

**LEGEND**

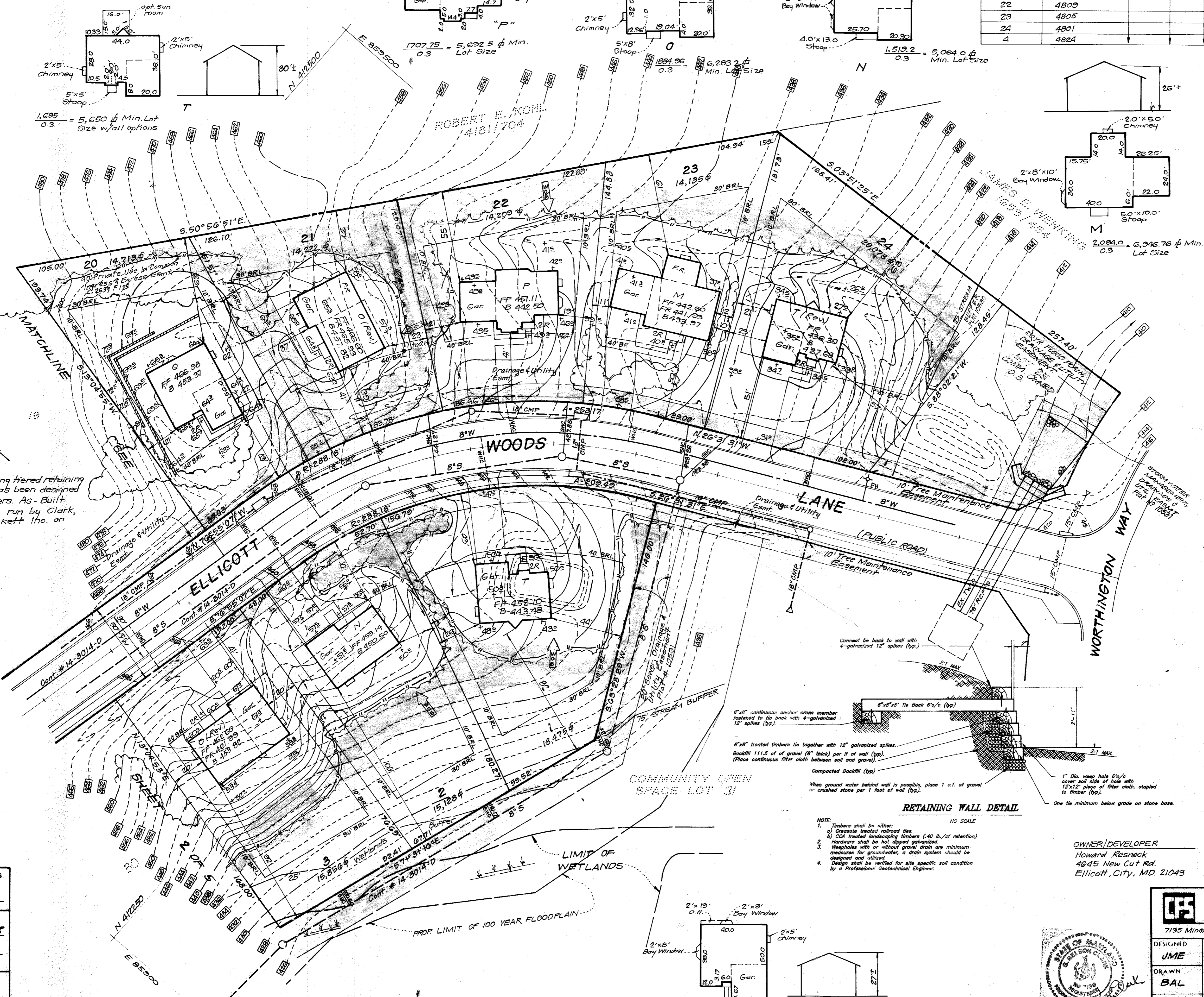
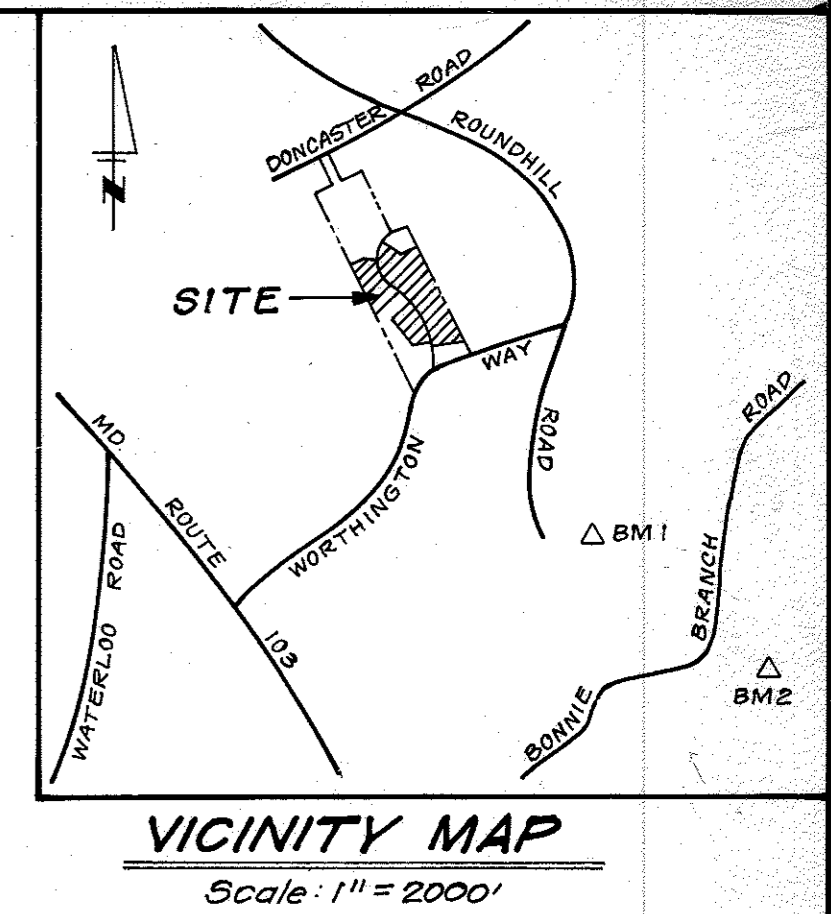
Contour Interval 2 Ft  
 Existing Contour  
 Proposed Contour  
 Spot Elevation  
 Direction of Drainage  
 Existing Trees to Remain  
 Tree Protection Fence

**MINIMUM LOT SIZE TABLE**

Lot	Gross Area	Pipe Stem Area	Ex. Steep Slope Cto. remain	Prop. Steep Slope Area	Flood Plain Area	Net Area
1	18475	N/A	1025	N/A	N/A	16,950
2	15128	N/A	575	290	N/A	14,263
3	15856	N/A	650	3250	N/A	11,881
20	14713	N/A	450	2650	N/A	11,613
21	14222	N/A	130	200	N/A	13,992
22	14209	N/A	N/A	950	N/A	13,859
23	14195	N/A	N/A	130	N/A	14,065
24	12078	N/A	435	2250	N/A	17,992

