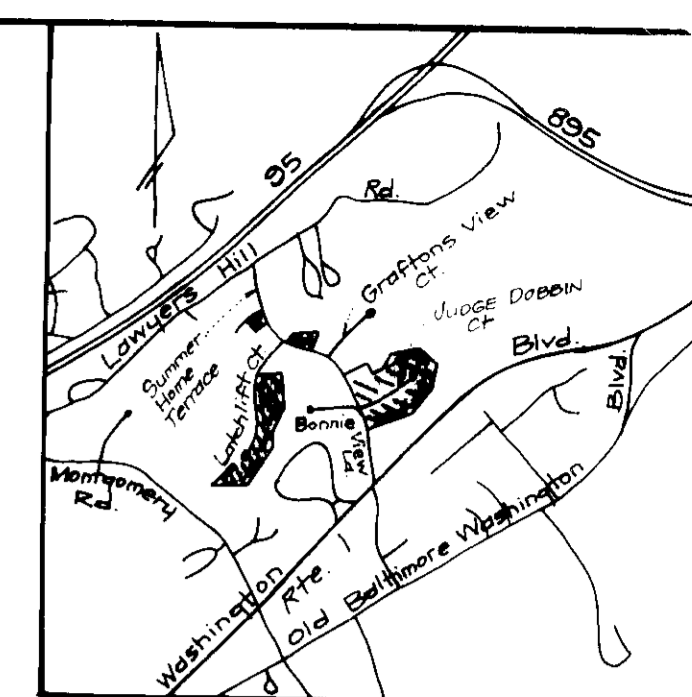
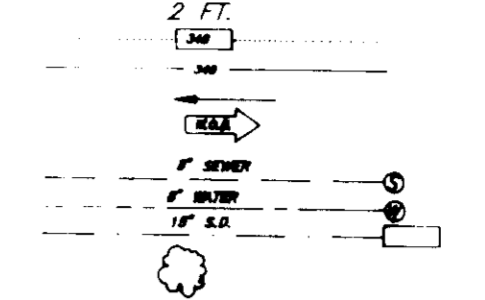


TYPICAL HOUSES
SCALE: 1"=30'
NOTES: ALL HOUSES HAVE 1" EAVES FRONT AND REAR.
MINIMUM LOT SIZE INCLUDES ALL OPTIONS INDICATED.

LEGEND
CONTOUR INTERVAL
EXISTING CONTOUR
PROPOSED CONTOUR
DIRECTION OF DRAINAGE
WALK OUT BASEMENT
EXISTING SEWER MAIN
EXISTING WATER MAIN
EXISTING STORM DRAIN
EXISTING TREES TO REMAIN



VICINITY MAP
Scale: 1"=2000'
Denotes Building Site

GENERAL NOTES:

- Subject property is zoned: R-20 per B-2-85 Comprehensive Zoning Plan.
- The total area included in this submission is: 420,952 sq ft or 9.6637 Ac.
- The total number of lots included in this submission are: 28
- Improvement to property: Single family detached
- The maximum lot coverage permitted is: 30%
- Department of Planning and Zoning reference file numbers are: S-87-49, P-90-04, WP-90-16, WP-90-157, F-91-30
- Utilities shown as existing are taken from approved water and sewer plan Contract #14-3031-D, approved road construction plans F-91-30, and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Storm water management is provided per: F 81.30
- All roadways are public and existing.
- The existing topography shown was taken from plans prepared by Greenman-Pederson, Inc. F-91-30. The contour interval is 2 feet.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2747001 & 2747002
- The contractor shall notify the Department of Public Works/Bureau of Construction Inspection a (301) 792-7272 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Under certain conditions, decks and porches may only extend 10 feet into front and rear setbacks.
- No clearing, grading or construction are permitted in the wetland or stream buffers.
- For driveway entrance details refer to Howard County Design Manual Volume IV, Std. Details R-6.01, R-6.03, R-6.05

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-91-30 and/or approved Water and Sewer Plans Contract #C-14-3031-D.

SHEET INDEX:

SHEETS 1, 2 & 3 SITE DEVELOPMENT PLAN
SHEETS 4, 5, 6 & 7 SEDIMENT & EROSION CONTROL PLANS

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
2	6210 Summer Home Terrace
28	6225 " " "
29	6223 " " "

NO	REVISIONS	Date
2	Rev. hse. of 9rd lot 28, Add hse. typical	4-11-94
1	Rev. hse. of 9rd lot 29	10-12-93

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER: *[Signature]* DATE: 2/5/93

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DIRECTOR: *[Signature]* DATE: 2/12/93
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: *[Signature]* DATE: 2/10/93

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE.
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: *[Signature]* DATE: 2-4-93
CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 2-4-93

OPEN SPACE
LOT 62
HOMEOWNERS
ASSOCIATION

OWNER / DEVELOPER:
GLH LIMITED PARTNERSHIP
9030 RED BRANCH ROAD # 200
COLUMBIA, MARYLAND 21045

PLATS	DATE	CHECKED BY
UNRECORDED		
RECORDED		

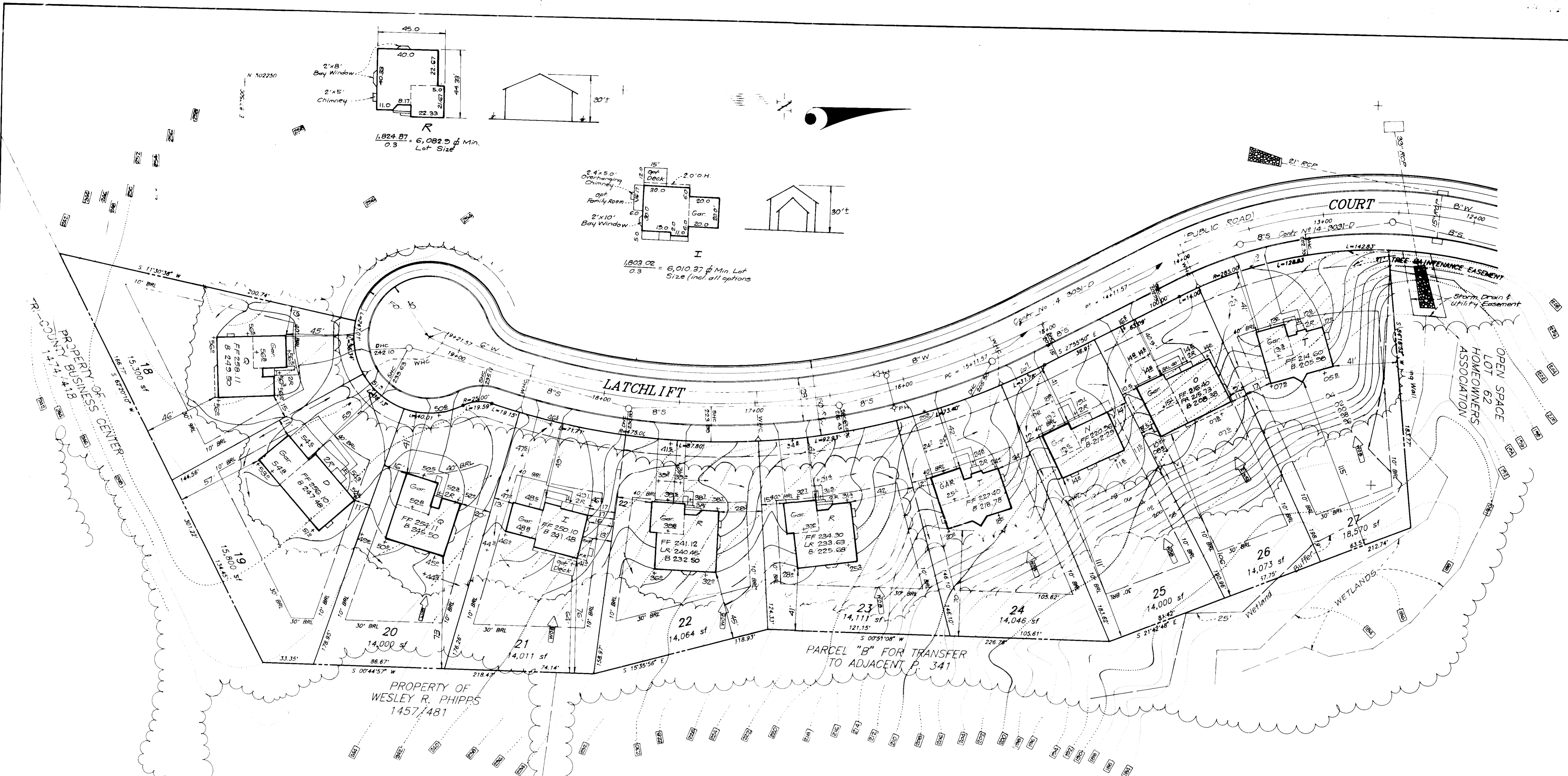
CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-7500 - BALTO. • (301) 621-8100 - WASH.

