

GENERAL NOTES

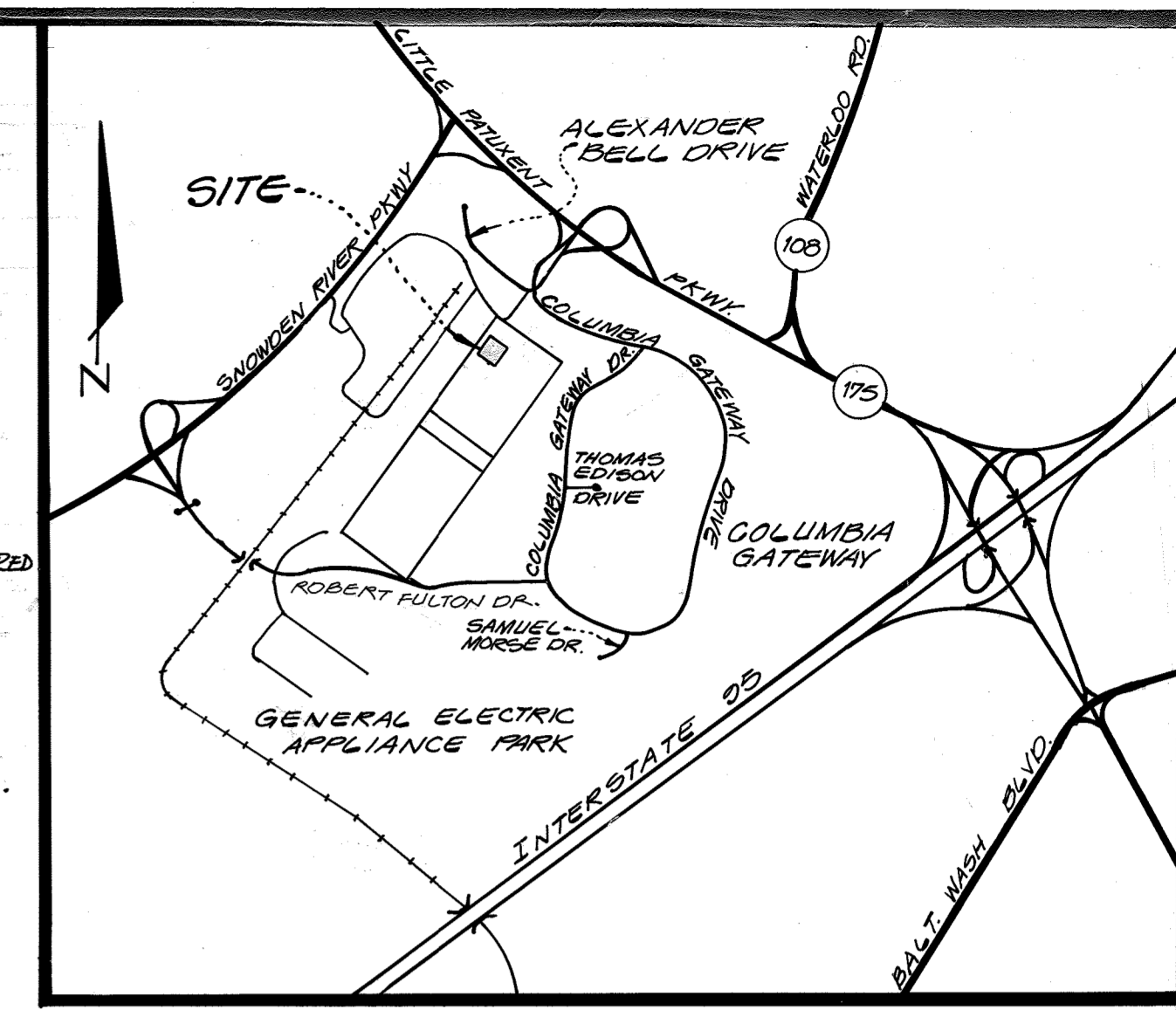
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF CONSTRUCTION INSPECTION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
4. ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS SLOPE TO BE 2%.
5. SITE AREA: 3.12 AC (JACK-N-JILL); 7.06 AC. (PEPSI)
6. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
7. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
8. EXISTING TOPOGRAPHY TAKEN FROM PLANS PREPARED BY PHOTO SCIENCE, INC.
9. COORDINATES AND BEARINGS ARE BASED UPON THE MD. STATE PLANE SYSTEM.
10. WATER AND SEWER SERVING THIS PARCEL IS PUBLIC.
11. STORMWATER MANAGEMENT FOR THIS SITE IS ACCOMMODATED ON PARCELS 1, 10, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. BY THE EXISTING REGIONAL SWAMPFORD AS WELL AS BY STORM FILTERS AND MICRO-BIORETENTION FACILITIES FOR THE PEPSI IMPROVEMENTS.
12. ALL CURB RADIUS ARE 5' UNLESS NOTED OTHERWISE.
13. UTILITY INFORMATION TAKEN FROM AS-BUILT PREPARED BY FISHER, COLLINS & CARTER.
14. ALL THE DIMENSIONS TO THE PROPERTY LINES FROM BUILDINGS AND PARKING AREAS ARE APPROXIMATE (EXISTING FEATURES) AND SHOULD NOT BE USED FOR CONSTRUCTION STAKE OUT.
15. ON NOVEMBER 16, 1992, WP 03-48, WAIVER OF SECTION 16.113 (F)(6), WAS GRANTED TO ALLOW A PRIVATE COMMERCIAL DRIVEWAY TO HAVE DIRECT ACCESS TO AN ARTERIAL HIGHWAY.
16. USE TRENCH BEDDING CLASS "C" FOR STORM DRAINS.
17. PAVED AREAS INDICATED ARE PRIVATE.
18. PROJECT BACKGROUND: ZONING CASE 28-015 SEE DEPT. OF PLANNING & ZONING FILE NUMBERS: S-84-44, S-85-55, F-88-01, F-87-06, F-85-55, VP-84-150, VP-85-34, F-90-175, VP-85-35, VP-86-01, VP-88-17, WP-88-63, WP-90-141, AA-91-15, ZB-91-5, S-92-10, S0P-92-42, F-92-15, F-92-57, F-92-136, F-92-140, WP-93-48, F-93-47, S0P-93-42.
19. RECORDING REFERENCE: PLAT No. 10604, PLAT 13133
20. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.120.6 (1)(1) OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE IT IS WITHIN A PLANNED BUSINESS PARK OF AT LEAST 75 ACRES WHICH HAS A PRELIMINARY PLAN APPROVAL BEFORE DECEMBER 31, 1992.

PRIVATE SEWER NOTES

1. USE HOWARD COUNTY STANDARDS & SPECIFICATIONS FOR ALL CONSTRUCTION.
2. SEWER LINES SHALL BE P.V.C.
3. PROVIDE A JOINT IN ALL SEWER LINES WITHIN 2'-0" OF ALL MANHOLES.
4. MANHOLES SHALL BE 4'-0" DIAMETER.
5. CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.
6. CONTRACTOR SHALL NOTIFY THE BUREAU OF UTILITIES AT LEAST 5 WORKING DAYS IN ADVANCE OF CONSTRUCTION.
7. EXISTING UTILITIES WERE TAKEN FROM AVAILABLE RECORDS WITH SOME FIELD VARIATIONS. CONTRACTOR SHALL TAKE ALL PRECAUTIONS HE DEEMS NECESSARY TO AVOID DAMAGE TO EXISTING UTILITIES. ANY DAMAGE MUST BE REPAIRED TO THE SATISFACTION OF THE OWNER, AT THE CONTRACTOR'S EXPENSE.

SITE ANALYSIS

1. ZONING: M-1
2. LIMITS OF SUBMISSION: 139,104 SF OR 3.12 AC. (JACK-N-JILL) AND 706 AC. (PEPSI)
3. EX. LANDSCAPE AREA = 113,870 SF
4. PROP. LANDSCAPE AREA = 82,004 SF
5. AREA OF PARCEL: 5,033,716 SF OR 115.56 AC.
6. PROP. USE OF BUILDING 2 IS WAREHOUSE
7. THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF ADDITIONAL LOADING DOCKS AND IMPROVEMENTS FOR PEPSI BEVERAGE COMPANY.
8. AREAS OF USE:
 - WAREHOUSE: 267,744 SF
 - PROPOSED: 4,500 SF
 - 134 REQUIRED
9. PARKING REQUIRED: 0.5 SPACES/1000 SF
10. PARKING PROVIDED:
 - 205 SPACES (241 EXISTING - 51 CEMENT & DISC BRUSHING; 15 PROPOSED)
 - (7 HANDICAP REQUIRED; 2 EXISTING (JOHN MULL); 5 PROPOSED)
 - 225 TRAILER/TRUCK SPACES
 - *NO ADDITIONAL TRUCKING REQUIREMENT FOR METZANINE SINCE USE IS FOR MODERATE-HAZARD STORAGE
11. TOTAL BUILDING COVERAGE FOR BUILDINGS 2 AND 20 = 1,280,475 SF OR 29.40 AC.



VICINITY MAP

SCALE: 1"=2000'
A.D.C. MAP 89 GRID A-5

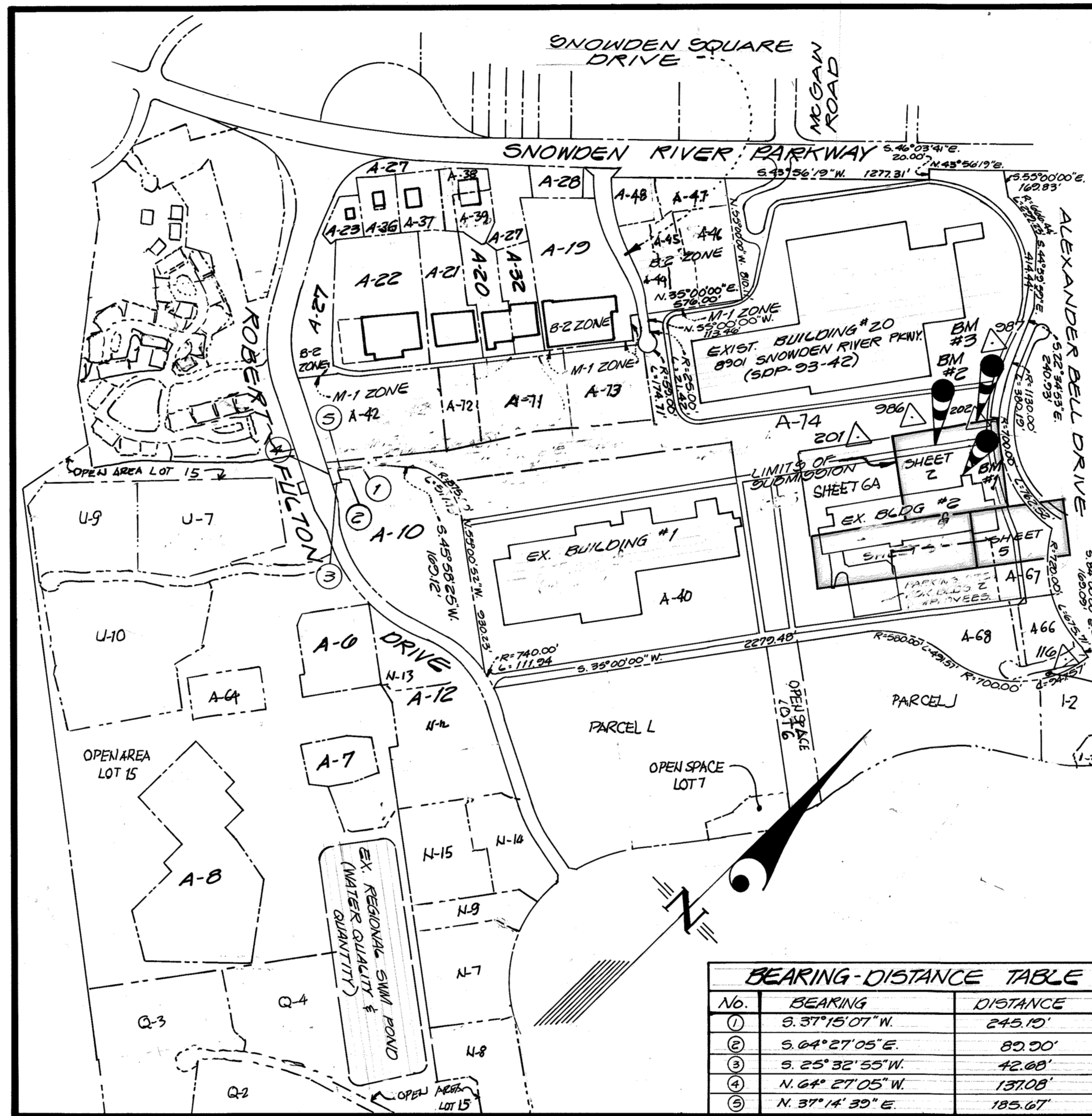
ADDRESS CHART		
BUILDING	PARCEL NUMBER	STREET ADDRESS
2	PARCEL 513 LOT/ PARCEL A-74	6701 ALEXANDER BELL DRIVE

SHEET INDEX

1. COVER SHEET
2. SITE PLAN
3. SEDIMENT CONTROL & D.A.M.
4. SEDIMENT CONTROL DETAILS & NOTES
5. SCHEDULES, DETAILS & PROFILES
6. SEWER PLAN
7. SEWER PROFILES
8. TRUCK COURT AND TRAILER PARKING EXPANSION
9. BUILDING ADDITION AND PARKING LOT IMPROVEMENTS
10. SD DRAINAGE AREA MAP
11. SWM DRAINAGE AREA MAP
12. UTILITY PROFILES AND SITE DETAILS
13. SWM DETAILS

LEGEND

EXIST. PAVING TO BE REMOVED	
PROP. PAVING	
PROP. CONCRETE	
PROP. TRACTOR TRAILER PARKING SPACES	
EXIST. LANDSCAPING	
EXIST. UTILITY STRUCTURE NUMBERS	
PROP. UTILITY STRUCTURE NUMBERS	
EXIST. CONTOURS	
PROP. CONTOURS	
TO BE REMOVED	
TO BE ABANDONED IN PLACE	
TO REMAIN	



No.	BEARING	DISTANCE
1	S. 37°15'07" W.	243.10'
2	S. 64°27'05" E.	80.00'
3	S. 25°32'55" W.	42.00'
4	N. 64°27'05" W.	137.00'
5	N. 37°14'35" E.	185.67'

KEY MAP

SCALE: 1"=600'

CONTROL STATIONS

LOCATION	DESCRIPTION
TRAVERSE STA. 202	N. 40°22'05.747", E. 85347.434
TRAVERSE STA. 206	N. 40°17'52.767", E. 852378.480
TRAVERSE STA. 207	N. 40°26'49.804", E. 85340.890
TRAVERSE STA. 201	N. 40°10'73.505", E. 852627.440
TRAVERSE STA. 116	N. 40°17'57.255", E. 855040.824

BENCH MARKS

LOCATION	DESCRIPTION
NORTHWEST SIDE OF BLDG. 2 @ BUMP OUT IN BLDG.	B.M. #1 - 1" x 1" CUT @ TIP OF CONC. WHEEL GUIDE ELEV.: 330.72
400' SOUTH OF MAIN PERIMETER ROAD ALONG FENCE LINE, WEST SIDE OF BLDG. 2	B.M. #2 - B.B. FIRE HYDRANT #23 ELEV.: 344.23
NORTHWEST SIDE OF BLDG. 2, 270' SOUTH OF MAIN PERIMETER ROAD ALONG MAIN ROAD BETWEEN BLDGS. 20 & 2	B.M. #3 - TRAVERSE STATION 202 ELEV.: 343.13

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.
 COUNTY HEALTH OFFICE 8/1/93
 APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 DIRECTOR 8/16/93
 APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS
 HOWARD COUNTY DEPT. OF PUBLIC WORKS
 DIRECTOR 8/16/93
 CHIEF, BUREAU OF ENGINEERING M.K. 8/9/93

REVISION 10/14/21 ONLY
 STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 REVISION 10/14/21 ONLY
 STATE OF MARYLAND
 PROFESSIONAL ENGINEER

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866
 TELEPHONE: (301) 421-4024 NO. VA. (301) 989-2524 BALTO. (301) 680-1820 FAX (301) 421-4186

DATE	REVISION	BY	APP'R.
10-13-21	MODIFY PLAN TO ADD STAIRCASE	RHV	
11-30-21	MODIFY PLAN TO ADD AN OUTDOOR FREEZER	RHV	
06/01/13	MODIFY TRAILER DOCK AREA TO INCLUDE A BUILDING ADDITION AND EXISTING PARKING LOT	RHV	
12/16/10	ADD TRUCK COURT AND TRAILER PARKING SPACES AND EX. TRUCK COURT	RHV	
3/23/00	ADDED SEWER NOTES/ SHEET NUMBERING	KLP	

PREPARED FOR:
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 THE ROUSE BUILDING
 10875 LITTLE PATENT PKWY.
 COLUMBIA, MD. 21044
 (301) 992-6027

COVER SHEET
GATEWAY COMMERCE CENTER
 BUILDING #2
 PARCEL 513 LOT/ PARCEL A-74
 HOWARD COUNTY, MARYLAND
 6TH ELECTION DISTRICT

SUBDIVISION NAME	SECT./AREA	PARCEL			
GATEWAY COMMERCE CENTER	N/A	513 LOT/ PARCEL A-74			
PLAT	BLOCK	ZONE	TAX ZONE MAP	ELEC. DIST.	CENSUS TR.
13139	6	M-1	42	6	606703

DES.	SCALE	ZONING	G.L.W. FILE No.
MJT	AS SHOWN	M-1	01-056
DRN.	TAX MAP No.	SHEET	
HK	42	1 OF 13	
CHK.	DEC.	Block/GRID	
OK	1992	6	

