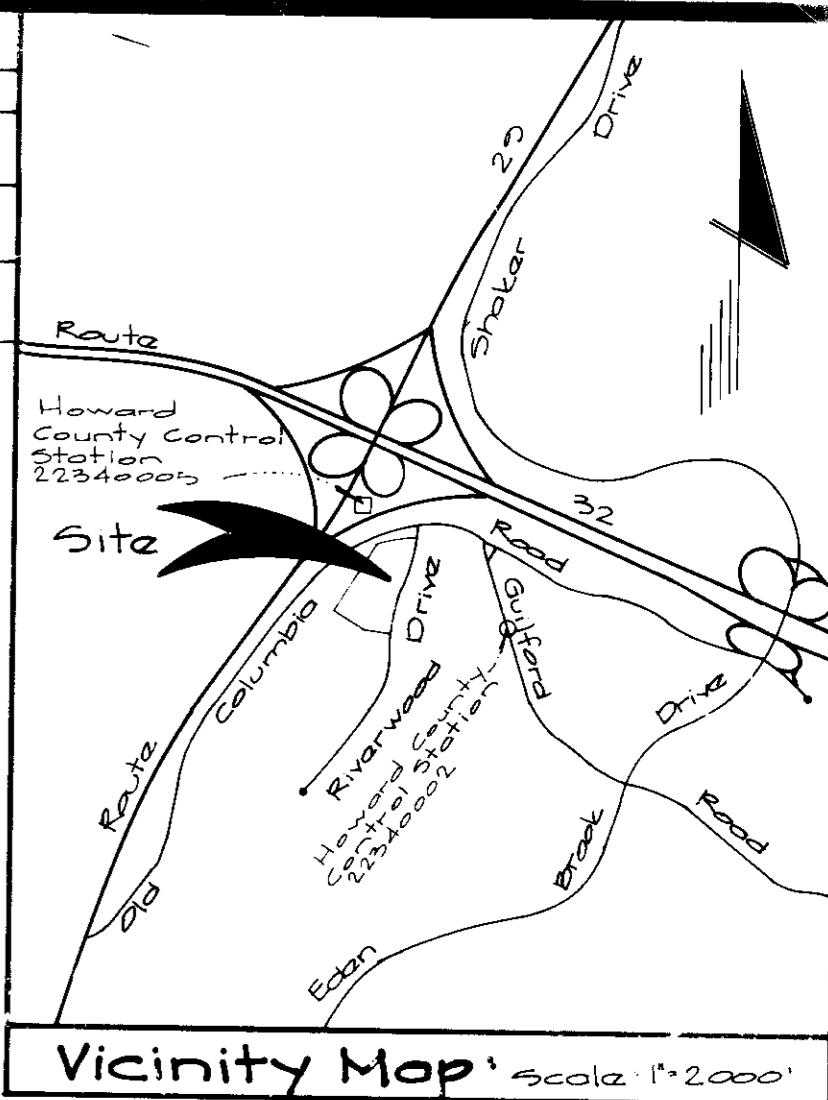


Legend

- existing contour
- - - proposed contour
- 1/2" std. conc curb gutter
- 1/4" rad. conc curb gutter
- ex. conc curb gutter
- number of parking spaces
- wetlands flagging
- lighted bollard
- proposed spot elevation (base of curb)
- all radii are 5' unless otherwise noted
- ex. pavement to be removed
- ex. tree or bush
- wetlands buffer
- handicap parking sign

The on site stormwater management facility is a detention pond with a permanent pool for water quality.

lighting schedule				
location	quantity	lamp type	mounting	pole type
302 plan	3	175W metal halide, armse lighting infinity II	single arm - pendant fixture	8" dark bronze
302 plan	3	175W metal halide, armse lighting infinity II	double arm - pendant fixture	8" dark bronze
302 plan	2	6000K lighting infinity II	bollard	3'-0" black



Site Analysis

area of parcel: 2.07 Ac.
 Zoning of parcel: NT (Emp. Ctr.) FDP-Phase 1B4-A-III
 proposed use of structure: office/warehouse, industrial
 parking required: 157
 parking provided: 156
 - for parking tabulation
 see sheet 5 of 6
 number of handicap spaces required: 5
 number of handicap spaces provided: 7
 building coverage: 1.13 Ac.
 previous submission: 1.28 Ac.
 this submission: 1.12 Ac.
 totals: 2.51 Ac.
 floor to area ratio: 25%

Sheet Index

sheet	description
1	site plan, site analysis, lighting schedule, and grading sheet
2	sediment control, storm drain drainage area map, and construction sequence
3	landscape plan, and wetlands plant list
4	utility profiles, pipe schedule, and structure schedule
5	parking tabulation, stormwater management drainage area and soil map, general notes, and building plan and elevations, paving types
6	detention pond, landscaping notes, plant list, notes, and site analysis

ARCHITECT KAJIMA ASSOCIATES, INC.
 900 SYLVAN AVENUE
 ENGLEWOOD CLIFFS, NEW JERSEY 07632

STRUCTURAL DI STASIO & VAN BUREN INC.
 1036 COMMERCE AVENUE
 UNION, NEW JERSEY 07063-1895

CIVIL/LANDSCAPE GUTSCHICK LITTLE & WEBER, P.A.
 3909 NATIONAL DRIVE, SUITE 250
 BURTONSVILLE, MARYLAND 20866

MECH./ELEC./PLUMBING CY MILLS
 900 SYLVAN AVENUE
 ENGLEWOOD CLIFFS, NEW JERSEY 07632

Approved for public water coverage systems, Howard County Health Department
 Steve M. Pappas 5-26-93
 Health Officer Date

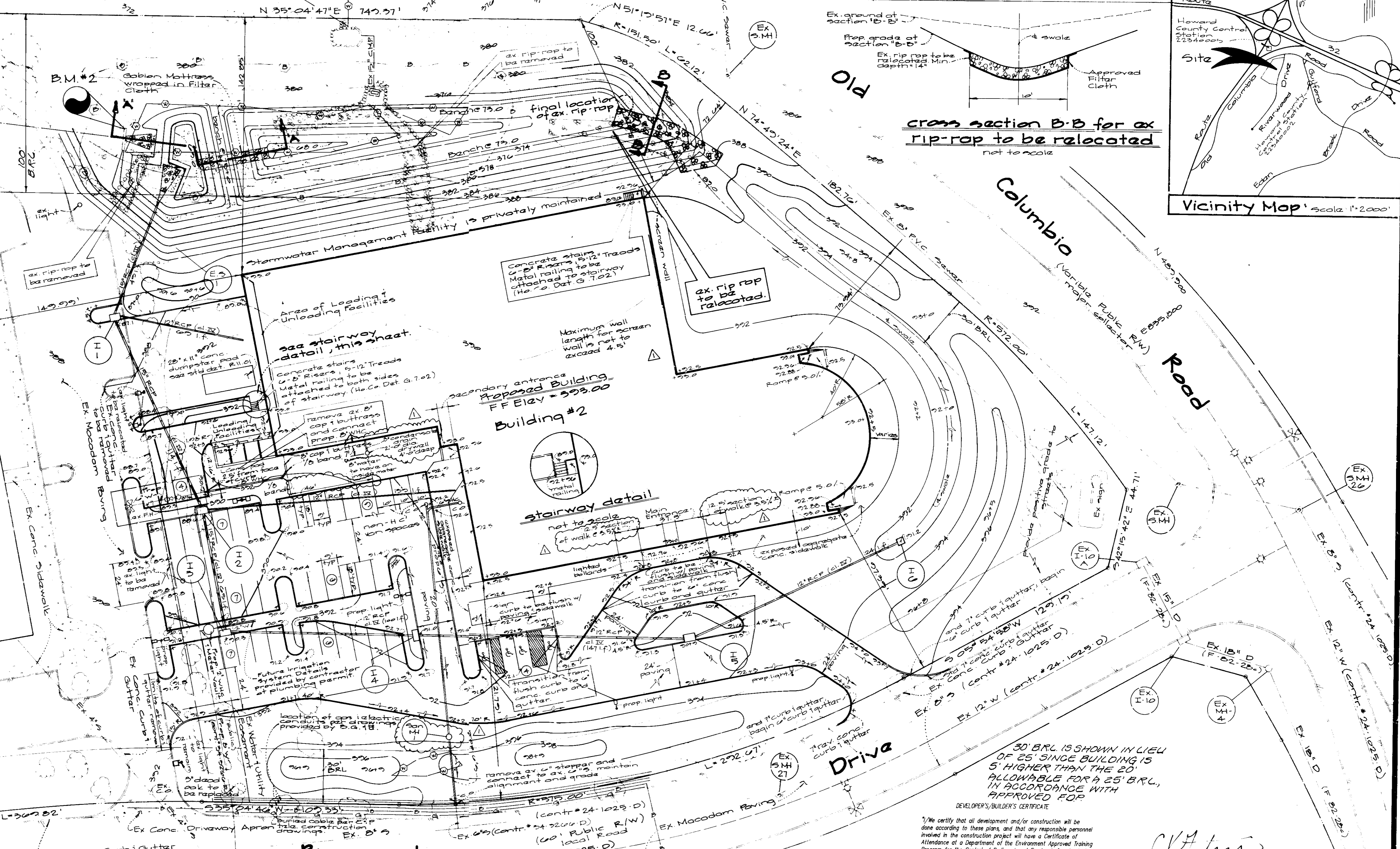
Approved: Howard County Dept. of Planning/Zoning
 Joseph Smith 6/2/93
 Director Date

Approved: Howard County Dept. of Planning/Zoning
 James M. Johnson 6/1/93
 Chief, Division of Community Planning/Land Development Date

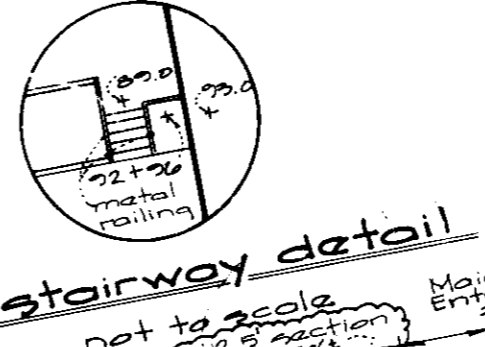
Approved: For public water, public sewerage, storm drainage systems, public roads, Howard County Dept. of Public Works
 James M. Johnson 5/24/93
 Director Date

Approved: For public water, public sewerage, storm drainage systems, public roads, Howard County Dept. of Public Works
 James M. Johnson 5-19-93
 Chief, Bureau of Engineering Date

Note: See sheet 2, 3, 4 of 6 for profile of gabion mattress thru ZONED 5-20 the embankment.



Cross section B-B for ex rip-rap to be relocated
 not to scale



Bench Marks
 B.M. #1 Bottom Bolt Fire Hydrant, East side Riverwood Drive 600'± south of Intx. old Columbia Rd., Elev. = 325.52
 B.M. #2 Right Front Corner Conc. Hoodwall @ south end of Storm Water Management Pond, Elev. = 318.11

Note to Contractor: Contractor shall test pit utility crossings prior to construction. Any conflicts or discrepancies must be reported to the engineer.

Signature of Developer/Builder: [Signature] 3-4-93
 Date

ENGINEER'S CERTIFICATE
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Engineer: [Signature] 5/14/93
 Date

Signature of Developer/Builder: [Signature] 5/14/93
 Date

Address Chart

Building No.	Street Name
1	7102 Riverwood Drive
2	7100 Riverwood Drive

Plan
 Scale: 1" = 50'

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
 TELEPHONE (301)421-4074 - NO. VA (1301)989-7524 - BALTO. (301)880-1820 - FAX (301)421-4886

PREPARED FOR
 Kajima Assoc., Inc.
 200 Sylvan Avenue
 Englewood Cliffs, NJ 07632

OWNER:
 Shimadzu Scientific Instruments, Inc.
 7102 Riverwood Drive
 Columbia, Md 21046