SITE DEVELOPMENT PLAN
LOTS 2, 18 THRU 29 AND 41 THRU 55
THE GABLES AT LAWYERS HILL
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: PATRIOT HOMES
P.O. Box 1018
Columbia, Md 21044

DESIGNED: MJP
DRAWN: VLP
CHECKED: BAL
DATE: Nov 1992

SCALE: 1"=30'
DRAWING: 1 OF 7
JOB NO: 92-182
FILE NO: 92-182X



ADDRESS CHART	
LOT No.	STREET ADDRESS
18	6241 Latchlift Court
19	6237
20	6233
21	6229
22	6225
23	6221
24	6217
25	6213
26	6209
27	6205

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 2/5/93

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 DIRECTOR: *[Signature]* DATE: 2/12/93

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 2-4-93

No.	REVISIONS	Date
7	Rev. house and grade lot 24	6-2-94
6	Rev. hse. lot 21, to show As-built conditions	4-21-94
5	Rev. hse. & grad. lot 21, Add hse. typical	10-19-93
4	Rev. hse. & grad. lots 18, 25 & 27	10-12-93
3	Rev. hse. & grad. lot 21	7-20-93
2	Rev. hse. & grad. lots 22, 23 & 26, Add hse. typical	7-2-93
1	Rev. hse. & grad. lots 19, 20 & 26	6-7-93

PLATS	DATE	CHECKED BY
UNRECORDED		
RECORDED		

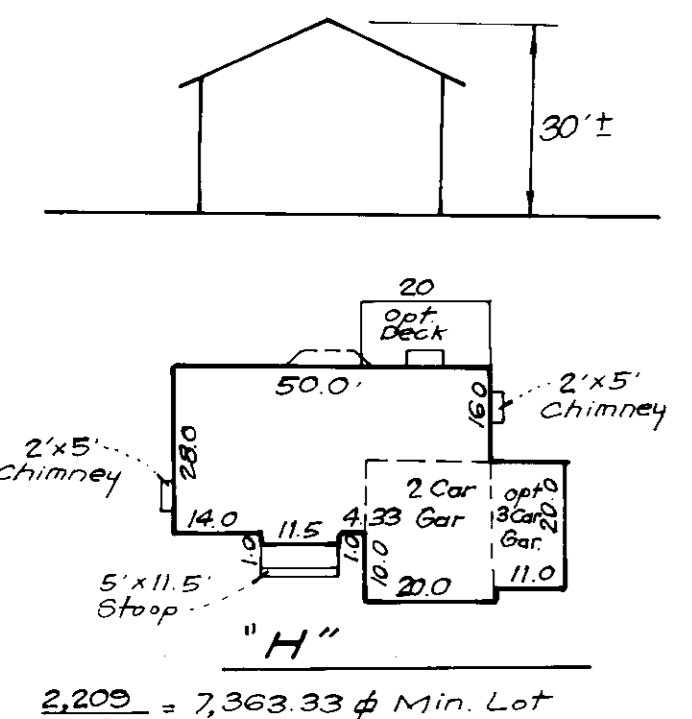
CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 • BALTO. • (301) 621-8100 - WASH.

DESIGNED: MJP
 DRAWN: VLP, BAL
 CHECKED: JME
 DATE: Nov 1992

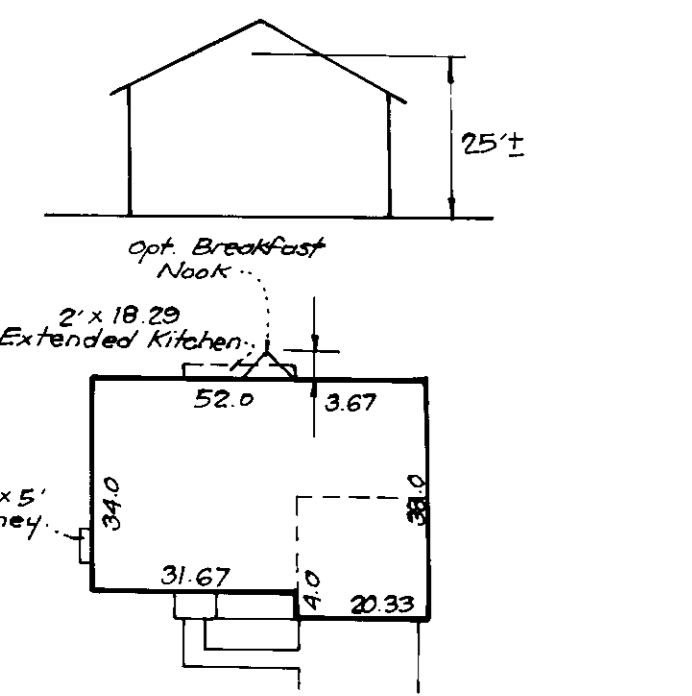
SITE DEVELOPMENT PLAN
 LOTS 2, 18 THRU 29 AND 41 THRU 55
THE GABLES AT LAWYERS HILL
 1ST ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

PATRIOT HOMES
 P.O. BOX 1018
 Columbia, Md 21044

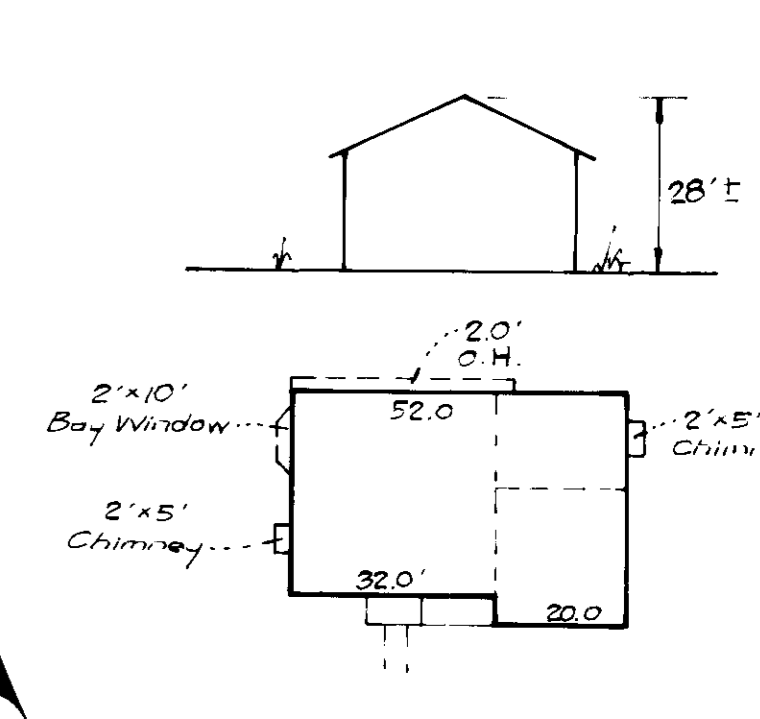
SCALE: 1"=30'
 DRAWING: 2 OF 7
 JOB NO.: 92-182
 FILE NO.: 92-182X