KEY
 IP INLET PROTECTION
 LF LIMITS OF DIST.
 SF SILT FENCE
 -362- PROPOSED CONTOUR



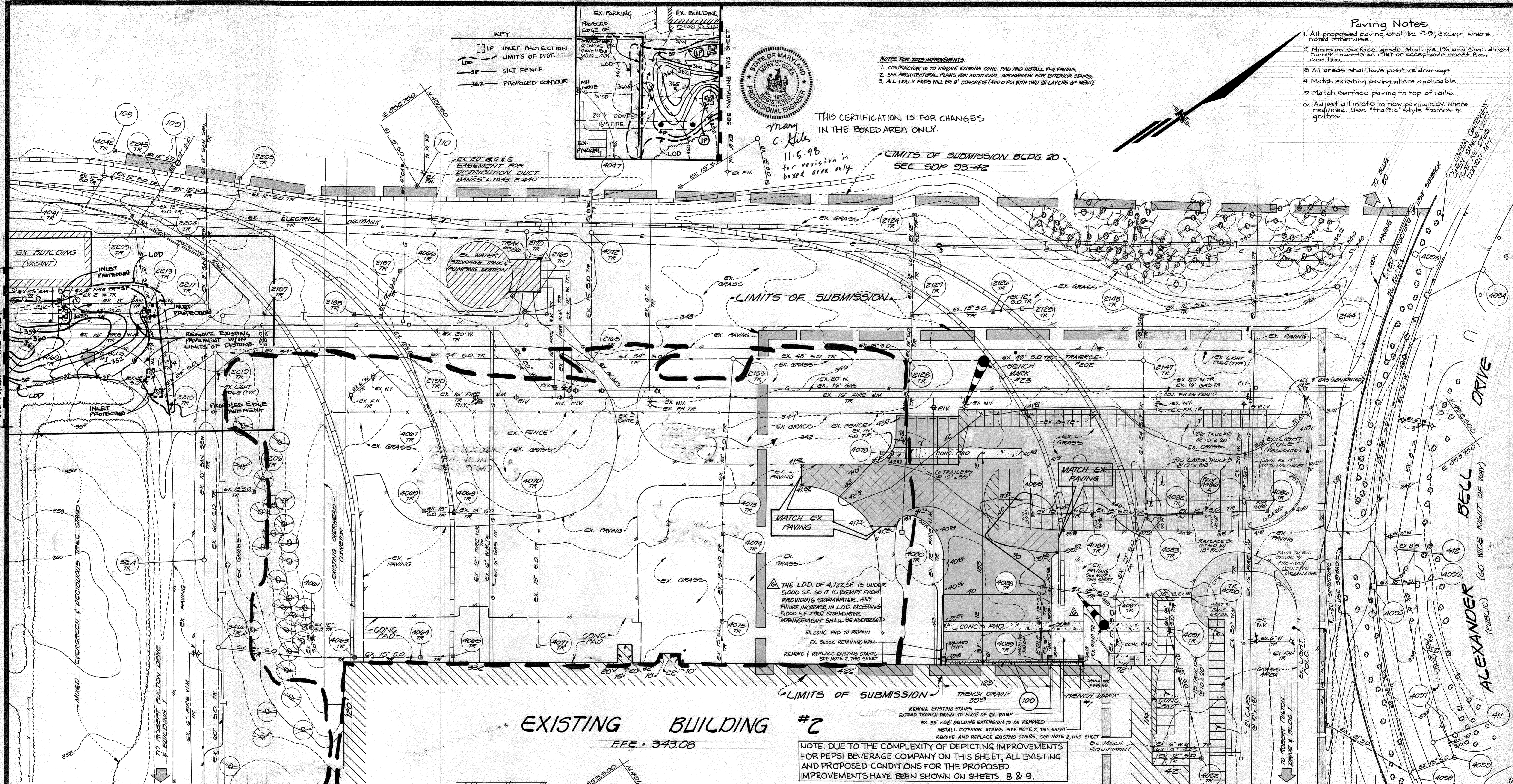
NOTES FOR 2023 IMPROVEMENTS
 1. CONTRACTOR TO REMOVE EXISTING CONC. PAD AND INSTALL P-4 PAVING.
 2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL IMPROVEMENT FOR EXTERIOR STAIRS.
 3. ALL DOLLY PADS WILL BE 8" CONCRETE (4000 PSI) WITH TWO (2) LAYERS OF MESH.

Paving Notes
 1. All proposed paving shall be P-5, except where noted otherwise.
 2. Minimum surface grade shall be 1% and shall direct runoff towards an inlet or acceptable sheet flow condition.
 3. All areas shall have positive drainage.
 4. Match existing paving where applicable.
 5. Match surface paving to top of rails.
 6. Adjust all inlets to new paving elev. where required. Use "traffic" style frames & grates.

THIS CERTIFICATION IS FOR CHANGES IN THE BOXED AREA ONLY.

11-5-98
 for revision in boxed area only

LIMITS OF SUBMISSION BLDG. 20
 SEE SOP 93-42



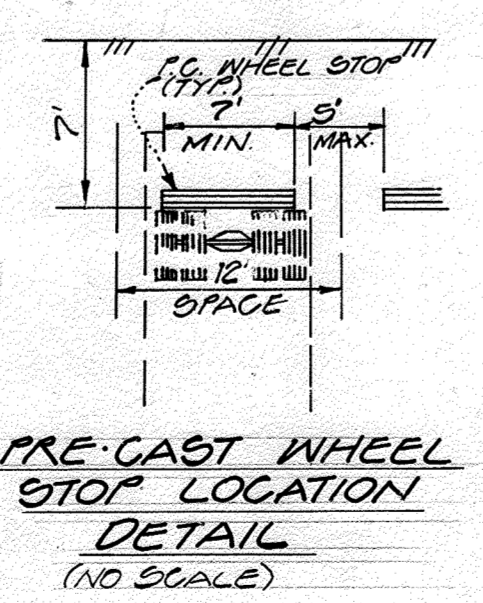
EXISTING BUILDING #2
 F.F.E. = 343.08

NOTE: DUE TO THE COMPLEXITY OF DEPICTING IMPROVEMENTS FOR PEPSI BEVERAGE COMPANY ON THIS SHEET, ALL EXISTING AND PROPOSED CONDITIONS FOR THE PROPOSED IMPROVEMENTS HAVE BEEN SHOWN ON SHEETS 8 & 9.

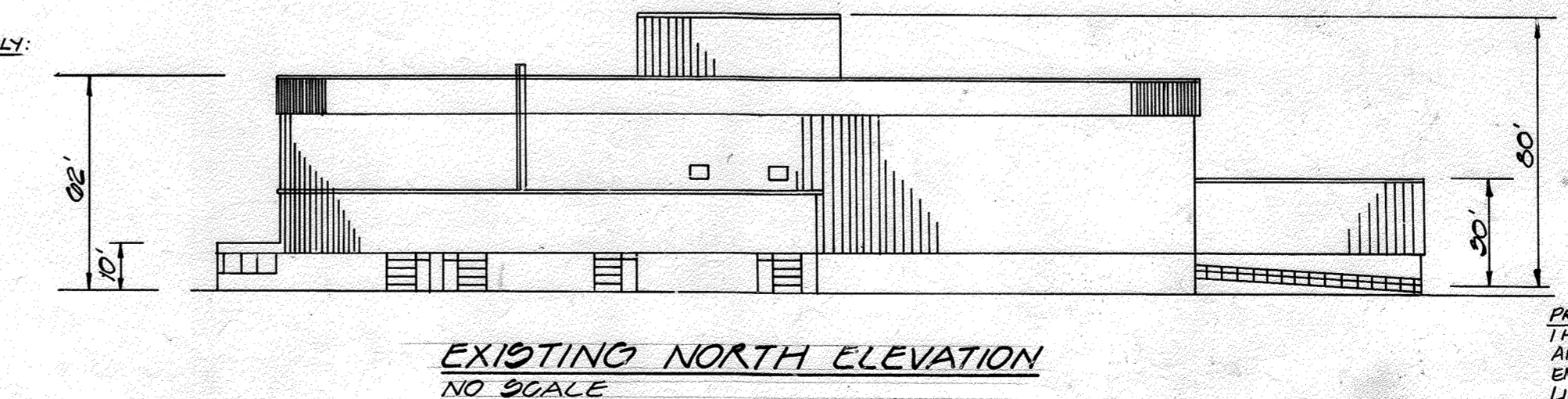
APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.
 COUNTY HEALTH OFFICER
 DATE: 8-11-93

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 DIRECTOR
 DATE: 8/16/93

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS, HOWARD COUNTY DEPT. OF PUBLIC WORKS
 DIRECTOR
 DATE: 8/16/93



FOR REVISION, DATED 06/04/13 ONLY:
 PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 NO. 18193



EXISTING NORTH ELEVATION
 NO SCALE

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly licensed PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NUMBER: 12976
 EXPIRATION DATE: MAY 26, 2024
 FOR REVISION DATED 10/15/2023



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD. 20866
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APPR.
10/21/89	ADDED PLAN TO REFLECT CHANGES TO BUILDING SHOWN ON TENANT IMPROVEMENT PLANS.	HJT	DEV
2/16/90	MODIFY TRAILER DOCK AREA TO INCLUDE 2 BUILDING ADDITIONS AND EXISTING PARKING.	RHV	RHV
11/4/98	ADD TRUCK COURT AND TRAILER PARKING; EXTEND EX. TRUCK COURT.	RHV	RHV
4/23/00	ADDITION OF BERM WIN BOX AREA PER REDLINE APPROVED 10/26/98	MMM	MMM
11/8/95	SHEET NUMBERING	KLP	KLP
11/8/95	ADDED PARKING AT NORTHERN CORNER OF BUILDING	BT	APPR.

PREPARED FOR:
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 THE ROUSE BUILDING
 10055 LITTLE PATENT PKWY
 COLUMBIA, MD. 21044
 (301) 992-6027

SITE DEVELOPMENT PLAN
GATEWAY COMMERCE CENTER
 BUILDING #2
 PARCEL 513 LOT/PARCEL A-7A
 HOWARD COUNTY, MARYLAND
 6TH ELECTION DISTRICT

DES.	SCALE	ZONING	G.L.W. FILE No.
MJT	1"=50'	M-1	91-050
DRN.	DATE	TAX MAP No.	SHEET
HK	DEC. 1992	42 BLOCK 15RD 6	2 OF 13

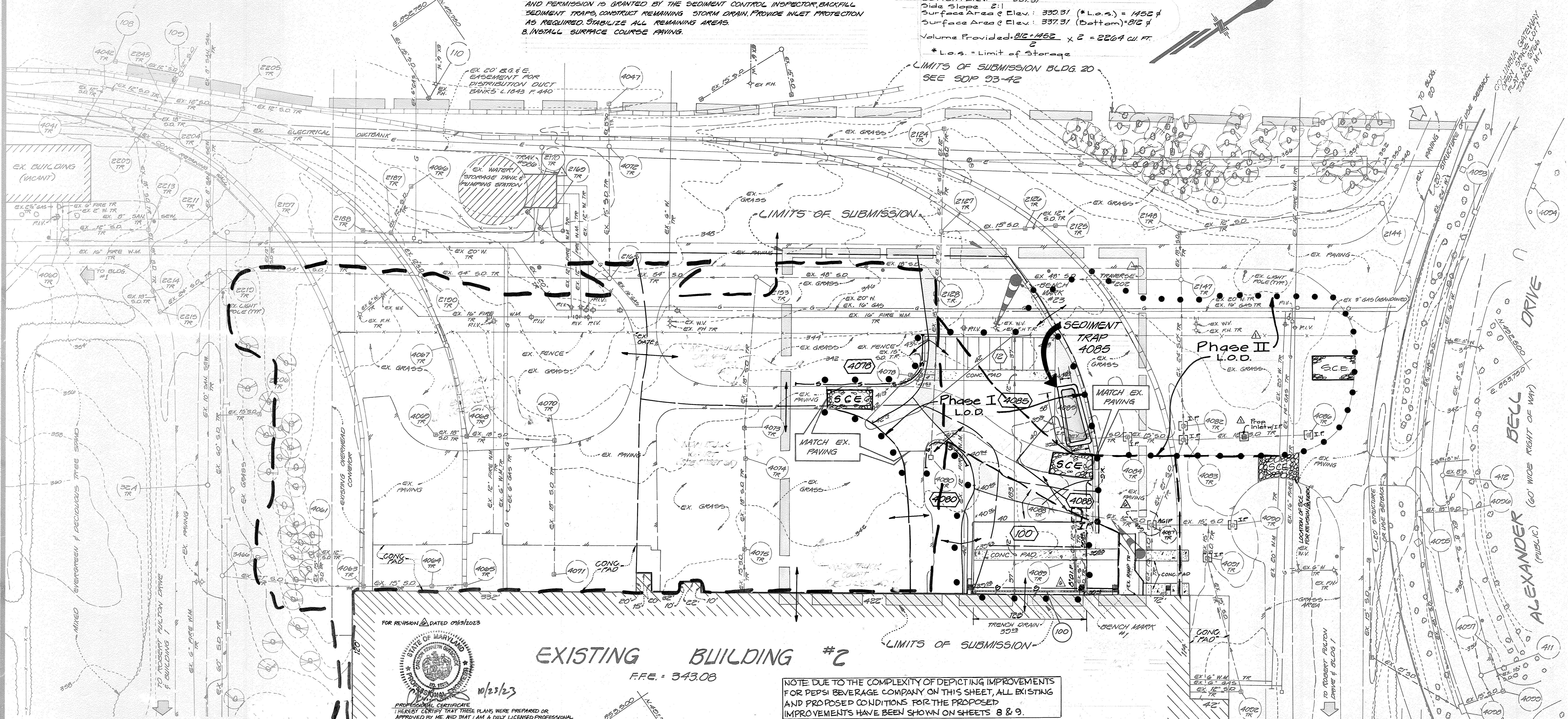
SEQUENCE OF CONSTRUCTION FOR REVISION WORK

1. INSTALL STONE CONSTRUCTION ENTRANCE, AT GRADE INLET PROTECTION AND ON PAVEMENT SILT FENCE. (1 DAY)
2. BEGIN DEMOLITION OF 35x68' PORTION OF THE EXISTING BUILDING (1 MONTH)
3. FINE GRADE THE AREA. (1 WEEK)
4. INSTALL TRENCH DRAIN AND TIE INTO THE EXISTING STORM DRAIN SYSTEM. (2 WEEKS)
5. INSTALL CONCRETE PADS AND PAVE. (2 WEEKS)
6. AFTER THE AREAS DRAINING TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, THE SEDIMENT CONTROL DEVICES CAN BE REMOVED. (1 DAY)

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT, ARRANGE PRE-CONSTRUCTION MEETING WITH SEDIMENT CONTROL INSPECTOR.
2. INSTALL STONE CONSTRUCTION ENTRANCES AS INDICATED.
3. INSTALL REMAINDER OF SEDIMENT CONTROLS.
4. GRADE SITE.
5. INSTALL STORM DRAIN.
6. FINE GRADE AND STABILIZE SITE WITH BASE COURSE PAVING, SEED AND MULCH OR SOO. TRAP AREAS CONTRIBUTING TO SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED AND PERMISSION IS GRANTED BY THE SEDIMENT CONTROL INSPECTOR, BACKFILL SEDIMENT TRAPS, CONSTRUCT REMAINING STORM DRAIN, PROVIDE INLET PROTECTION AS REQUIRED. STABILIZE ALL REMAINING AREAS.
8. INSTALL SURFACE COURSE PAVING.

Sediment Trap #4085
 MCEP Sediment Trap
 Drainage Area:
 0.72 Ac. (Pre-Developed) 0.89 Ac. (Post-Developed)
 Storage Required = 0.89 (1000) = 1002 cu. ft.
 Storage Depth = 2 feet
 Crest Elevation = 330.31
 Outlet Elevation = 330.31
 Bottom Elevation = 332.31
 Side Slope 2:1
 Surface Area @ Elevation 330.31 (*L.O.S.) = 1452 sq. ft.
 Surface Area @ Elevation 332.31 (Bottom) = 812 sq. ft.
 Volume Provided = 812 x 1452 x 2 = 2264 cu. ft.
 *L.O.S. = Limit of Storage



FOR REVISION DATED 07/23/2023



07/23/23

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NUMBER: 12975
 EXPIRATION DATE: MAY 24, 2024

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.
 John M. [Signature] 7/23/23
 Howard S.C.D. date

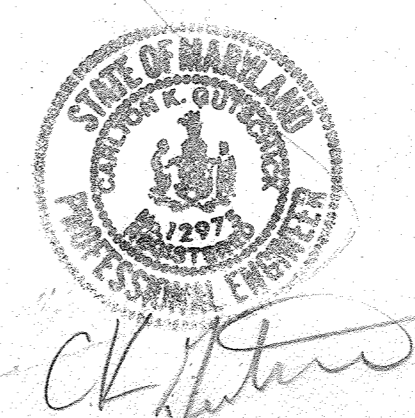
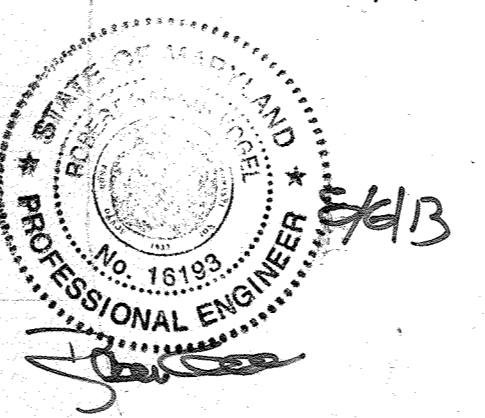
This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
 [Signature] 7/23/23
 Howard S.C.D. date

EXISTING BUILDING #2
 F.F.E. = 343.08

NOTE DUE TO THE COMPLEXITY OF DEPICTING IMPROVEMENTS FOR PEPSI BEVERAGE COMPANY ON THIS SHEET, ALL EXISTING AND PROPOSED CONDITIONS FOR THE PROPOSED IMPROVEMENTS HAVE BEEN SHOWN ON SHEETS 8 & 9.