**ADDRESS CHART**

LOT NUMBER	STREET ADDRESS
1	4810 ELLICOTT WOODS LANE
2	4816
3	4820
20	4817
21	4813
22	4809
23	4805
24	4801
4	4824



- GENERAL NOTES:**
- Subject property is zoned: R-20 as per 8-2-85 Comprehensive Zoning Plan.
  - The total area included in this submission is: 303,208 sq. ft. or 6.982 Ac.
  - The total number of lots included in this submission are: 17
  - Improvement to property: Single family detached
  - The maximum lot coverage permitted is: 30%
  - Department of Planning and Zoning reference file numbers are: S-89-54, WP-89-83, F-90-88
  - Utilities shown as existing are taken from approved water and sewer plan Contract #14-3014-D, approved road construction plans F-90-88, and actual field survey.
  - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
  - Storm water management is provided per: F-90-88
  - All roadways are public and existing.
  - The existing topography shown was taken from road construction plans F-90-88 prepared by Dewberry & Davis.
  - The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2944001 and 2844002
  - The contractor shall notify the Department of Public Works/Bureau of Construction Inspection a (301) 792-7272 at least five (5) working days prior to the start of work.
  - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
  - In accordance with Section 12B of the Zoning Regulations, decks and porches may extend up to 10' into the required front or rear setback.
  - The wetland/stream buffer indicated on the plan prohibits subsequent clearing, grading or construction in the buffer area. Maintenance of residences, landscaping and utilities is permitted.
  - WP-89-83 Waiver grants approval from Section 16.116.c4 to allow steep slopes to count toward minimum lot sizes. See Ho Co. letter dated Feb. 24, 1989, WP-89-83 Waiver also grants exception to 16.183 of the Ho Co Code requiring the submission of a preliminary plan.
  - For driveway entrance details refer to Ho Co. Design Manual Volume II "Std. Details": R-G.01 & R-G.05.
- SPECIAL NOTES:**
- This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-90-88 and/or approved Water and Sewer Plans Contract #14-3014-D.
- 19 ON 11/8/2016 THE PLANNING DIRECTOR APPROVED AN ALTERNATIVE COMPLIANCE WITH 11-249, FROM SECTIONS 16-156 (1)(1)(D) AND 16.116(C) TO DEACTIVATE SPP-15-096 AND TO GRADE 1700 SF OF STEEP SLOPES ON LOT 30.

NOTE: The existing tiered retaining wall on lot 20 has been designed by AMN Engineers. As-Built Topography was run by Clark, Finfock & Sackett Inc. on August 17, 1994.

**REVISIONS**

No.	Description	Date
1	Add General Note-19, LOT 30 REVISIONS	4-15-17
2	Add As-Built retaining wall and topo to lot 20	10-20-94
3	Rev. hse. of grad. lot 20, Add hse. typical	4-21-94
4	Rev. hse. of grad. lots 3 and 20	3-24-94
5	Rev. hse. of grad. lots 1, 21 & 24. Add hse. types	10-4-93
6	Rev. hse. of grad. lot 22. Add hse. typical	8-13-93
7	Rev. hse. and grad. lots 2, 23, 24 and 1. Add hse. typical	7-20-93

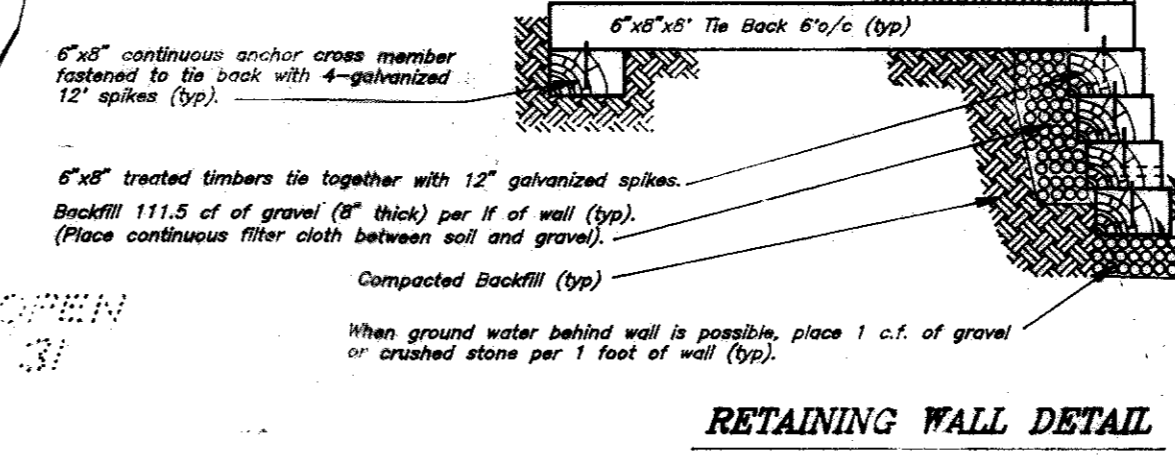
**PROFESSIONAL CERTIFICATION**  
 I hereby certify that the red line markings shown herein were prepared or approved by me, and that I am a duly licensed Professional Land Surveyor under the laws of the State of Maryland, License No. 11049, Expiration Date: 2/15/2017.

*M. Najib Rosinski*  
 M.D. REG. PROF. LAND SURVEYOR - DATE 10/15/2017  
 (FOR LOT 30 ONLY)

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT**  
 County Health Officer: *Dennis M. Boyd* DATE: 3/12/93

**APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING**  
 Director: *James R. Keith* DATE: 3/19/93  
 Chief Division of Community Planning and Land Development: *Christina A. Howard* DATE: 3/19/93

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS**  
 Director: *James J. Lum* DATE: 3/10/93  
 Chief Bureau of Engineering: *W. C. ...* DATE: 3-10-93



- NOTE:**
- Timbers shall be either: 1) Concrete treated railroad ties, 2) Cold treated landscaping timbers (40 lb./ft retention)
  - Hardware shall be hot dipped galvanized.
  - Wapoles with or without gravel drain are minimum measures for groundwater, a drain system should be designed and utilized.
  - Design shall be verified for site specific soil condition by a Professional Geotechnical Engineer.

**OWNER/DEVELOPER**  
 Howard Resneck  
 4645 New Cut Rd.  
 Ellicott, City, Md. 21043

**CLARK • FINFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 Minnetonka Way • Columbia, Md 21045 • (410) 381-7500 • Balto. • (301) 621-8100 • Wash.

**SITE DEVELOPMENT PLAN**  
 LOTS 1-3, 5-7, 15-24 & 30  
**ELLICOTT WOODS**  
 SECOND ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