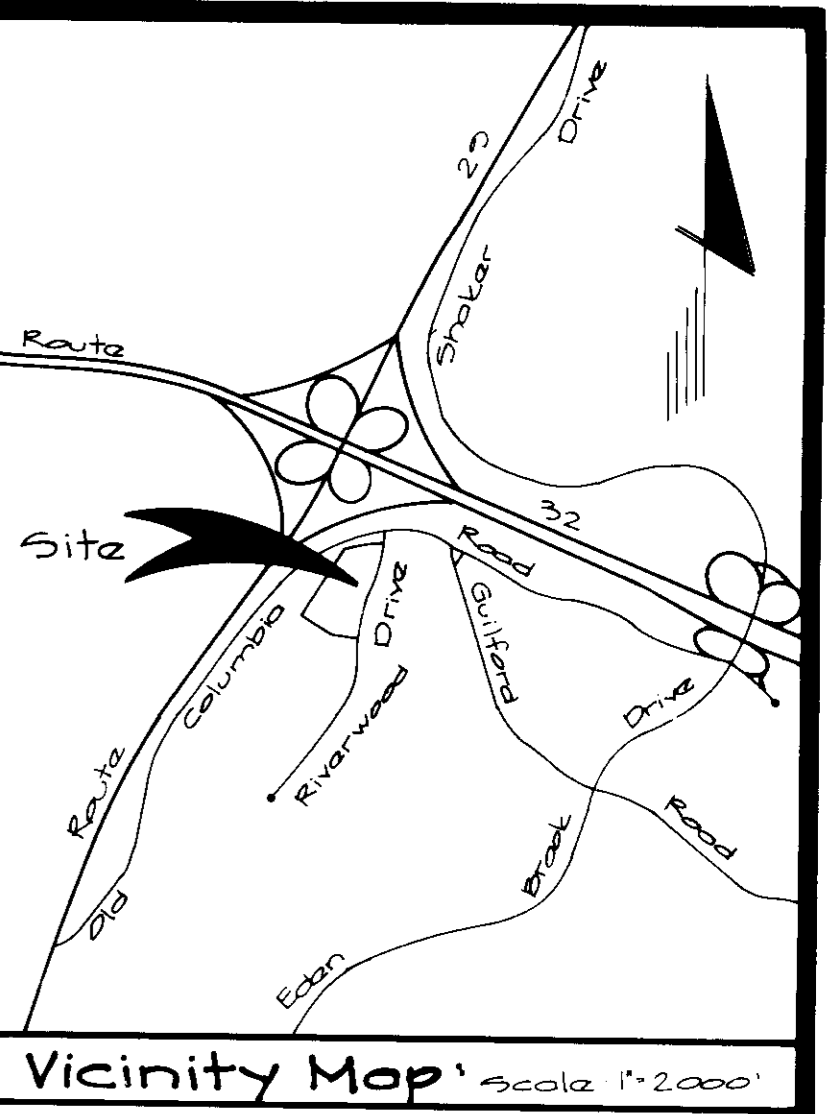
Site Development Plan
Rivers Corporate Park
 Section 1, Areal Parcel B
 6th Election District
 Howard County, Maryland

DES. DEY	SCALE As Shown	ZONING	GLN FILE NO.
DRN. MCF <td>DATE <td>TAX MAP No. <td>SHEET</td> </td></td>	DATE <td>TAX MAP No. <td>SHEET</td> </td>	TAX MAP No. <td>SHEET</td>	SHEET
CHK. CKG	April 29, 1993	41	1/6

Legend

- existing contour
- - - proposed contour
- - - 1/2" x 1/2" conc curb/gutter
- - - 4" x 1/2" conc curb/gutter
- - - 6" x 1/2" conc curb/gutter
- - - 8" x 1/2" conc curb/gutter
- () number of parking spaces
- () wetlands flagging
- () lighted bollard
- () proposed spot elevation (flowline)
- () ball radii area 5' unless other wise noted
- () Stone Construction Entrance
- () Drainage Area Divide
- () silt fence
- () limit of disturbance
- () drainage area

See sheet 1 for final grades in SW.M. pond.



Drainage Area	Inlet No.	Area (Sq. Acres)	C Value	Roofed (Sq. Yds)	Area Grassed
A	1	0.41	0.71	0.32	0.09
B	2	0.37	0.65	0.26	0.11
C	3	0.25	0.52	0.15	0.12
D	4	0.18	0.57	0.11	0.07
E	5	0.38	0.64	0.26	0.12
F	6	0.25	0.50	0.05	0.20
G	roof	0.52	0.80	0.32	---
H	roof	0.45	0.80	0.45	---

- Construction Sequence**
1. Obtain grading permit.
 2. Arrange for an onsite meeting with the county sediment control inspector.
 3. Install stone construction entrance, silt fence and earth dikes as shown on these plans. Remove silt fence in areas of excavation until the permanent drainage basins are in place. Install silt fence in order to install the silt fence. Install low flow blocking at ex. release structure.
 4. Construct for bay as shown on sheet 2 of 4 to a bottom elev. of 271.6 modify grading at stormwater management pond maintaining ex. pond elevation.
 5. Construct stormwater and other utilities.
 6. Final grade site.
 7. Construct proposed building.
 8. Install curb and gutter and base pavs except in areas of the stone construction entrance.
 9. After all areas draining to the sediment control devices have been stabilized and sediment control devices and stabilized all areas.
 10. Construct remainder of base pavement.
 11. Install landscaping.
 12. Install surface course paving.
 13. Begin excavation for water quality portion of stormwater management pond (new bottom 272.2'). Stabilize and plant new wetland plantings.
 14. Remove low flow blocking at ex. release structure.

ARCHITECT KAJIMA ASSOCIATES, INC.
900 SYLVAN AVENUE
ENGLEWOOD CLIFFS, NEW JERSEY 07632

STRUCTURAL DI STASIO & VAN BUREN INC.
1036 COMMERCIAL AVENUE
UNION, NEW JERSEY 07063-1895

CIVIL/LANDSCAPE GUTSCHICK LITTLE & WEBER, P.A.
3909 NATIONAL DRIVE, SUITE 250
BURTONSVILLE, MARYLAND 20866

MECH./ELEC./PLUMBING CY MILLS
900 SYLVAN AVENUE
ENGLEWOOD CLIFFS, NEW JERSEY 07632

Approved for public water & sewerage systems,
Howard County Health Department
[Signature] 5-26-93
County Health Officer Date

Approved Howard County Dept of Planning/Zoning
[Signature] 6/2/93
Date

Approved for public water & sewerage, storm
Drainage systems & public roads
Howard County Dept of Public Works
[Signature] 5/24/93
Date

Approved for public water & sewerage, storm
Drainage systems & public roads
Howard County Dept of Public Works
[Signature] 5-19-93
Date

APPROVED
DATE 13 APRIL 90

For Sediment Control Only

DEVELOPER'S/BUILDER'S CERTIFICATE
I, the undersigned, certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by HSCD.

[Signature] 3-4-93
Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

[Signature] 5/14/93
Date

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.
[Signature] 5/14/93
Date
Howard Soil Conservation District

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.
[Signature] 5/14/93
Date
Howard Soil Conservation District

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE · SUITE 250 · BURTONSVILLE OFFICE PARK · BURTONSVILLE, MD. 20866
TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
Kajima Assoc. Inc.
200 Sylvan Avenue
Englewood Cliffs, NJ 07632

OWNER:
Shimadzu Scientific Instruments, Inc.
1102 Riverwood Drive
Columbia, Md 21046

Sediment Control / Drainage Area Map
Rivers Corporate Park
Section 1, Area 1 Parcel B
Guth Election District
Howard County, Maryland

Scale: 1"=50'

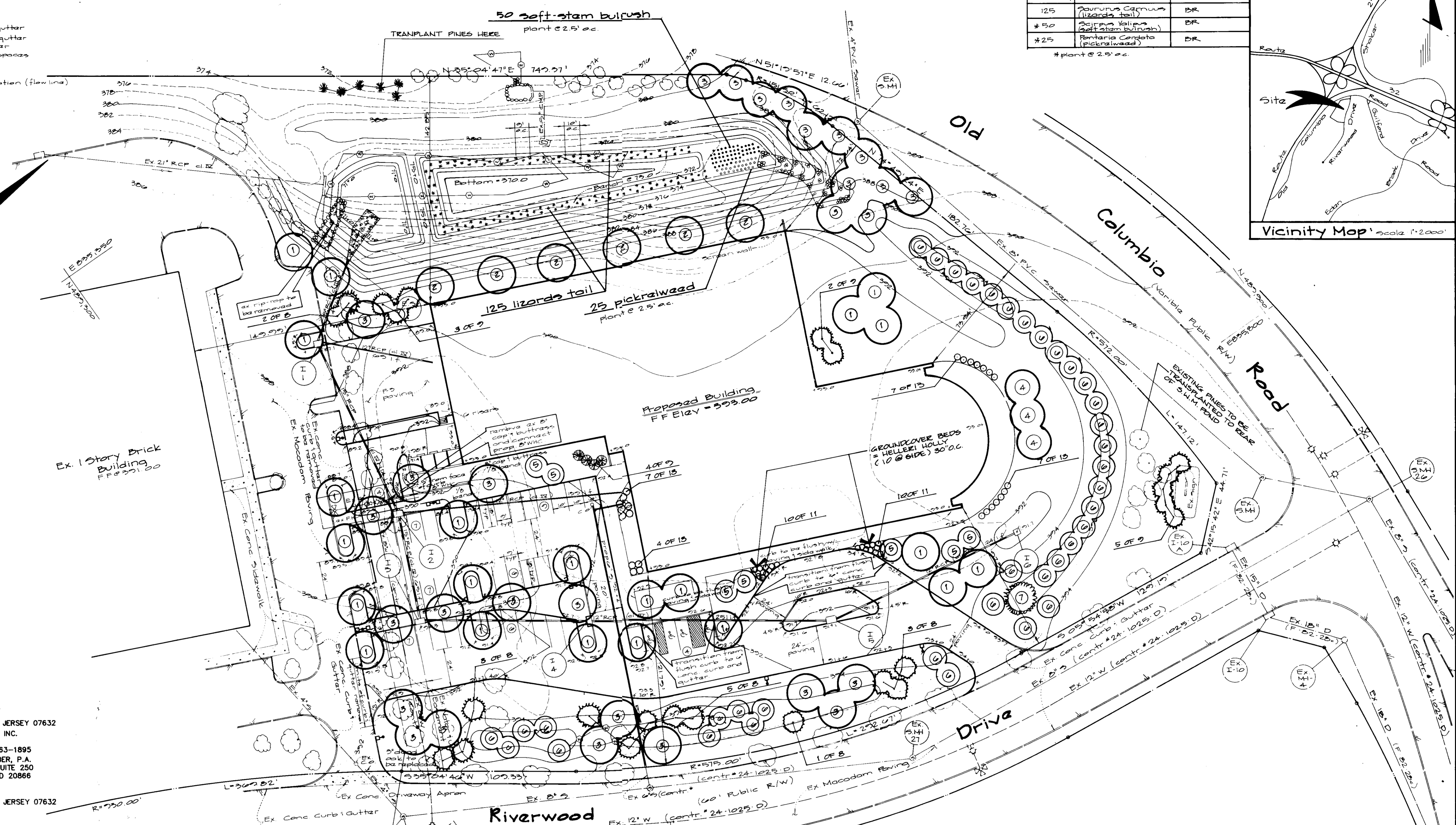
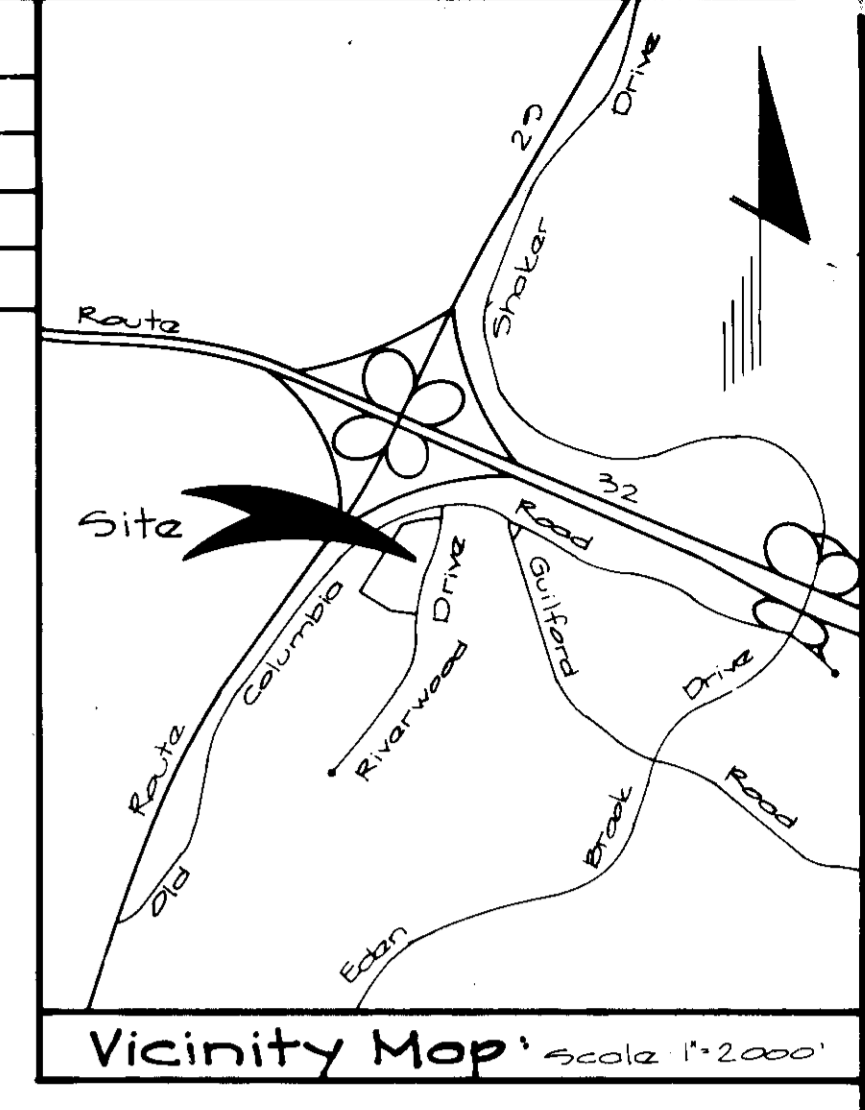
[Signature] 3-4-93
Date

DES.:	SCALE:	ZONING:	G.L.W. FILE NO.:
DEV.	As Shown		93009
DRM.:			
M.C.F.			
CHK.:	DATE:	TAX MAP NO.:	SHEET:
CKG.	April 23, 1993	41	2 of 6

Legend

- existing contour
- - - proposed contour
- 6" rad. conc. curb & gutter
- 12" rad. conc. curb & gutter
- 18" rad. conc. curb & gutter
- number of parking spaces
- wetlands - flooding
- highlighted border
- 2' x 4' x 2' x 4' proposed spot elevation (flow line)
- all radii are 5' unless otherwise noted

S.W.M.P. Plant List		
Quantity	Name	Condition
#25	Saururus Cernuus (Lizard's Tail)	BR
#50	Scirpus Validus (Soft Stem Bulrush)	BR
#25	Pentaria Confata (Pickraiwweed)	BR
# plant @ 2.5' oc.		



