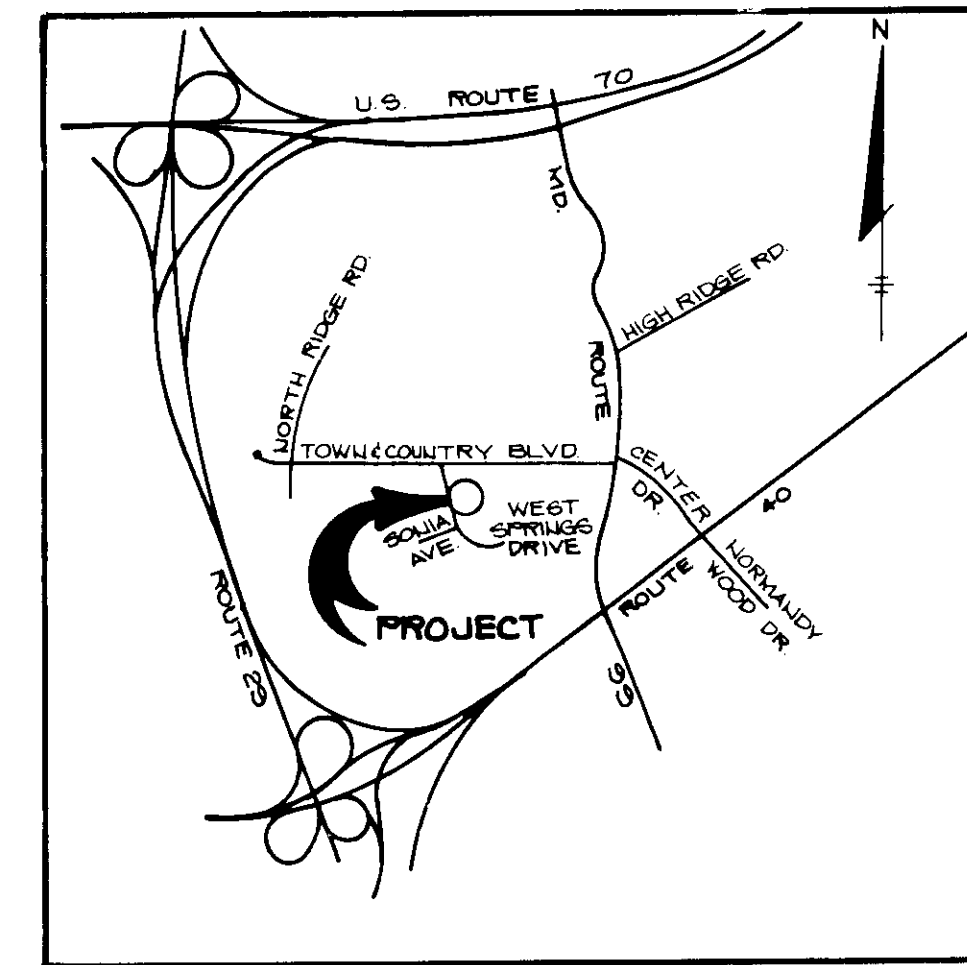
SITE DEVELOPMENT PLAN

TOWN AND COUNTRY - WEST

STORAGE BUILDINGS

2nd ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

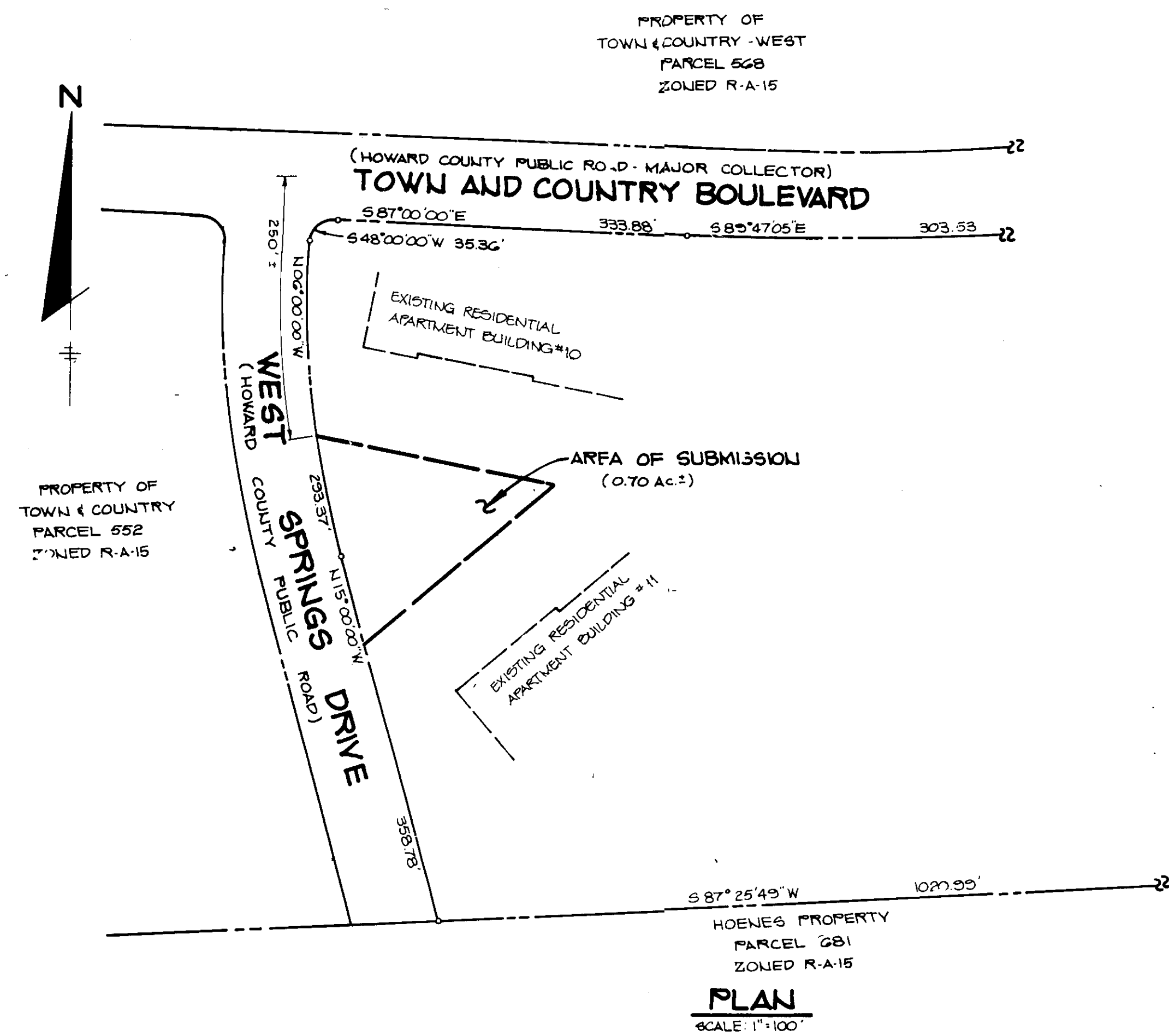


VICINITY MAP
SCALE: 1" = 2000'

GENERAL NOTES

- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, 1-1-01, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, 1990 AMENDMENTS.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

MISS UTILITY	1-800-237-7777
GAP TELEPHONE COMPANY	725-9976
HOWARD COUNTY BUREAU OF UTILITIES	975-4000
AT&T CABLE LOCATION DIVISION	393-3553
BALTIMORE GAS & ELECTRIC COMPANY	883-0123
STATE HIGHWAY ADMINISTRATION	331-5333
HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK)	519-1050
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITH A 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNLESS LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- TOPO TAKEN FROM FIELD SURVEY DATED DEC 1990 BY RIEMER MUEGGE & ASSOCIATES, INC.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL STORM DRAINAGE BEYOND SHALL BE AS SHOWN IN DETAIL 02-01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOLUME IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, BY ITS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER INTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRE-TREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. ALL LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.