DRAINAGE AREA TABULATION				
DRAINAGE AREA	AREA	AREA PERVIOUS	AREA IMPERVIOUS	C
4085	0.89	0.30	0.59	0.65
4088	0.41	0.00	0.41	0.87
4078	1.19	0.82	0.37	0.44
4080	0.30	0.17	0.13	0.51
100	0.44	0.14	0.30	0.67

FOR REVISION DATED 06/04/23 ONLY:



DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a Certificate of Attendance at a Mandatory Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.
 [Signature] 2-3-93
 Date

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 [Signature] 2/3/93
 Date

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.
 [Signature] 8-11-93
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 [Signature] 8/16/93
 DIRECTOR DATE

APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS
 [Signature] 8/16/93
 SUPERVISOR DATE

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC WORKS, HOWARD COUNTY DEPT. OF PUBLIC WORKS
 [Signature] 8/10/93
 SUPERVISOR DATE

[Signature] 8/2/93
 M.E.A. CURRANT & ASSOCIATES, INC. ENGINEERING M.K. COOPER DATE

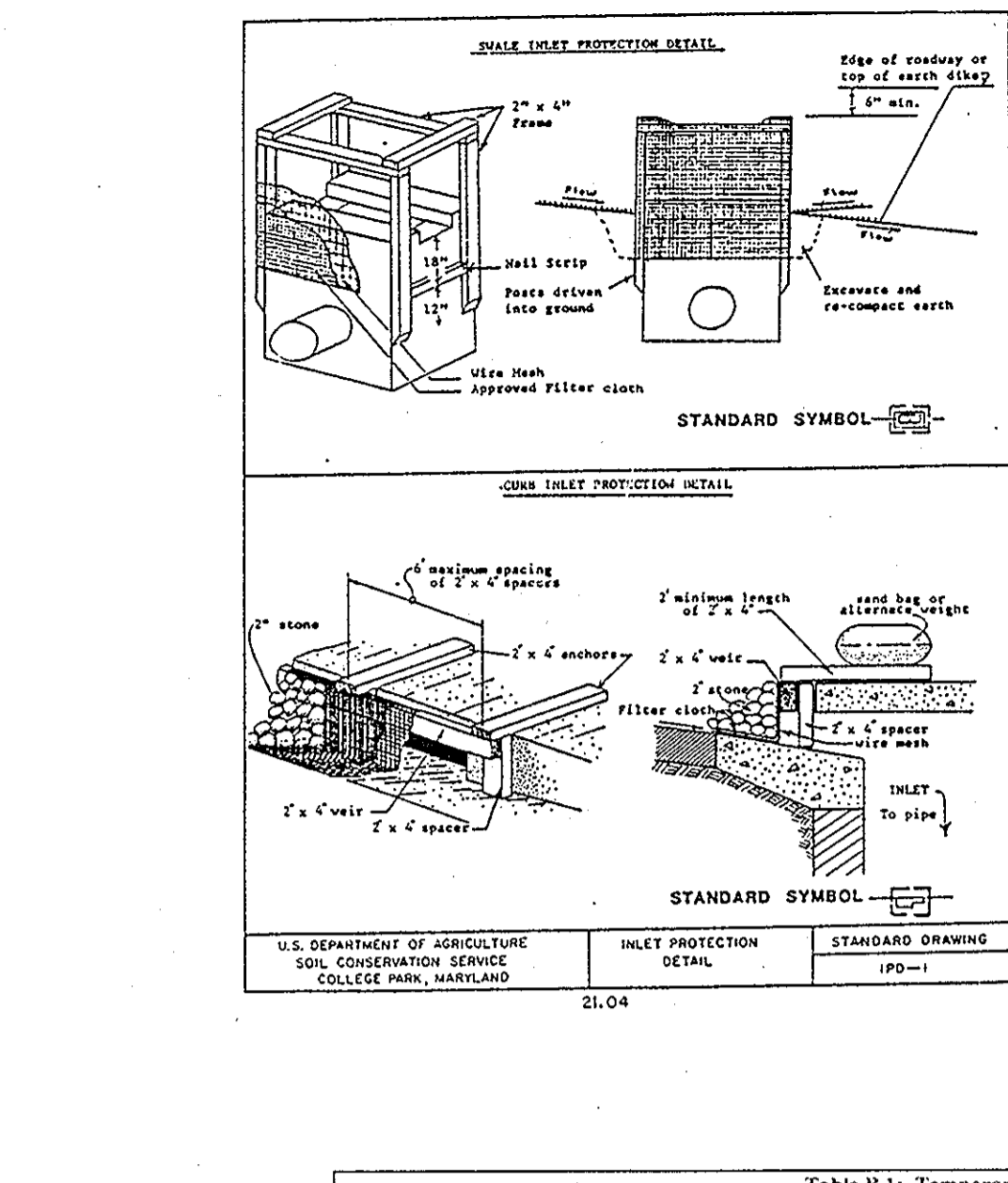
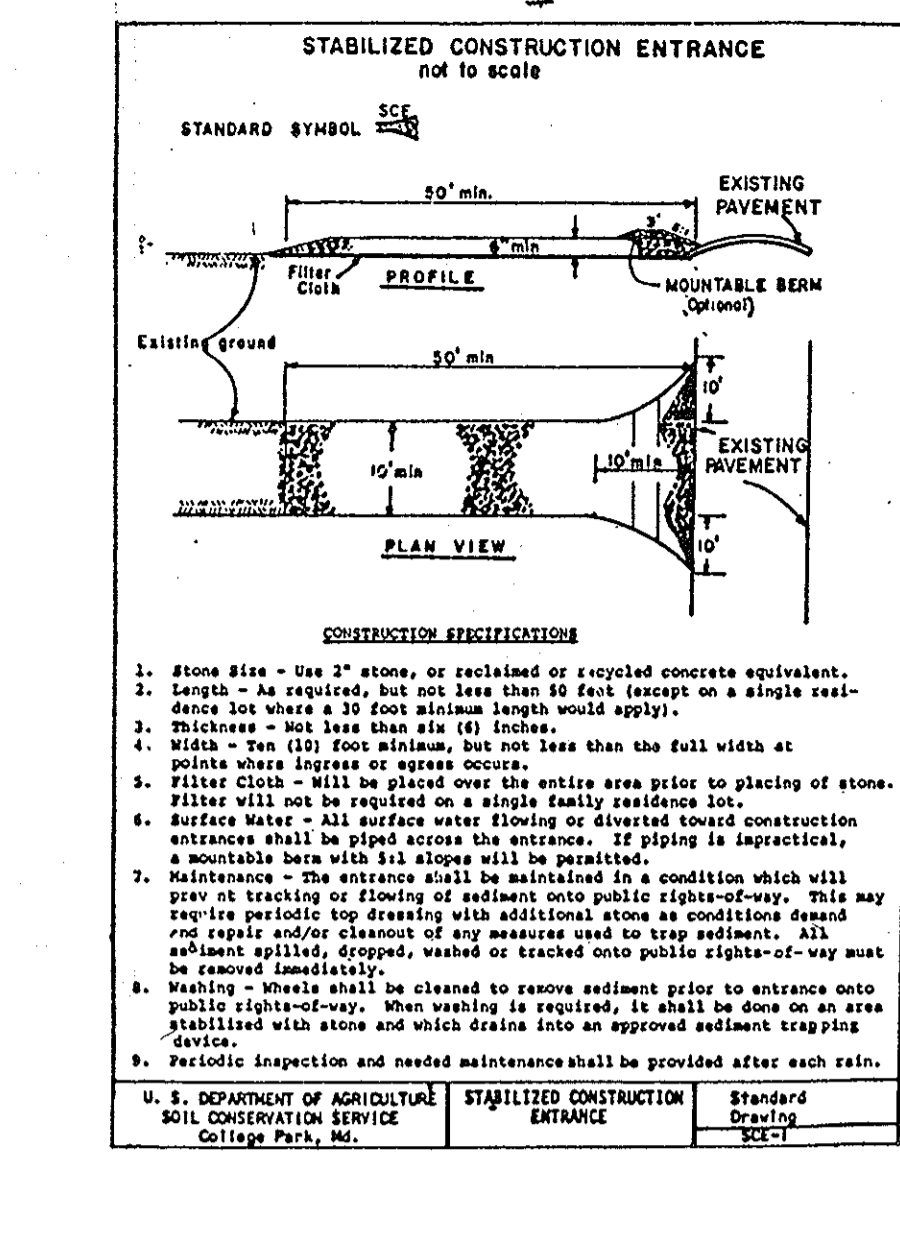
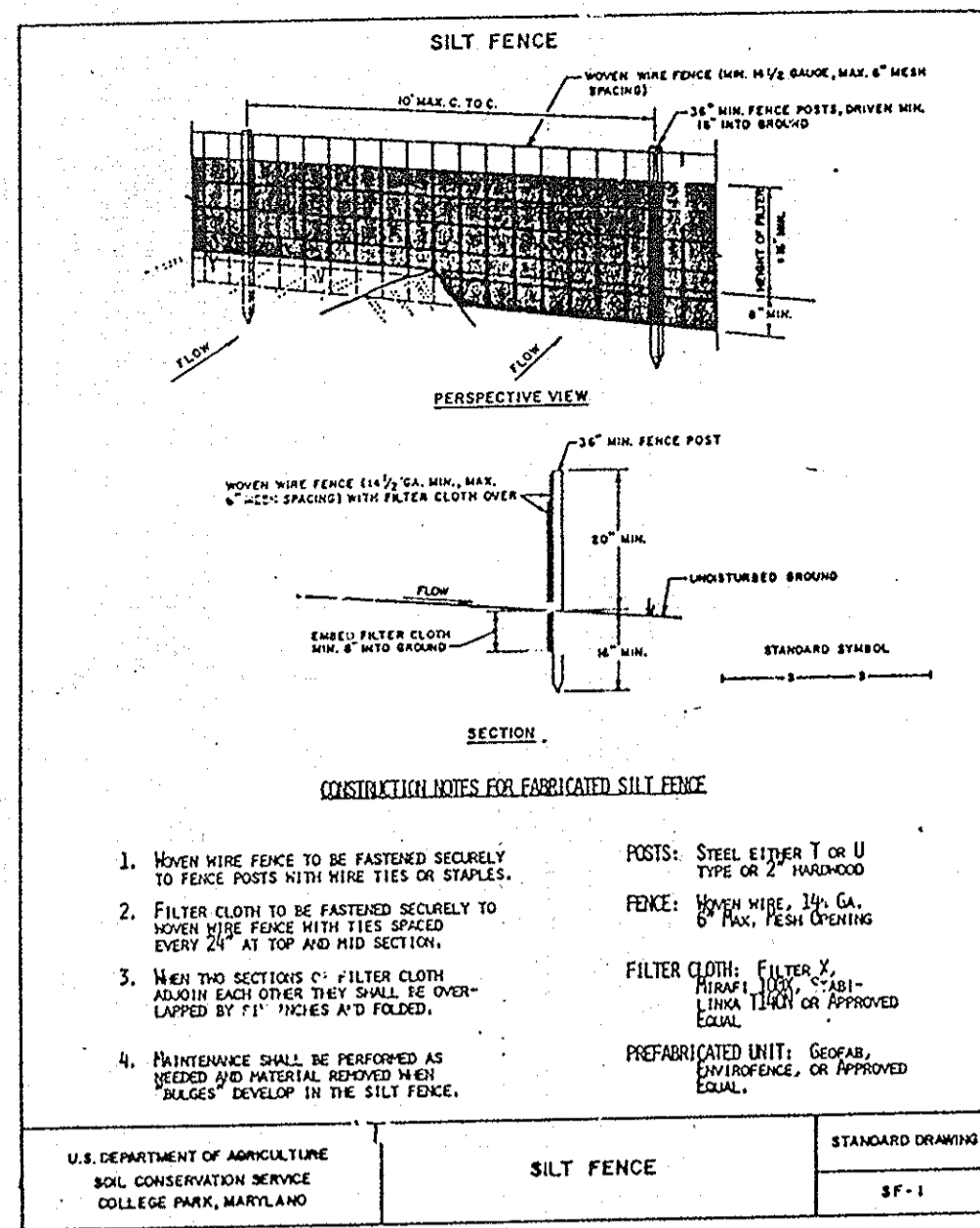
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 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.
10/21/2023	REVISE PLAN TO REFLECT CHANGES SHOWN ON THE TENTATIVE IMPROVEMENT PLANS	HJK	DEV
06/04/23	MODIFY TRAILER DOCK AREA TO INCLUDE A BUILDING ADDITION AND EXISTING PARKING	RHV	
2/16/10	ADD TRUCK COURT AND TRAILER PARKING; EXPAND EX. TRUCK COURT	RHV	
4-23-93	Sheet numbering	KLP	
11-8-92	L.O.P. for phase II, label inlet protection & prop. inlet	e.n.p.	

PREPARED FOR:
 THE HOWARD RESEARCH & DEVELOPMENT CORP
 THE ROUSSEAU BUILDING
 10275 LITTLE PATUKENT PKNY
 COLUMBIA, MD. 21044
 (301) 992-6027

SEDIMENT CONTROL & DRAINAGE AREA PLAN
GATEWAY COMMERCE CENTER
 BUILDING #2
 PARCEL 513 101/PARCEL A-74
 HOWARD COUNTY, MARYLAND
 6TH ELECTION DISTRICT

DES.:	SCALE	ZONING	G.L.W. FILE NO.
MJT	1"=50'	M-1	01-056
DRN.:	DATE	TAX MAP No.	SHEET
HK	DEC. 1992	42	3 OF 13
CRK.:	BLOCK/GRID		
HK	42/6		



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

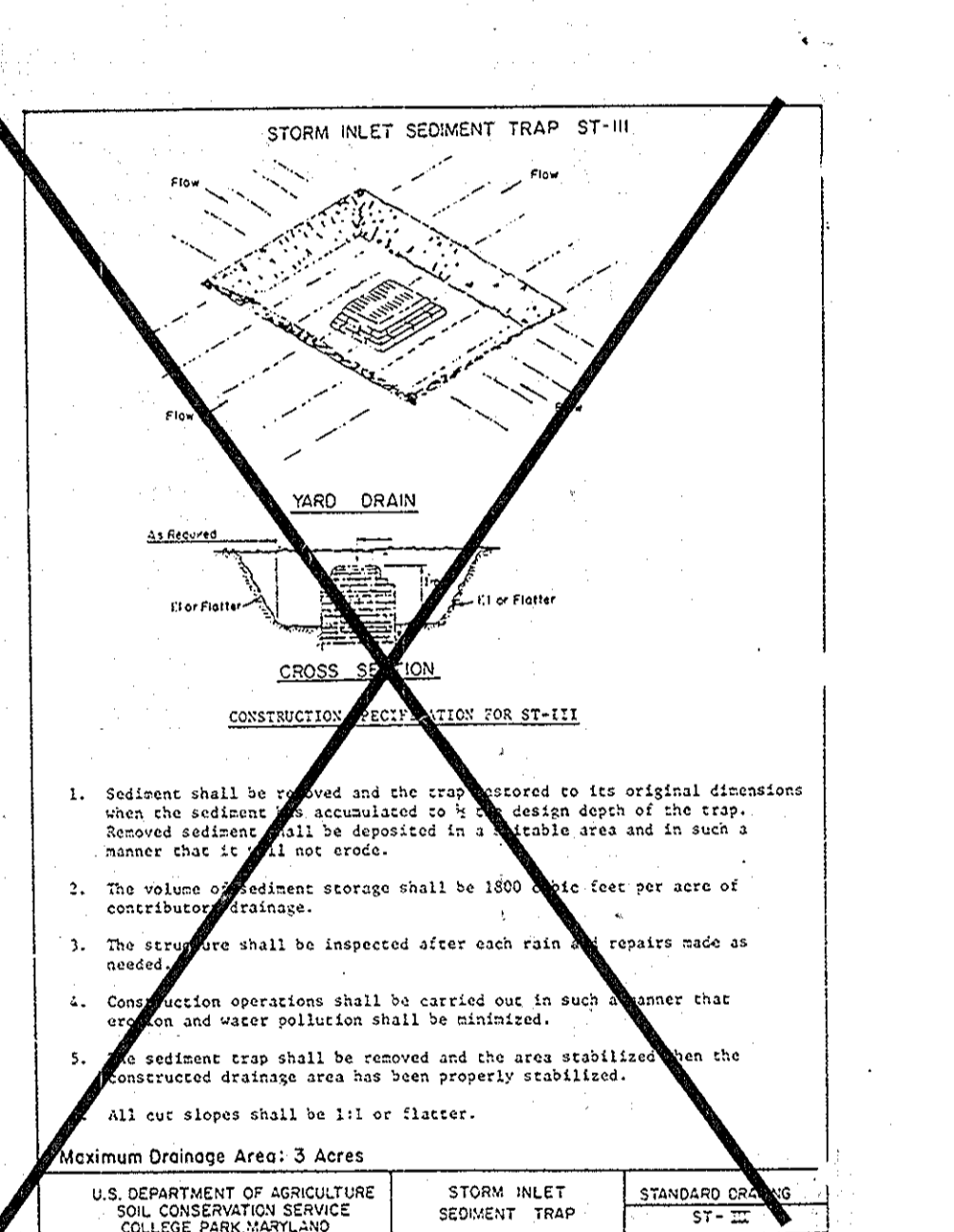
- WOODEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOODEN WIRE FENCE WITH TIES SPACING EVERY 2' AT TOP AND MID SECTION.
- WASH THE SECTION C FILTER CLOTH ABOUT EACH CORNER THEY SHALL BE OVERLAPPED BY 12" HOLES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS PER THE MATERIAL SUPPLIER'S RECOMMENDATIONS TO DEVELOP IN THE SILT FENCE.

CONSTRUCTION SPECIFICATIONS

- Flood Size - 24" x 36" stone, or equivalent of recycled concrete equivalent. Length - As required, but not less than 18 feet except on a single residence lot where a 30 foot minimum length would apply.
- Thickness - Not less than 4" (1) inches.
- Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a slight family residence lot.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable beam with 5/8" slope will be permitted.
- Drainage - The entrance shall be installed in a condition which will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone in conditions where road repair and/or cleanup of any materials used to trap sediment. All entrance materials, gravel, wash or other material on public right-of-way must be removed immediately.
- Washing - When cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Inspection and maintenance shall be provided after each rain.