ARCHITECT KAJIMA ASSOCIATES, INC.
900 SYLVAN AVENUE
ENGLEWOOD CLIFFS, NEW JERSEY 07632

STRUCTURAL DI STASIO & VAN BUREN INC.
1036 COMMERCE AVENUE
UNION, NEW JERSEY 07063-1895

CIVIL/LANDSCAPE GUTSCHICK LITTLE & WEBER, P.A.
3909 NATIONAL DRIVE, SUITE 250
BURTONSVILLE, MARYLAND 20886

MECH./ELEC./PLUMBING CY MILLS
900 SYLVAN AVENUE
ENGLEWOOD CLIFFS, NEW JERSEY 07632

Approved: For public water & sewerage systems,
Howard County Health Department
Joseph M. Forster 5-26-93
County Health Officer Date

Approved: Howard County Dept. of Planning & Zoning
Thomas J. Hoffman 6/2/93
Chief, Division of Community Planning & Land Development Date

Approved: For public water & sewerage systems,
"Drainage systems" - public roads,
Howard County Dept. of Public Works.
James M. ... 5-24-93
Director Date

Michael J. ... 5-19-93
Chief, Bureau of Engineering Date

APPROVED
PLANNING & ZONING
DATE: 15 APRIL 93

(3) EXISTING SAWTOOTH OAKS - SAVE
USE THESE PROTECTION MEASURES AS
NEEDED.

□ - Areas to be sodded

This Landscape Plan has been prepared in accordance with the provisions of Section 10.12.4 (a) of the Howard County Code and the New Town Alternative Compliance provisions of the Howard County Landscape Manual.

K. Little

FOR NOTES, DETAILS, PLANT SCHEDULE,
& SPECIFICATIONS SEE SHEET G

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20886
TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APPR.
4/29/93	As issued for bid package	KWF	CEG
5-22-93	Revised Plant Locations and Quantities	KWH	

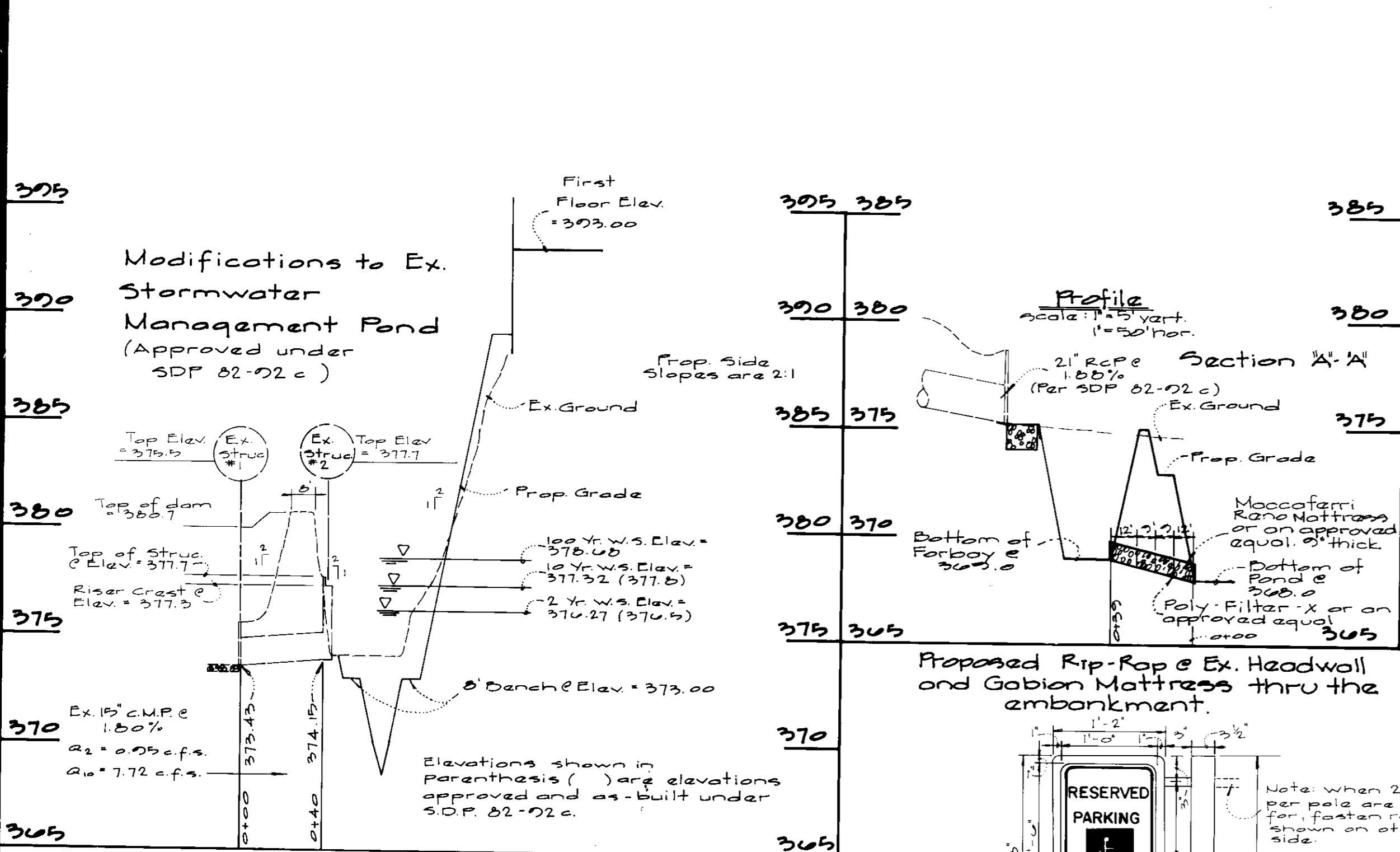
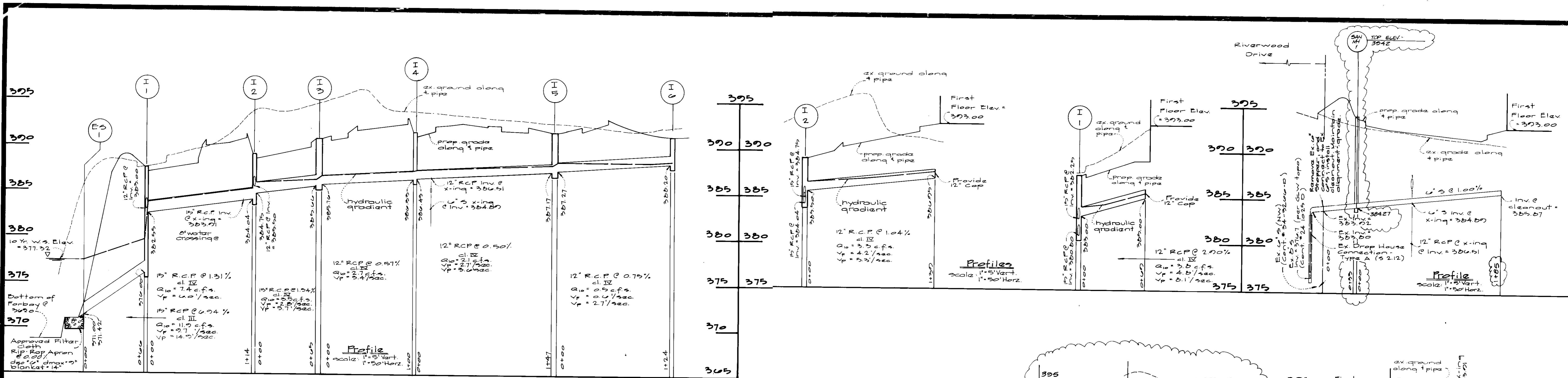
PREPARED FOR:
Kajima Assoc., Inc.
200 Sylvan Avenue
Englewood Cliffs, NJ 07632

OWNER:
Shimodzu Scientific
Instruments, Inc.
7102 Riverwood Drive
Columbia, Md 21046

LANDSCAPE PLAN
Rivers Corporate Park
Section 1, Area 1
Parcel B
6th Election District
Howard County, Maryland

DES.:	SCALE	ZONING	G.L.W. FILE NO.
K.W.H.	As Shown		75009
DRN.:			
H.L.C.			
CHK.:	DATE	TAX MAP NO.	SHEET
CKG.	April 29, 1993	4-14-2	3 of 6

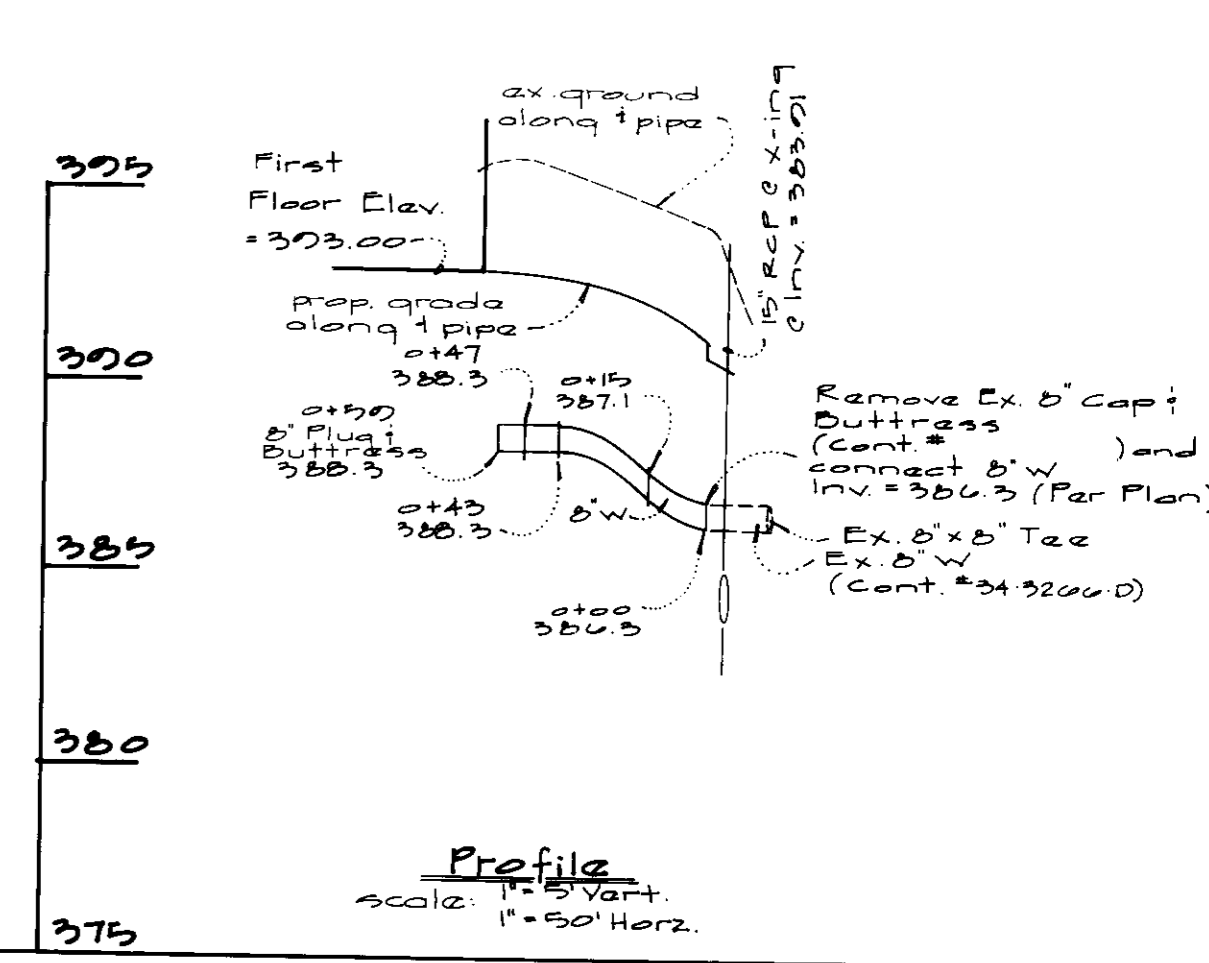
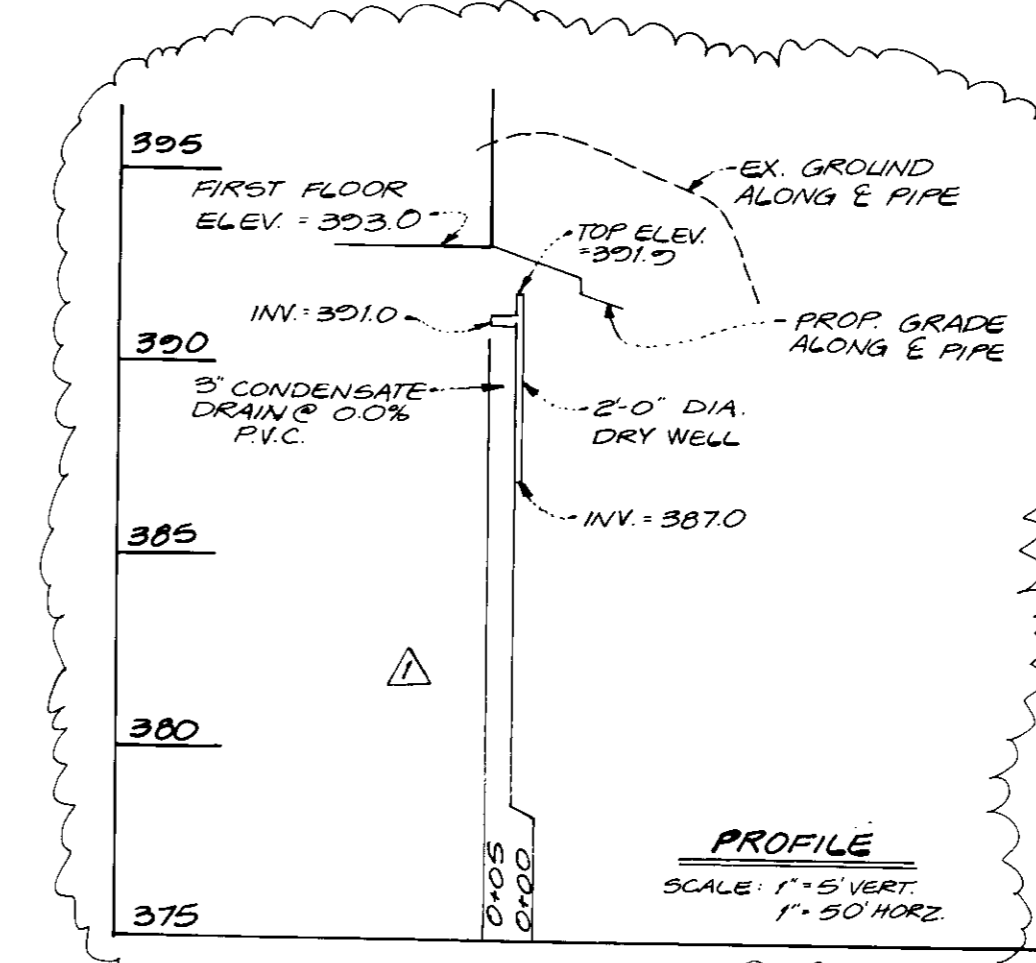
"FOR LANDSCAPE USE ONLY"