- A VARIANCE TO REDUCE THE TWENTY (20) FOOT SETBACK FROM A PUBLIC RIGHT-OF-WAY (WEST SPRINGS DRIVE) TO THREE (3) FEET FOR AN EXISTING MAINTENANCE BUILDING AND FOR A PROPOSED FENCE WAS GRANTED ON FEBRUARY 2, 1993 BY THE HOWARD COUNTY BOARD OF APPEALS UNDER DA 90-10.
- THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO SECURE BUILDING AND USE PERMITS FOR TWO EXISTING STORAGE-MAINTENANCE BUILDINGS, BUILDINGS A & B OF SHEET 2.
- WP-95-105 - REQUEST APPROVED AUGUST 10, 1995 TO WAIVE SECTION 16-181(C), (1) TO REDUCE THE REQUIRED 20 FOOT LANDSCAPE EDGE BETWEEN A PUBLIC RIGHT-OF-WAY AND A NON-RESIDENTIAL BUILDING TO THREE FEET, AND (2) TO REDUCE THE REQUIRED 20 FOOT LANDSCAPE EDGE BETWEEN NON-RESIDENTIAL AND RESIDENTIAL USES TO THREE FEET.



SITE TABULATION

ZONING	R-A-15
Total Site Area	14.36 AC (625,522 S.F.)
Area of This Submission	.70 AC (±) (30,492 S.F. (±))
Existing Approved Building Coverage (Total Site)	77,882 S.F. (12.34)
Existing Building Coverage to be approved this submission	2,362 S.F.
Total Provided	80,244 (12.64)
Unit Count	NA (2)
Parking	
Previous Parking Requirement	323 (1)
Additional Parking Requirements this submission	0
Previous Parking Provided	361 (1)
Additional Parking Provided this submission	0
NOTES	
(1) Ref: Site Plan Dated March 13, 1967, Approved by Howard Co. October 25, 1967	
(2) No new dwelling units are proposed in this submission.	

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
 COUNTY HEALTH OFFICER: [Signature] DATE: 10-5-93