SEDIMENT CONTROL LEGEND

- SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- EX. DRAINAGE DIVIDE
- PROP. DRAINAGE DIVIDE
- INLET PROTECTION
- LIMIT OF DISTURBANCE
- USING AREA DESIGNATION



SEQUENCE OF CONSTRUCTION (PEPSI)

- OBTAIN HOWARD COUNTY GRADING PERMIT, (WEEK 1)
- NOTIFY HOWARD COUNTY AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION.
- CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE.
- INSTALL STABILIZED CONSTRUCTION ENTRANCES WITH MOUNTABLE BEAMS. (1 DAY)
- INSTALL PERIMETER CONTROLS, AS INDICATED ON PLANS. (1 WEEK)
- WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB SITE. (2 WEEKS)
- BEGIN SITE GRADING AND UTILITY CONSTRUCTION INCLUDING MICRO BIORIENTATION AREAS. PROVIDE INLET PROTECTION AS SHOWN ON THESE PLANS (RAMP INLETS: 1-1, 1-2, 1-3, 1-4, 1-5, 1-6, 1-7, T-1, AND T-2, IN S.F. AS INDICATED). (4 WEEKS)
- BEGIN BUILDING ADDITION CONSTRUCTION. (3 WEEKS)
- WITH INSPECTOR'S APPROVAL, INSTALL ON-SITE PAVING BASE COURSE. (1 WEEK)
- BEGIN INSTALLATION OF ON-SITE CURB AND GUTTER. (1 WEEK)
- COMPLETE ALL CURB & GUTTER AND PAVEMENT CONSTRUCTION. (3 WEEKS)
- COMPLETE MICRO BIORIENTATION CONSTRUCTION. (2 WEEKS)
- INSTALL ALL PAVING SURFACE COURSE. (1 WEEK)
- FINE GRADE AND STABILIZE ALL AREAS OF PARCEL INCLUDING ANY EXPOSED EARTH AREAS OUTSIDE THE LOD. REMOVE ALL TRASH JUNK AND DEBRIS FROM ENTIRE PARCEL. (1 WEEK)
- REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. (1 WEEK)

Table B.1: Temporary Seeding for Site Stabilization

Plant Species	Seeding Rate ¹		Seeding Depth ² (inches)	Recommended Seeding Dates by Plant Hardiness Zone ³				
	lb/ac	lb/1000 ft ²		5b and 6a	6b	7a and 7b		
Cool-Season Grasses								
Annual Ryegrass (<i>Lolium perenne ssp. multiflorum</i>)	40	1.0	0.5	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30		
Barley (<i>Hordeum vulgare</i>)	96	2.2	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30		
Oats (<i>Avena sativa</i>)	72	1.7	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30		
Wheat (<i>Triticum aestivum</i>)	120	2.8	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30		
Cereal Rye (<i>Syntherisma cereale</i>)	112	2.8	1.0	Mar 15 to May 31; Aug 1 to Oct 31	Mar 1 to May 15; Aug 1 to Nov 15	Feb 15 to Apr 30; Aug 15 to Dec 15		
Warm-Season Grasses								
Foxtail Millet (<i>Setaria italica</i>)	30	0.7	0.5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14		
Poa Millet (<i>Pennisetum glaucum</i>)	20	0.5	0.5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14		

NOTES:

- Seeding rates for the warm-season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as tested. Adjustments are usually not needed for the cool-season grasses.
- Seeding rates listed above are for temporary seedings, when planted alone. When planted as a nurse crop with permanent seed mixtures, use 1/3 of the seeding rate listed above for barley, oats, and wheat. For small-seeded grasses (annual ryegrass, pearl millet, foxtail millet), do not exceed more than 5% (by weight) of the overall permanent seeding mix. Cereal rye generally should not be used as a nurse crop, unless planting will occur in very late fall beyond the seeding dates for other temporary seedings. Cereal rye has allelopathic properties that inhibit the germination and growth of other plants. If it must be used as a nurse crop, seed at 1/3 of the rate listed above.
- Oats are the recommended nurse crop for warm-season grasses.
- For sandy soils, plant seeds at twice the depth listed above.
- The planting dates listed are averages for each zone and may require adjustment to reflect local conditions, especially near the boundaries of the zones.

NOTES:

- DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN.
- FOLLOWING INITIAL SOIL DISTURBANCES OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DREN, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - SEVEN (7) CALENDAR DAYS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

SITE ANALYSIS (PEPSI)

TOTAL AREA	115.88 ACRES
AREA DISTURBED (PROJECT)	6.01 ACRES
AREA TO BE ROOFED OR PAVED	2.74 ACRES
AREA TO BE VEGETATIVELY STABILIZED	1.79 ACRES
TOTAL CUT	15,108 CY
TOTAL FILL	1,388 CY
WASTE/BORROW LOCATION	TO BE DETERMINED

IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES:

WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5b, 6a)
 CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 6b)
 SOUTHERN MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7a, 7b)

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSIONS AND SEDIMENT CONTROL for permanent seedings (Sec. 51), sod (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization, with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 Total Area of Site: 3.2 Acres
 Area Disturbed: 1.2 Acres
 Area to be roofed or paved: 1.0 Acres
 Area to be vegetatively stabilized: 0.2 Acres
 Total Cut: 1200 Cu. Yds.
 Total Fill: 60 Cu. Yds.
 Off-Site waste/borrow area location: PARCEL A-33 SDP 23-42
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

PERMANENT SEEDING NOTES

- Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seedbed Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
 - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
- Seeding:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
- Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
- Seedbed Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
- Seeding:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs./1000 sq ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.
- Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, for rate and methods not covered.

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.
 [Signature] 8/11/93
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 [Signature] 8/14/93
 DATE

APPROVED: DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT
 [Signature] 8/16/93
 DATE

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS HOWARD COUNTY DEPT. OF PUBLIC WORKS
 [Signature] 8/10/93
 DATE

[Signature] 8/9/93
 DATE

FOR REVISION, DATED 04/04/94 ONLY:

[Signature] 8/16/93
 PROFESSIONAL ENGINEER
 DATE

[Signature] 2/3/93
 DATE

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 2/3/93
 DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a MARYLAND DEPT. OF THE ENVIRONMENT Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

[Signature] 2-3-93
 DATE

Reviewed for [Signature] S.C.D. Name and meets Technical Requirements.

[Signature] 2/19/93
 DATE

[Signature] 2/25/93
 DATE

GLW GUTSCHICK LITTLE & WEBER, P.A.
 ENGINEERS, PLANNERS, SURVEYORS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866
 TELEPHONE: (301) 421-4024

DATE	REVISION	BY	APP'R.
6/10/93	MODIFY TRAILER PARK AREA TO INCLUDE A BUILDING ADDITION AND BUSTING PARKING LOT	RHV	
4/23/90	SHEET NUMBERING	KLT	

PREPARED FOR:
 THE HOWARD RESEARCH & DEVELOPMENT CENTER
 THE ROUSE BUILDING
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD. 21044
 (301) 992-6027

SEDIMENT CONTROL NOTES & DETAILS

GATEWAY COMMERCE CENTER
 BUILDING #2
 PARCEL 513 - LOT/PARCELA-14
 HOWARD COUNTY, MARYLAND
 6TH ELECTION DISTRICT

SCALE	ZONING	G.L.W. FILE NO.
	M-1	21-056
DATE	TAX MAP NO.	SHEET
DEC. 1992	42	4 OF 13

SEDIMENT CONTROL NOTES

1. DUE TO EXTREMELY FLAT TOPOGRAPHY, SILT FENCE IS NOT REQUIRED ALONG SEWER TRENCH.
2. INLET PROTECTION SHOWN IS BASED ON PROXIMITY TO SEWER CONSTRUCTION, IF OVERLAND FLOW COULD NOT POSSIBLY CONVEY ANY SEDIMENT TO A PARTICULAR INLET, THAT I.P. CAN BE OMITTED.
3. SEWER MUST BE BACKFILLED IMMEDIATELY UPON PIPE INSTALLATION. CONSTRUCTION SHALL PROGRESS IN SECTIONS; CONTRACTOR IS NOT PERMITTED TO EXPOSE ENTIRE TRENCH AT ONE TIME.

EXISTING BLDG. 2

LIMIT OF SUBMISSION

MATCH LINE SEE SHEET 5

LIMIT OF SUBMISSION

GATEWAY COMMERCE CENTER
PARCEL A-35

NOTE: DUE TO THE COMPLEXITY OF DEPICTING IMPROVEMENTS FOR PEPSI BEVERAGE COMPANY ON THIS SHEET, ALL EXISTING AND PROPOSED CONDITIONS FOR THE PROPOSED IMPROVEMENTS HAVE BEEN SHOWN ON SHEETS 8 & 9.

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 3/25/96
Date

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

[Signature] 3/25/96
Signature of Developer/Builder Date

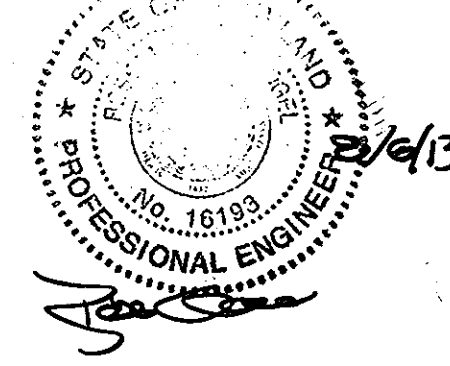
These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

[Signature] 4/30/96
Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

[Signature] 4/13/96
[Signature] 7/25/13
Date

FOR REVISION, DATED 6/10/13 ONLY:



Approved: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 5/11/96
Director (John)
[Signature] 5/9/96
Chief, Div. of Land Development & Research
[Signature] 5/9/96
Chief, Development Engineering Div. MK

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866

TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.
06/04/13	MODIFY TRAILER DOCK AREA TO INCLUDE A BUILDING ADDITION AND EXISTING PARKING LOT	RHV	
2/10/10	ADD TRUCK COURT AND TRAILER PARKING; EXPAND EX. TRUCK COURT	RHV	
3-20-96	ADDITIONAL SHEET	KLP	

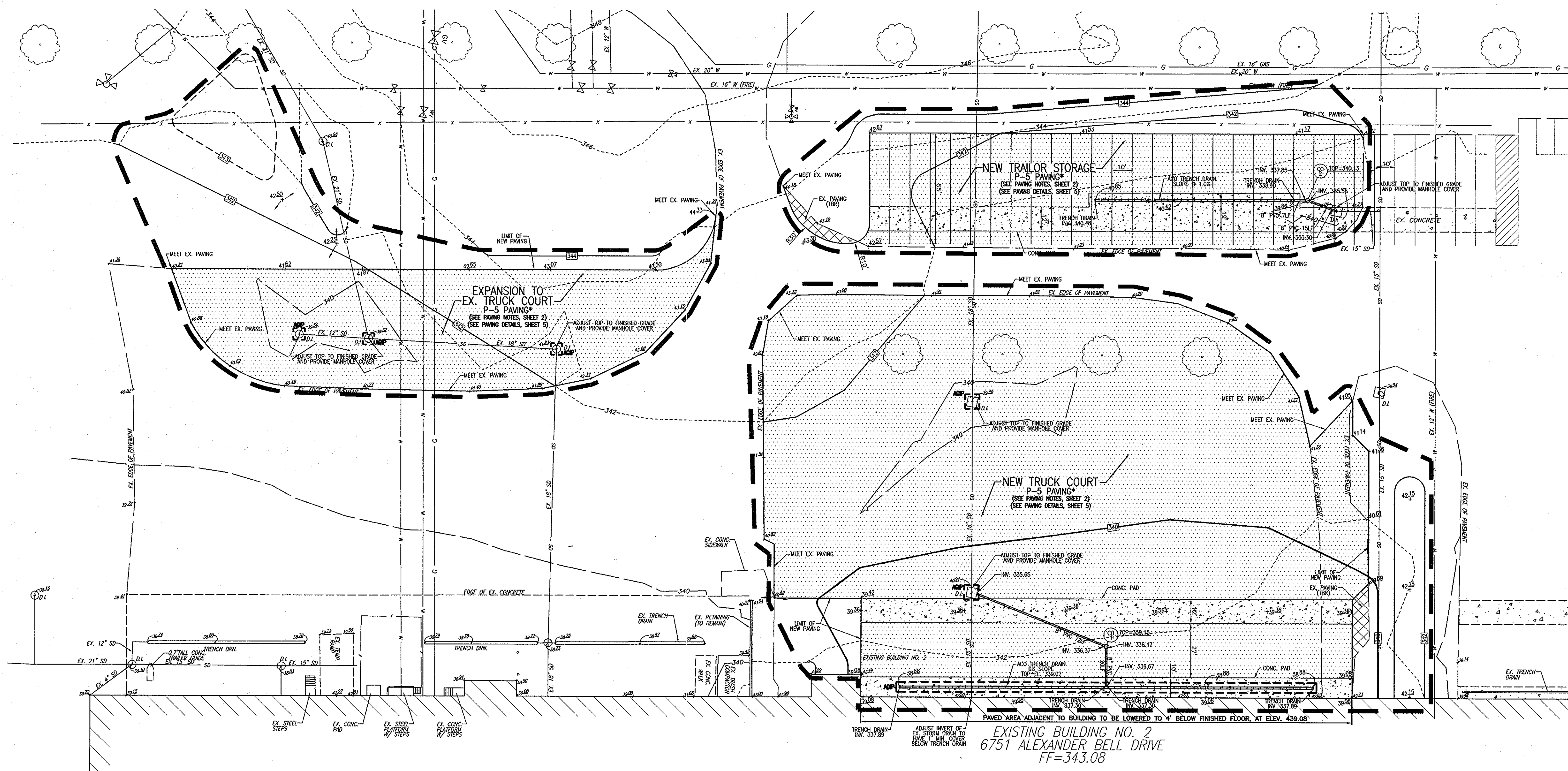
PREPARED FOR:
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
THE ROUSE BUILDING
10276 LITTLE PATUXENT PKWY.
COLUMBIA, MD. 21044
(201) 902-6027

GENERAL PLAN
GATEWAY COMMERCE CENTER
BUILDING #2
PARCEL 5'S - LOT/PARCEL A-74
HOWARD COUNTY, MARYLAND
6TH ELECTION DISTRICT

DES. R.S.P.	SCALE	ZONING	G.L.W. FILE NO.
EO	1"=50'	M-1	91-050
DRN.	DATE	TAX MAP NO.	SHEET
EO	MARCH 1000	42	0 OF 13
CHK.	BLOCK/GRID		
C.K.G.	42 BLOCK/GRID: G		

LEGEND:

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
+02.68	PROPOSED SPOT ELEVATION
+02.68	EXISTING SPOT ELEVATION
==	EXISTING CURB AND GUTTER
==	PROPOSED CURB AND GUTTER
⊙	EXISTING UTILITY POLE
⊙	EXISTING LIGHT POLE
⊙	EXISTING MANHOLE
⊙	EXISTING SIGN
⊙	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING WATER LINE
⊙	EXISTING TREES (FIELD LOCATED)
---	EXISTING TREELINE (FIELD LOCATED)
---	EXISTING FENCE
---	PROPOSED SIDEWALK
---	SILT FENCE
---	SUPER SILT FENCE
---	LIMIT OF DISTURBANCE
---	AT GRADE INLET PROTECTION



▲ STORMWATER MANAGEMENT REQUIREMENTS FOR THE PROPOSED ADDITIONAL PAVING WILL BE ACCOMMODATED BY THE EXISTING FACILITY LOCATED ON LOT 15 AS SHOWN ON PLAT M340 PER THE 2000 STORMWATER MANAGEMENT REGULATIONS.

OWNER/DEVELOPER
 GATEWAY A-74 & A-76, LLC
 C/O DELOITTE TAX LLP
 P.O. BOX 11338
 MCLEAN, VA. 22102
 410-560-0300

EXISTING BUILDING NO. 2
 6751 ALEXANDER BELL DRIVE
 FF=343.08

NO.	REVISION	DATE
1	ADDING SHEET G TO PLANS SET TO SHOW NEW TRUCK COURT & TRAILER PARKING, EXPANSION OF EXISTING TRUCK COURT	7/1/10

REVISED SITE DEVELOPMENT PLAN
NEW TRUCK COURT AND TRAILER PARKING, AND EXPANSION TO EXISTING TRUCK COURT
GATEWAY COMMERCE CENTER
 6751 ALEXANDER BELL DRIVE
 BUILDING #2
 PARCEL A-74
 TAX MAP 42 BLOCK 6
 6TH ELECTION DISTRICT
 PARCEL A-74, BUILDING #2
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