FOR: PATRIOT HOMES, INC.  
 P.O. BOX 1018  
 COLUMBIA, MD. 21044

SCALE: 1" = 30'  
 DRAWING: 1 OF 5  
 JOB NO: 92-033  
 FILE NO: 92-033

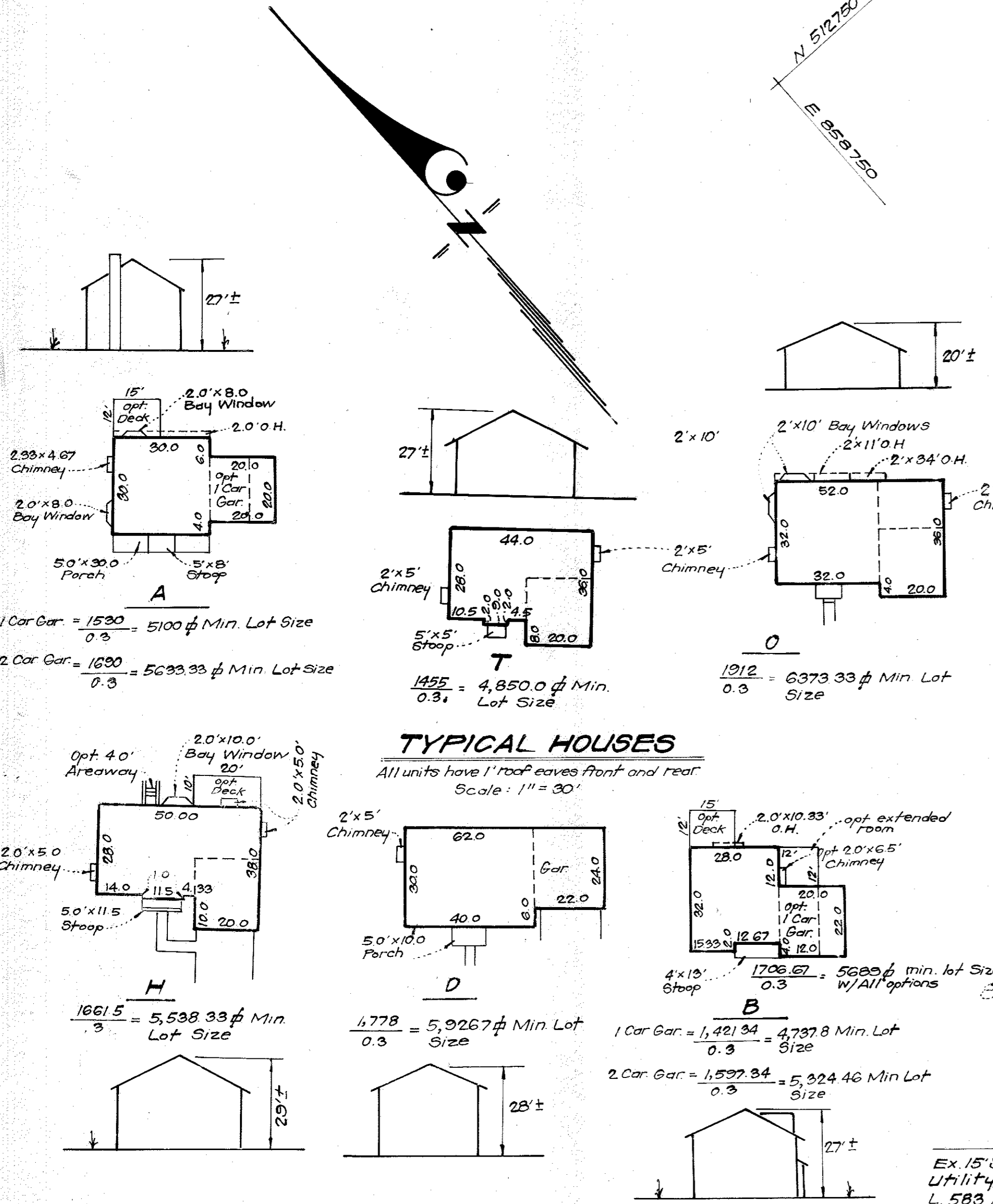
DATE: Oct 1992  
 S.D.P. 93-30

Lot No.	Gross Area	Pipe Area	Ex. Steep Slope (to remain)	Prop. Steep Slope Area	Flood Plain Area	Net Area
4	30143	N/A	11,150	500	N/A	18,131
5	18,674	N/A	3,100	2,825	N/A	13,249
6	16,625	N/A	3,725	3,825	N/A	12,225
7	20,294	N/A	2,425	5,000	N/A	13,569
16	10,703	3,177	2,250	N/A	N/A	14,272
16	24,220	N/A	1,850	8,775	N/A	13,604
17	15,601	N/A	225	1,850	N/A	12,326
18	15,660	N/A	225	3,025	N/A	12,035
19	14,881	N/A	225	3,400	N/A	11,226

LOT NO.	STREET ADDRESS
5	4828 Ellicott Woods Lane
6	4832
7	4836
15	4837
16	4833
17	4829
18	4825
19	4821

No.	REVISION	Date
1	Rev. hse. & grd. lots 16 & 18, Add hse. typical "T"	1-19-94
2	Rev. hse. & grd. lot 17, Add hse. typical	3-4-94
3	Rev. hse. & grd. lot 15, Rev. hse. typical	3-11-94
4	Rev. hse. & grd. lot 16 & 7, Add house typical	4-22-94
5	Rev. hse. & grd. lot 19	10-27-94
6	Rev. hse. & grd. Lots 5 & 6, Add B-2 & T-2 hse. typical	7-10-95

No.	DATE	REVISIONS (LOT 30 ONLY)	BY
1	2-15-2011	UPDATED HOUSE TYPE, ADJUSTED GRADES, SWM DRYWELLS AND PERMEABLE CONC. DRIVEWAY.	WOF & ASSOC.