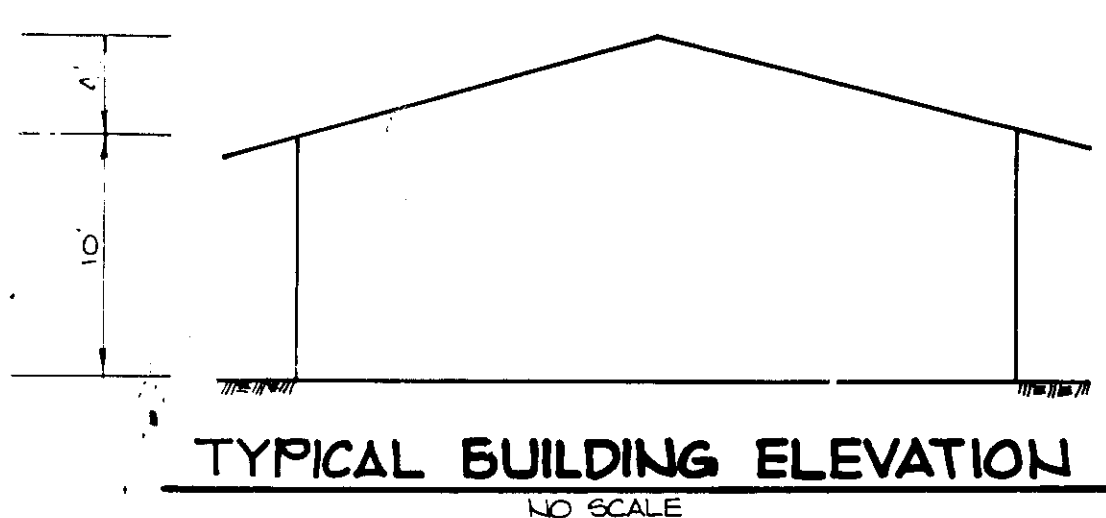
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 DIRECTOR: [Signature] DATE: 10/13/93
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH: [Signature] DATE: 10/13/93

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: [Signature] DATE: 10/13/93
 CHIEF, BUREAU OF ENGINEERING: [Signature] DATE: 9/30/93

OWNER/DEVELOPER: TOWN AND COUNTRY MANAGEMENT CORPORATION, 1700 EQUITABLE BANK CENTER, 100 SOUTH CHARLES STREET, BALTIMORE, MARYLAND 21201
 PROJECT: TOWN AND COUNTRY - WEST STORAGE BUILDINGS
 AREA: TOWN AND COUNTRY - WEST SECTION II, TAX MAP 17 ZONED R-A-15 PARCEL 355, 2nd ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

RIEMER MUEGGE & ASSOCIATES, INC.
 A Land Planning, Engineering and Consulting Firm
 3105 North Ridge Road, Ellicott City, Maryland 21043
 301-461-2690 FAX: 301-750-3176

DATE: 9-17-93
 DESIGNED BY: C.J.M.
 DRAWN BY: G.D.H.
 PROJECT NO.: 901
 DATE: SEPTEMBER 7, 1993
 SCALE: AS SHOWN
 DRAWING NO.: 1 OF 3