CONDITIONS AND MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS AND BUFFERS

1. REMOVE EXCESS FILL OR CONSTRUCTION MATERIAL OR DEBRIS TO AN UPLAND DISPOSAL AREA, OUTSIDE OF ANY FLOODPLAIN, WETLAND OR BUFFER.
2. IF BACKFILL IS OBTAINED, USE CLEAN MATERIAL FREE OF WASTE METAL PRODUCTS, UNSIGHTLY DEBRIS, TOXIC MATERIAL OR ANY OTHER DELETERIOUS SUBSTANCE.
3. TO PROTECT IMPORTANT AQUATIC SPECIES, IN-STREAM WORK IS PROHIBITED AS DETERMINED BY THE CLASSIFICATION OF THE STREAM AS FOLLOWS:

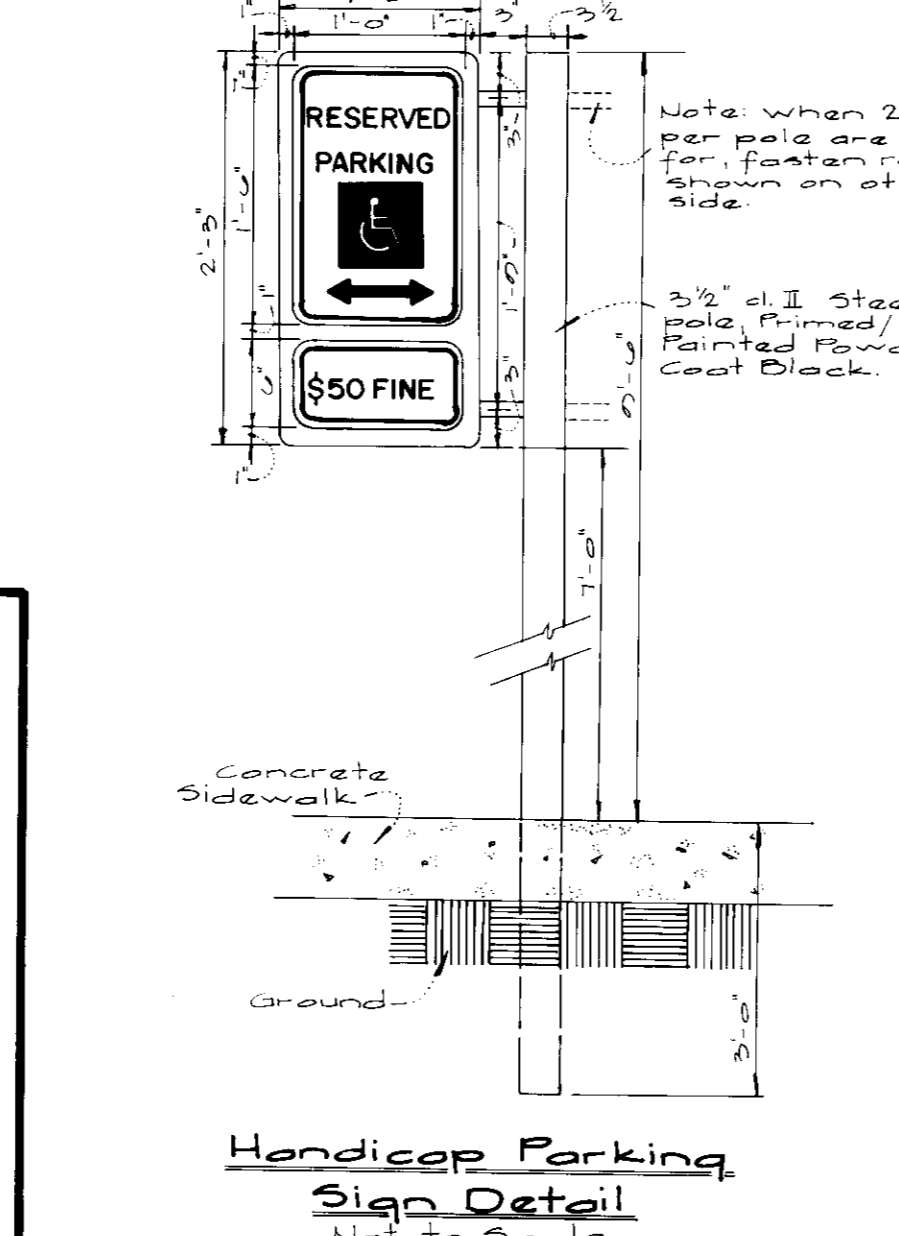
CLASS I WATERS: IN-STREAM WORK MAY NOT BE CONDUCTED DURING THE PERIOD MARCH 1 THROUGH JUNE 15, INCLUSIVE, DURING ANY YEAR.
4. NO REMOVAL OF VEGETATION, GRADING, FILLING, DRAINING OR OTHER ALTERATION OF THE NONTIDAL WETLANDS OR BUFFER OUTSIDE THE LIMITS OF DISTURBANCE SHALL OCCUR, EITHER DURING CONSTRUCTION OR AFTER COMPLETION, WITHOUT WRITTEN AUTHORIZATION FROM THE WATER RESOURCES ADMINISTRATION.
5. THE APPLICANT SHALL CREATE A MINIMUM OF 4,059 SQUARE FEET OF VEGETATED NONTIDAL WETLAND WITHIN THE MODIFIED STORMWATER MANAGEMENT FACILITY.



Water & Sewer Notes

1. All construction methods and materials for private water and sewer mains and connections shall follow the current edition of the Howard County Plumbing Codes supplemented by the Howard County Standards, Details, and Specifications where necessary.
2. All sewer mains and connections shall be P.V.C.
3. All water mains shall be D.I.P. class B2.
4. Block all water fittings with concrete.
5. Sewer manholes shall be 4'-0" diameter.
6. Water service are for inside meter settings.
7. Verify location of existing utilities prior to the start of construction of utilities shown on these plans.
8. Line and grade of existing sewer stubs shall be confirmed at stakeout. The engineer shall be notified of any discrepancies prior to construction.

Proposed Rip-Rap Ex. Headwall and Gabion Mattress thru the embankment



Approved For public water/sewerage systems, Howard County Health Department.
 Approved Howard County Dept. of Planning/Zoning
 Approved For public water/public sewerage, storm drainage systems/public roads, Howard County Dept. of Public Works.

DEVELOPER/BUILDER'S CERTIFICATE
 I certify that all development and/or construction will be done according to these plans, and that any responsible personnel in the construction project will have a Certificate of Attendance of a Department of the Environment Approved Training program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by NSD.

ENGINEER'S CERTIFICATE
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.
 Howard Soil Conservation District
 Signature of Developer/Builder
 Signature of Engineer

Pipe Schedule

Size & Type	Class	Length
12" R.C.P.	IX	57'
15" R.C.P.	III	170'
15" R.C.P.	IX	66'
6" W. (D.I.P.)	B2	50'
6" S. (P.V.C.)		105'
3" Drain (P.V.C.)		5'

Structure Schedule

Struct. Number	Struc. Type	Detail Number	Top of Struc. Upper	Lower	Inverts Upper	Lower
I-1	Land Inlet	SD 4.14	387.00	383.00	386.00	386.00
I-2	"	SD 4.21	380.10	383.20	385.00	385.00
I-3	"	"	380.20	383.20	385.00	385.00
I-4	"	"	381.20	380.45	386.35	386.35
I-5	"	"	381.40	381.27	387.17	387.17
I-6	"	"	381.20		388.20	
ES-1	End Sect. Man Hole	SD 5.51	380.42	379.11	376.07	376.07
ES-2	Man Hole	SD 5.51	384.2	384.27		

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20886
 TELEPHONE (301)421-4024 NO. VA (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

7/22/93 ADDENDUM #3
 4/29/93 As issued for bid package

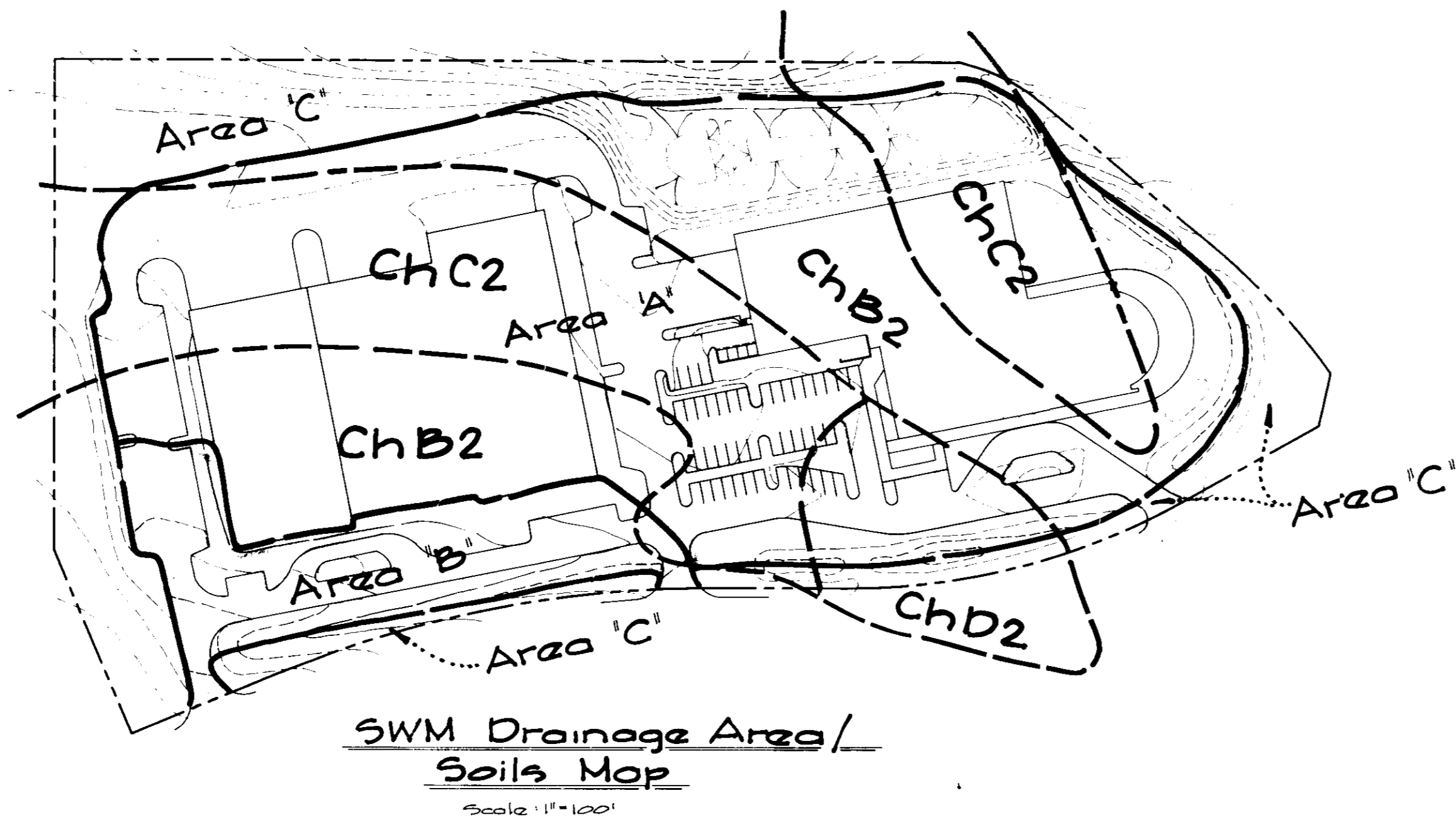
DATE	REVISION	BY	APPR.
		MCF	CKG
		MCF	CKG