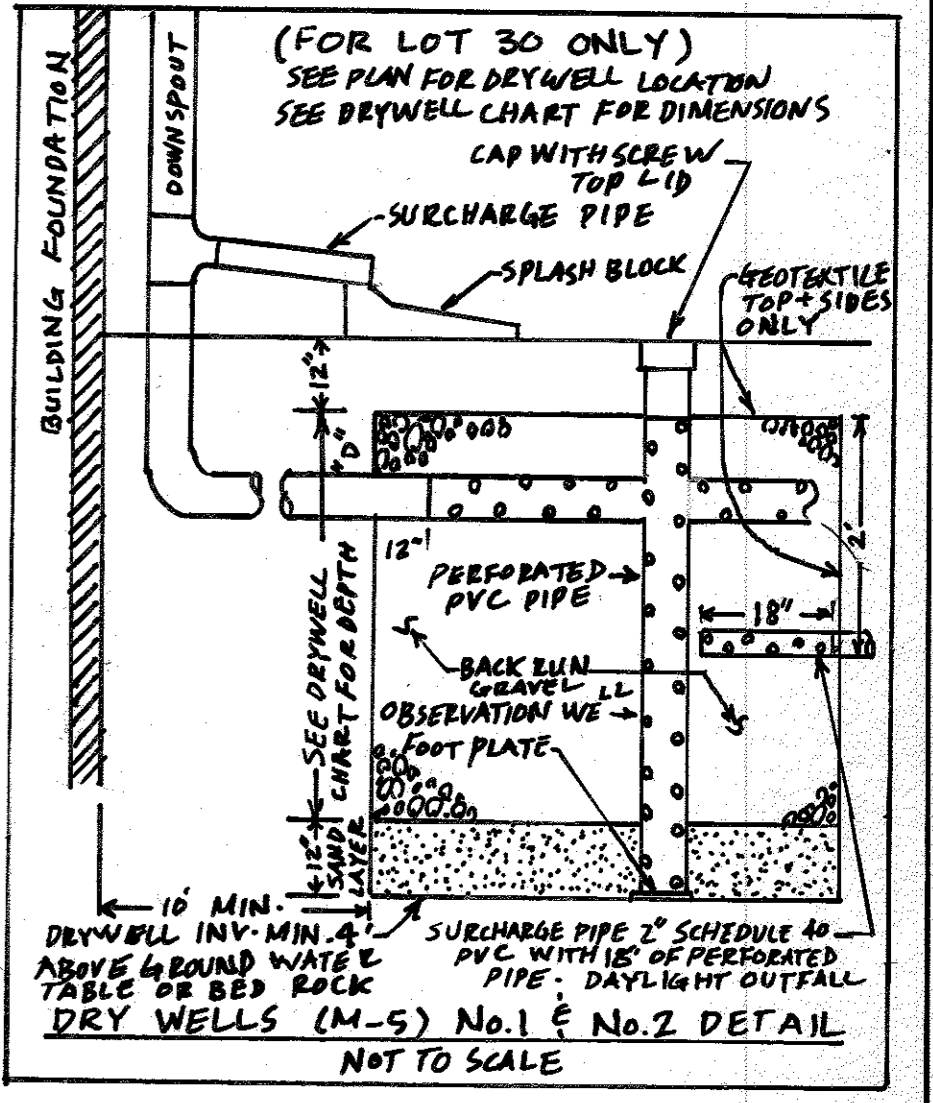
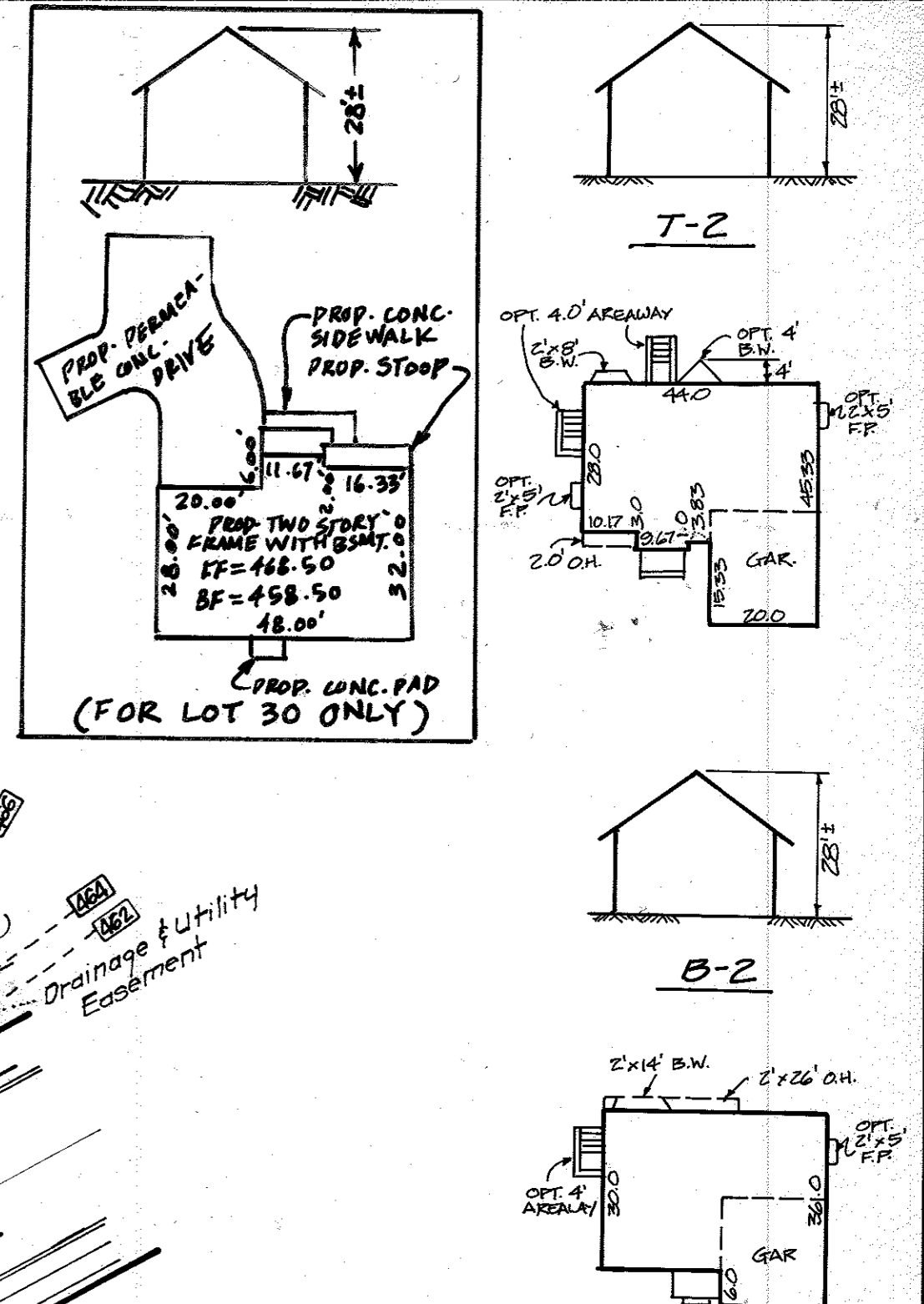
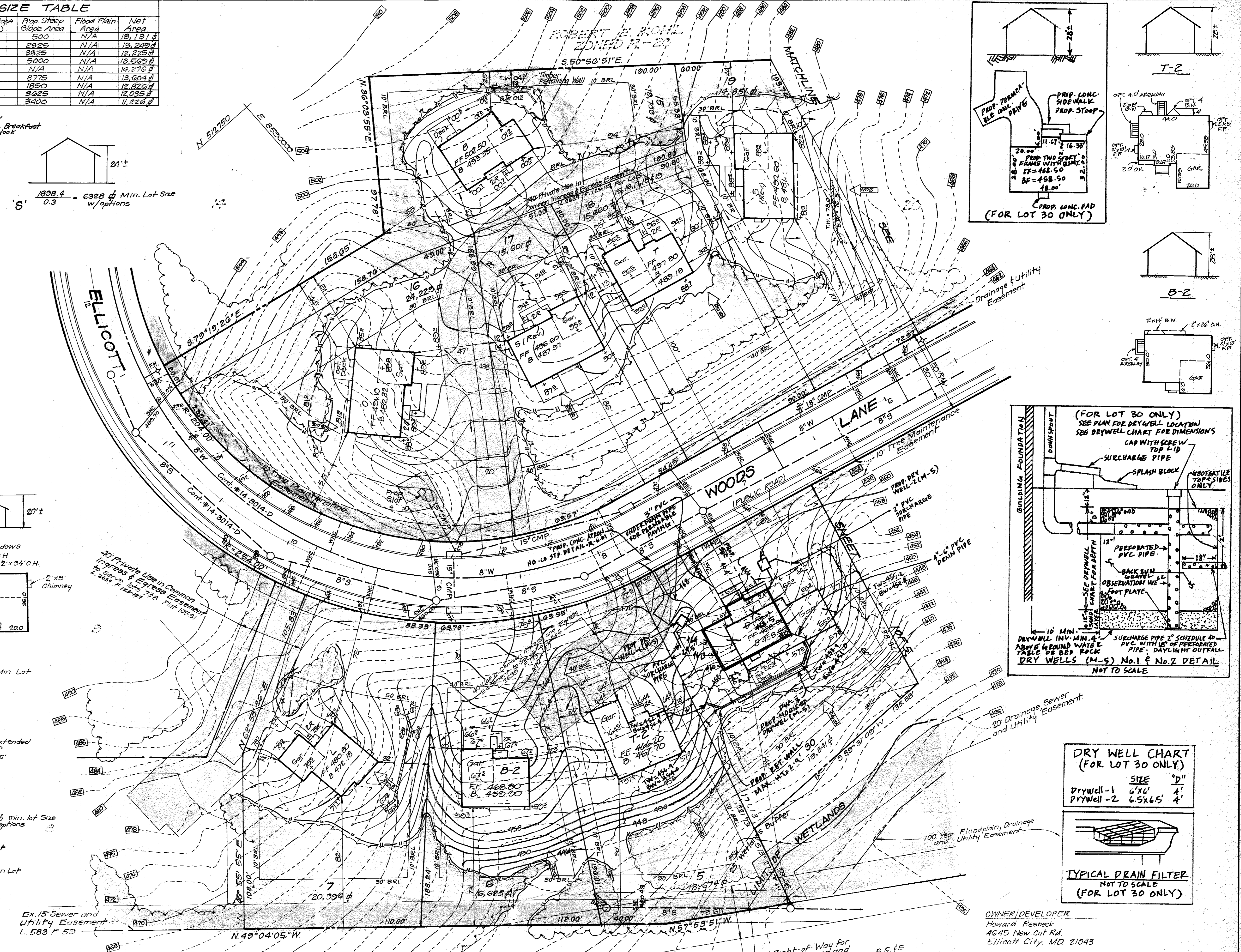