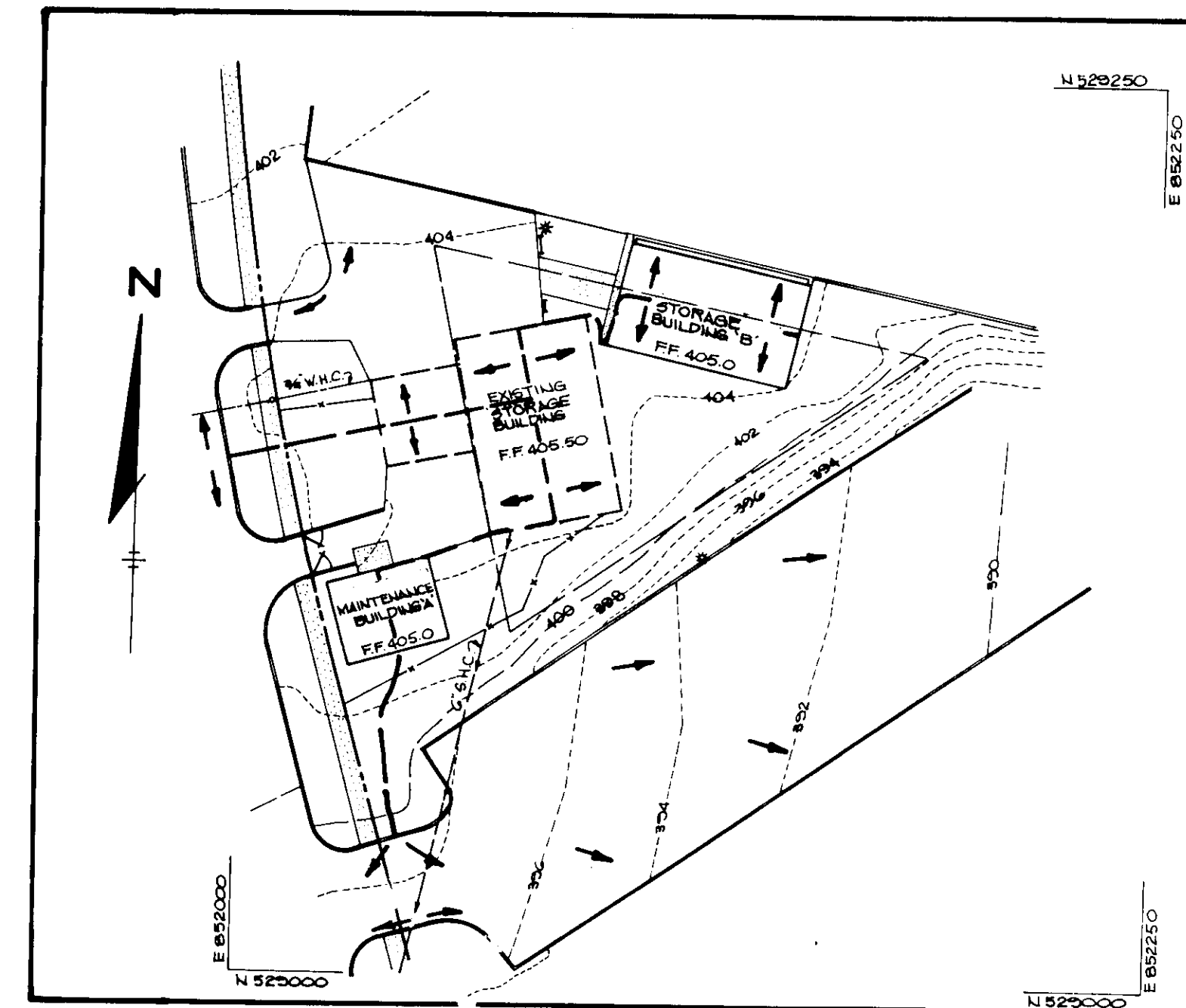


ADDRESS CHART	
BUILDING	STREET ADDRESS
A	3121 WEST SPRINGS DRIVE
B	3117 WEST SPRINGS DRIVE

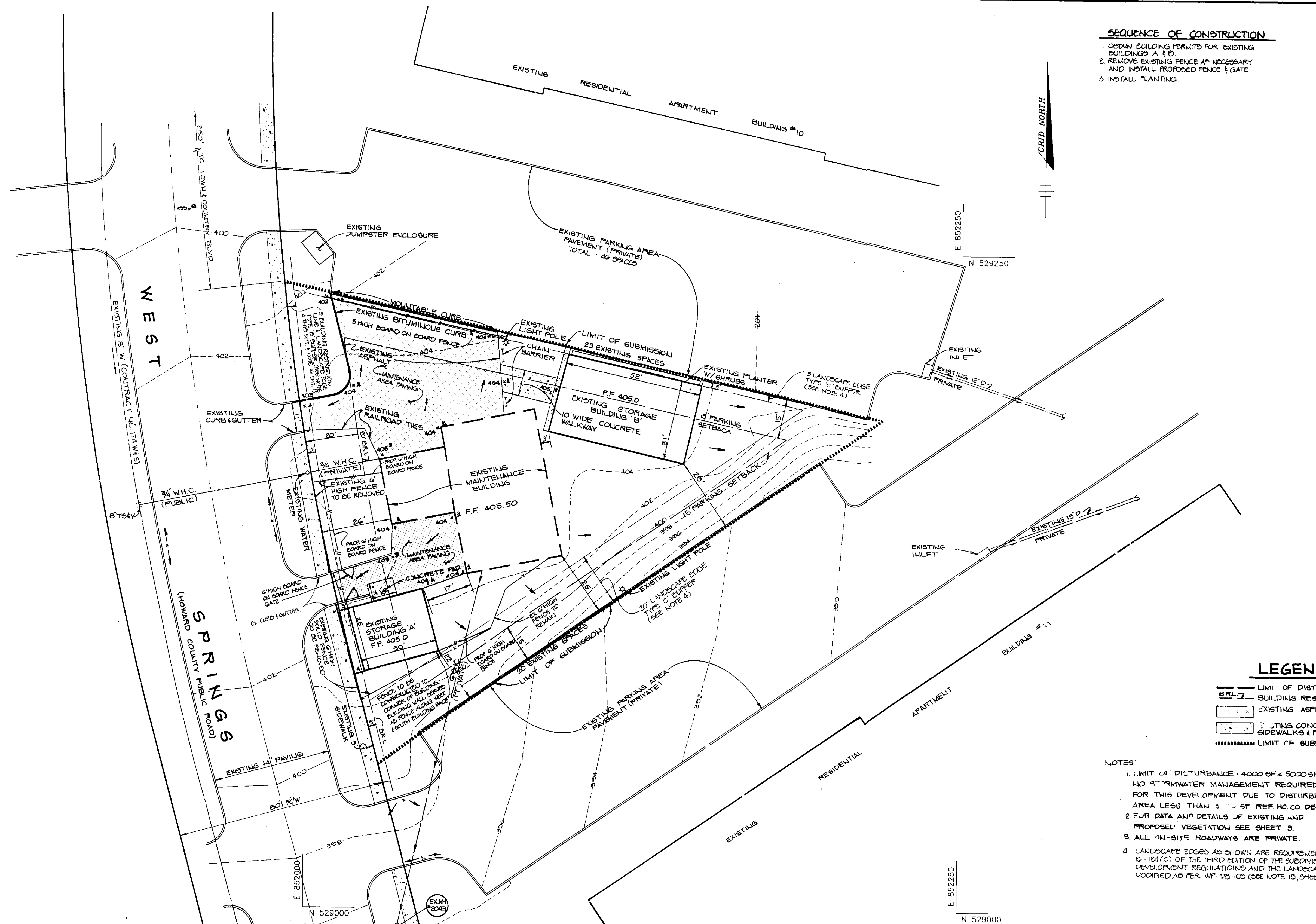
SUBDIVISION NAME	SECT./ARFA	PARCEL #
TOWN AND COUNTRY - WEST	II	355
L 951 F 497	BLOCK # 24	RA-15
WATER CODE	TAX/ZONE MAP 17	ELEC. DIST. 2nd
	SEWER CODE	CENSUS TR 602C

SEQUENCE OF CONSTRUCTION

1. OBTAIN BUILDING PERMITS FOR EXISTING BUILDINGS A & B.
2. REMOVE EXISTING FENCE AS NECESSARY AND INSTALL PROPOSED FENCE & GATE.
3. INSTALL PLANTING.