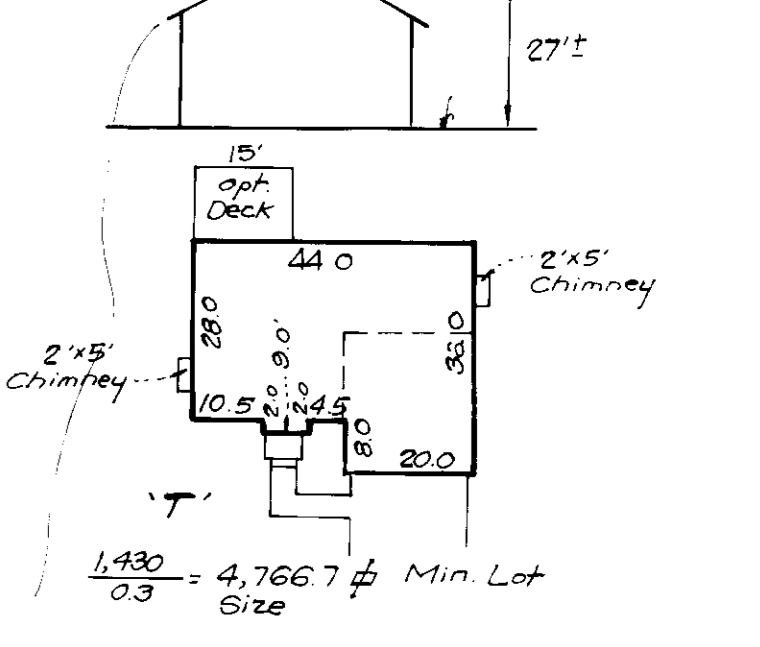
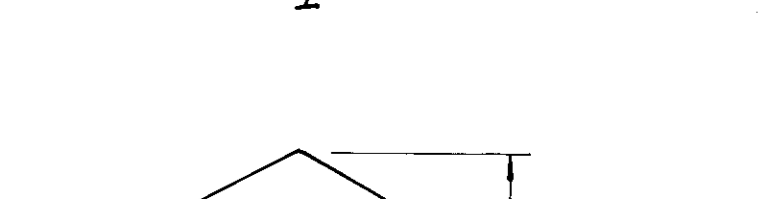
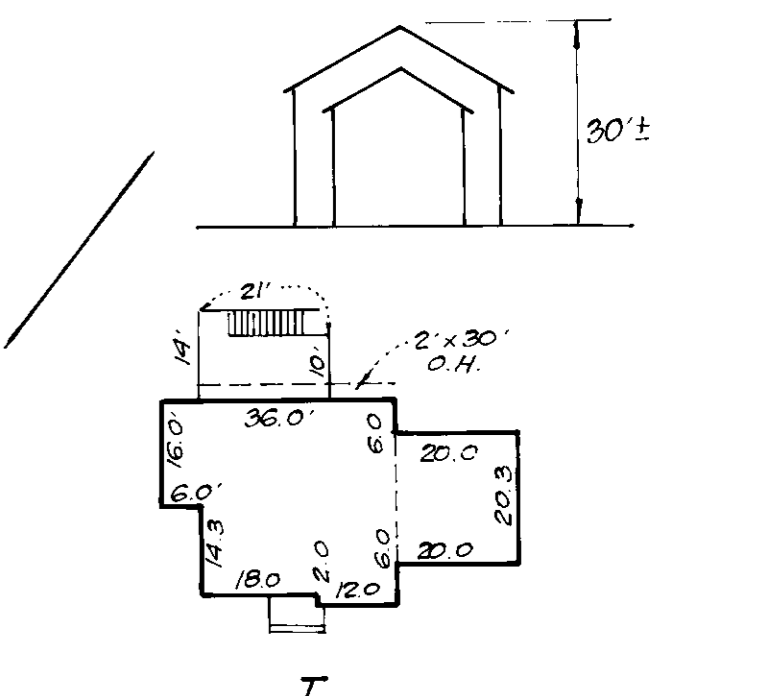
2,209 = 7,363.33 ϕ Min. Lot Size



S MODIFIED
1,937.9 = 6,659.6 ϕ Min. Lot Size w/All options



1,920 = 6,400 ϕ Min. Lot Size



1,430 = 4,766.7 ϕ Min. Lot Size

No.	REVISIONS	Date
12	Rev. hse. f. grad. lot 44, Add hse. typical	8-16-94
11	Rev. hse. f. grad. lot 55	6-22-94
10	Rev. hse. f. grad. lot 45, Add hse. typical	6-20-94
9	Rev. hse. f. grad. lots 47/53 Add hse. typical	6-2-94
8	Rev. hse. f. grad. lot 53	5-9-93
7	Rev. hse. f. grad. lot 43	4-11-94
6	Rev. hse. f. grad. lot 42, Add hse. typical	3-30-94
5	Rev. hse. f. grad. lot 51, Add hse. typical	3-8-94
4	Rev. hse. f. grad. lot 48	3-4-94
3	Rev. hse. f. grad. lot 54	1-7-94
2	Rev. hse. f. grad. lot 52, Add hse. typical	11-3-93
1	Rev. hse. f. grad. lots 42, 50 & 55	10-12-93

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 2/5/93

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 DIRECTOR: *[Signature]* DATE: 3/13/92
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: *[Signature]* DATE: 2/10/93

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 2-4-93
 CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 2-4-93

PLATS	DATE	CHECKED BY
UNRECORDED		
RECORDED		

LOT NO.	STREET ADDRESS
41	5801 Judge Dobbin Court
42	5802
43	5803
44	5804
45	5805
46	5806
47	5807
48	5808
49	5809
50	5810
51	5811
52	5812
53	5800
54	5800
55	5801 Summer Home Terrace