**TYPICAL HOUSES**

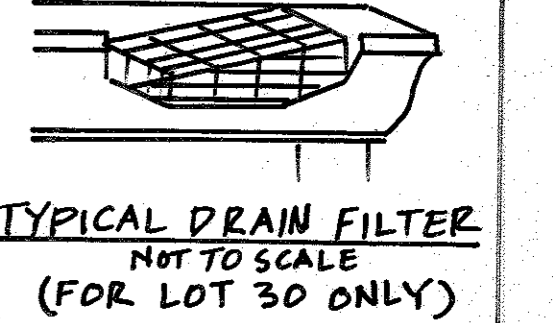
All units have 1" roof eaves front and rear  
Scale: 1" = 30'

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
 APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

PROFESSIONAL CERTIFICATION  
 I hereby certify that the red line markings shown herein were prepared or approved by me, and that I am a duly licensed Professional Land Surveyor under the laws of the state of Maryland, License No. 11049, Expiration Date 11/1/2014.  
 M. NATALIE ROSSMAN, DATE 3/10/13  
 MD. REG. PROF. LAND SURVEYOR - 11049 (FOR LOT 30 ONLY)



SIZE	"D"	"H"
Drywell-1	6'x6'	4'
Drywell-2	6.5x6.5'	4'

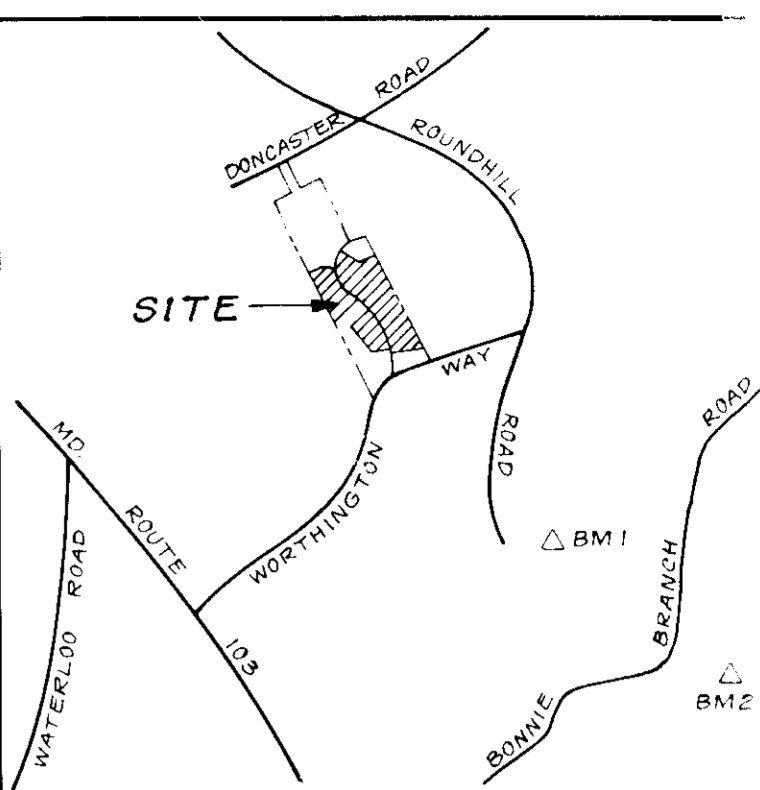


OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER DRYWELLS (M-5)  
 1. The monitoring wells and structures shall be inspected on a quarterly basis and after every large storm event.  
 2. Water levels and sediment built up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.  
 3. A log book shall be maintained to determine the rate at which the facility drains.  
 4. When the facility becomes clogged so that does not drain down within the 12-Hours time period, corrective action shall be taken.  
 5. The maintenance log book shall be available to Howard County inspector to insure compliance with operation and maintenance criteria.  
 6. Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.

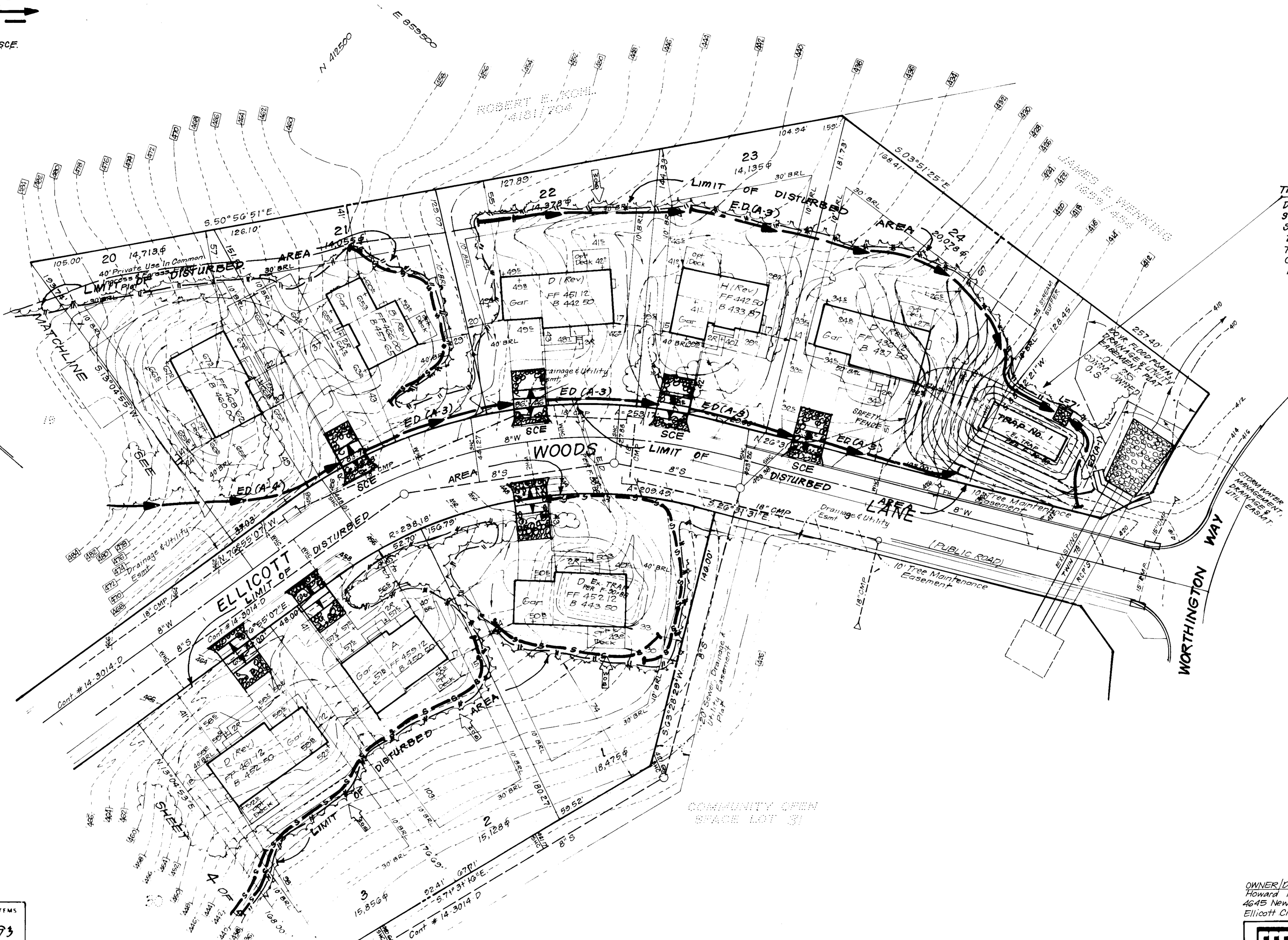
CLARK • FINEROCK & SACKETT, INC.  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • 410.381.7500 - BALTO • (301) 621-8100 - WASH.  
 SCHEDULED DEVELOPMENT PLAN  
 LOTS 1-3, 5-7, 15-24 & 30  
**ELLICOTT WOODS**  
 SECOND ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 FOR: PATRIOT HOMES, INC  
 PO BOX 1018  
 Columbia, MD 21044  
 SCALE 1" = 30'  
 DRAWING 2 OF 5  
 JOB NO. 92.033  
 FILE NO. 92.033  
 DATE Oct 1992  
 S.D.P. 03-20