DRAINAGE AREA MAP
SCALE 1"=40'

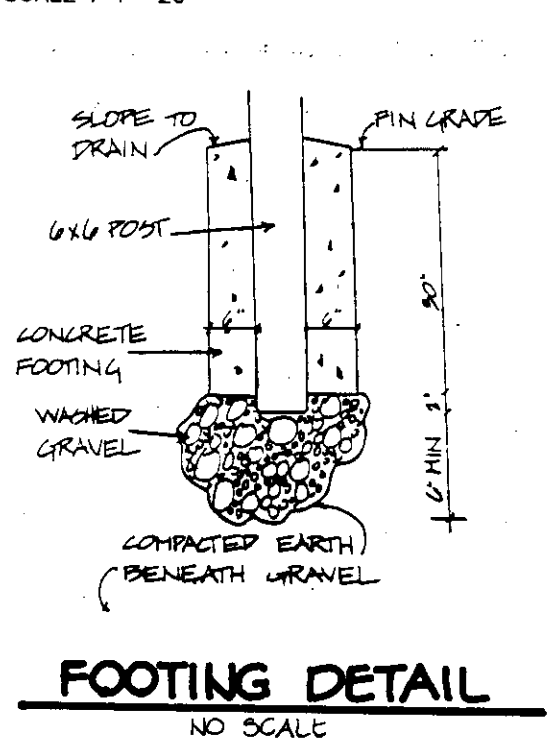


LEGEND

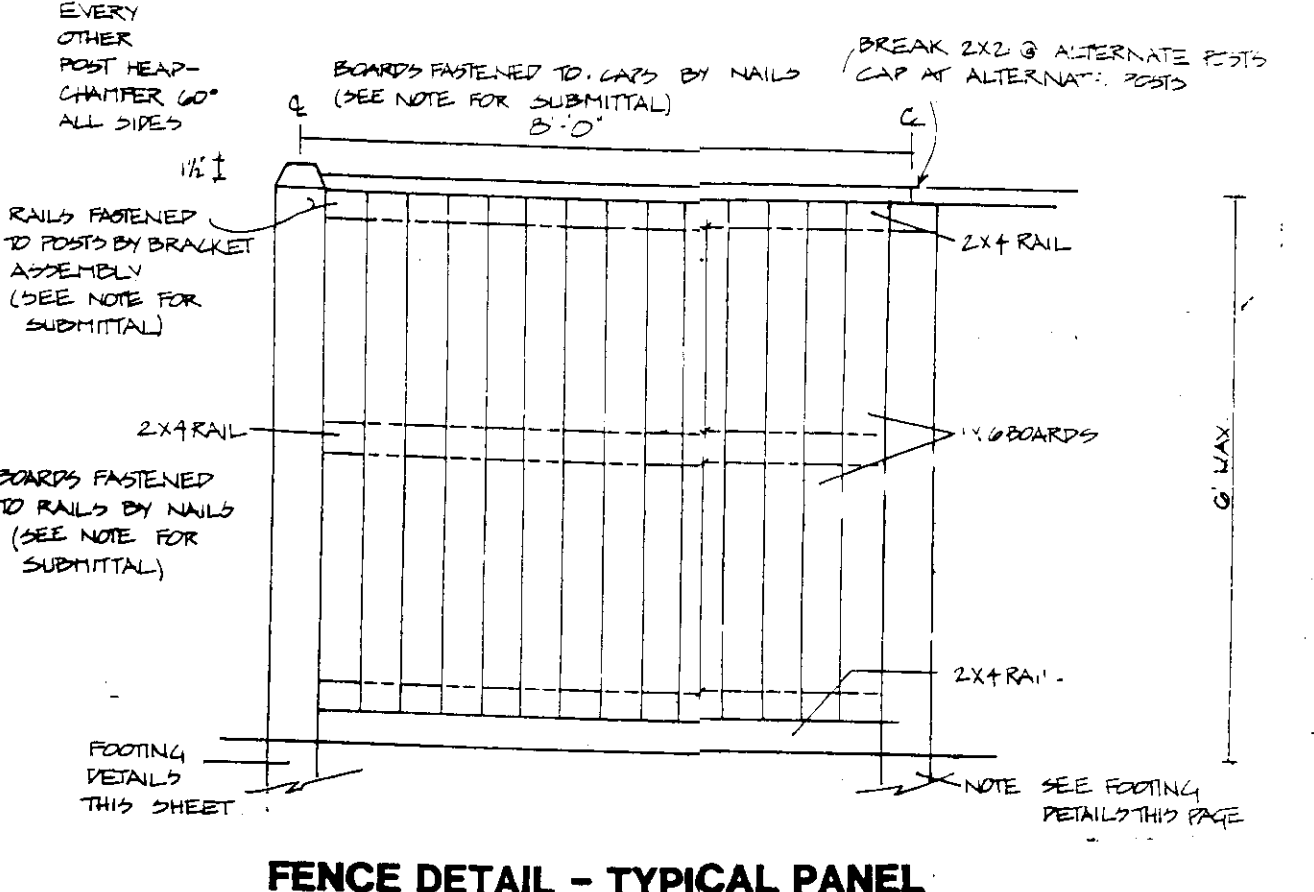
- LIMIT OF DISTURBANCE
- BUILDING RESTRICTION LINE
- EXISTING ASPHALT PAVING
- EXISTING CONCRETE SIDEWALKS & PADS
- LIMIT OF SUBMISSION

- NOTES:**
1. LIMIT OF DISTURBANCE - 4000 SF ± 5000 SF. NO 9" SW WATER MANAGEMENT REQUIRED FOR THIS DEVELOPMENT DUE TO DISTURBED AREA LESS THAN 5' ± SF (REF. HO. CO. DESIGN MANUAL).
 2. FOR DATA AND DETAILS OF EXISTING AND PROPOSED VEGETATION SEE SHEET 3.
 3. ALL ON-SITE ROADWAYS ARE PRIVATE.
 4. LANDSCAPE EDGES AS SHOWN ARE REQUIREMENTS OF SECTION 16-124(C) OF THE THIRD EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL, AND MODIFIED AS PER WP-98-100 (SEE NOTE 10, SHEET 1).