g.h.s. ark
1-11-93

OWNER / DEVELOPER:
 GHL LIMITED PARTNERSHIP
 9030 RED BRANCH RD., # 200
 COLUMBIA, MARYLAND 21045

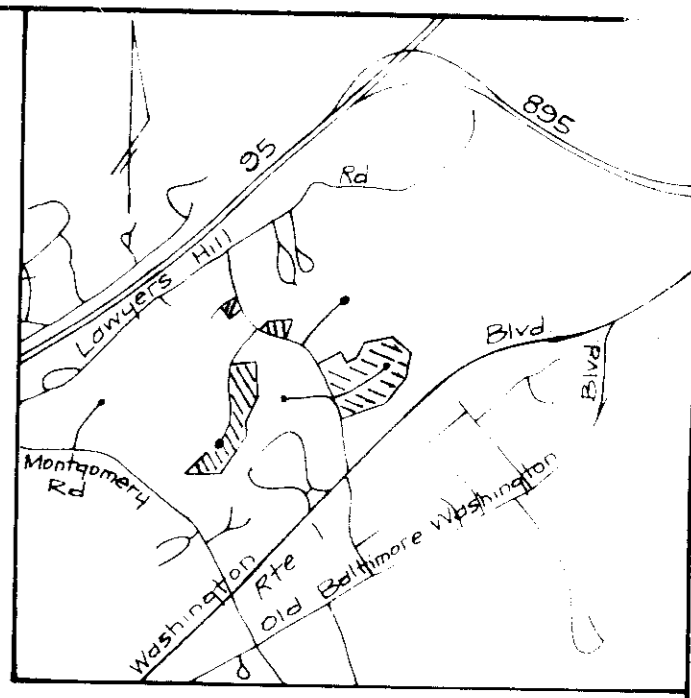
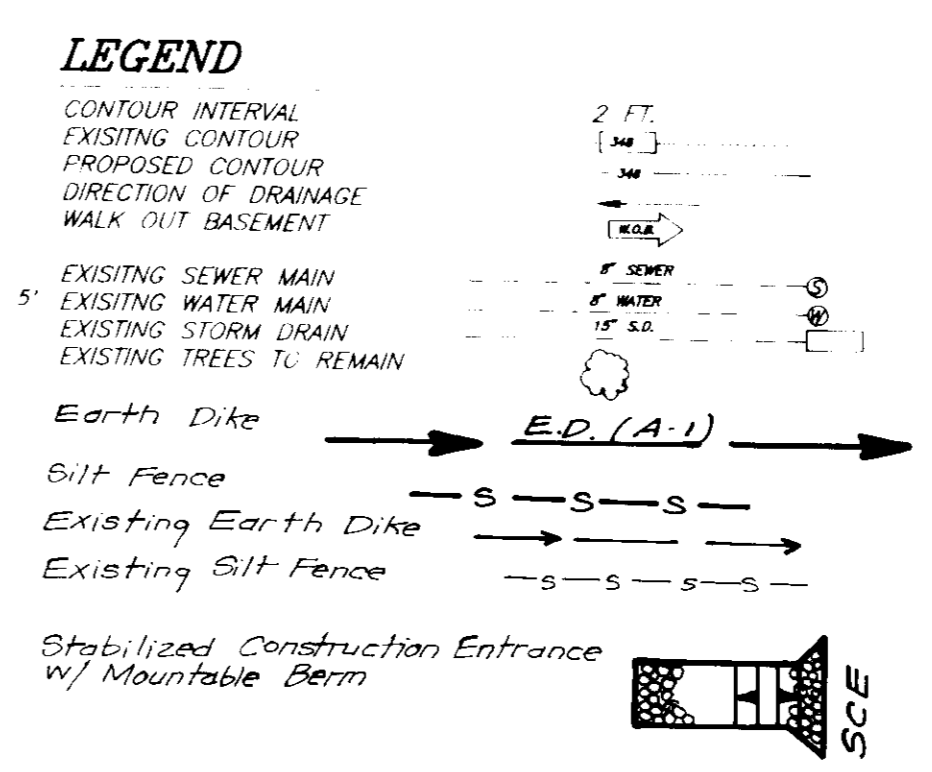
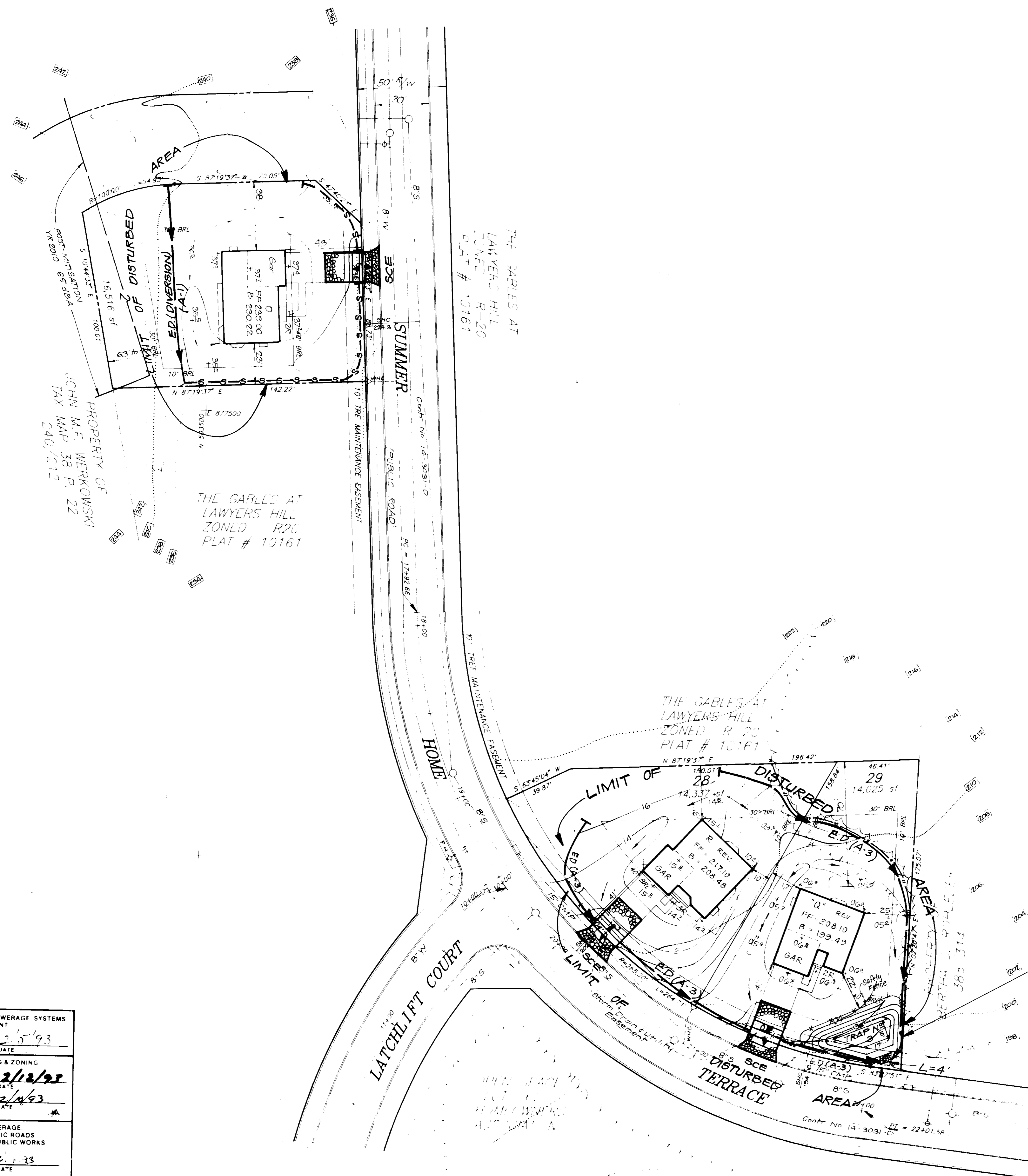
CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 • BALTO • (301) 621-8100 - WASH.