**LEGEND**

- Contour Interval 2 Ft
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Existing Trees to Remain
- Tree Protection Fence
- Earth Dike
- Silt Fence
- Stabilized Construction Entrance



**VICINITY MAP**  
Scale 1" = 200'



**TRAP No. 1 S.D.S.T ST.V**  
 D.A. = 1.8 Ac  
 Storage Req'd = 3240 CF  
 Storage Provided = 3276 CF  
 Depth = 3 Ft.  
 Top of Stone Weir = 414.5  
 Clean Out Elev. = 412.0  
 Bottom Elev. = 410.5  
 Bottom Dimensions = 46'x15'  
 2:1 Side Slopes  
 L=7'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 Joyce M. Broadland per J. Sun 3/12/93  
 COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 3/12/93  
 DIRECTOR DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE  
 STORM DRAINAGE SYSTEMS AND PUBLIC WORKS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 [Signature] 3/10/93  
 DIRECTOR DATE

CHIEF BUREAU OF ENGINEERING 3/10/93  
 DATE

Reviewed for HOWARD S.C.D.  
 Name  
 and meets Technical Requirements  
 [Signature] 3/12/93  
 Signature Date  
 US Soil Conservation Service

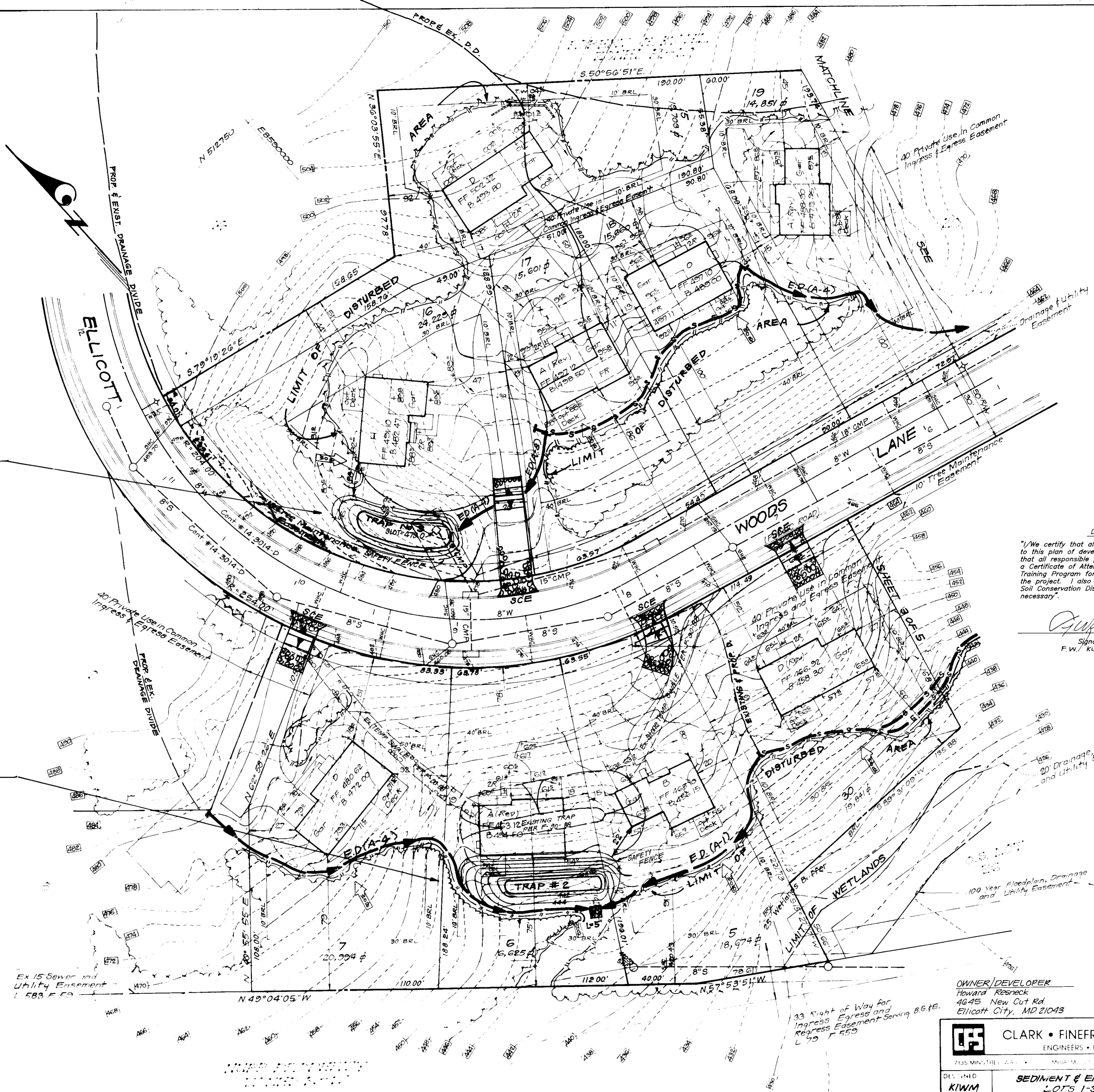
THIS DEVELOPMENT PLAN IS APPROVED  
 FOR SOIL EROSION AND SEDIMENT  
 CONTROL BY THE HOWARD SOIL  
 CONSERVATION DISTRICT  
 [Signature] 3/12/93  
 APPROVED

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.  
 [Signature] 10/23/92  
 Signature Date  
 J.F.W. Kunkle

**ENGINEER'S CERTIFICATE**  
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 [Signature] 10-22-92  
 Signature Date  
 Nelson Clark

OWNER/DEVELOPER  
 Howard Resneck  
 4645 New Cut Rd.  
 Ellicott City, MD 21043

CLARK • FINEROCK & SACKETT INC. ENGINEERS • PLANNERS • SURVEYORS 7135 Alameda Way • Columbia, Md 21046 • 410 981 5511		SHEET NO. KIWM 1/30
		DRAWING NO. HAL 3 OF 5
PROJECT KIWM SEDIMENT & EROSION CONTROL PLAN LOTS 1-3, 5-7, 15-24 & 30 <b>ELLICOTT WOODS</b> SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND		FILE NO. 92 033
DATE OCT 1992 FOR PATRIOT HOMES, INC P.O. BOX 1018 Columbia, Md 21044		TITLE 92 033 SE



**TRAP No. 3 S1ST ST-III**  
 D.A. = 1.5 Acres  
 Storage Required = 2700 CF  
 Storage Provided = 2700 CF  
 Depth = 3 Ft.  
 Slot EL = 479.0  
 Clean Out EL = 477.5  
 Bottom EL = 476.0  
 Bottom Dimensions = 57'x12'  
 1:1 Side Slopes in Cut.

**TRAP No. 2 S.O.S.T. ST-IV**  
 D.A. = 1.2 Acres  
 Storage Required = 2160 CF  
 Storage Provided = 2160 CF  
 Depth = 3 Ft.  
 Top of Stone Weir = 445.5  
 Clean Out Elev. = 443.0  
 Bottom Elev. = 441.5  
 Bottom Dimensions = 57'x18'  
 1:1 Side Slopes in Cut.