PREPARED FOR
 Kajima Assoc. Inc.
 200 Sylvan Avenue
 Englewood Cliffs, NJ 07632
 Owner
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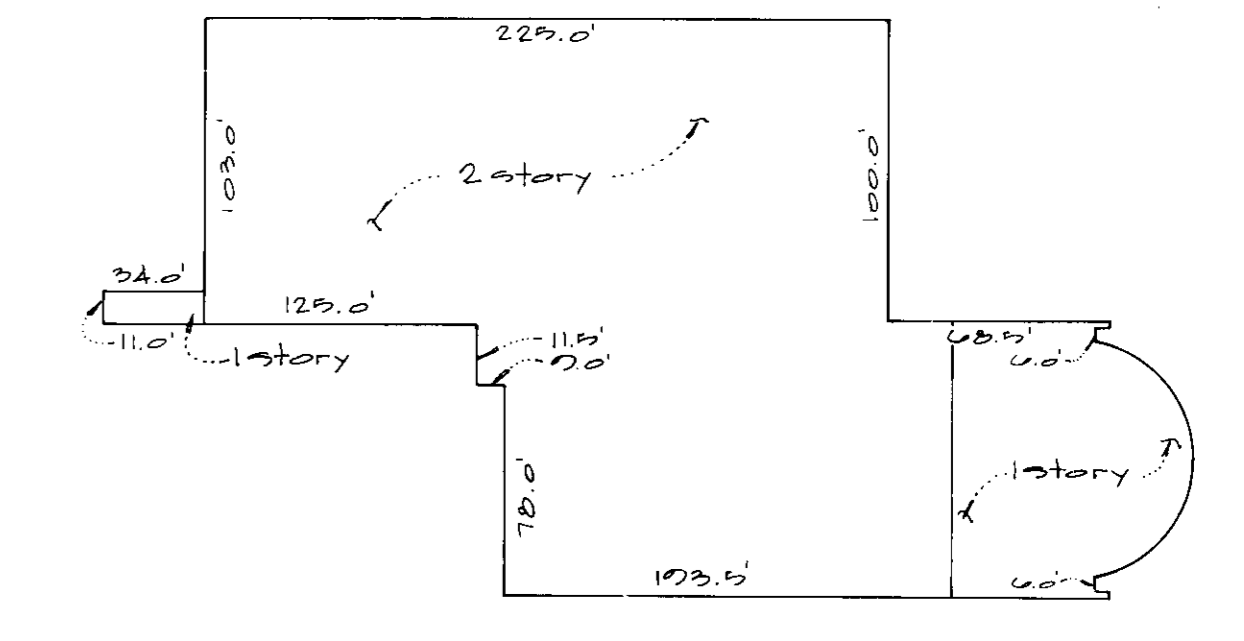
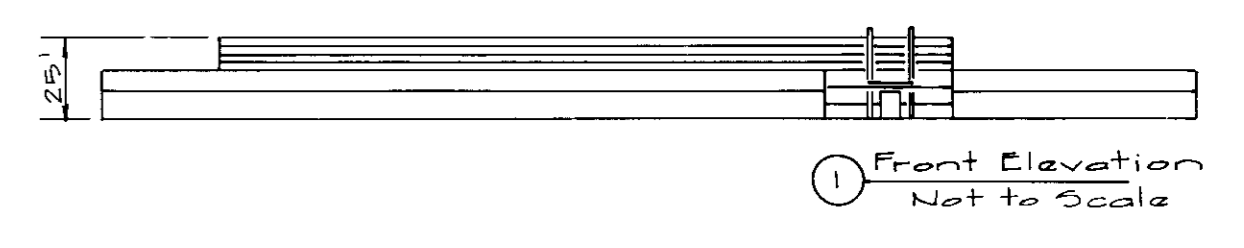
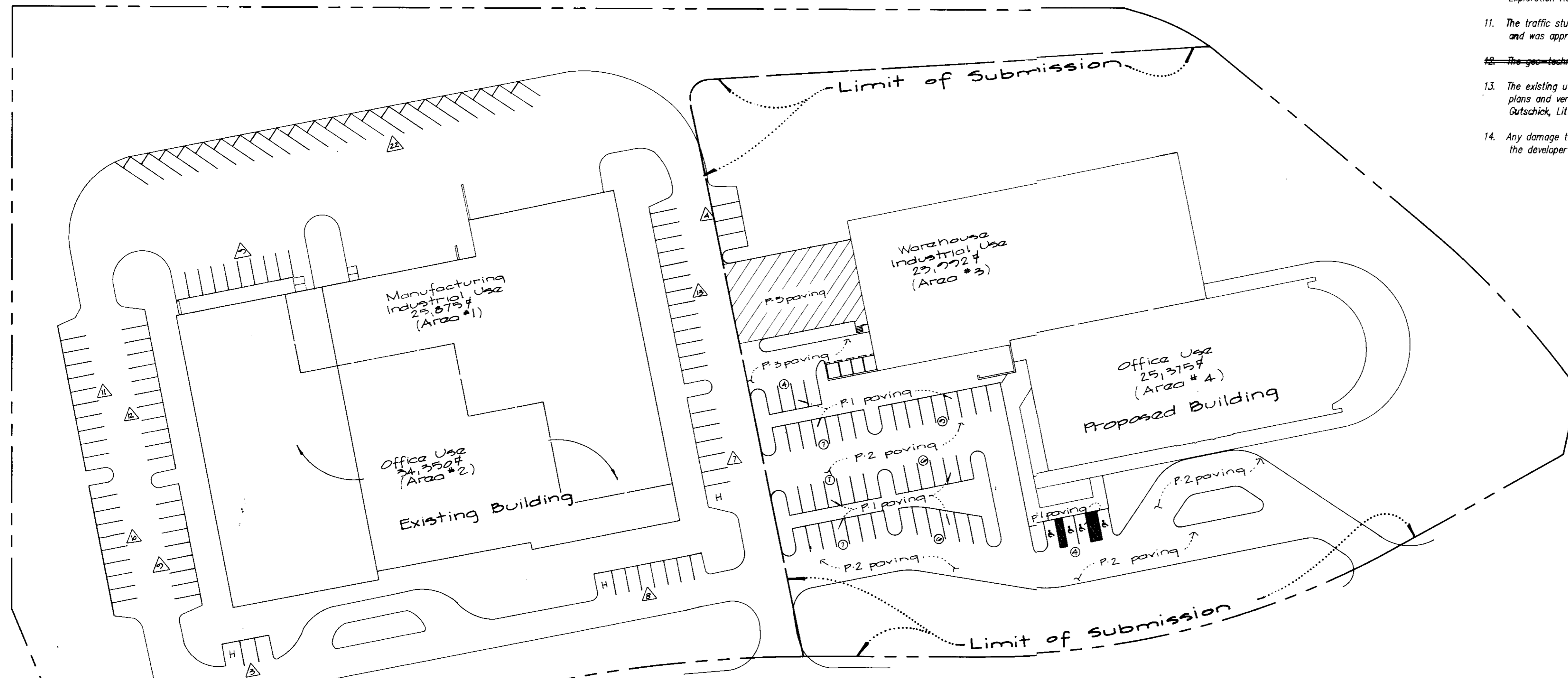
Storm Drain Profiles
Rivers Corporate Park
 Section 1, Areal Parcel B
 6th Election District
 Howard County, Maryland

DES.	SCALE	ZONING	GLW FILE No.
DE.V.	As Shown		75003
DRN.	DATE	TAX MAP No.	SHEET
M.C.F.	April 20, 1993	41	2 of 6
CHK.	DATE	TAX MAP No.	SHEET
C.K.G.	April 20, 1993	41	2 of 6

Soils
 ChB2 Chester Silt Loam B soil
 ChC2
 ChD2



- General Notes
- All construction shall be in accordance with the latest standards and specifications of Howard County plus Maryland State Highway Administration standards and specifications, if applicable.
 - The contractor shall notify the Department of Public Works/Bureau of Construction at (301) 792-7272 at least five (5) working days prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - Location: Riverwood Drive Tax Map: 41 & 42 Parcel B
 Zoning: New Town
 Election District: 6th
 Section/Area: 1/1
 Total Tract Area: 9.89 Ac.
 Number of Proposed Lots: 1
 - Traffic control devices, markings, and signing shall be in accordance with the latest edition of the manual on uniform traffic control devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
 - Light poles and fixtures shall be in accordance with the latest Howard County Design Manual, Volume III, Roads and Bridges.
 - The water and sewer on this site is public, the contract number is 34-3266 D. The sewer on this site is private and the drainage area is Middle Patuxent.
 - Stormwater management quantity control is provided on site.
 - There is no floodplain that impacts this site.
 - Wetland limits were determined by a study performed by Exploration Research, Inc. on February 8, 1993.
 - The traffic study was prepared by Lee Cunningham in March 1993 and was approved by Howard County on March 31, 1993.
 - ~~The geotechnical report was prepared by...~~
 - The existing utilities were located using approved utility plans and verification through field work performed by Gutschick, Little & Weber, P.A. on January 1993.
 - Any damage to County owned right-of-way will be repaired at the developer's expense.
 - Topography was compiled from as-built survey performed by Gutschick, Little & Weber, P.A. on January 1993 using 2' contour intervals.
 - All driveways and parking to be privately owned and maintained.
 - All coordinates are based on the Howard County Geodetic control survey traverse which is based on the Maryland State Plane Coordinate System.
 - Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location by digging test pits by hand at all utility crossings well in advance of construction.
 - Class "C" trench bedding shall be used under all storm drains unless otherwise noted.
 - Building drainage will connect to storm drain system as shown on these plans.
 - Handicap parking details in accordance with the Maryland Building Codes for the Handicapped Section 5.01-7.05 and details shown on sheet.
 - See Dept of Planning and Zoning files: F 82-28C, SDP 82-92C, SDP 86-03C.
 - Where proposed curb is along and designated fire lane (see legend, sheet 1 of 6), common "red traffic paint" shall be used to paint the entire top and vertical face of the curb. The painted surface shall extend for the full length of the designated fire lane. This type of paint is readily obtainable from the Baltimore Paint and Chemical Company or any similar source dispensing special-use paints. Paint may be applied by either brush or spray.
 - All plan dimensions are to the face of curb unless otherwise noted.
 - Water quality is being provided on site using a permanent pool and shallow marsh plantings. The stormwater management is being provided on site by using a private detention pond.
 - Howard County horizontal and vertical datum used.
 - Building restriction lines meet Final Development Plan criteria Phase 184-A-III.
 - All sidewalks and handicap ramps must comply with A.D.A. criteria.