DESIGNED: MJP
 DRAWN: VLP
 CHECKED: JME
 DATE: Nov. 1992

SITE DEVELOPMENT PLAN
 LOTS 2, 18 THRU 29 AND 41 THRU 55
THE GABLES AT LAWYERS HILL
 1ST ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 FOR: PATRIOT HOMES, INC.
 P.O. BOX 1018
 Columbia, Md. 21044

SCALE: 1" = 30'
 DRAWING: 3 OF 7
 JOB NO: 92-182
 FILE NO: 92-182X

GDP-93-48



VICINITY MAP
Scale 1" = 2000'
Encloses building site

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER: [Signature] DATE: 2-5-93

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
[Signature] DATE: 2/18/93
[Signature] DATE: 2/4/93
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: [Signature] DATE: 2-5-93
[Signature] DATE: 2-4-93
CHIEF BUREAU OF ENGINEERING: [Signature] DATE: 2/4/93

Reviewed for HOWARD S.C.D. Name: [Signature]
and meets Technical Requirements. Signature: [Signature] Date: [Date]
US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] DATE: 1/21/93

DEVELOPER'S/BUILDER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
Signature: F.W. Kunkle DATE: 1/19/92

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature: [Signature] DATE: [Date]

TRAP N#3 60ST-ST V
Drainage Area 0.50 Ac.
Storage Required 900 CF
Storage Provided 1150 CF ±
Storage Depth 3 Ft
Top of Stone Weir 199.0
Clean Out Elev. 195.5
Bottom Elev. 194.0
Bottom Dimensions = See Plan
1:1 Side Slopes in Cut
L=4'

CLARK • FINEPROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

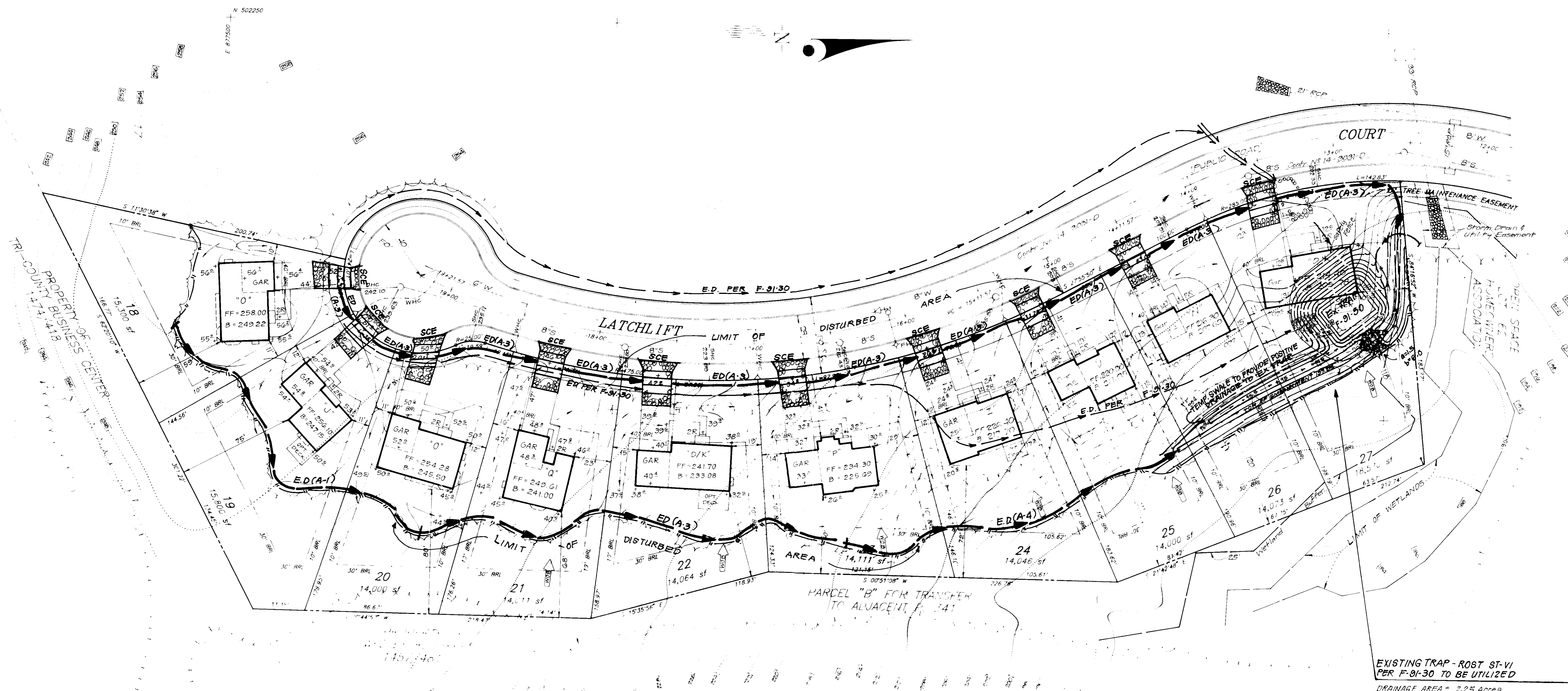
OWNER / DEVELOPER:
GLH LIMITED PARTNERSHIP
9030 RED BRANCH ROAD # 200
COLUMBIA, MARYLAND 21045

PLATS UNRECORDED [] DATE [] CHECKED BY []
RECORDED []

SEDIMENT & EROSION CONTROL PLAN
LOTS 2, 18 THRU 29 AND 41 THRU 55
THE GABLES AT LAWYERS HILL
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
FOR: PATRIOT HOMES
PO Box 1018
Columbia, Md 21044

DESIGNED: KTIWM
DRAWN: BAL
CHECKED: KTIWM
DATE: Nov 1992

SCALE: 1" = 30'
DRAWING: 1 OF 7
JOB NO: 92 182
FILE NO: 92 182.0E



EXISTING TRAP - ROST ST-VI
PER F-91-30 TO BE UTILIZED

DRAINAGE AREA = 2.25 Acres
 STORAGE REQ'D = 4050 CF
 STORAGE PROVIDED = 4500 CF
 TOP OF EMBANKMENT = 197.25
 TOP OF STONE WEIR = 194.0
 CLEAN OUT ELEVATION = 190.5
 BOTTOM ELEVATION = 188.0
 STORAGE DEPTH = 5'
 OUTLET LENGTH = 18'
 a=15, b=6.0
 BOTTOM DIMENSIONS = 30'X20'
 1:1 SIDE SLOPES

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 and meets Technical Requirements
 of the Subdivision Regulations of the
 US Soil Conservation Service

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Reviewed for HOWARD S.C.D.
 Name: *John H. ...*
 Signature: *John H. ...*
 Date: *1/11/93*

Signature: *[Signature]* Date: *1/11/93*

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Signature: *[Signature]* Date: *1/11/93*

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: *[Signature]* Date: *1/11/93*