DESIGN BY: DZ
 DRAWN BY: DZ
 CHECKED BY: RNV
 DATE: MARCH, 2010
 SCALE: 1"=30'
 W.O. NO.: 09-29

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRES DATE 08-27-2010

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 No. 16193

6A SHEET OF 7

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature]
 DIRECTOR

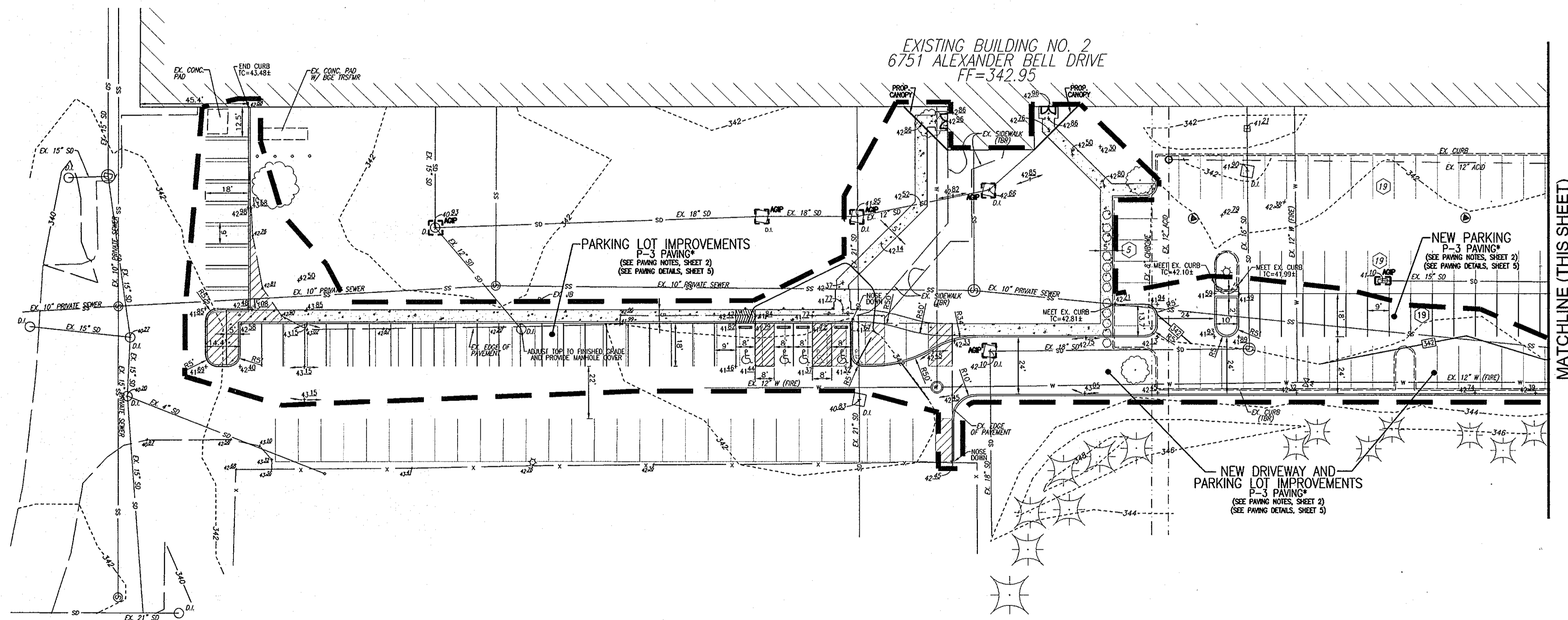
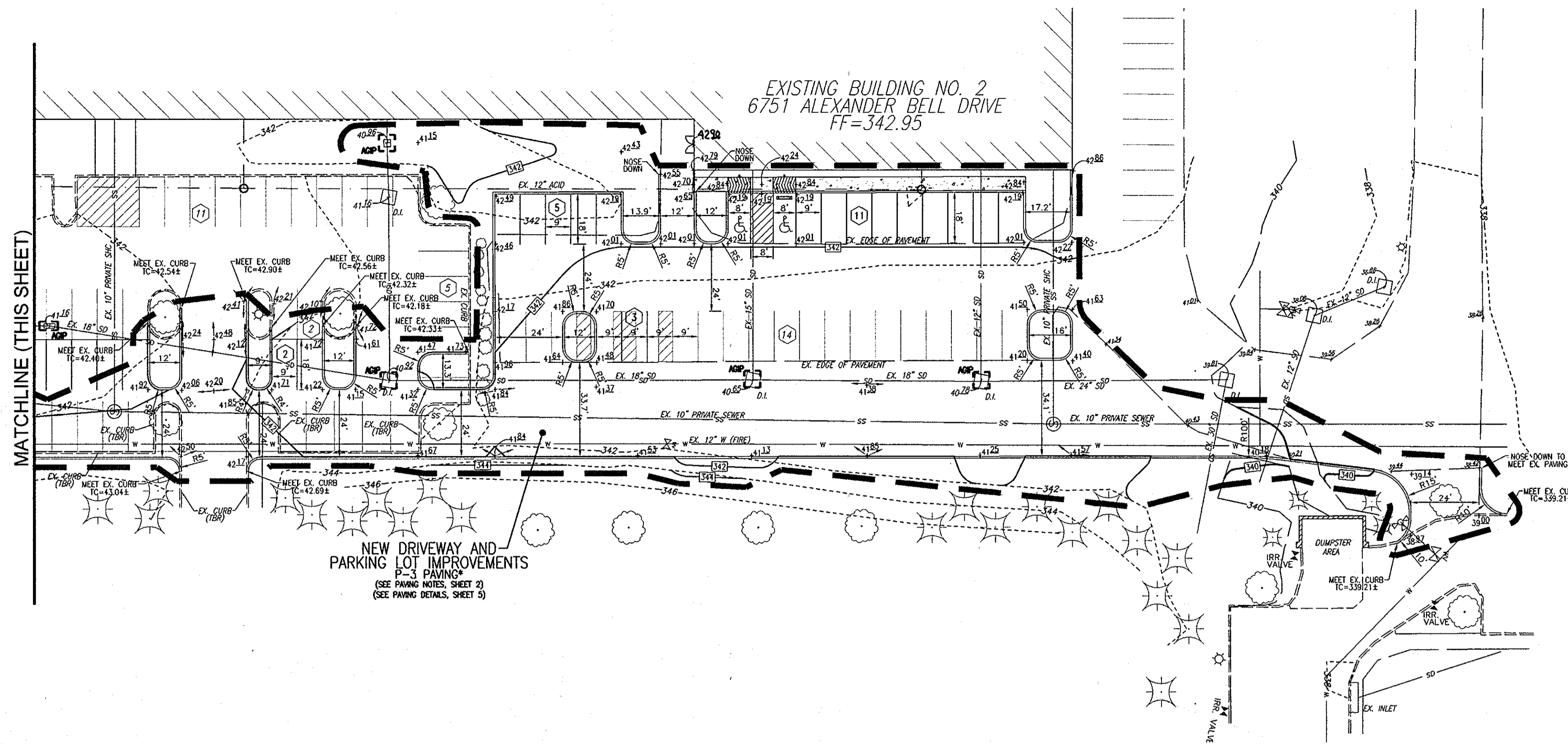
BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 SIGNATURE OF DEVELOPER
 3/30/10
 DATE

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 SIGNATURE OF ENGINEER
 4/5/10
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 N.A. HOWARD S.C.D. DATE

LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- +02.88 PROPOSED SPOT ELEVATION
- +02.88 EXISTING SPOT ELEVATION
- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREES (FIELD LOCATED)
- EXISTING TREELINE (FIELD LOCATED)
- EXISTING FENCE
- PROPOSED SIDEWALK
- SILT FENCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- AGIP AT GRADE INLET PROTECTION

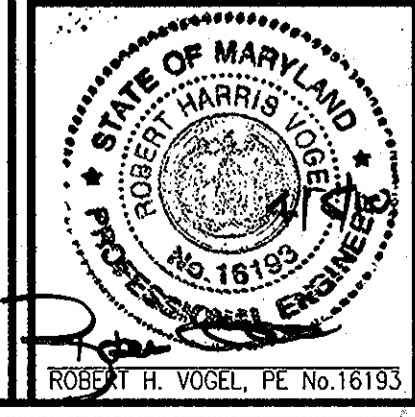


OWNER/DEVELOPER
 GATEWAY A-74 & A-76, LLC
 C/O DELOITTE TAX LLP
 P.O. BOX 11338
 MCLEAN, VA. 22102
 410-560-0300

1	ADDING SHEET 6B TO PLAN SET TO SHOW NEW DRIVEWAY & PARKING LOT IMPROVEMENTS	7/1/10
NO.	REVISION	DATE

REVISED SITE DEVELOPMENT PLAN
NEW DRIVEWAY AND PARKING LOT IMPROVEMENTS
GATEWAY COMMERCE CENTER
 6751 ALEXANDER BELL DRIVE
 BUILDING #2
 PARCEL A-74
 TAX MAP 42 BLOCK 6
 6TH ELECTION DISTRICT
 PARCEL A-74, BUILDING #2
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961



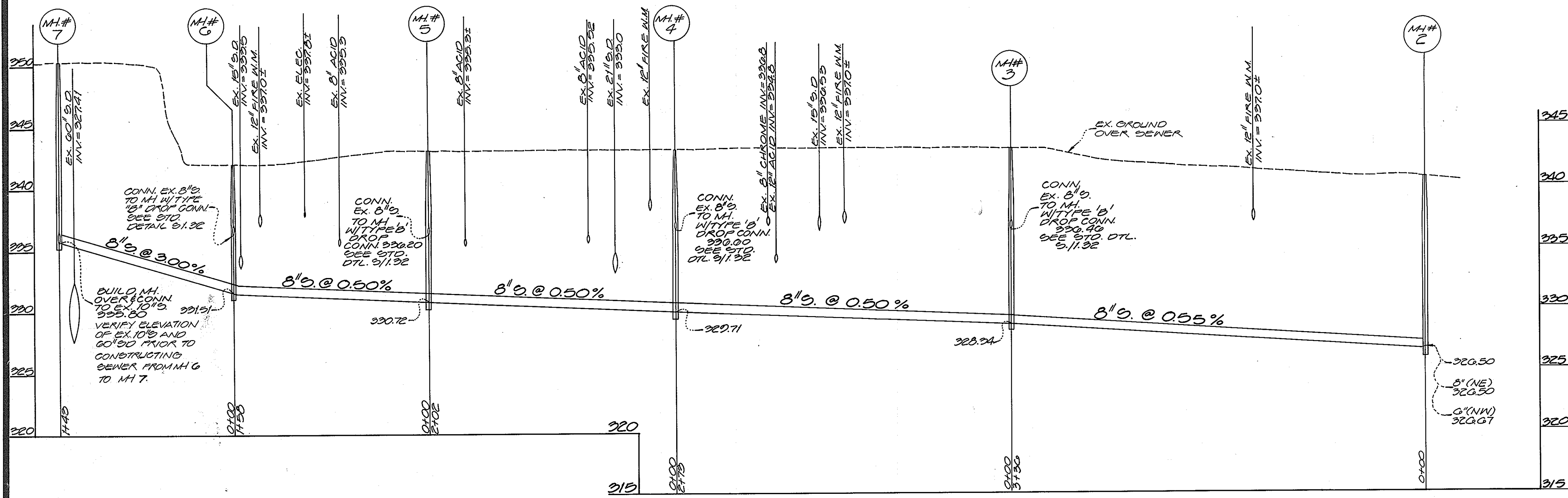
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 06-27-2010.
 DESIGN BY: _____ DZ.
 DRAWN BY: _____ DZ.
 CHECKED BY: _____ RHV.
 DATE: MARCH, 2010.
 SCALE: 1"=30'.
 W.O. NO.: 09-29.
6B SHEET OF **7**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 7/1/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 7/1/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 7/1/10
 DIRECTOR

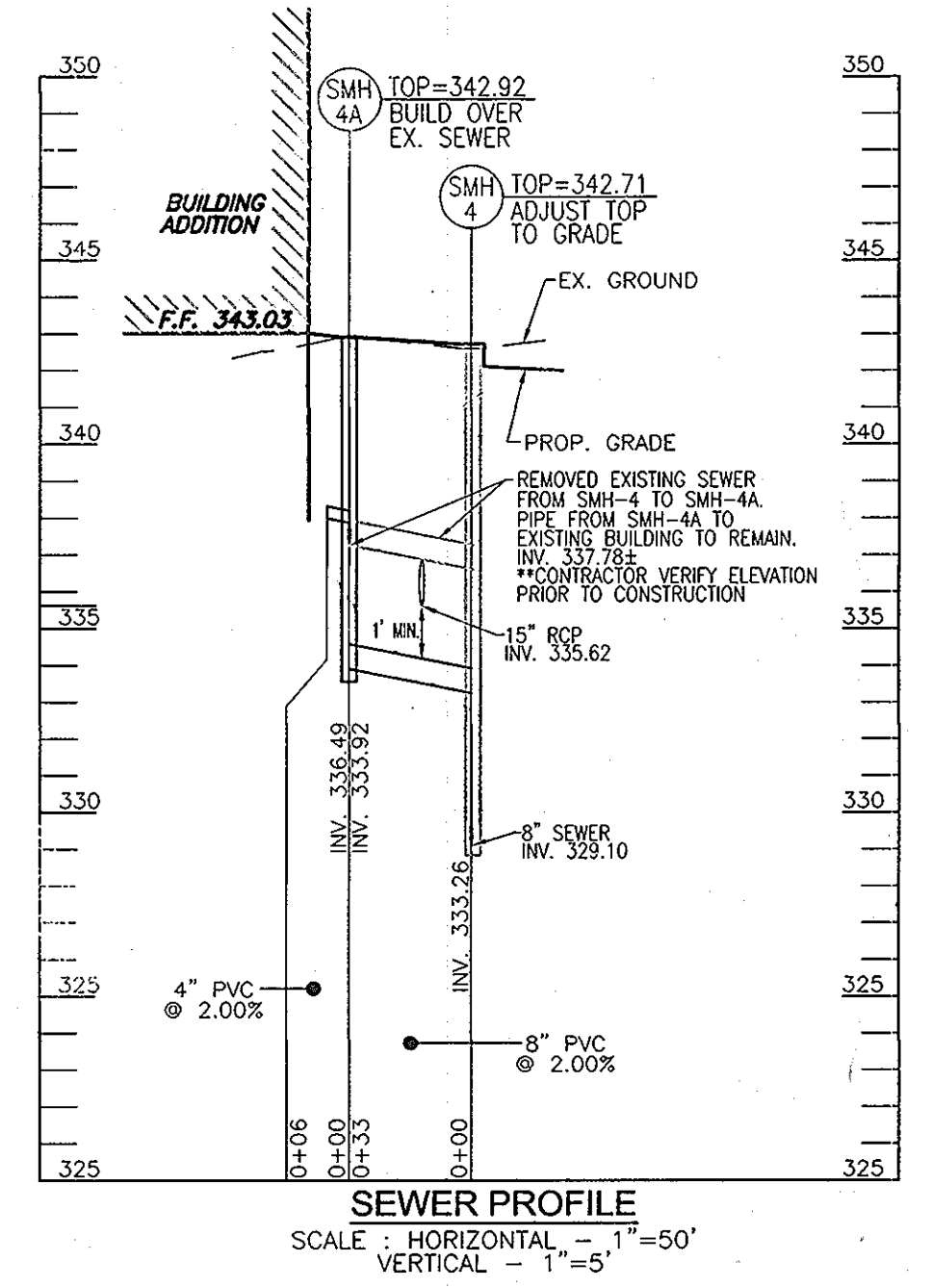
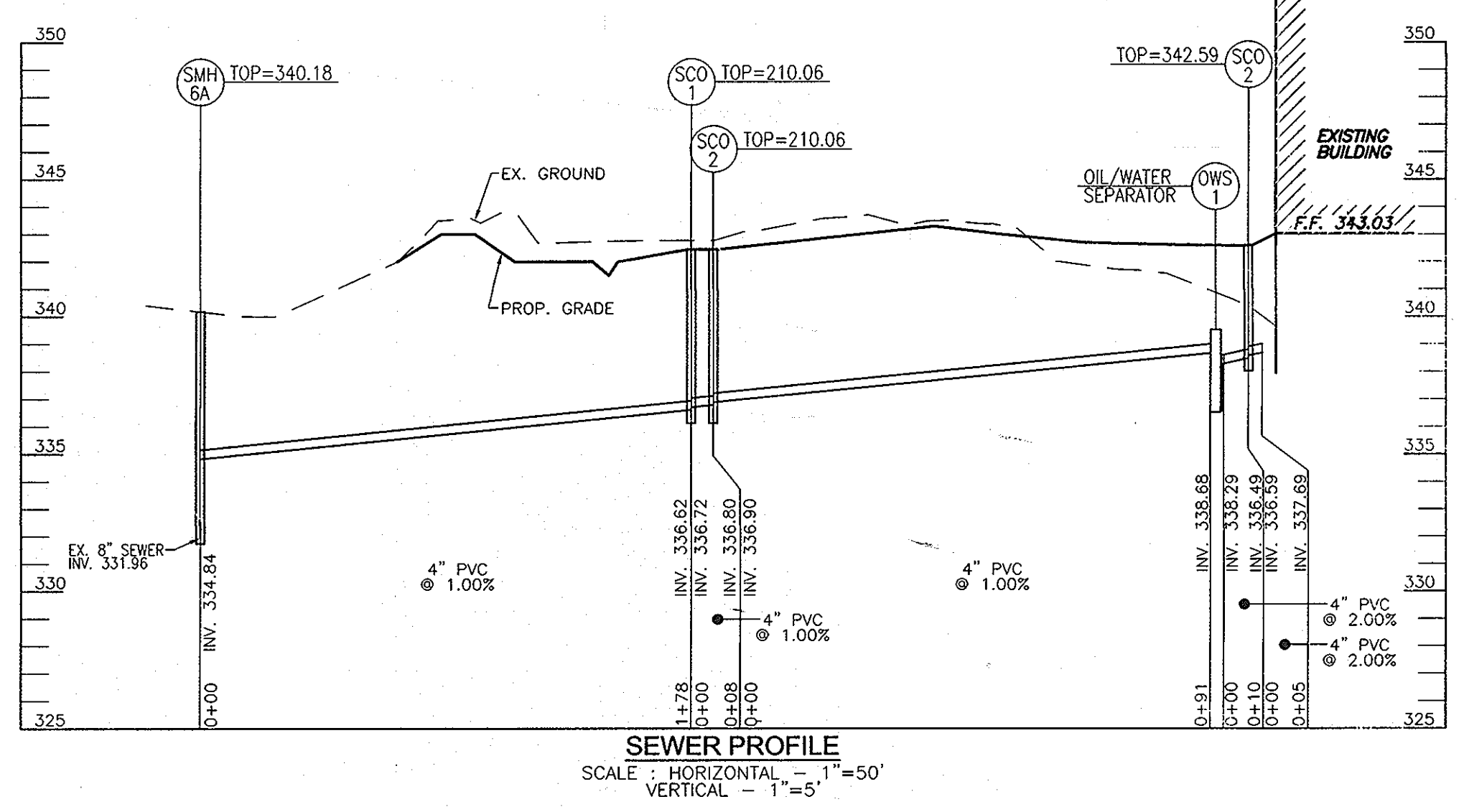
BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 3/30/10
 SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 4/5/10
 SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 N.A. 4/5/10
 HOWARD S.C.D. DATE



SCALE
 HORIZ. : 1"=50'
 VERT. : 1"=5'