Approved: For public water/sewerage systems,
 Howard County Health Department.
 County Health Officer Date: 5-26-93

Approved: Howard County Dept. of Planning/Zoning
 Date: 6/2/93

Approved: For public water/sewerage,
 storm drainage system, public roads,
 Howard County Dept. of Public Works.
 Director Date: 5/24/93

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 13 APRIL 93

Parking Tabulation
 Scale: 1" = 50'

Parking Required	Parking Provided
Area #1 (Industrial Use-Manufacturing) 25,875 sq ft @ 30 employees @ 2 employees/space = 15 spaces	Existing spaces to remain: 88 spaces
Area #2 (Office Use) 24,350 sq ft @ 2 spaces/1000 sq ft = 49 spaces	Handicap spaces: 3 spaces
Area #3 (Industrial Use-Warehouse) 25,772 sq ft @ 2 employees @ 2 employees/space = 4 spaces	Proposed spaces: 63 spaces
Area #4 (Office Use) 25,375 sq ft @ 2 spaces/1000 sq ft = 51 spaces	Standard spaces: 4 spaces
	Handicap spaces: 4 spaces
	Subtotal for Standard: 191 spaces
	Subtotal for Handicap: 7 spaces
	Total Provided: 198 spaces
Total Required = 139 spaces	

according to A.D.A. requirements 5 of these spaces must be for handicap use

Parking Composite Plan
 Scale: 1" = 50'

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
 TELEPHONE (301)421-4024 NO VA (301)989-2524 BALTO (301)880-1820 FAX (301)421-4166

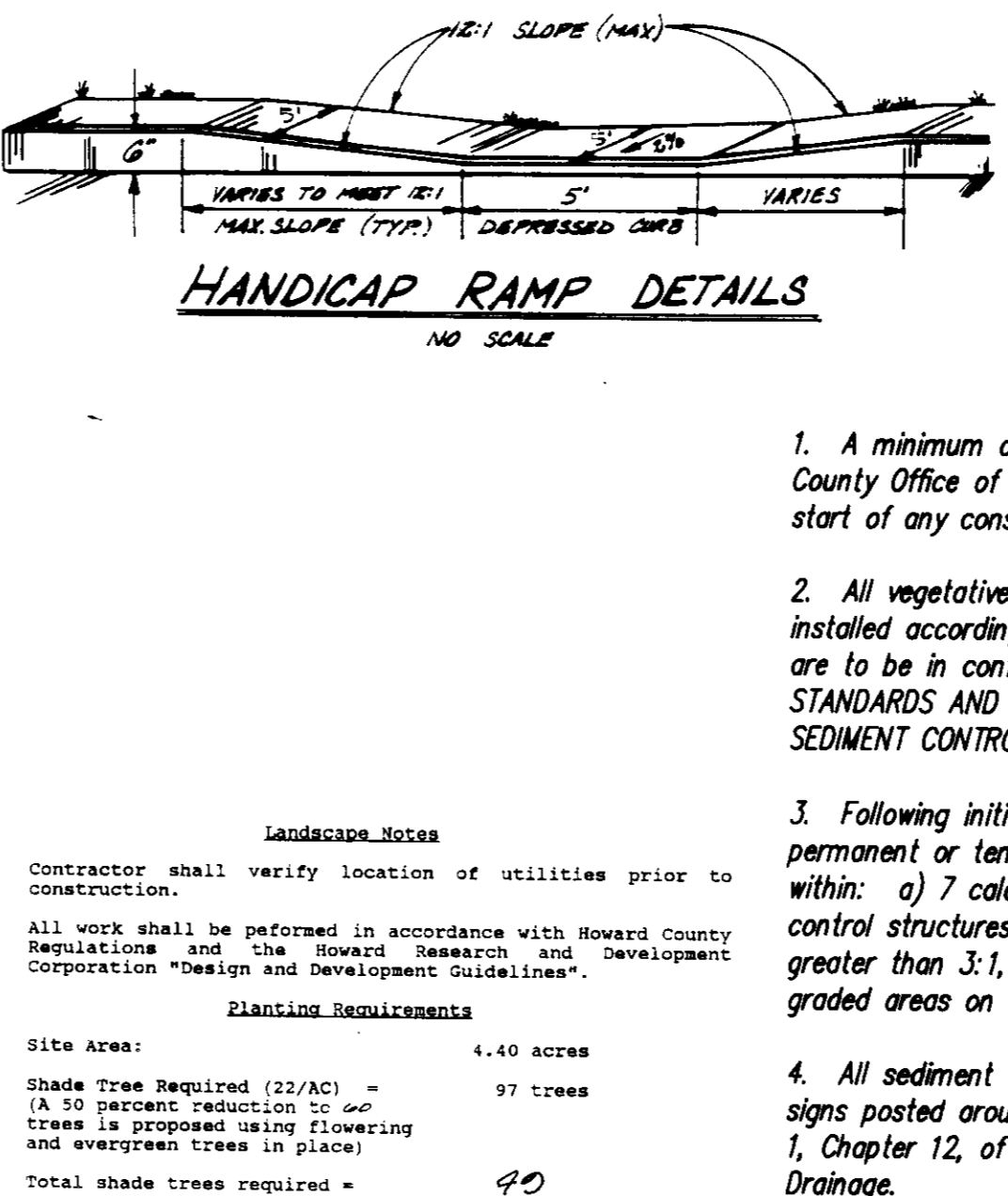
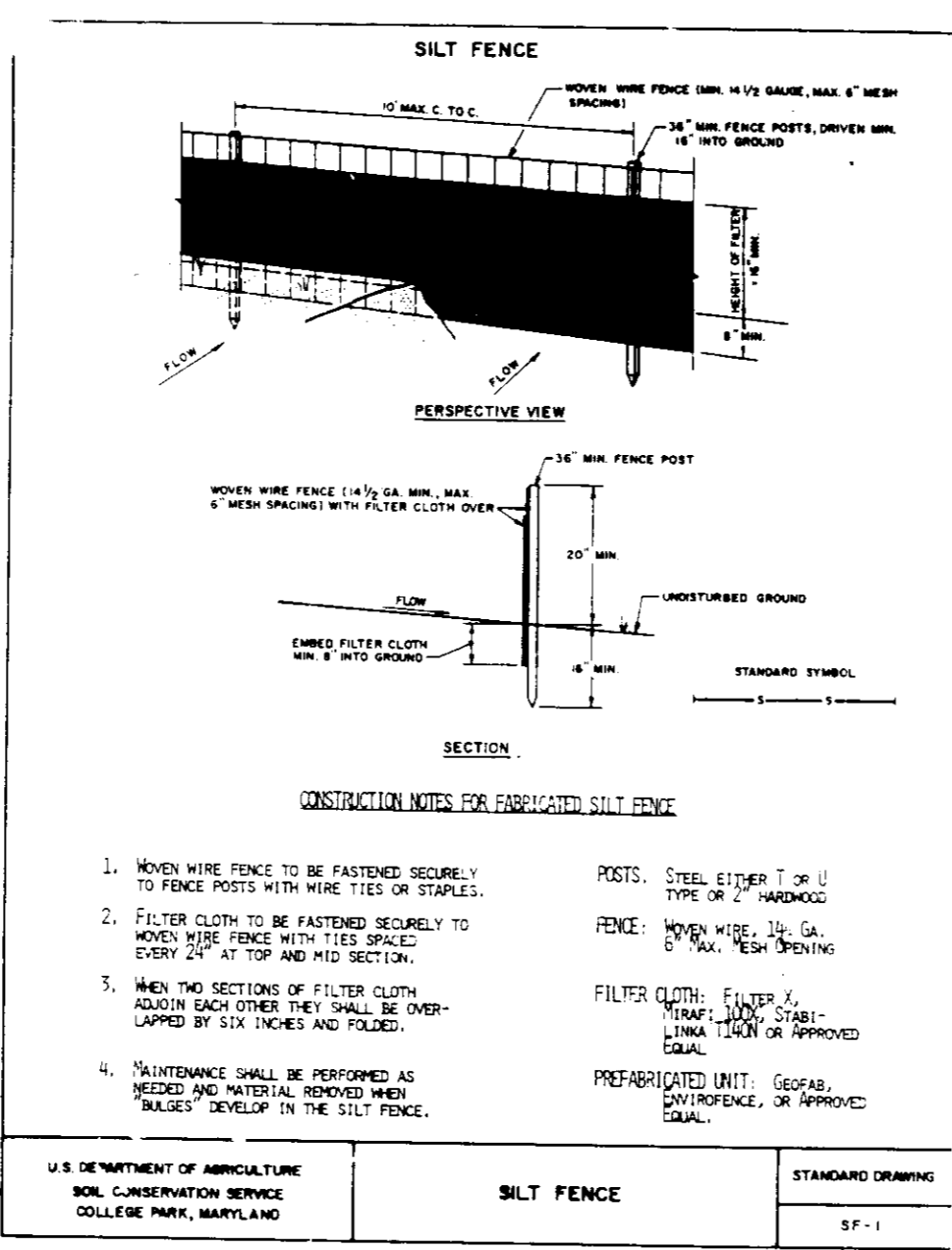
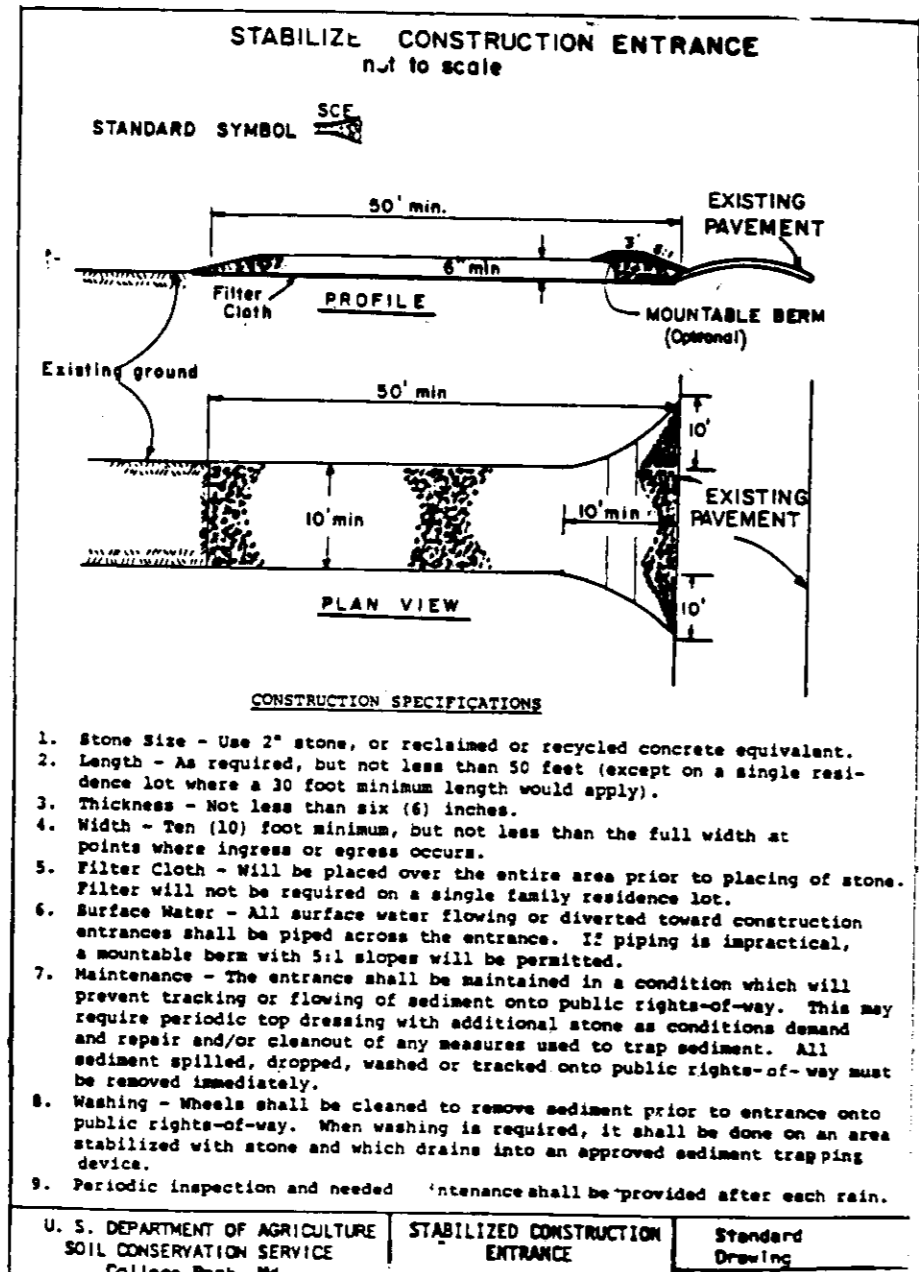
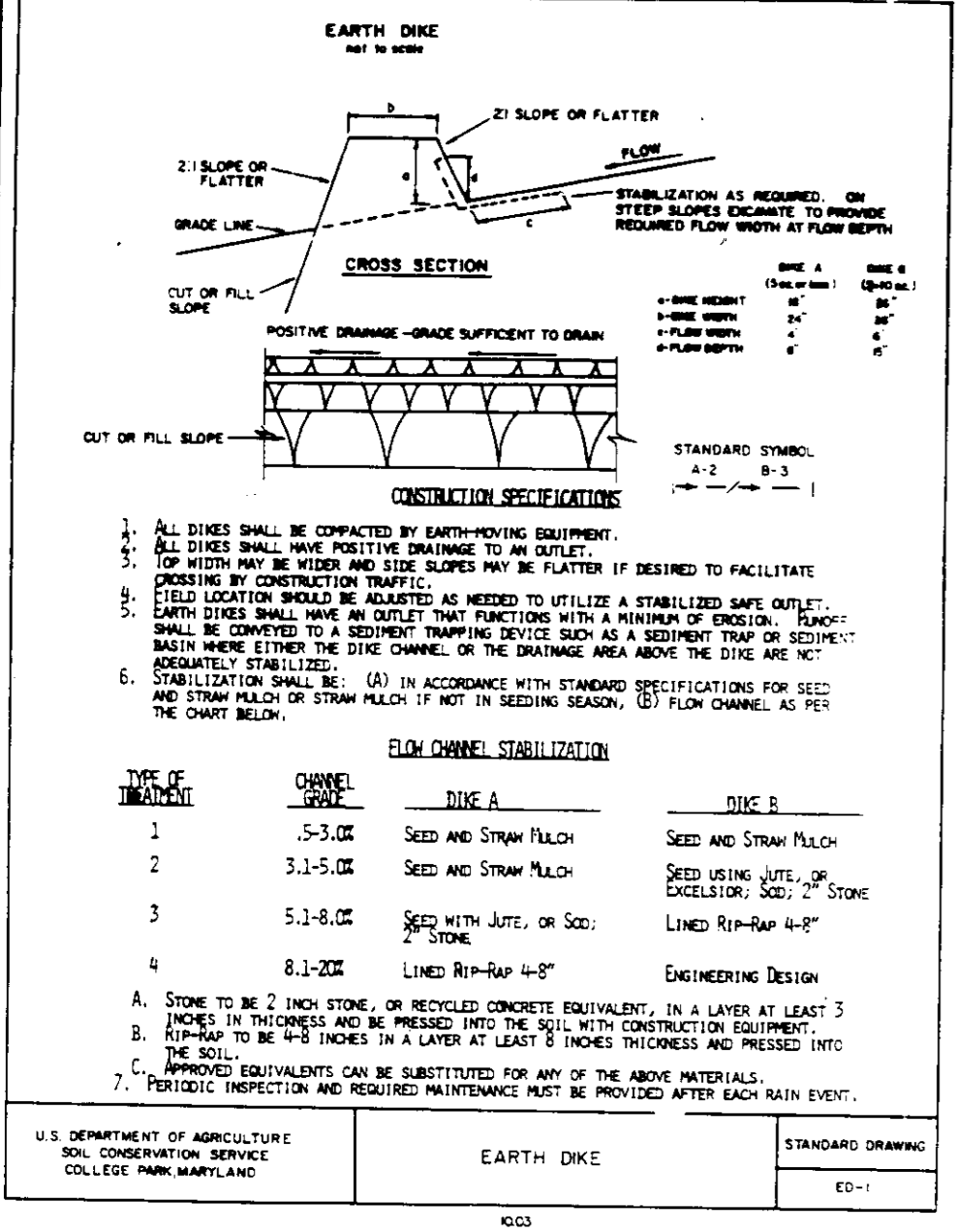
DATE	REVISION	BY	APP'R.
4/20/93	As issued for bid package	MCF	SKG