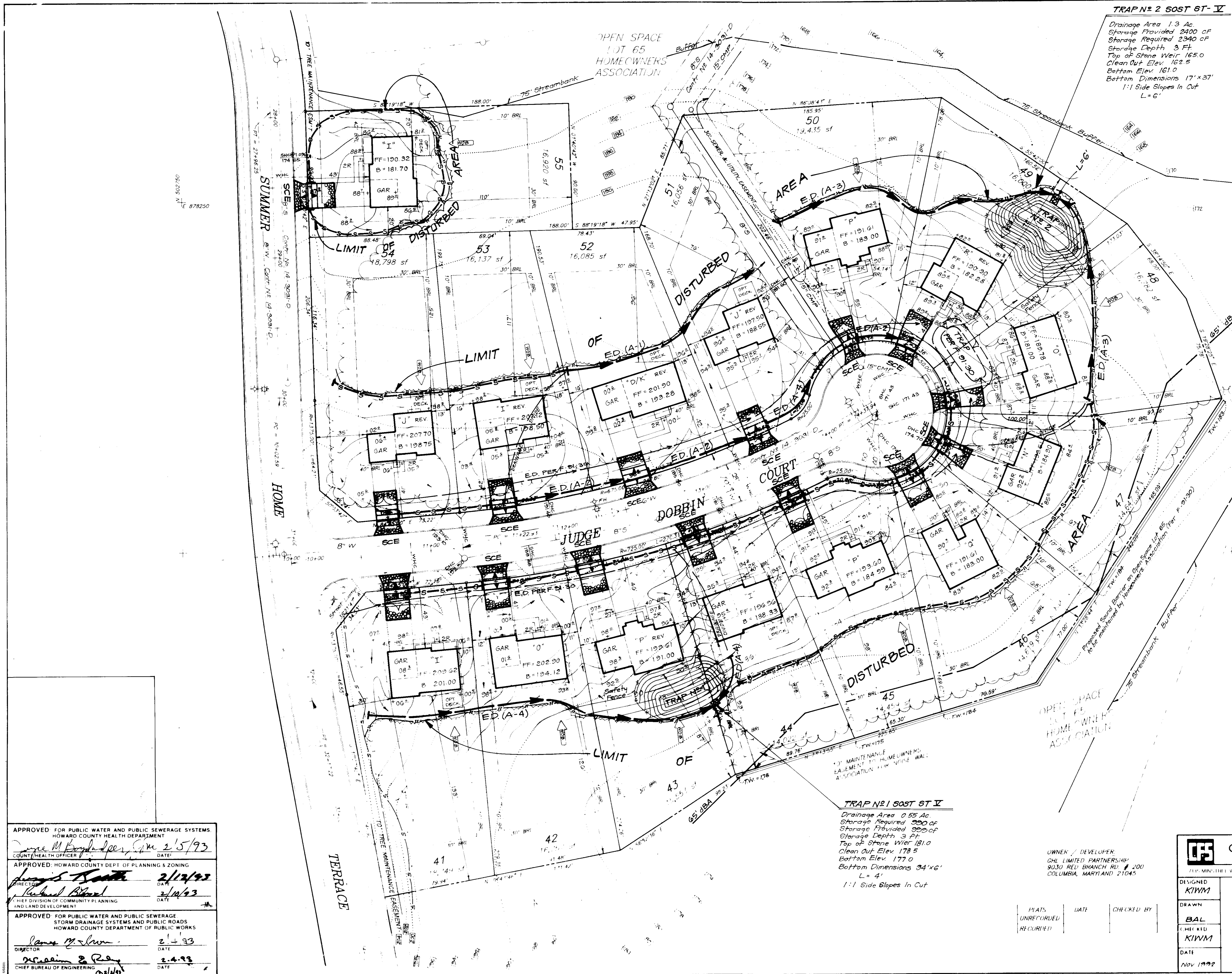
CLARK • FINEFROCK & SACKETT, INC.
 7135 Minstrel Way • Columbia, Md 21045 • (410) 381-7500 Baltimore, Md • (410) 621-8100 Wash. DC • (202) 462-1100

SEDIMENT & EROSION CONTROL PLAN
 LOTS 2, 18 THRU 29 AND 41 THRU 55
 THE GABLES AT
 LAWYERS HILL
 1ST ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

DESIGNED: KIWM
 DRAWN: BAL
 CHECKED: KIWM
 DATE: APR 1992

TRAP # 2 SOST ST IV

Drainage Area 1.3 Ac.
Storage Provided 2400 CF
Storage Required 2340 CF
Storage Depth 3 Ft.
Top of Stone Weir 165.0
Clean Out Elev. 162.5
Bottom Elev. 161.0
Bottom Dimensions 17' x 37'
1:1 Side Slopes In Cut
L = 6'



Reviewed for HOWARD COUNTY S.C.D. Name: *J. M. [Signature]* and meets Technical Requirements. Signature: *J. M. [Signature]* Date: *1/13/93* US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Signature: *[Signature]* Date: *1/14/93* Approved

DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Signature: *[Signature]* Date: *1/19/92*
Signature: *FW Kunkle* Date: *1/19/92*

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.



Signature: *[Signature]* Date: *1/19/92*

TRAP # 1 SOST ST IV

Drainage Area 0.55 Ac.
Storage Provided 900 CF
Storage Required 900 CF
Storage Depth 3 Ft.
Top of Stone Weir 181.0
Clean Out Elev. 178.5
Bottom Elev. 177.0
Bottom Dimensions 34' x 6'
L = 4'
1:1 Side Slopes In Cut

OWNER / DEVELOPER:
GHL LIMITED PARTNERSHIP
9030 RED BRANCH RD. # 200
COLUMBIA, MARYLAND 21045

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
Signature: *[Signature]* Date: *2/5/93*
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
Signature: *[Signature]* Date: *2/12/93*
DIRECTOR

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Signature: *[Signature]* Date: *2/1/93*
DIRECTOR

Signature: *[Signature]* Date: *2/4/93*
CHIEF BUREAU OF ENGINEERING

PLATS UNRECORDED DATE CHECKED BY RECORDED

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

DESIGNED: *KIWM* SCALE: 1" = 30'