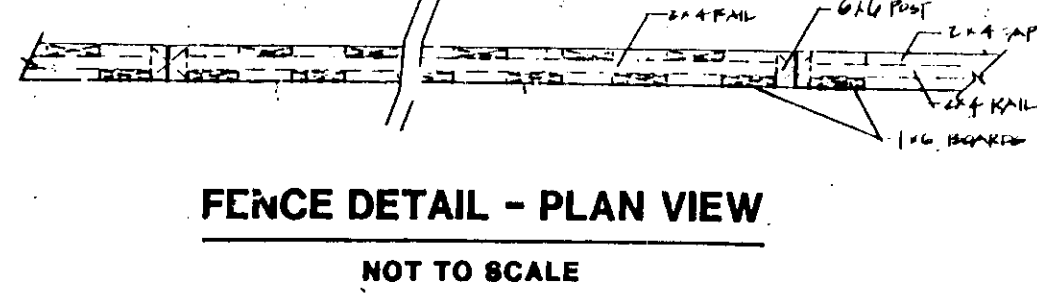
PLAN
SCALE: 1"=20'



FOOTING DETAIL
NO SCALE



FENCE DETAIL - TYPICAL PANEL
NOT TO SCALE



FENCE DETAIL - PLAN VIEW
NOT TO SCALE

- NOTES - BOARD ON BOARD FENCE**
1. SEE SITE DEVELOPMENT PLAN FOR FENCE LOCATIONS.
 2. ALL WOOD SELECT GRADE 2 OR BETTER 5 YELLOW PINE (KAY PRED) PRESURIZED TREATED W/PRESERVATIVE-TYPE QUANT & QUALITY TO CONFORM TO REAL MIN STANDARDS OF AMERICAN WOOD PRESERVERS INC.
 3. ALL WOOD SURFACES TO RECEIVE DARK BROWN WOOD STAIN APPROVED BY OWNER FROM CONTR SUBMITTAL.
 4. ALL METAL FASTENERS CONNECTORS, NAILS ETC. TO BE HOT DIPPED GALVANIZED ZINC COATING.
 5. CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL. ALL WOOD PRESERVATIVES, STAINS, & FASTENERS TO BE USED.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
Joyce M. ... 10/5/93
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
Joseph ... 10/13/93
DIRECTOR DATE

Jim ... 10/13/93
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
... DATE

... 10/13/93
CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO	REVISION

OWNER/DEVELOPER
TOWN AND COUNTRY MANAGEMENT CORPORATION
1700 EQUITABLE BANK CENTER
100 SOUTH CHARLES STREET
BALTIMORE, MARYLAND 21201