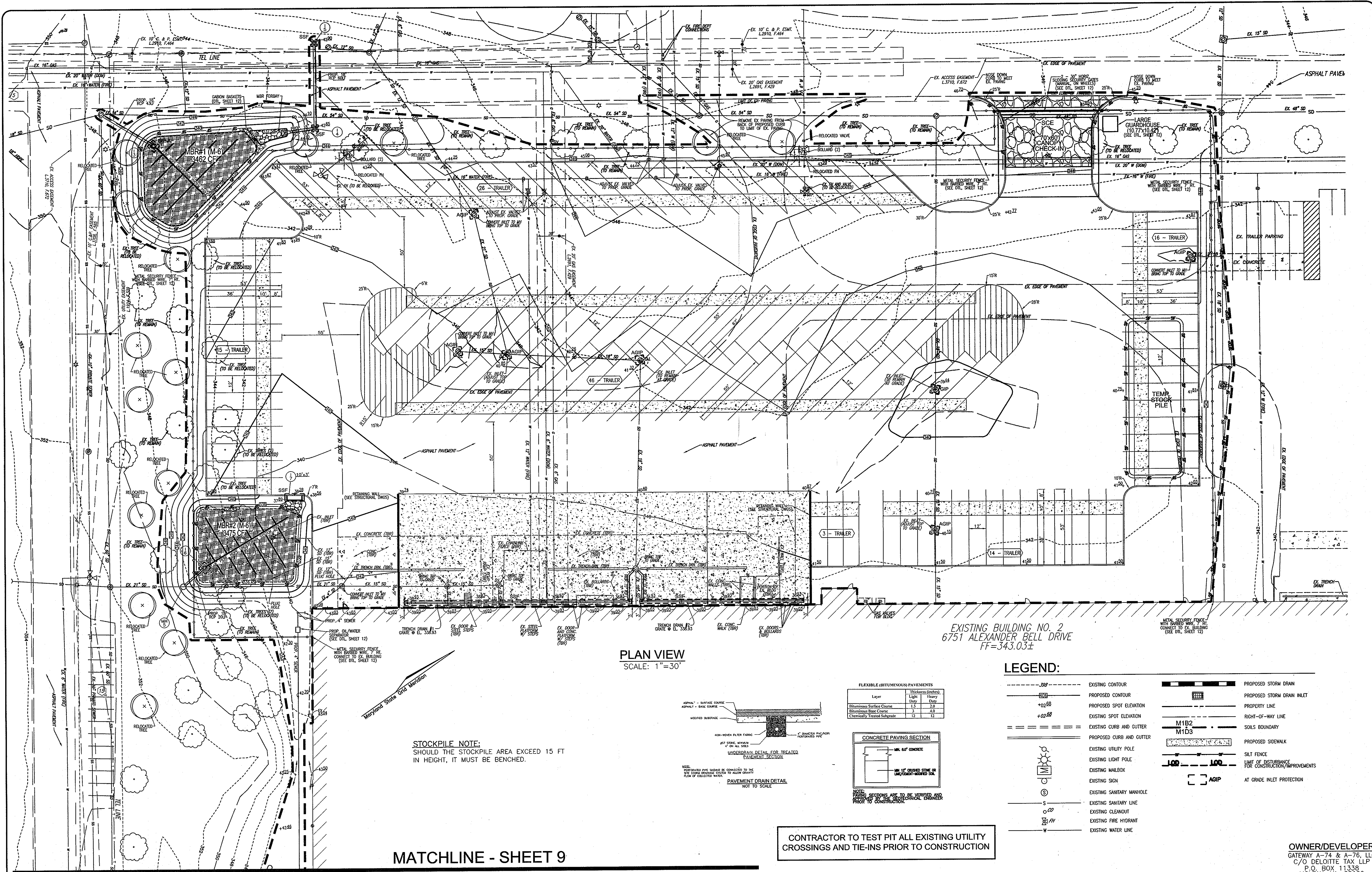
Approved: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 [Signature] 5/10/96
 Director Date
 [Signature] 5/19/96
 Chief, Div. of Land Development & Research Date
 [Signature] [Signature]
 Chief, Development Engineering Div. MK Date

CONTRACTOR TO TEST PIT ALL EXISTING UTILITY CROSSINGS AND TIE-INS PRIOR TO CONSTRUCTION

FOR REVISION DATED 6/20/96
 [Signature]
 STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 No. 16199
 6/14/96



GLW GUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186	08/04/93 DATE	MODIFY TRAILER DOCK AREA TO INCLUDE A BUILDING ADDITION AND EXISTING PARKING LOT ADDITIONAL SHEET REVISION	BY APPR.	PREPARED FOR: THE HOWARD RESEARCH AND DEVELOPMENT CORP. THE ROUSE BUILDING 10675 LITTLE PATUXENT PKWY. COLUMBIA, MD. 21044 (800) 522-6027	SEWER PROFILES GATEWAY COMMERCE CENTER BUILDING #2 PARCEL 513 LOT 1 PARCEL A-74 HOWARD COUNTY, MARYLAND 9TH ELECTION DISTRICT	DES: R.S.P. SCALE: AS SHOWN ZONING: M-1 G.L.W. FILE NO.: 91-050
						DRN: E.O. DATE: MARCH 1996 CHK.: C.K.C.



PLAN VIEW
SCALE: 1"=30'

EXISTING BUILDING NO. 2
6751 ALEXANDER BELL DRIVE
FF=343.03±

STOCKPILE NOTE:
SHOULD THE STOCKPILE AREA EXCEED 15 FT
IN HEIGHT, IT MUST BE BENCHED.

MATCHLINE - SHEET 9

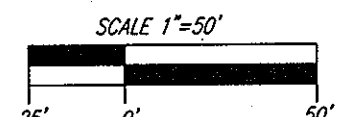
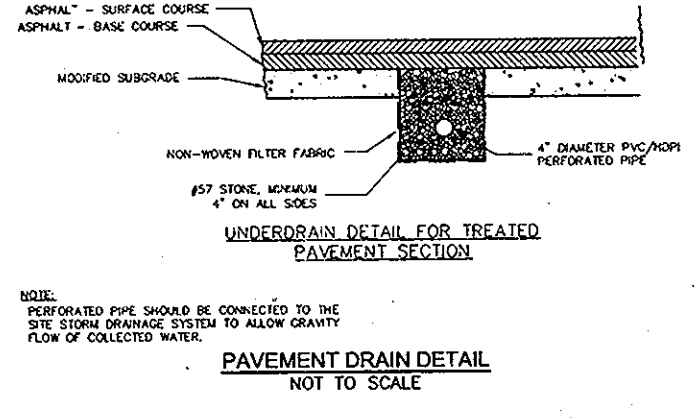
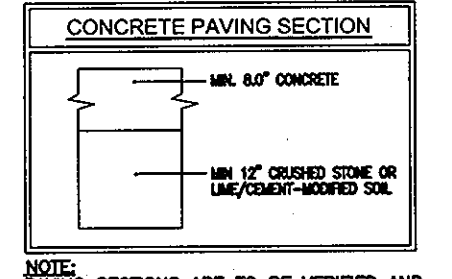
CONTRACTOR TO TEST PIT ALL EXISTING UTILITY
CROSSINGS AND TIE-INS PRIOR TO CONSTRUCTION

LEGEND:

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- +02.58 PROPOSED SPOT ELEVATION
- +02.58 EXISTING SPOT ELEVATION
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- PROPOSED SIDEWALK
- SILT FENCE
- LIMIT OF DISTURBANCE FOR CONSTRUCTION/IMPROVEMENTS
- AT GRADE INLET PROTECTION

FLEXIBLE (BITUMINOUS) PAVEMENTS

Layer	Thickness (Inches)
Light Duty	2.0
Heavy Duty	2.5
Bituminous Surface Course	1.5
Bituminous Base Course	3
Chemically Treated Subgrade	12

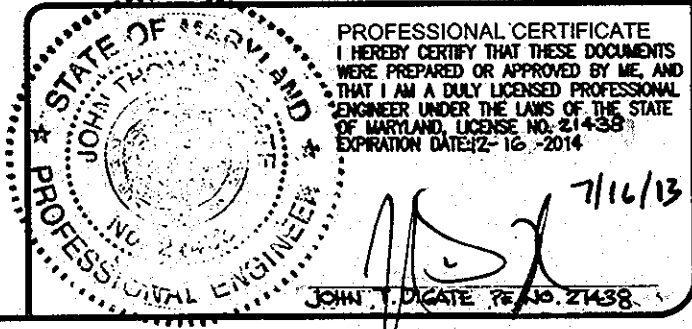


THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND
SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP
U1A	URBAN LAND-FALLSINGTON COMPLEX, 0 TO 2 PERCENT SLOPES	D
U1D	URBAN LAND-UDORTHERTS COMPLEX, 0 TO 15 PERCENT SLOPES	D

NOTE: BASED ON HOWARD SOIL SURVEY



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/26/13

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 7/31/13

DIRECTOR
 DATE: 7/31/13

BY THE DEVELOPER:

SIGNATURE OF DEVELOPER
 DATE: 6/27/10

BY THE ENGINEER:

SIGNATURE OF ENGINEER
 DATE: 7/14/13

REVISION

DATE	DESCRIPTION

CHA
Drawing Copyright © 2013
270 Peachtree St. NE, Suite 1600, Atlanta, GA 30303-3308
Main: (404) 544-5000 www.cha.com

PBC

ROBERT H. VOGEL
ENGINEERS, INC.
ENGINEERS • SURVEYORS • PLANNERS
8007 MAIN STREET
BLODDTOWN, MD 21043
TEL: 410.481.7666
FAX: 410.481.1891

SITE DEVELOPMENT PLAN
PEPSI BEVERAGE COMPANY
GATEWAY COMMERCE CENTER
6751 ALEXANDER BELL DRIVE
BLODDTOWN, MD 21043
PARCELS: A-74, A-75, A-76, A-77, A-78, A-79, A-80, A-81, A-82, A-83, A-84, A-85, A-86, A-87, A-88, A-89, A-90, A-91, A-92, A-93, A-94, A-95, A-96, A-97, A-98, A-99, A-100

TRUCK COURT AND TRAILER
PARKING EXPANSION

8 SHEET OF 13
SDP-93-086

MATCHLINE - SHEET 8

CONTRACTOR TO TEST PIT ALL EXISTING UTILITY CROSSINGS AND TIE-INS PRIOR TO CONSTRUCTION

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

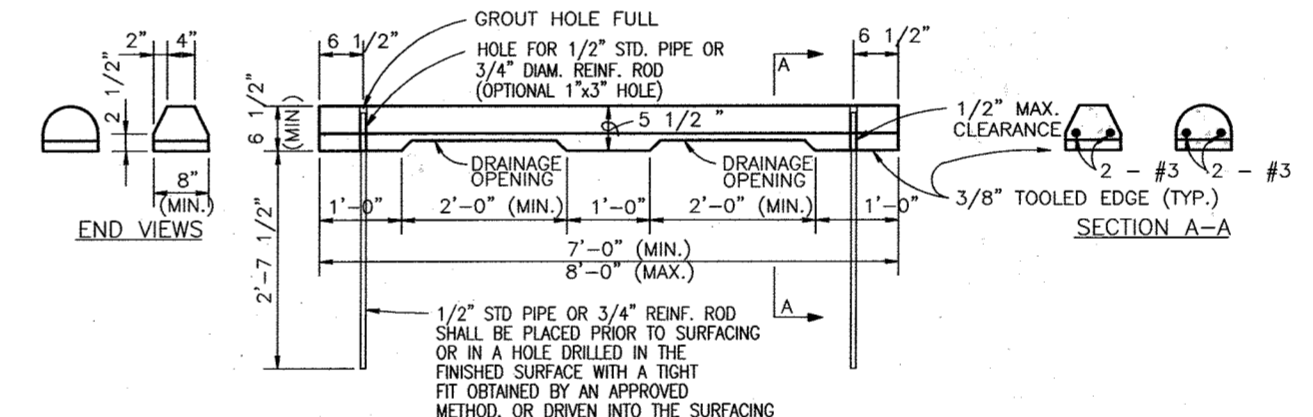
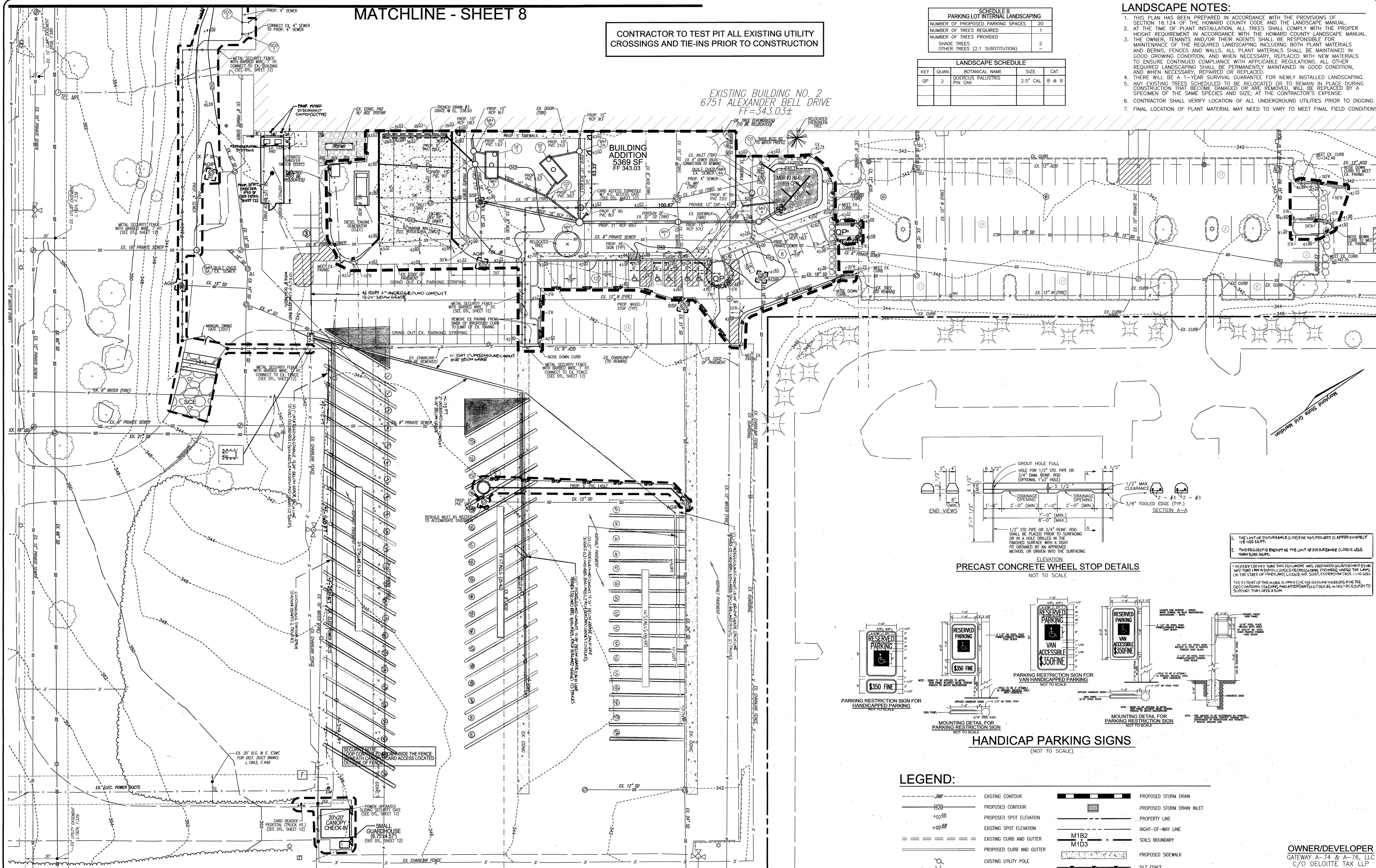
NUMBER OF PROPOSED PARKING SPACES	20
NUMBER OF TREES REQUIRED	1
NUMBER OF TREES PROVIDED	2
SHADE TREES	2
OTHER TREES (2:1 SUBSTITUTION)	-

LANDSCAPE SCHEDULE

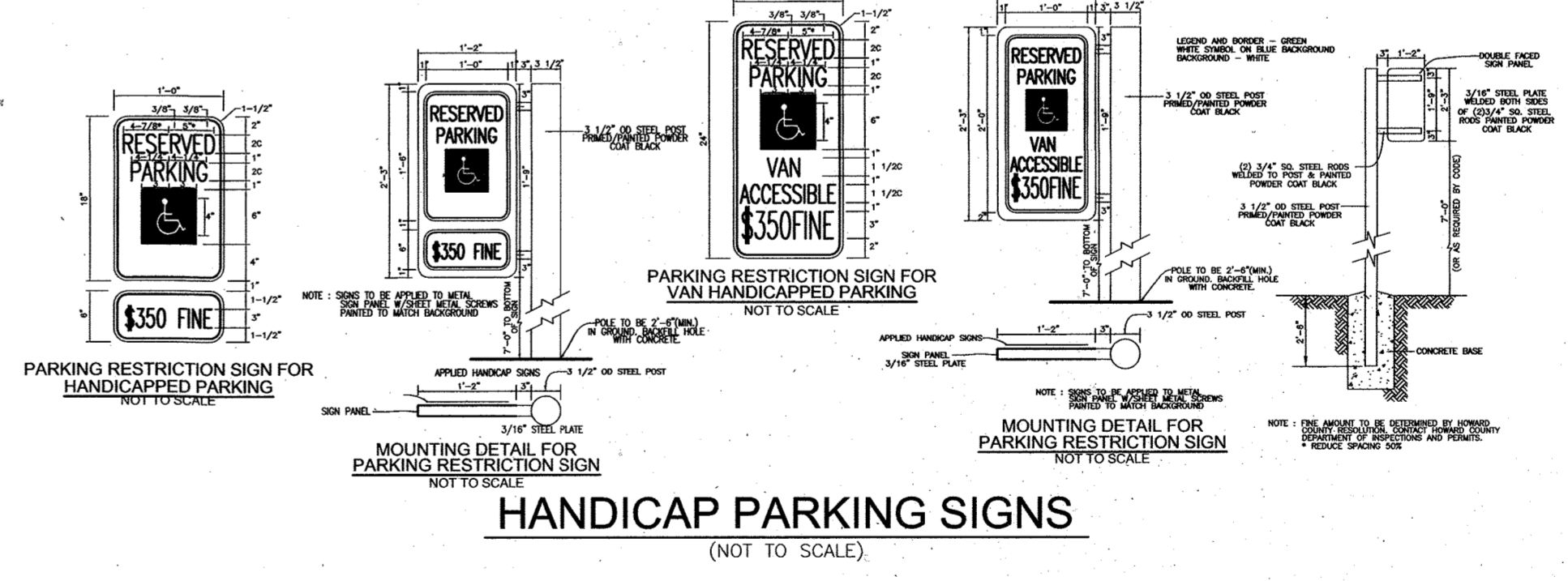
KEY	QUAN.	BOTANICAL NAME	SIZE	CAT
OP 2		QUERCUS PALAISTRIS PIN OAK	2.5" CAL	B & B

LANDSCAPE NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- AT THE TIME OF PLANT INSTALLATION, ALL TREES SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- THERE WILL BE A 1-YEAR SURVIVAL GUARANTEE FOR NEWLY INSTALLED LANDSCAPING.
- ANY EXISTING TREES SCHEDULED TO BE RELOCATED OR TO REMAIN IN PLACE DURING CONSTRUCTION THAT BECOME DAMAGED OR ARE REMOVED WILL BE REPLACED BY A SPECIMEN OF THE SAME SPECIES AND SIZE, AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS.