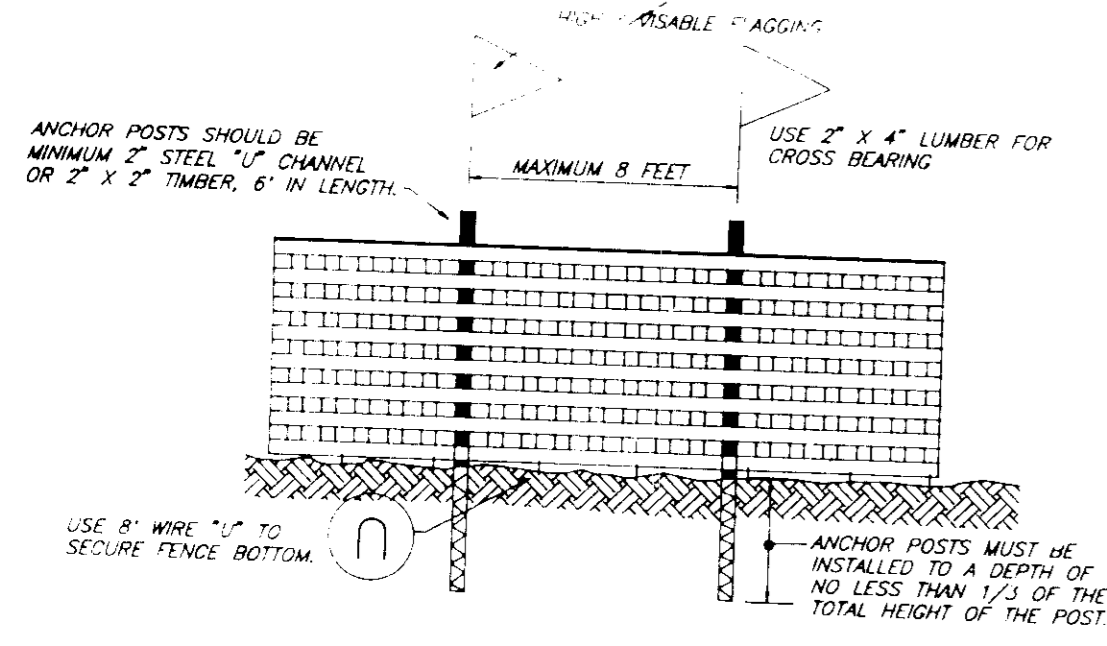
DRAWN: *BAL* DRAWING: *6 OF 7*

CHECKED: *KIWM* JOB NO: *92 182*

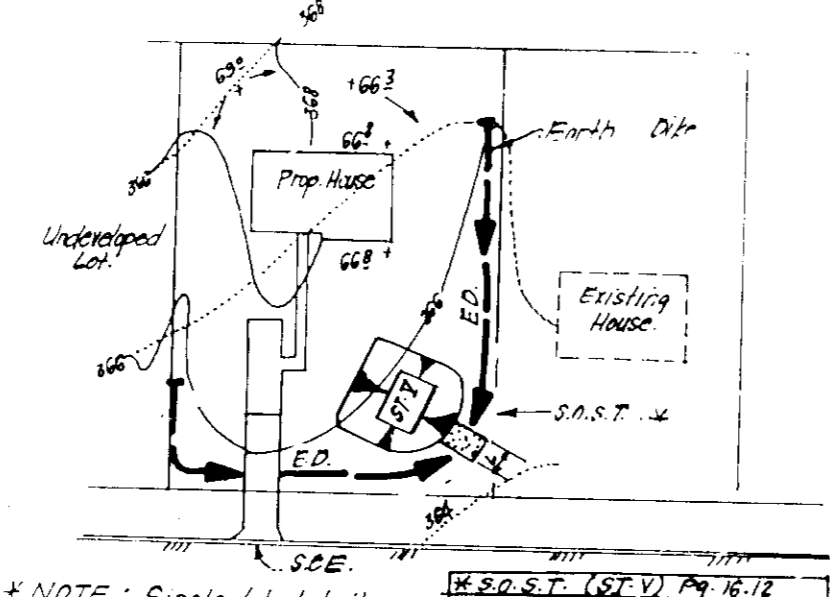
DATE: *Nov 1992* FILE NO: *92 182 50*

THE GABLES AT LAWYERS HILL
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

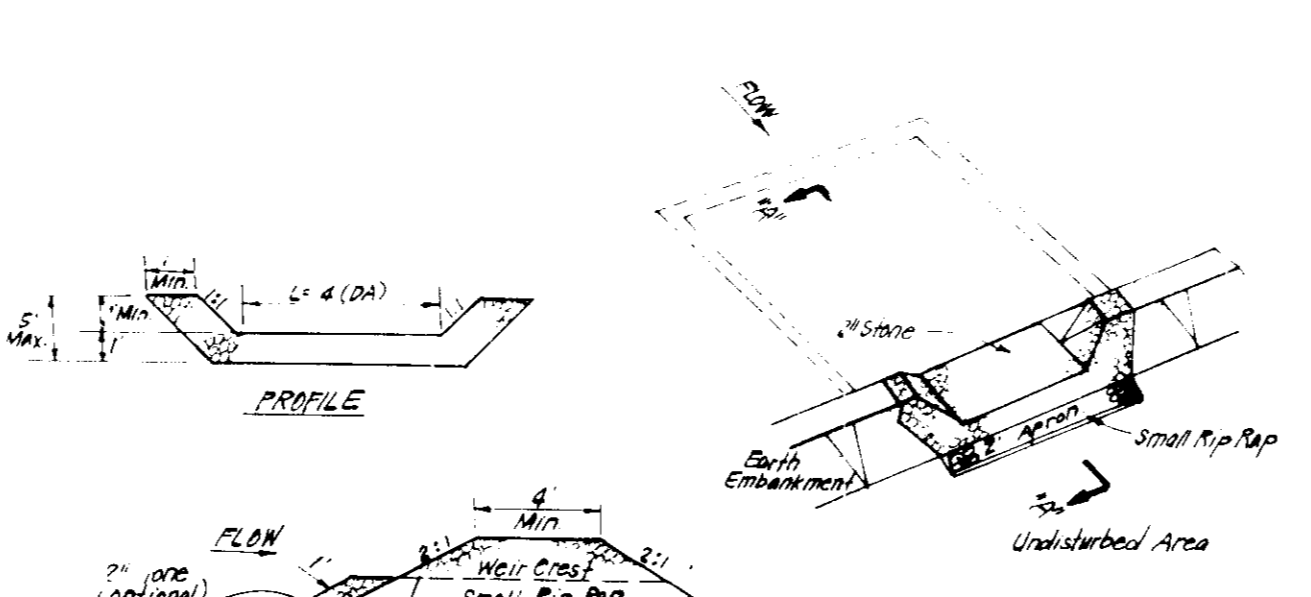
FOR PATRIOT HOMES, INC.
11403A WYOMING
COLUMBIA, MD 21044



BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL
NO SCALE



SINGLE LOT SEDIMENT CONTROL PLAN
NO SCALE



STONE OUTLET SEDIMENT TRAP (S.O.S.T.) STY.
NO SCALE

PERMANENT SEEDING NOTES

AREA TO GRAZE OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE RE-VEGETATION WHERE A PERMANENT LONG-TERM VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: Loosen upper three inches of soil by raking, disking or other suitable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules and 500 lbs per acre dolomitic limestone (92 lbs/1000 sq ft).

1) Preferred: Apply 2 tons per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.

2) Acceptable: Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding.

3) Alternative: Apply 2 tons per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding.

SEEDING: For periods March 1 thru April 30, and August 1 thru October 15, seed with 6000 per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 6000 per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue and 1000 per acre (23 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, seed with 6000 per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue and 1000 per acre (23 lbs/1000 sq ft) of weeping lovegrass. For the period March 1 thru May 31, seed with 6000 per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue and 1000 per acre (23 lbs/1000 sq ft) of weeping lovegrass. For the period June 1 thru August 31, seed with 6000 per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue and 1000 per acre (23 lbs/1000 sq ft) of weeping lovegrass.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 216 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

SEEDING PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

SEEDING: For periods March 1 thru April 30, and August 1 thru October 15, seed with 2 1/2 bushels per acre of annual ryegrass (3.7 lbs/1000 sq ft). For the period May 1 thru August 31, seed with 3 lbs per acre of weeping lovegrass (17 lbs/1000 sq ft). For the period November 1 thru February 28, seed with 2 tons per acre (100 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 216 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

SEDIMENT CONTROL PERMIT AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PERMIT AND METHODS NOT COVERED.

SEDIMENT AND EROSION CONTROL NOTES

A minimum of 14 hours notice must be given to the permittee before construction begins on any lot.

Vegetative and structural practices are to be installed in accordance with the "SOIL EROSION AND SEDIMENT CONTROL PERMIT AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."

Following initial soil disturbance or reduction in permanent or temporary stabilization shall be completed within 14 calendar days. All perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 1:1 shall be installed within 14 days of the initial disturbance or graded areas of the project.

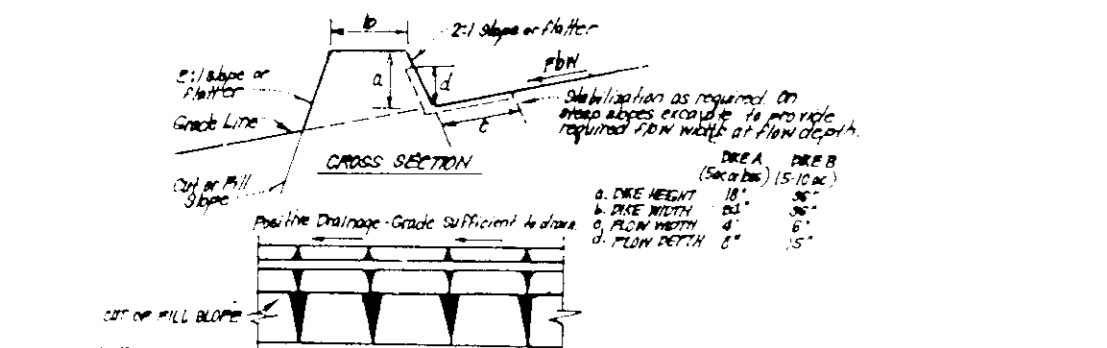
All sediment traps shown shall be "tanked" and warning signs posted around their perimeters in accordance with Chapter 12 of the "HOWARD COUNTY DESIGN MANUAL, SOIL EROSION AND SEDIMENT CONTROL."