PREPARED FOR
 Kajima Assoc., Inc.
 200 Sylvan Avenue
 Englewood Cliffs, NJ 07632

Owner
 Shimadzu Scientific
 Instruments, Inc.
 7102 Riverwood Drive
 Columbia, Md 21046

Parking Plan / SWM Drainage Area / Soils Map
Rivers Corporate Park
 Section 1, Area 1
 Parcel B
 6th Election District
 Howard County, Maryland

DES. DEV.	SCALE	ZONING	GL.W. FILE No.
M.C.F.	As Shown		73003
DRN. M.C.F.	DATE	TAX MAP No.	SHEET
C.K.G.	April 23, 1993	41	5-16

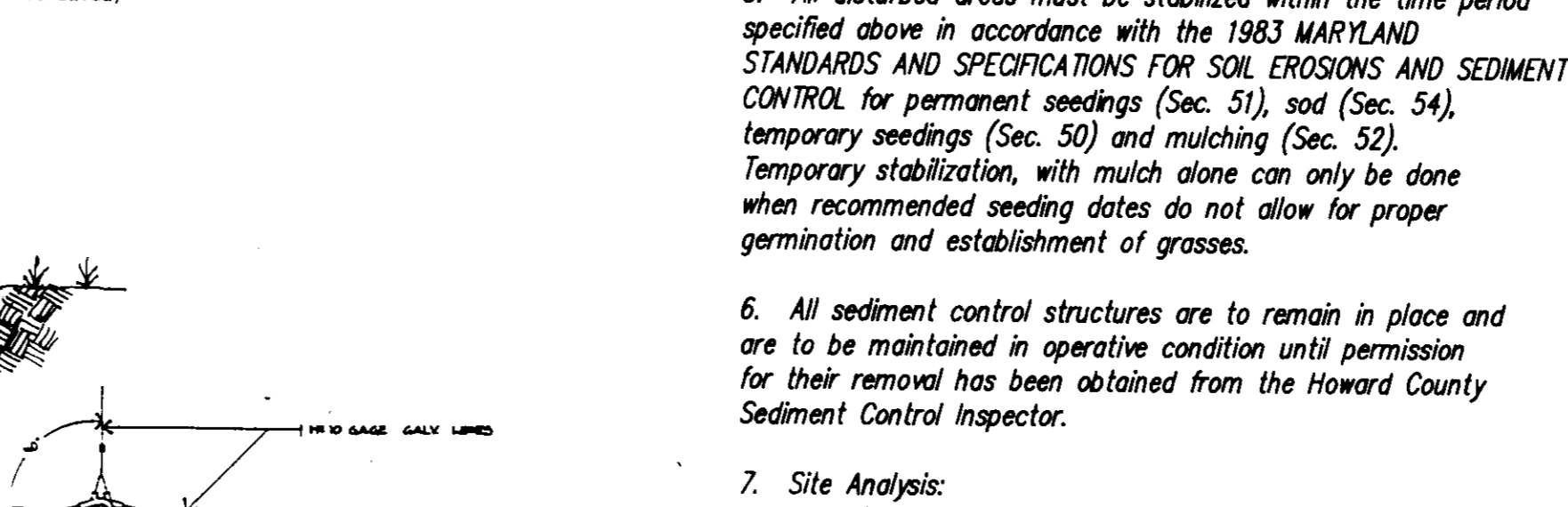
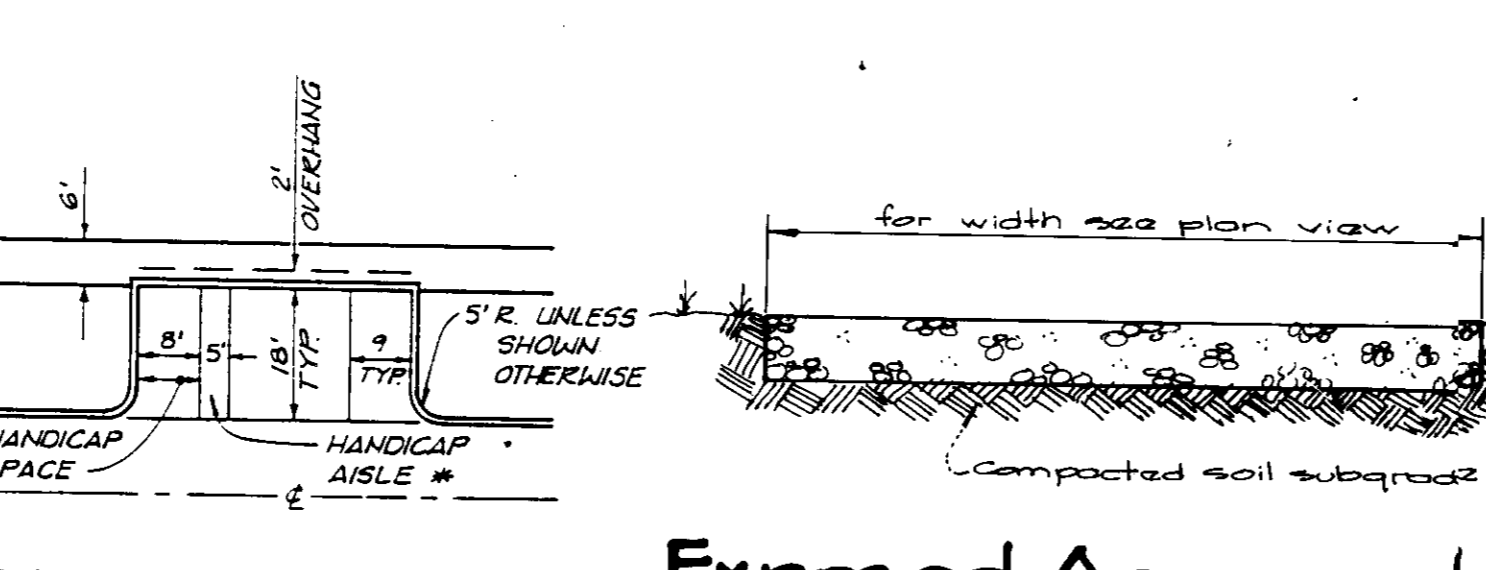
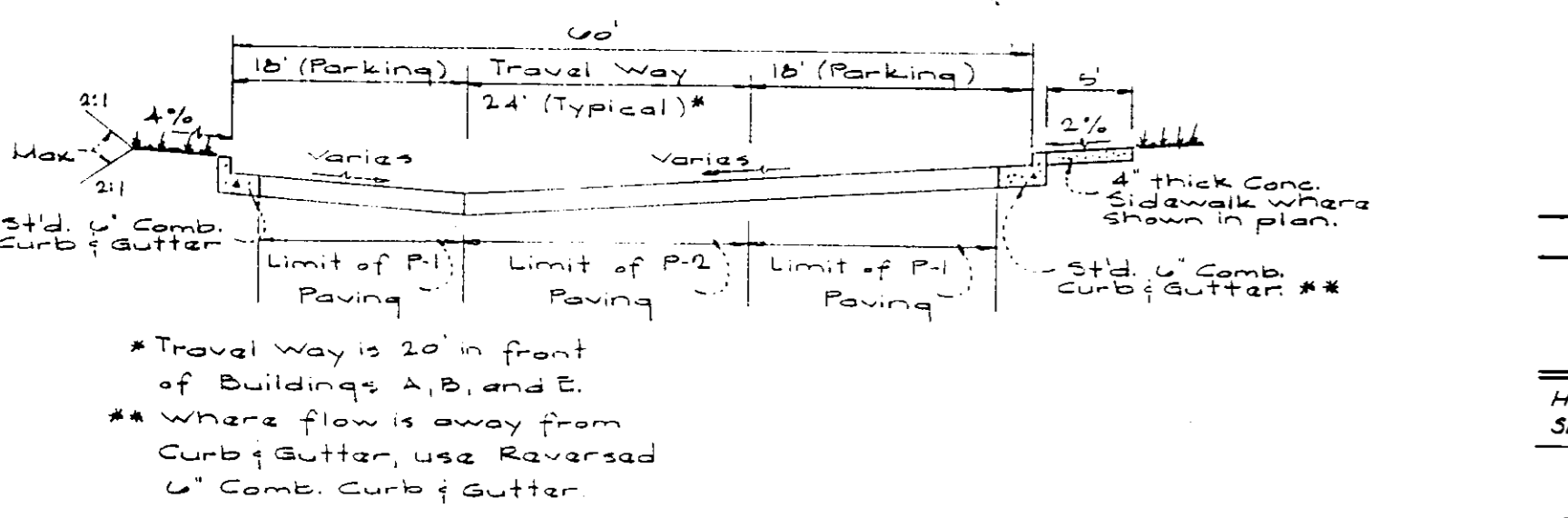


SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (892-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