PROJECT
TOWN AND COUNTRY-WEST
2 STORAGE BUILDINGS

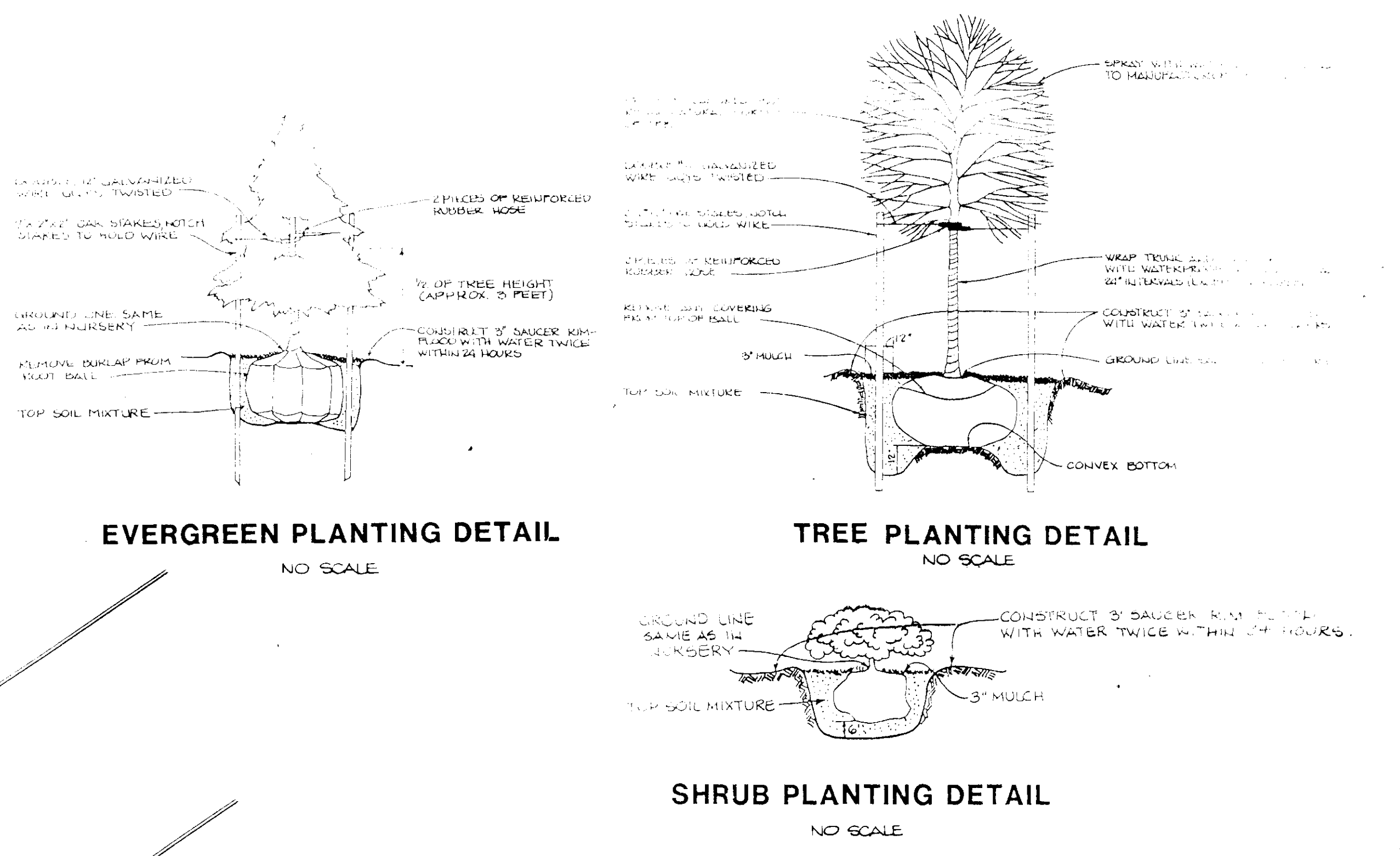
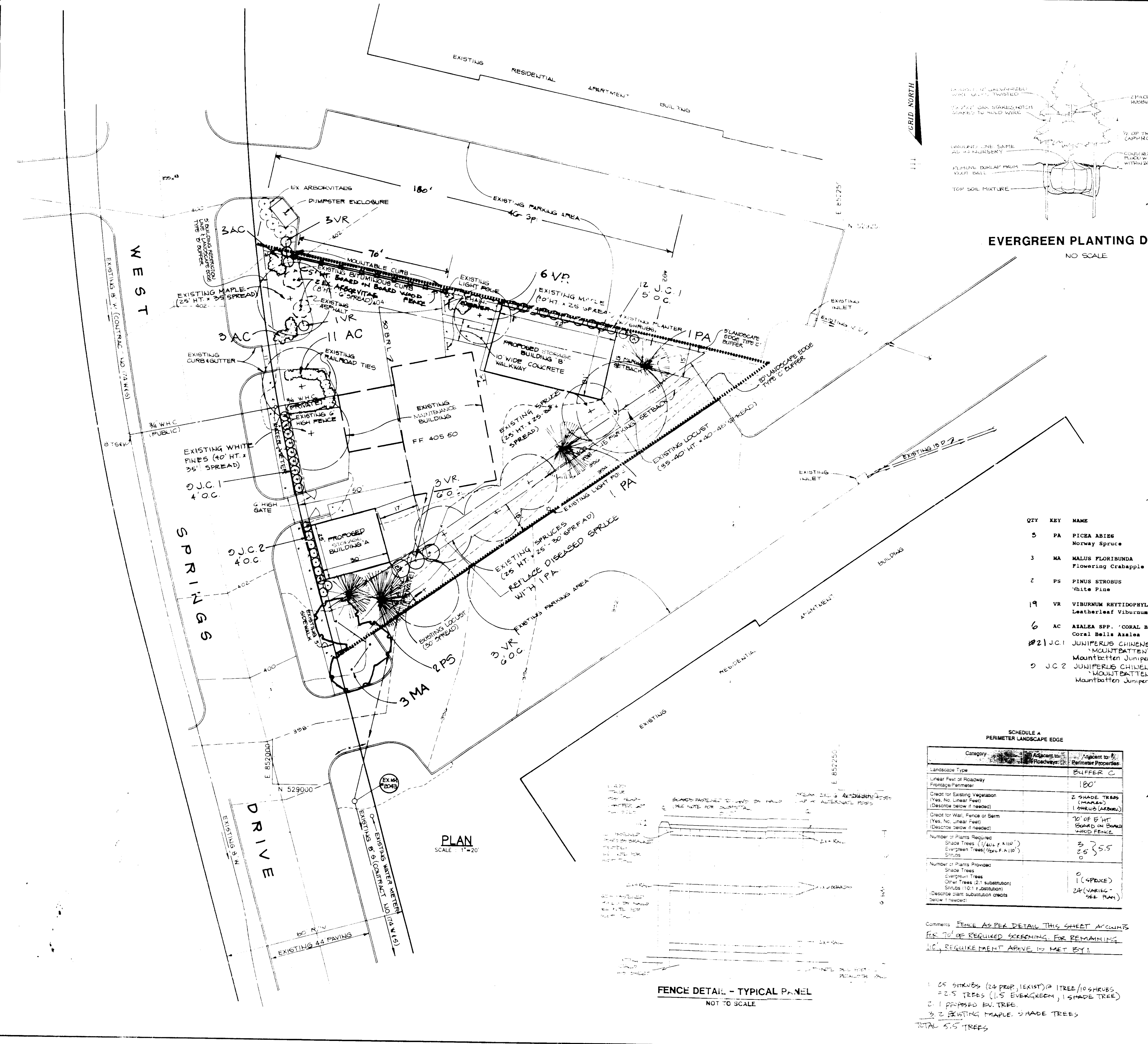
AREA TOWN AND COUNTRY-WEST SECTION II
TAX MAP 17 ZONED R-A-15 PARCEL 355
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
SITE DEVELOPMENT PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
A Land Planning, Engineering and Consulting Firm
3105 North Ridge Road Ellicott City, Maryland 21043
301-461-2690 FAX: 301-750-3176