All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND SOIL EROSION AND SEDIMENT CONTROL PERMIT AND SPECIFICATIONS (Sec. 511 and Sec. 525). Permanent seedings (Sec. 50) and mulching (Sec. 52) temporary stabilization work must also be done when recommended seeding rates do not allow for proper germination and establishment of grasses.

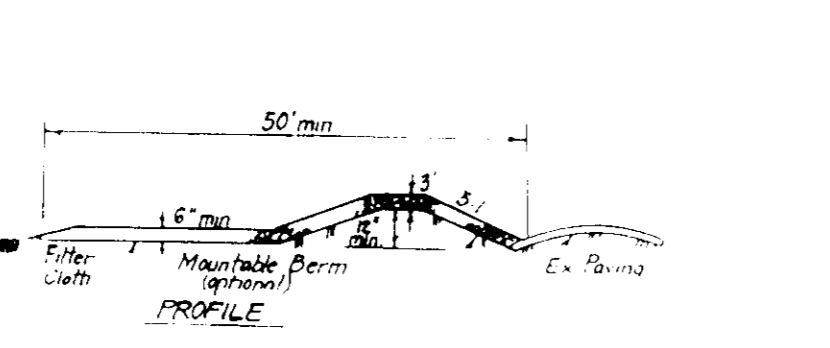
All sediment control structures are to remain in place and are to be maintained in operative condition until permanent stabilization has been obtained from the Howard County Soil Conservation District.

The total amount of silt fence is 1340 LF.

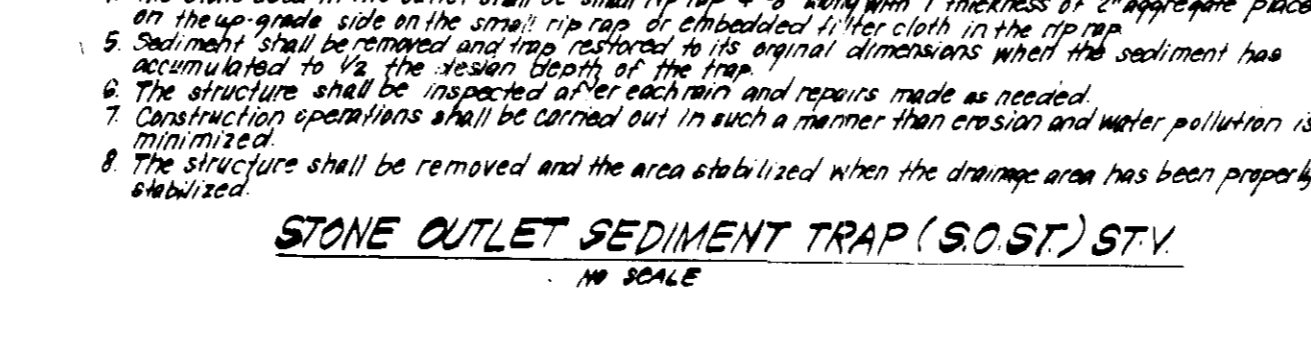
It is the responsibility of the contractor to notify the permittee of the soil/borrow site and notify and obtain approval from the sediment control inspector of the site and grading permit number at the time of construction.



EARTH DIKE DETAIL (E.D.)
NO SCALE



STABILIZED CONSTRUCTION ENTRANCE SCE.
NO SCALE



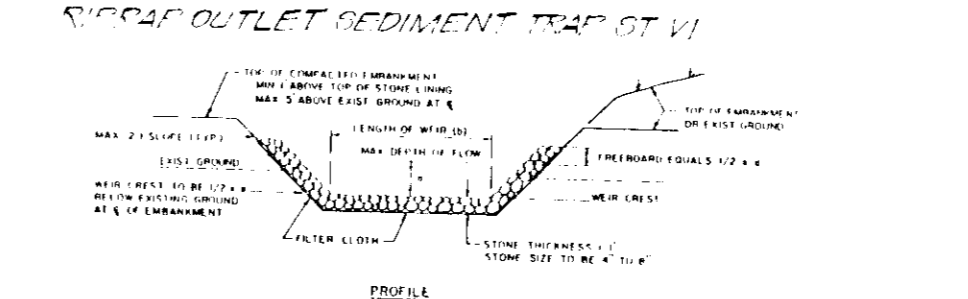
SILT FENCE DETAIL (S)
NO SCALE

CONSTRUCTION SPECIFICATIONS:

1. Stone Size: Use 2" stone or reclaimed or recycled concrete equipment.
2. Length: As required, but not less than 30 feet, except on a single residential lot where a 30 foot minimum length would apply.
3. Thickness: Not less than six (6) inches.
4. Width: Ten (10) feet minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth: Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
6. Surface Water: All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mounded berm with 3:1 slopes will be permitted.
7. Maintenance: The entrance shall be maintained in a condition when will prevent tracking or flowing of sediment into public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and stone and/or cement if any measures used to trap sediment. All sediment applied, dropped, swept or tracked onto public rights-of-way must be removed immediately.
8. Washing: Washing shall be obtained to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

CONSTRUCTION SPECIFICATIONS:

1. Any under-embankment shall be cleared, grubbed and stripped of any vegetation and roof mat. The fill material for the embankment shall be free of roots and other woody vegetation as well as other objectionable material. The embankment shall be compacted by treading with equipment while it is being constructed.
2. All cut and fill slopes shall be 2:1 or flatter.
3. The stone used in the outlet shall be small rip rap 4" or 6" in diameter on the up-grade side of the stone, rip rap of approximately 1/2" to 3/4" in diameter on the down-grade side of the stone.
4. Sediment shall be removed and transported to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
5. The structure shall be inspected after each rain and repairs made as needed.
6. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
7. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.



SILT FENCE DETAIL (S)
NO SCALE

CONSTRUCTION SEQUENCE:

A. OBTAIN GRADING PERMIT	7
B. INSTALL TREE PROTECTION FENCE	7
C. INSTALL SEDIMENT & EROSION CONTROL DEVICES & STABILIZE	7
D. GRADE AS NECESSARY FOR CONSTRUCTION OF BASEMENT SLABS, SIDEWALKS, DRIVEWAYS AND TEMPORARILY STABILIZE	30
E. CONSTRUCT STRUCTURES, SIDEWALKS AND DRIVEWAYS	60
F. FINAL GRADE AND STABILIZE IN ACCORDANCE WITH STDS. AND SPEC.	14
G. UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT AND EROSION CONTROLS AND STABILIZE	7

* NOTE: DELAY CONSTRUCTION ON LOTS 27, 43 & 49 UNTIL THE AREA DRAINING TO THE TRAPS ON THESE LOTS HAS BEEN STABILIZED.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
James M. [Signature] 2/5/93
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
James M. [Signature] 2/12/92
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James M. [Signature] 2-4-93
DIRECTOR

Reviewed for HOWARD COUNTY S.C.D.
Name: *[Signature]*
Signature: *[Signature]* 1/19/92
US Soil Conservation Service

DEVELOPER'S/BUILDER'S CERTIFICATE
"We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
[Signature] F.W. Runkle
Date: 1/19/92

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature] G. Nelson Clark
Date: 1/19/92

OWNER / DEVELOPER:
GHL LIMITED PARTNERSHIP
9030 RED BRANCH RD. # 200
COLUMBIA, MARYLAND 21045

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINTREL WAY • COLUMBIA, MD 21045

DETAIL SHEET
LOTS 2, 18 THRU 29 AND 41 THRU 55
THE GABLES AT LAWYERS HILL
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

DESIGNED: KIWM
DRAWN: BAL
CHECKED: KIWM
DATE: Nov/92

SCALE: AS SHOWN
DRAWING: 7 OF 7
JOB NO: 92-10
FILE NO: 92-82