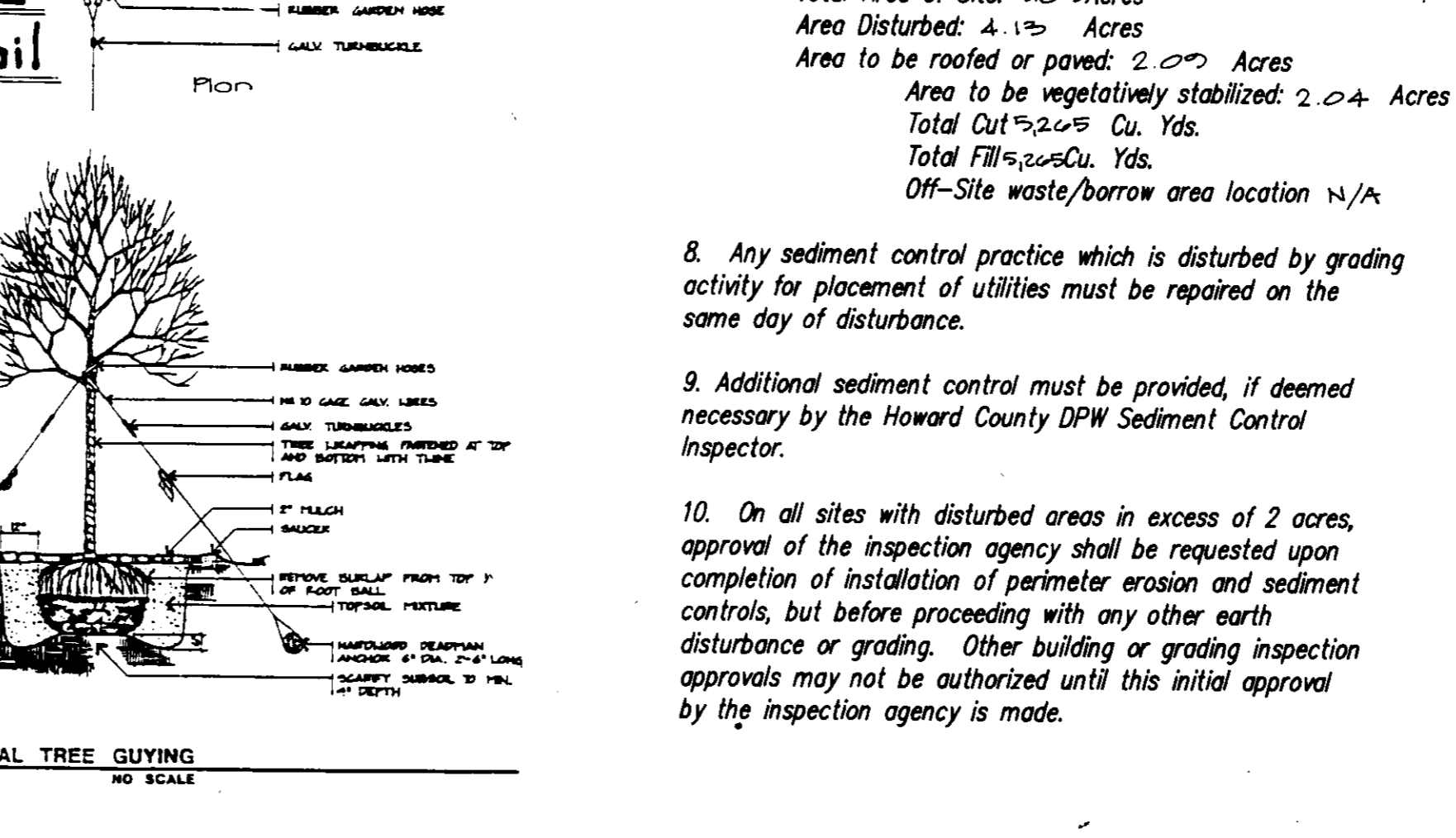
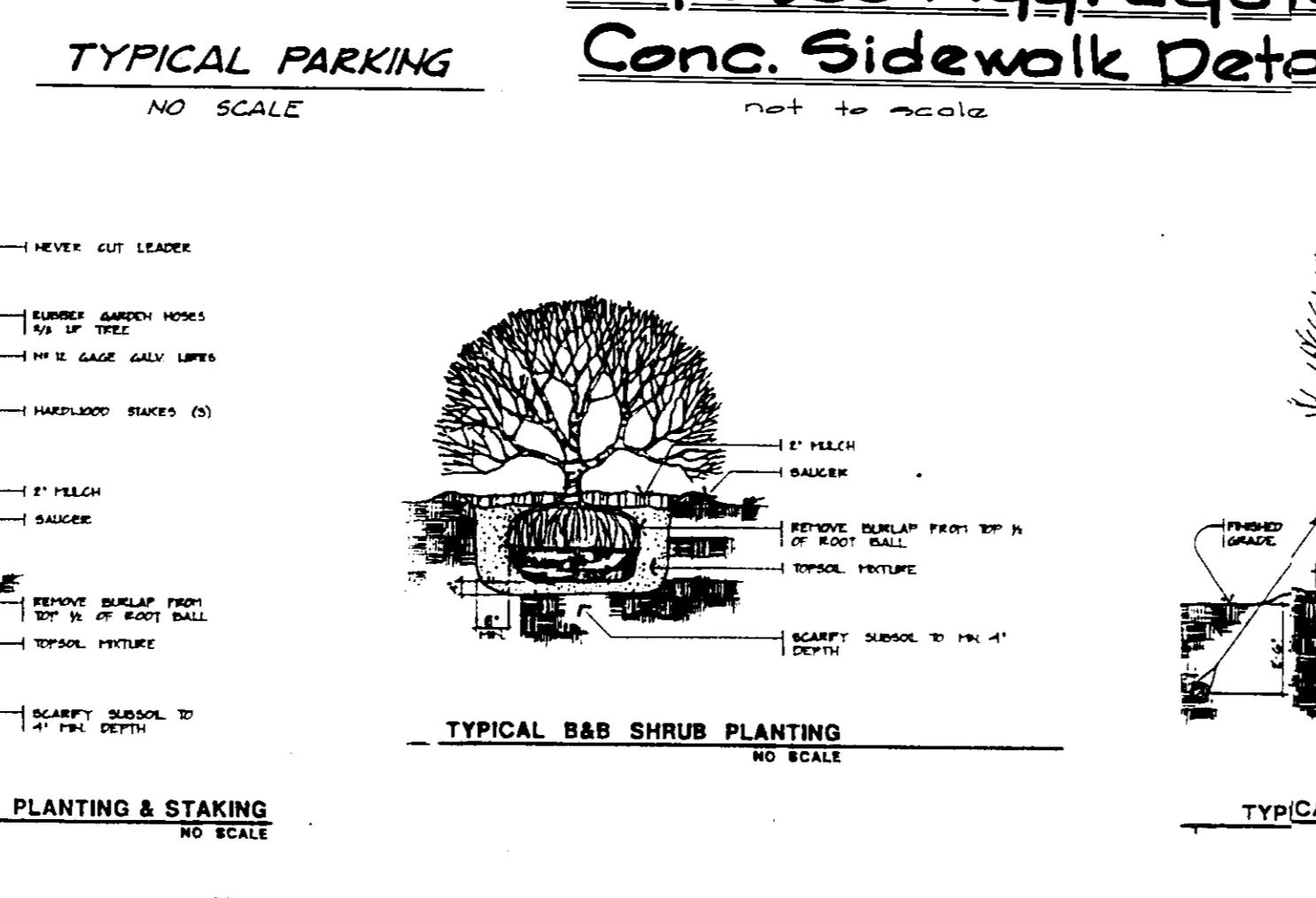
PERMANENT SEEDING NOTES

- Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: In lieu of soil test recommendations, use one of the following schedules
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
 - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.



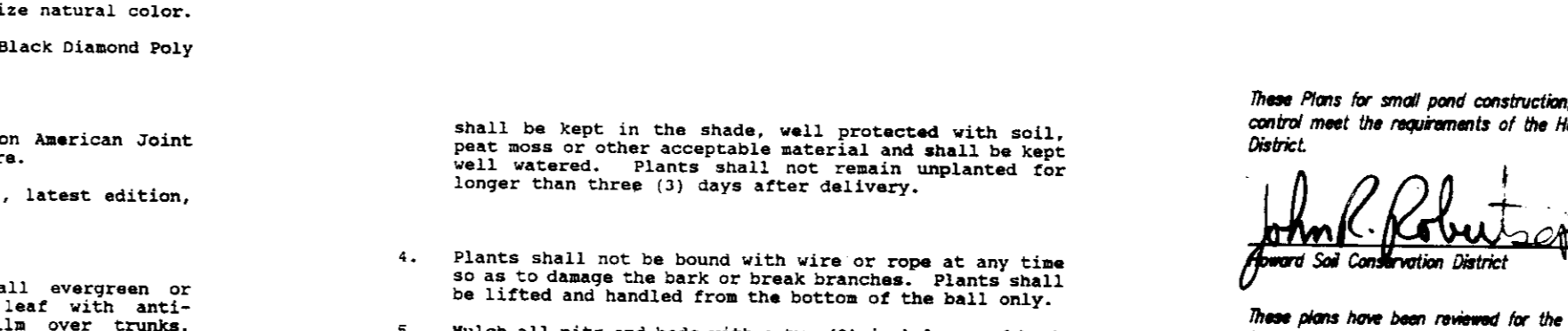
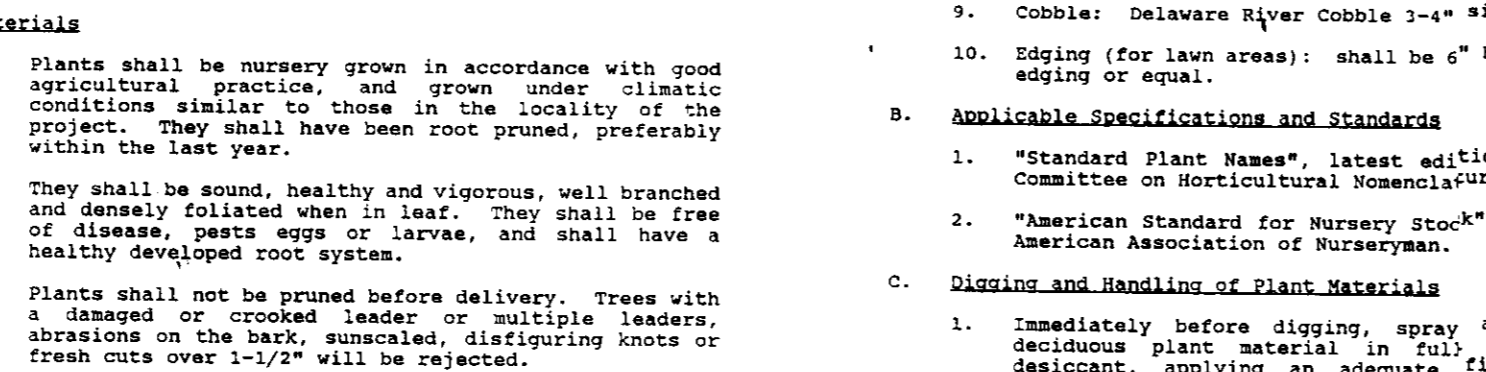
PLANT LIST

KEY	QTY	NAME (Botanical/Common)	SIZE	COND.
Shade Trees				
1	22	Acer Rubrum "October Glory"/ October Glory Red Maple	2.5-3" Cal. 12-14" HT.	B&B
2	6	Acer Rubrum "Armstrong"/ Armstrong Colonnade Maple	2.5-3" Cal. 12-14" HT.	B&B
3	2	Quercus Acutifolia/Sawtooth Oak	2.5-3" Cal. 12-14" HT.	B&B
4	5	Gleditsia Tricanthos Inermis "Skyline"/Skyline Honeylocust	2.5-3" Cal. 12-14" HT.	B&B
Flowering Trees				
5	7	Cornus Kousa/Chinese Dogwood	2-2.5" Cal. 8-10" HT.	B&B
6	57	Prunus Serotina "Ewanston"/Ewanston Cherry	2-2.5" Cal. 8-10" HT.	B&B
Evergreen Trees				
7	1	Cedrus Atlantica Glauca/Blue Atlas Cedar	3.5-4" Cal. 14-16" HT.	B&B
8	14	Cedrus Deodara/Deodar Cedar	2-2.5" Cal. 6-8" HT.	B&B
9	14	Ilex "Nellie R. Stevens"/Nellie Stevens Holly	2-2.5" Cal. 6-8" HT.	B&B
Shrubs				
11	20	Ilex Crenata Helleri/Deer Japanese Holly	18-24" Spread	B&B or Cont.
13	25	Spiraea X Buxalis/Anthony Waterer Spiraea	18-24" Spread	B&B or Cont.



SPECIFICATIONS

- Plants shall be nursery grown in accordance with good agricultural practices, and grown under climatic conditions similar to those in the locality of the project. They shall have been root pruned, preferably within the last year.
- They shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall be free of disease, pest eggs or larvae, and shall have a healthy developed root system.
- Plants shall not be pruned before delivery. Trees with a damaged or crooked leader or multiple leaders, abrasions on the bark, unsuited, disfiguring knots or fresh cuts over 1-1/2" will be rejected.
- No change in quantity, size, kind or quality of plant specified will be permitted without the approval of the landscape architect.
- Topsoil shall be fertile, friable and typical of the locality; it shall be free of stones, lumps, plants, roots, sticks and shall not be delivered in a frozen or muddy condition. (See topsoil notes general note #15).
- Planting soil (backfill mix) shall be five-parts topsoil and one-part ver. loose peat moss or rotted manure.
- Staking materials: Guy wire shall be pliable 12 gauge galvanized twisted two-strand wire. Hose shall be suitable length of two-ply number hose 1/4-inch in diameter, stakes shall conform to the detail on this sheet.
- Wrapping material shall be a standard manufactured tree wrapping paper with crinkled surface and fastened by an approved method.
- All plant identification tags shall remain on plants until after inspection. To include common and botanical name and nursery of origin.
- Fertilizer shall be 21 gram agriform tablets or equal to be applied as follows:
 - 1 gal. container or smaller 2 each
 - 2 gal. container or larger 4 each
 - 5 each
- Mulch shall be Hardwood shredded Bark.



APPROVED For public water & sewerage systems, Howard County Health Department.

APPROVED Howard County Dept. of Planning & Zoning

APPROVED For public water & sewerage systems, Howard County Dept. of Public Works

NO.	REVISION	DATE	BY	APP'R.
1	As issued for bid package	4/29/93		
2	Revised Plant List - Quantities	5-22-93	KWH	CGA

DEVELOPER'S/BUILDER'S CERTIFICATE

ENGINEER'S CERTIFICATE

Prepared for: Kellie Anne, Inc. 2220 Riverway Avenue, Englewood Cliffs, NJ 07622

Owner: Shimadzu Scientific Instruments, Inc. 7102 Riverway Drive, Columbia, Md 21046

Sediment Control Notes & Details

Rivers Corporate Park

Section 1, Area 1 Parcel B

4th Election District Howard County, Maryland

SCALE: As Shown ZONING: 3300S

DATE: April 29, 1993 TAX MAP NO.: 41 SHEET: G of C

GLW GUTSCHICK LITTLE & WEBER, P.A.

ENGINEERS, PLANNERS, SURVEYORS

3908 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20886

TELEPHONE: (301) 421-4024

SEDIMENT CONTROL NOTES & DETAILS

Rivers Corporate Park

Section 1, Area 1 Parcel B

4th Election District Howard County, Maryland

SCALE: As Shown ZONING: 3300S

DATE: April 29, 1993 TAX MAP NO.: 41 SHEET: G of C