- THE LIMIT OF DISTURBANCE (LOD) FOR THIS PROJECT IS APPROXIMATELY 10'-0" (SEE PLAN).
 - THIS PROJECT'S RIGHT-OF-WAY (ROW) IS APPROXIMATELY 10'-0" (SEE PLAN).
- NECESSARY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21438, EXPIRES DATE 12-16-2014.
- THIS IS TEST OF THE WORK IS ONLY FOR THE RETURN HANDS FOR THE GEOGRAPHIC STATIONING AND INTERMEDIATE TECHNICAL WORK TO SUPPORT THAT OVER A PLAN.



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- PROPOSED SIDEWALK
- SILT FENCE
- LIMIT OF DISTURBANCE FOR CONSTRUCTION/IMPROVEMENTS
- AT GRADE INLET PROTECTION

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/26/13

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 7/31/13

DIRECTOR
 DATE: 7/31/13

BY THE DEVELOPER:

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 6/27/13

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 7/16/13

SCALE: 1"=30'

PLAN VIEW

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 7/23/13

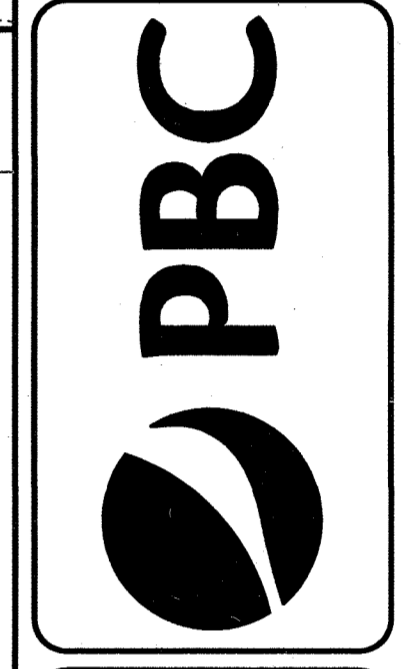
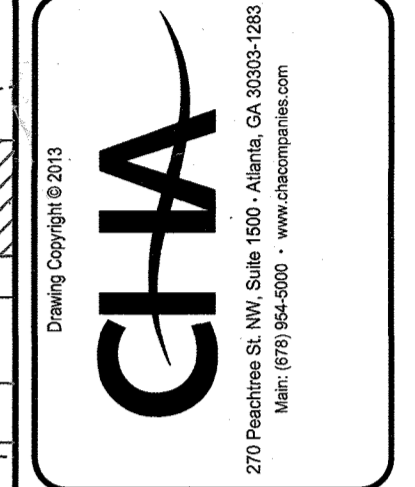
OWNER/DEVELOPER
 GATEWAY A-74 & A-76, LLC
 C/O DELOITTE TAX LLP
 P.O. BOX 11338
 MCLEAN, VA 22102
 410-560-0300

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21438, EXPIRES DATE 12-16-2014.

DATE: 7/23/13

REVISION

NO.	DATE	DESCRIPTION
1	7/23/13	ISSUE FOR PERMIT



ROBERT H. VOGEL
 ENGINEERS, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 FAX: 410.461.6969

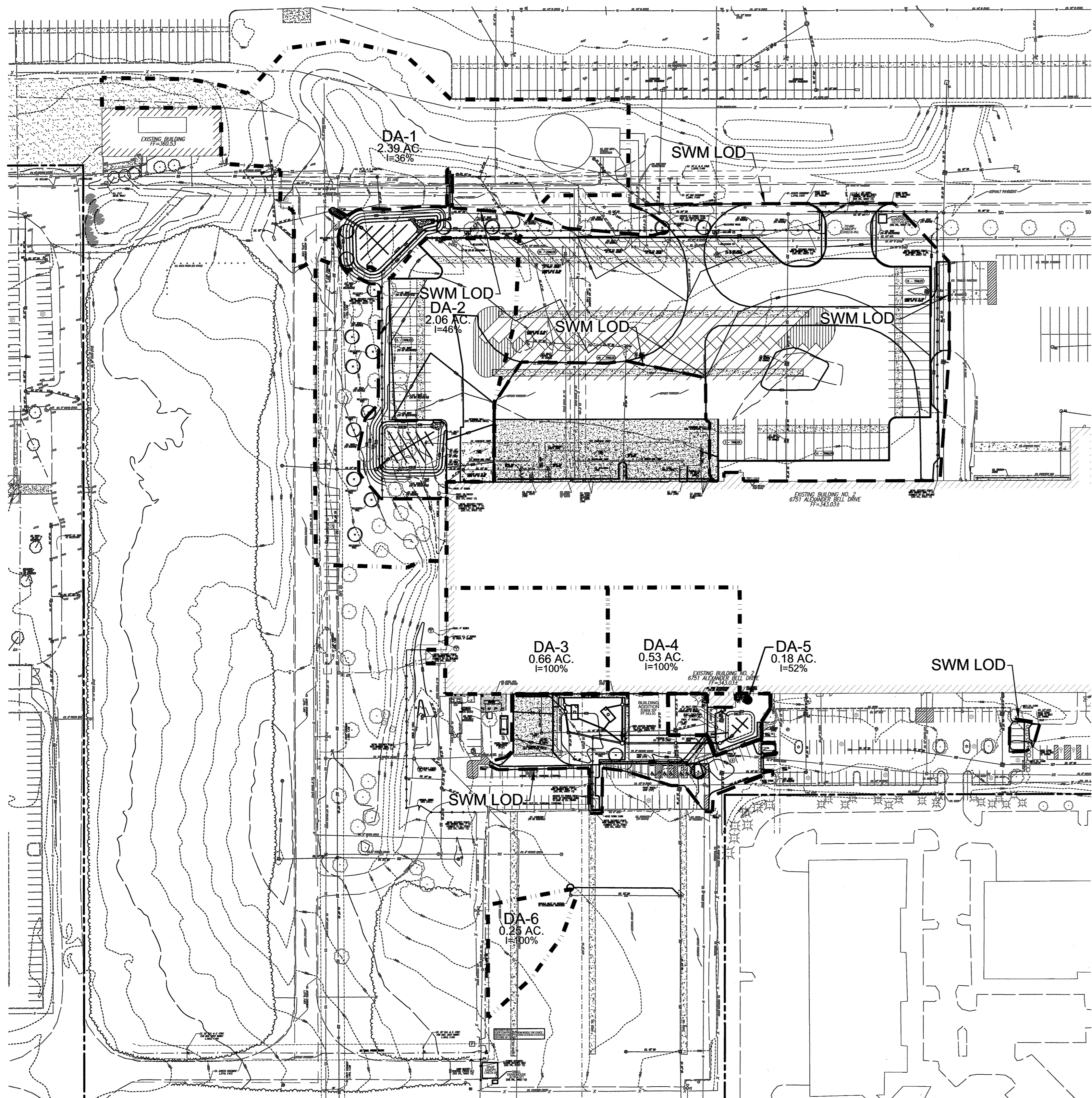
Drawn: DZUER Checked: RVV Date: JUNE 25, 2013 Project No.: 13-06 Scale: AS SHOWN

SITE DEVELOPMENT PLAN
 PEPSI BEVERAGE COMPANY
 GATEWAY COMMERCE CENTER
 6751 ALEXANDER BELL DRIVE
 BUILDING #2
 PARCELS 513, PARCEL LOT A-74
 6TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

BUILDING ADDITION AND
 PARKING LOT IMPROVEMENTS

9 SHEET OF 13

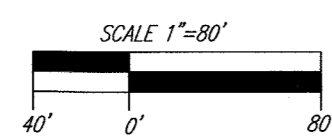
SDP-93-086



PLAN VIEW
SCALE: 1"=80'

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	GROUP
UFA	URBAN LAND-FALLSINGTON COMPLEX, 0 TO 2 PERCENT SLOPES	D
ULD	URBAN LAND-UDORTHERENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D

NOTE: BASED ON HOWARD SOIL SURVEY



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 7/26/13
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 [Signature] 7/31/13
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 [Signature] 7/31/13
 DIRECTOR DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 4/27/13
 SIGNATURE OF DEVELOPER DATE

SCHEDULE D: STORMWATER MANAGEMENT AREA LANDSCAPING	
LINEAR FEET OF PERIMETER	576 LF (TOTAL ALL MICRO-BIORETENTIONS)
CREDIT FOR EXISTING VEGETATION (NO, YES AND LINEAR FEET)	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	YES, 100%*
NUMBER OF TREES REQUIRED (0 BUFFER)	(0 BUFFER)
SHADE TREES	0
EVERGREEN TREES	0
NUMBER OF TREES PROVIDED	SEE BIORETENTION PLANT LIST*
SHADE TREES	
EVERGREEN TREES	

*SURETY FOR BIORETENTION PROVIDED IN THE DD COST ESTIMATE

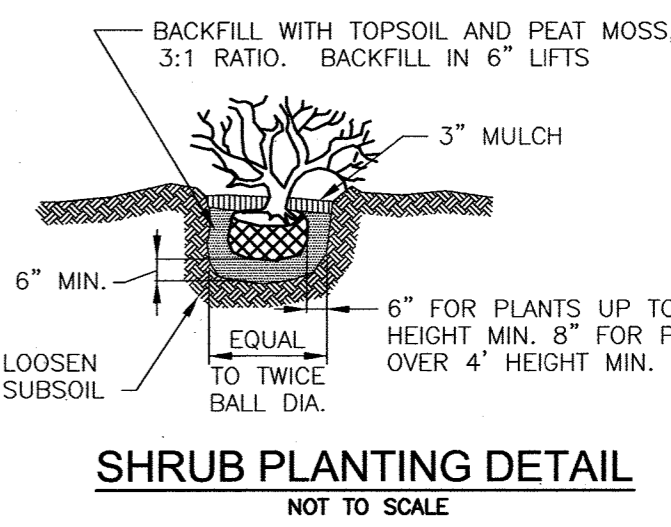
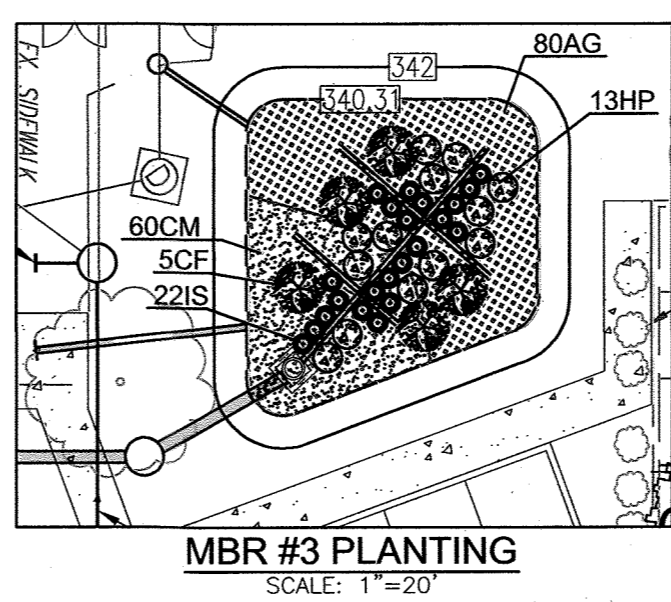
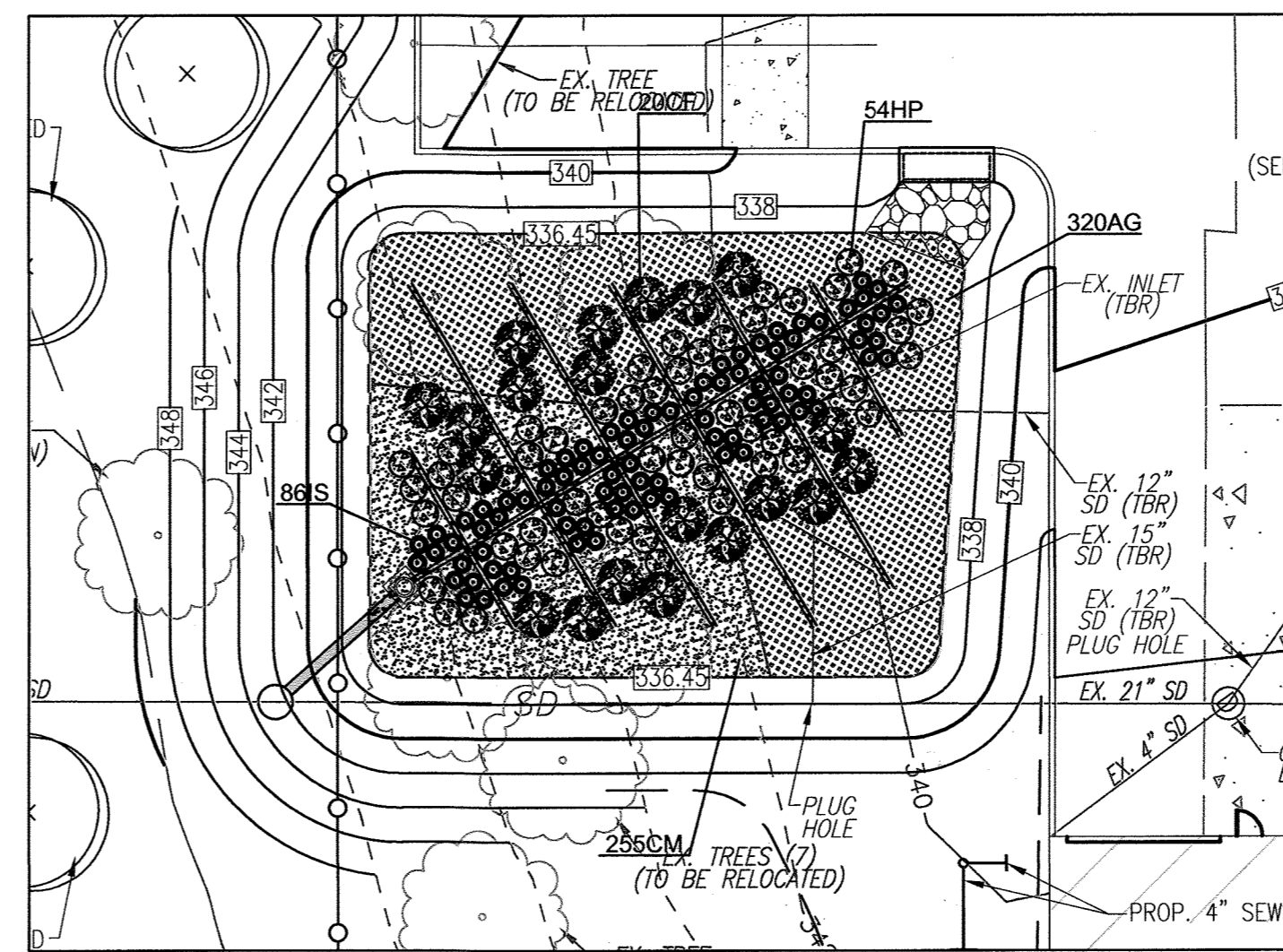
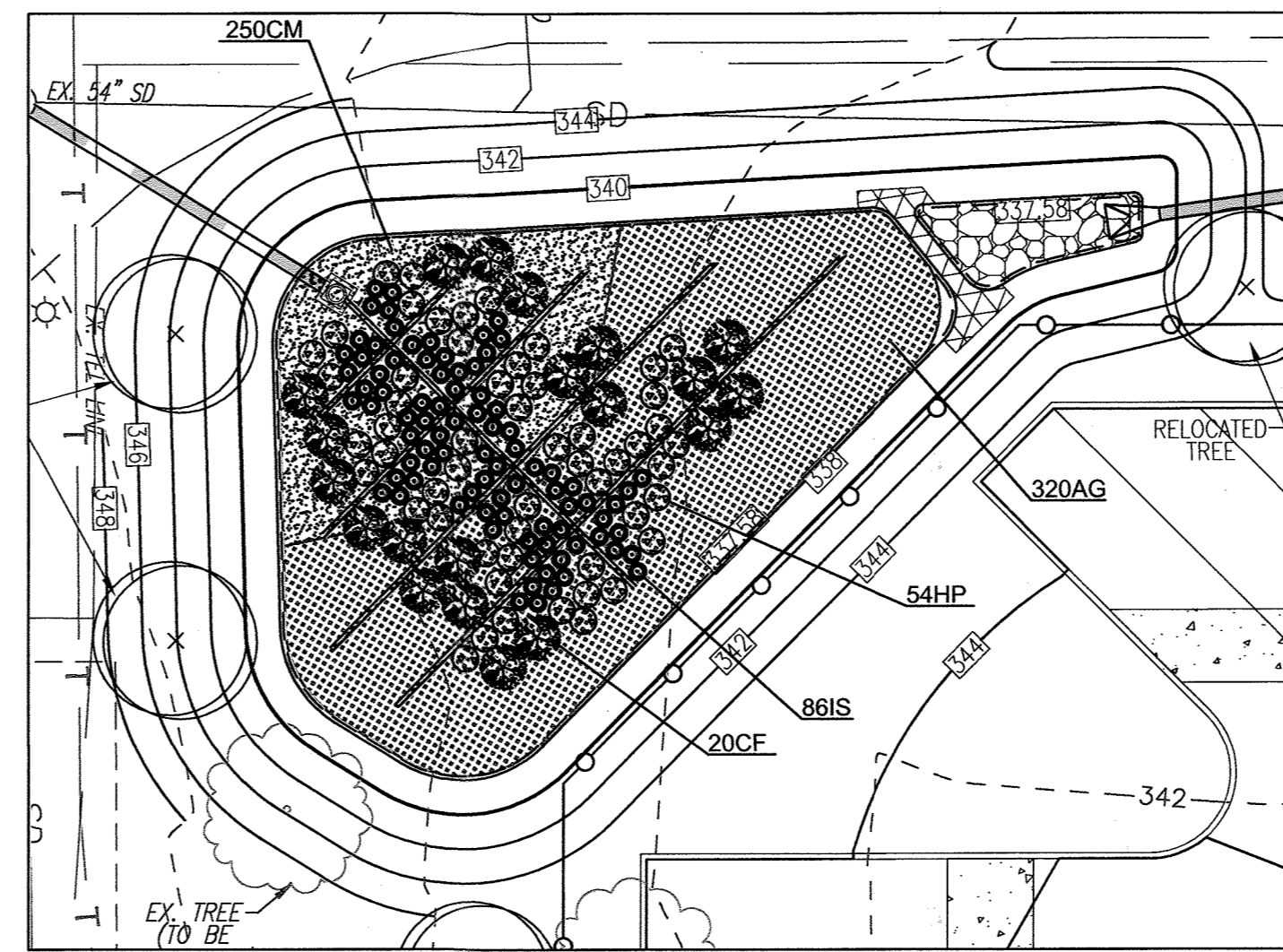
BIORETENTION PLANTING REQUIREMENTS			
MBR	AREA	STEMS REQUIRED	STEMS PROVIDED
1	3462 SF	79	160
2	3475 SF	80	160
5	859 SF	20	40

BIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (0.229 STEMS PER SQUARE FOOT).