9.17.93 DATE
F-67-12, P. 66-13, SDP-81-14
SA-50-12
DESIGNED BY: C.J.R.
DRAWN BY: G.D.H.
PROJECT NO: 67901
DATE: SEPTEMBER 7, 1993
SCALE: AS SHOWN
DRAWING NO. 2 OF 3

J. F. ...
JAYKANT D. PAREKH #10146



EVERGREEN PLANTING DETAIL
NO SCALE

TREE PLANTING DETAIL
NO SCALE

SHRUB PLANTING DETAIL
NO SCALE

PLANT LIST

QTY	KEY	NAME	SIZE	REMARKS
5	PA	PICEA ABIES Norway Spruce	8-10' HT. 1-1 1/2" cal.	B & B
3	MA	MALUS FLORIBUNDA Flowering Crabapple	8-10' HT. 1-1 1/2" cal.	B & B
2	PS	PINUS STROBUS White Pine	12-14' HT. 2-2 1/2" cal.	B & B Natural
19	VR	VIBURNUM RHYTIDOPHYLLUM Leatherleaf Viburnum	5-6' HT.	B & B
6	AC	ASALEA SPP. 'CORAL BELLS' Coral Bells Asalea	18-21" SPD	B & B or cont.
21	J.C.1	JUNIPERUS CHINENSIS 'MOUNTBATTEN' Mountain Juniper	5' HT Min	D/D
9	J.C.2	JUNIPERUS CHINENSIS 'MOUNTBATTEN' Mountain Juniper	8' HT Min	D/D

SCHEDULE A
PERIMETER LANDSCAPE EDGE

Category	Adjacent to Highways	Adjacent to Residential Properties
Landscape Type		BUFFER C
Linear Feet of Roadway		
Frontage/Perimeter		120'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)		2 SHADE TREES (MAPLES) 1 SHRUB (ARBORVITAE)
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)		70' OF 6" HT BOARD OR BUNK WOOD FENCE
Number of Plants Required Shade Trees (1/4" x 1 1/2") Evergreen Trees (1/4" x 1 1/2") Shrubs		5 2 5.5 0
Number of Plants Provided Shade Trees Evergreen Trees Other Trees (21 substitution) Shrubs (101 substitution) (Describe plant substitution credits below if needed)		0 1 (9PEACE) 24 (VARIES - SEE PLAN)

I CERTIFY THAT THE PLANTING SHOWN ON THIS PLAN WILL BE COMPLETED IN ACCORDANCE WITH THE PLAN & SEC. 11.12.A OF THE HOWARD COUNTY CODE. I FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF INSTALLATION ACCOMPANIED BY A ONE-YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPT. OF PLANNING & ZONING.

Comments: FENCE AS PER DETAIL THIS SHEET ACCOUNTS FOR 70' OF REQUIRED SCREENING. FOR REMAINING 16', REQUIREMENT ABOVE IS MET BY:

- 1. 05 SHRUBS (24 PEER, 1 EXIST) @ 1 TREE/10 SHRUBS
- 2. 2.5 TREES (1.5 EVERGREEN, 1 SHADE TREE)
- 3. 1 PROPOSED EV. TREE
- 3. 2 EXISTING MAPLE, SHADE TREES
- TOTAL 5.5 TREES

FENCE DETAIL - TYPICAL PANEL
NOT TO SCALE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
James M. Boyd 10-5-93
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
James J. Rutter 10/13/93
DIRECTOR
Gina Jaramany 10/13/93
CHIEF, DIVISION OF LAND DEVELOPMENT, PLANNING AND RESEARCH

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James J. Rutter 10-5-93
DIRECTOR
Paul J. Segan 2/30/03
CHIEF, BUREAU OF ENGINEERING

1-20-93 | C BUFFER SCHEDULE & WOOD FENCE |
DATE NO REVISION

OWNER / DEVELOPER
TOWN AND COUNTRY MANAGEMENT CORPORATION
1700 EQUITABLE BANK CENTER
100 SOUTH CHARLES STREET
BALTIMORE, MARYLAND 21201

PROJECT
TOWN AND COUNTRY - WEST
2 - STORAGE BUILDINGS

AREA TOWN AND COUNTRY - WEST SECTION II
TAX MAP 17 ZONED R-A-15 PARCEL 315
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
LANDSCAPE PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
A Land Planning, Engineering and Surveying Firm
3105 North Ridge Road - Ellicott City, MD 21117
801-461-6641 FAX 801-461-6642

3-21-93
DATE
PROJECT NO. 17001
DATE SEPTEMBER 7, 1993
SCALE AS SHOWN
DRAW NO. 1 OF 2
MELANIE MOSER