BIORETENTION PLANTING SCHEDULE			
ID#	QTY	PROVIDOR NAME/COMMON NAME	SIZE
101	194	HWI SERICEA 'DWARF BLUE' BENDERUP BLUE SERICEA	1 GALLON 18" O.C.
102	121	HEMLOCKIA 'THUNDER BLUE EYE' PRINCE BLUE EYE DWARF	1 GALLON 30" O.C.
103	45	CORNUS SERICEA 'FLAMINGO' YELLOW THROAT DOGWOOD	4" HT 18" DIA
104	400	COMPLANLAMBDA MARULA 'LIT-OF-THE-VALLEY' LIT-OF-THE-VALLEY	1 QT. 12" O.C.
105	300	AGROSTIS GRANULATA 'TODDY' TODDY WHEATGRASS SHEET PILE	1 QT. 12" O.C.

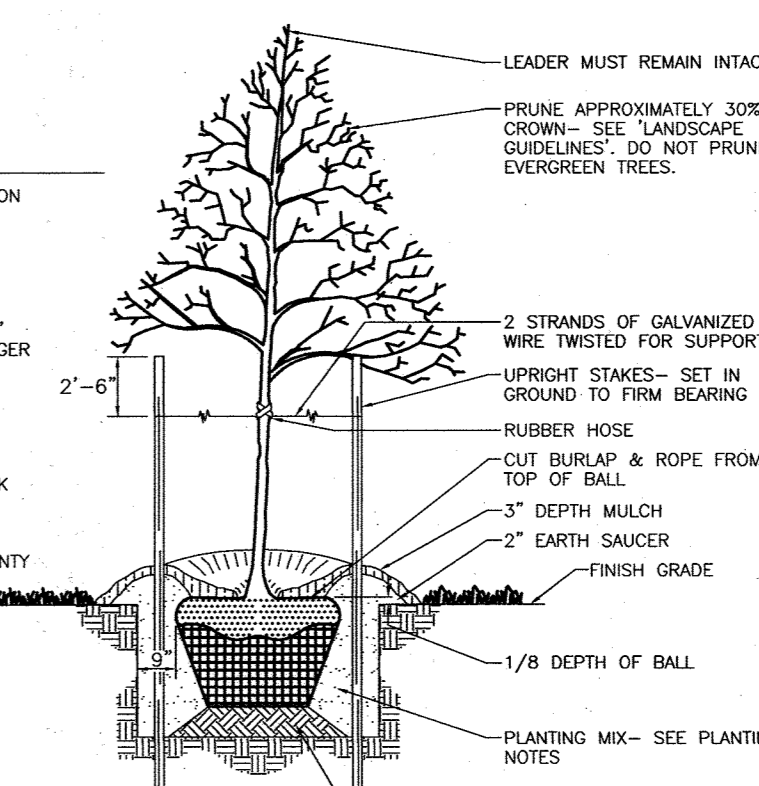
LEGEND:

[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	PROPOSED CURB AND GUTTER
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING MAILBOX
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING SANITARY MANHOLE
[Symbol]	EXISTING SANITARY LINE
[Symbol]	EXISTING CLEANOUT
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING WATER LINE
[Symbol]	PROPOSED STORM DRAIN
[Symbol]	PROPOSED STORM DRAIN INLET
[Symbol]	PROPERTY LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	SOILS BOUNDARY
[Symbol]	PROPOSED SIDEWALK
[Symbol]	SWM DRAINAGE AREA

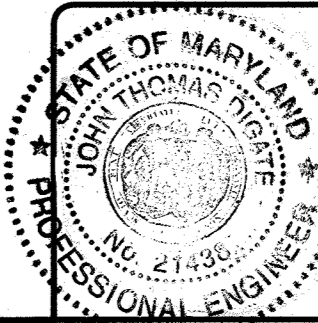


NOTES

- SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
- SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
- PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
- KEEP MULCH 1" FROM TRUNK.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
- TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWER EASEMENT.



OWNER/DEVELOPER
GATEWAY A-74 & A-76, LLC
C/O DELOITTE TAX LLP
P.O. BOX 11338
MCLEAN, VA. 22102
410-560-0300



PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21438, EXPIRATION DATE 12-16-2014

7/16/13

DATE	REVISION
11-29-2011	EXISTING AND PROPOSED AREAS INCLUDING TO A BUILDING ADDITION AND TO A DRIVEWAY TO ADD AN OUTPOST FREEZER.

CHA
270 Peachtree St. N.W., Suite 1900, Atlanta, GA 30309-2003
Main: (770) 884-6000 www.chaonline.com

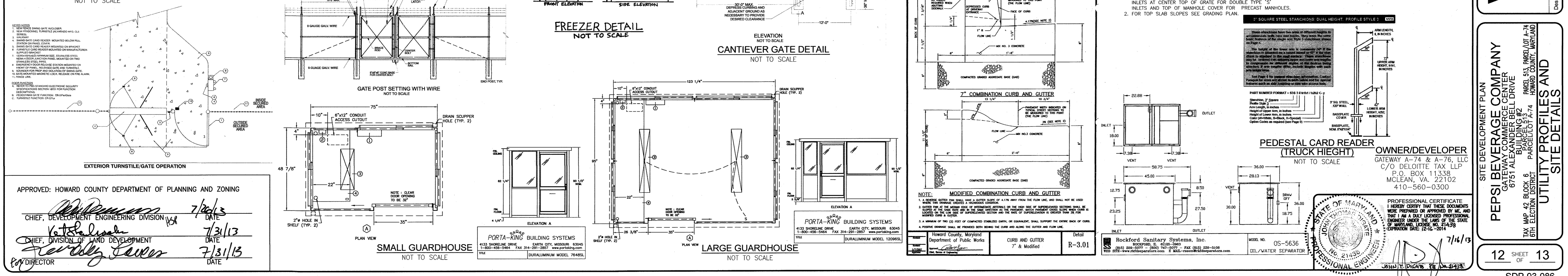
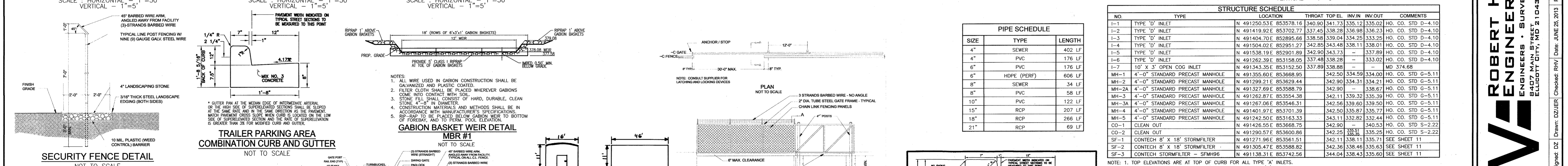
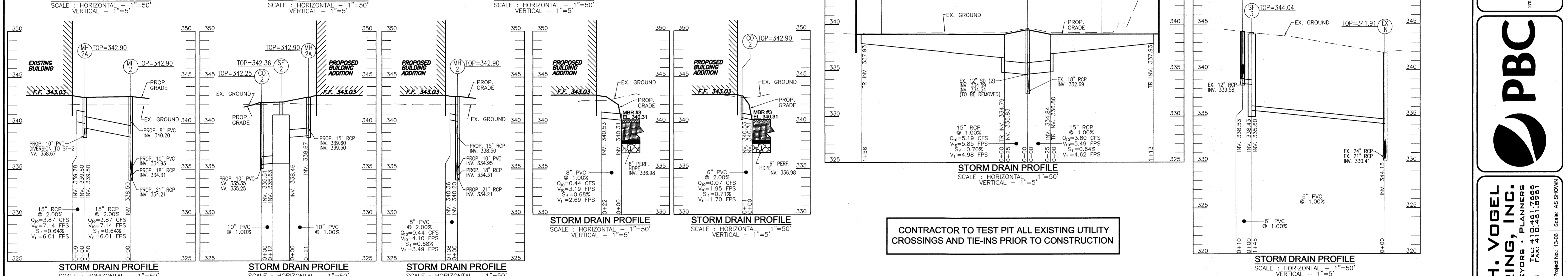
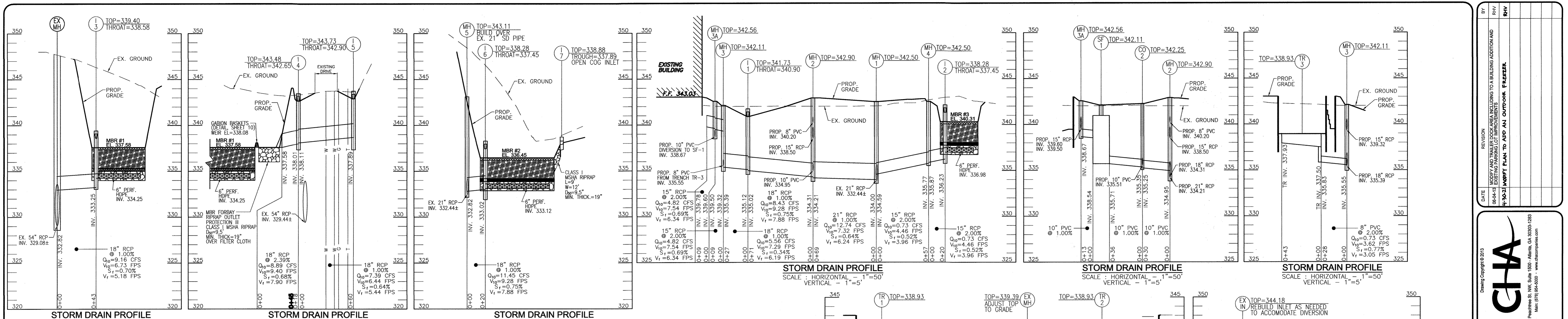
PBC

ROBERT H. VOGEL
ENGINEERS • SURVEYORS • PLANNERS
4400 WYOMING AVE. SUITE 100
ELUGGETT CITY, MD 21043
FALL 410.461.9999
DESIGNED BY: DZJ/ELJ Checked: RHY/ Date: JUNE 26, 2013 | Project No.: 13-061 | Scale: AS SHOWN

SITE DEVELOPMENT PLAN
PEPSI BEVERAGE COMPANY CENTER
GATEWAY A-74 & A-76 DRIVE
BUILDING #2
PARCEL 513, PARCEL LOT A-74
TAX MAP 42 BLOCK 6 PARCELS 513
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SWM DRAINAGE AREA MAP
MICRO-BIORETENTION PLANTING

11 SHEET OF 13
SDP-93-086



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 7/26/13

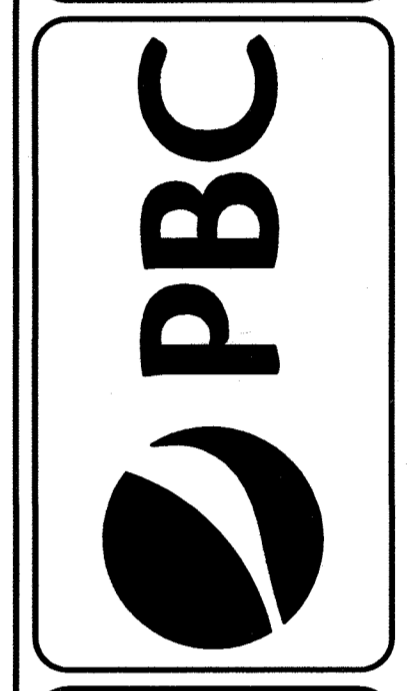
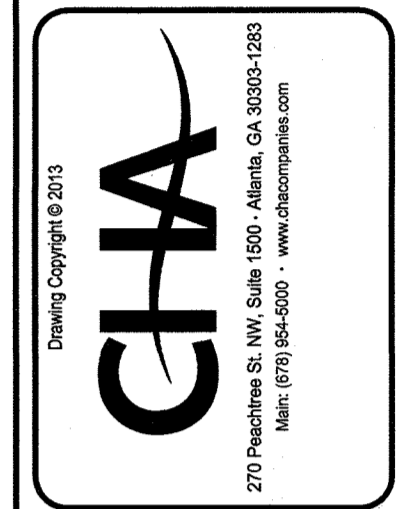
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7/31/13

DIRECTOR DATE 7/31/13

SIZE	TYPE	LENGTH
4"	SEWER	402 LF
4"	PVC	176 LF
4"	PVC	176 LF
6"	HDPE (PERF)	606 LF
MH-2	4'-0" STANDARD PRECAST MANHOLE	34 LF
MH-3	4'-0" STANDARD PRECAST MANHOLE	34 LF
MH-3A	4'-0" STANDARD PRECAST MANHOLE	34 LF
MH-4	4'-0" STANDARD PRECAST MANHOLE	34 LF
MH-5	4'-0" STANDARD PRECAST MANHOLE	34 LF
CO-1	CLEAN OUT	34 LF
CO-2	CLEAN OUT	34 LF
SF-1	CONTECH 8' X 18' STORMFILTER	34 LF
SF-2	CONTECH 8' X 18' STORMFILTER	34 LF
SF-3	CONTECH STORMFILTER - 5' DIA	34 LF

NO.	TYPE	LOCATION	THROAT	TOP EL.	INV IN	INV OUT	COMMENTS
I-1	TYPE 'D' INLET	N 491250.53 E 853578.16	340.90	341.73	335.02	HO. CO. STD D-4.10	
I-2	TYPE 'D' INLET	N 491419.92 E 853702.77	337.45	338.28	336.98	HO. CO. STD D-4.10	
I-3	TYPE 'D' INLET	N 491404.70 E 852895.66	338.58	339.04	334.25	HO. CO. STD D-4.10	
I-4	TYPE 'D' INLET	N 491504.02 E 852951.27	342.85	343.48	338.11	HO. CO. STD D-4.10	
I-5	TYPE 'D' INLET	N 491538.19 E 852901.89	342.90	343.73	337.89	HO. CO. STD D-4.10	
I-6	TYPE 'D' INLET	N 491262.39 E 853158.05	337.48	338.28	333.02	HO. CO. STD D-4.10	
I-7	10' X 3' OPEN COG INLET	N 491343.35 E 853152.50	337.89	338.88	---	MD 374.69	
MH-1	4'-0" STANDARD PRECAST MANHOLE	N 491355.60 E 853668.95	342.50	334.59	334.00	HO. CO. STD G-5.11	
MH-2	4'-0" STANDARD PRECAST MANHOLE	N 491299.21 E 853629.44	342.90	334.31	334.00	HO. CO. STD G-5.11	
MH-3	4'-0" STANDARD PRECAST MANHOLE	N 491327.69 E 853588.79	342.90	336.67	336.00	HO. CO. STD G-5.11	
MH-3A	4'-0" STANDARD PRECAST MANHOLE	N 491262.87 E 853554.38	342.11	339.32	335.39	HO. CO. STD G-5.11	
MH-4	4'-0" STANDARD PRECAST MANHOLE	N 491267.06 E 853546.31	342.56	339.60	339.50	HO. CO. STD G-5.11	
MH-5	4'-0" STANDARD PRECAST MANHOLE	N 491401.97 E 853701.39	342.50	335.87	335.77	HO. CO. STD G-5.11	
CO-1	CLEAN OUT	N 491242.50 E 853163.33	343.11	332.82	332.44	HO. CO. STD S-2.22	
CO-2	CLEAN OUT	N 491426.55 E 853668.75	342.90	340.53	340.00	HO. CO. STD S-2.22	
SF-1	CONTECH 8' X 18' STORMFILTER	N 491290.57 E 853600.86	342.25	338.31	335.25	HO. CO. STD S-2.22	
SF-2	CONTECH 8' X 18' STORMFILTER	N 491271.96 E 853561.51	342.11	338.11	335.71	SEE SHEET 11	
SF-3	CONTECH STORMFILTER - 5' DIA	N 491305.47 E 853588.82	342.36	338.46	335.63	SEE SHEET 11	
SF-4	CONTECH STORMFILTER - 5' DIA	N 49138.31 E 853742.56	344.04	338.43	335.60	SEE SHEET 11	

DATE: 08-04-13
 REVISION: 17-9211 MORTY PLAN TO ADD AN OUTDOOR FREEZER.



ROBERT H. VOGEL
 ENGINEERS • SURVEYORS • PLANNERS
 5107 W. BROADWAY
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SITE DEVELOPMENT PLAN
 PEPSI BEVERAGE COMPANY
 GATEWAY COMMERCE CENTER
 6751 ALEXANDER DELL DRIVE
 BUILDING #2
 PARCELS 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