Reviewed for HOWARD S.C.D.  
 Name  
 and meets Technical Requirements  
 Signature Date  
 US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED  
 FOR SOIL EROSION AND SEDIMENT  
 CONTROL BY THE HOWARD SOIL  
 CONSERVATION DISTRICT  
 Signature Date  
 Approver

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 "I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Signature: F.W. Kunkle  
 Date: 10/23/92

**ENGINEER'S CERTIFICATE**  
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: G. Nelson Clark  
 Date: 10-22-92

**OWNER/DEVELOPER**  
 Howard Resneck  
 4645 New Cut Rd.  
 Elliccott City, MD 21043

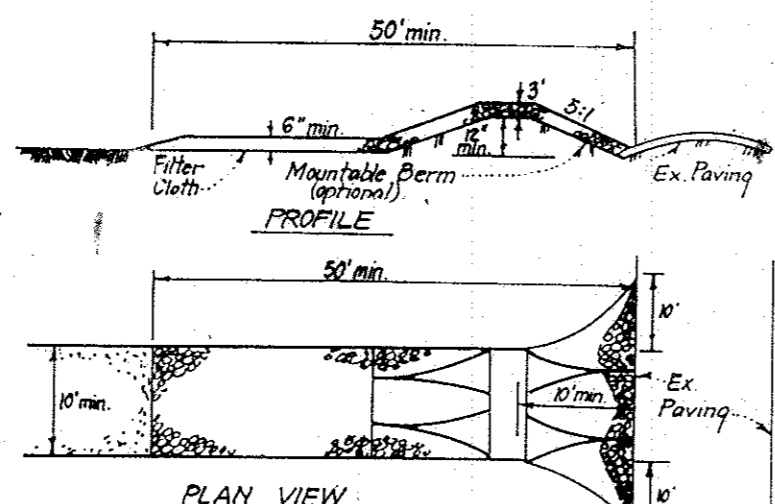
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 Signature: Joyce M. Boydland  
 Date: 3/12/93  
 COUNTY HEALTH OFFICER

APPROVED HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Signature: [Signature]  
 Date: 3/19/93  
 DIRECTOR  
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 Signature: [Signature]  
 Date: 3-10-93  
 DIRECTOR  
 CHIEF BUREAU OF ENGINEERING

<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS		SCALE <b>1" = 30'</b>
DESIGNED <b>KIWM</b>	<b>SEDIMENT &amp; EROSION CONTROL PLAN</b> LOTS 1-3, 5, 7, 15-24 & 30	
DRAWN <b>BAL</b>	<b>ELLICOTT WOODS</b>	
CHECKED <b>KIWM</b>	<b>SECOND ELECTION DISTRICT</b> HOWARD COUNTY, MARYLAND	
DATE Oct 1992	FOR PATENT PURPOSES, INC. 675 BAYVIEW Columbia, Md 21044	DRAWING <b>4255</b>
		JOB NO. <b>92 033</b>
		FILE NO. <b>02-033 SE</b>

STORM INLET SEDIMENT TRAP ST-III



- CONSTRUCTION SPECIFICATIONS: 1. Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent. 2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would suffice).

STABILIZED CONSTRUCTION ENTRANCE (SCE)

- CONSTRUCTION SPECIFICATIONS: 1. Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. 2. The volume of sediment storage shall be 1800 cubic feet per acre of contributory drainage.

Maximum Drainage Area: 3 Acres

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

- SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding. 3. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction.

TEMPORARY SEEDING NOTES

- SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding. 1. Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

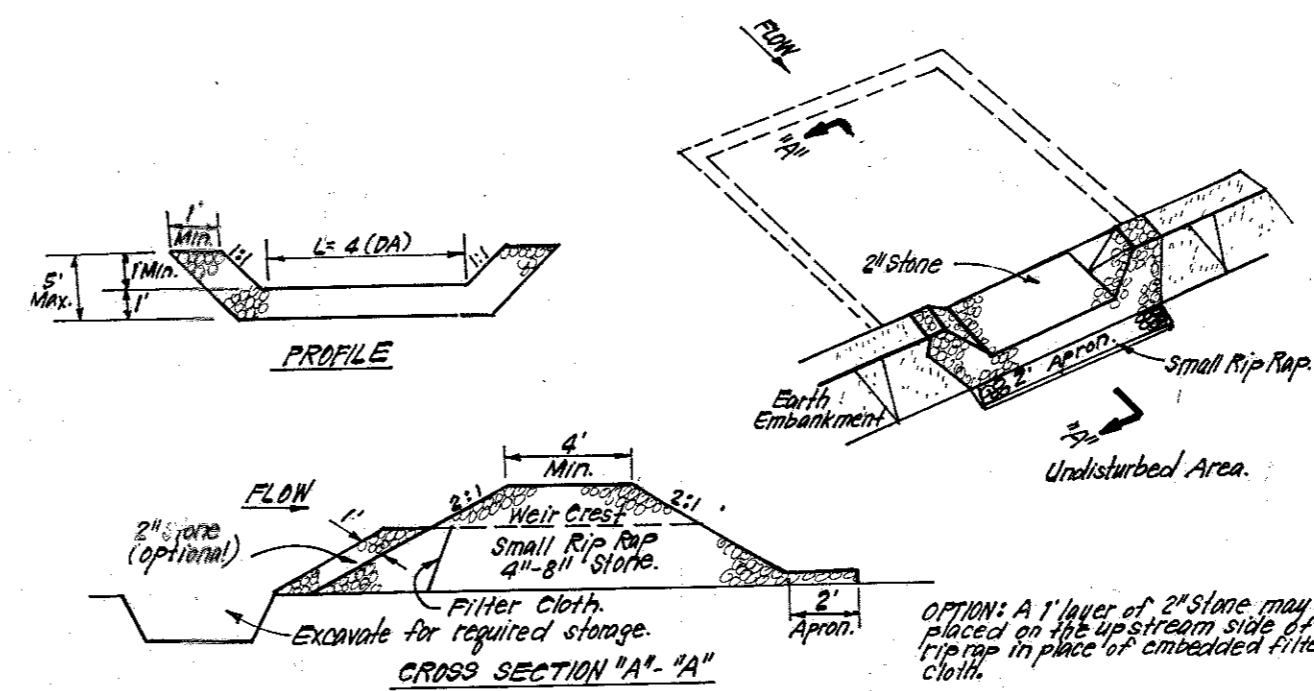
SEDIMENT AND EROSION CONTROL NOTES

- 1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.

\* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

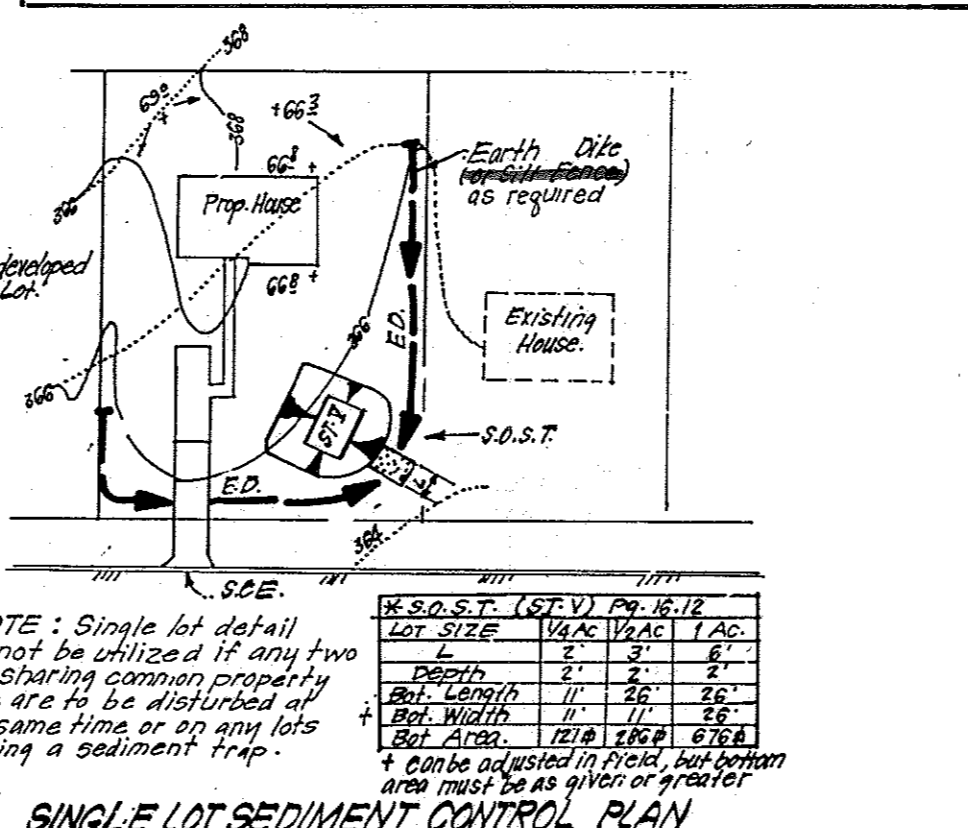
CONSTRUCTION SEQUENCE table with columns for description and No. of Days. Includes items like Obtain grading permit, Install perimeter fence, Excavate for foundations, etc.

\* The builder/owner/developer is responsible for cleaning the SWM Facility of any sediment caused by the construction & grading proposed on these plans.

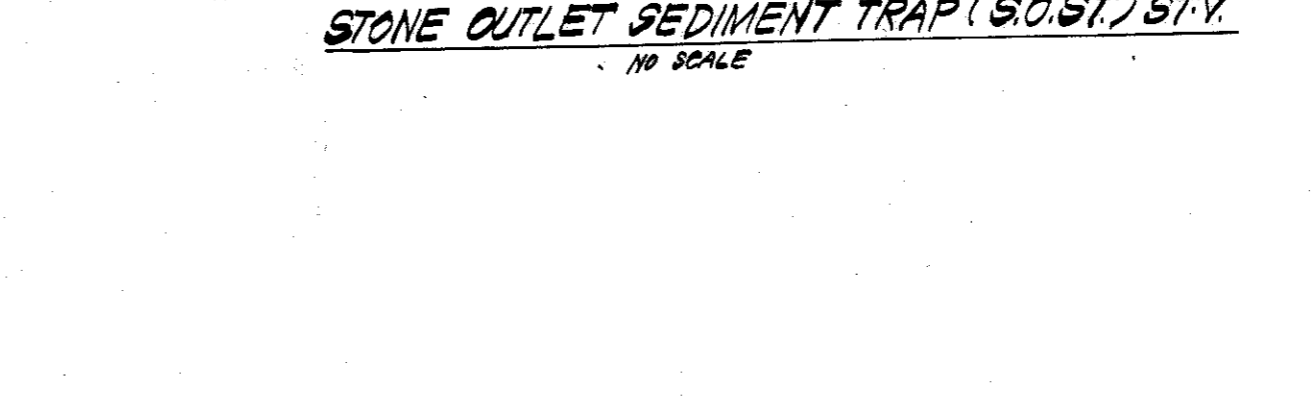


- CONSTRUCTION SPECIFICATIONS: 1. Any under-embankment shall be cleared, grubbed and stripped of any vegetation and roof mat. 2. The fill material for the embankment shall be free of rocks and other woody vegetation as well as evergreen trees, rocks, organic material or other objectionable material.

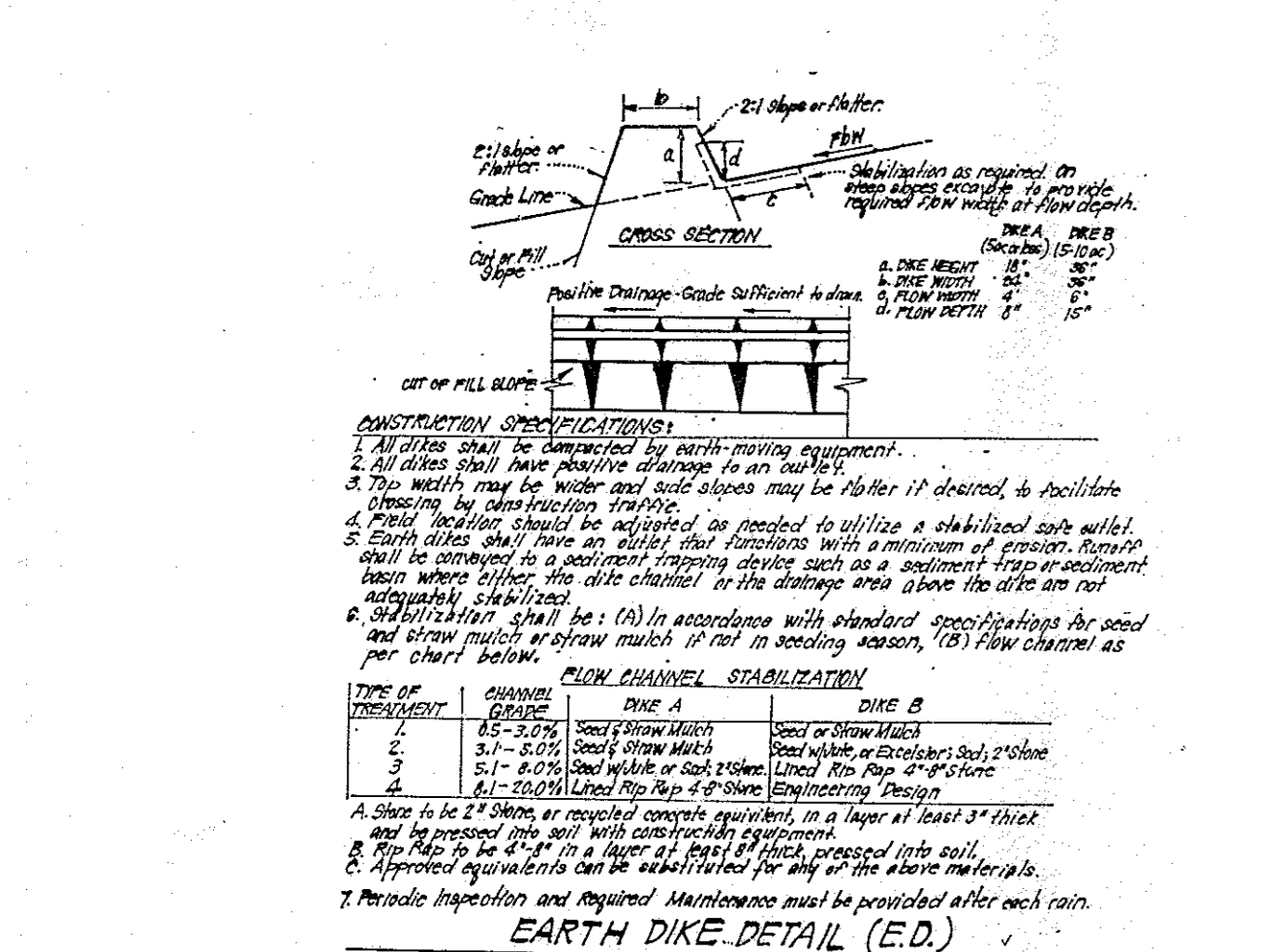
STORMWATER MANAGEMENT REQUIREMENTS (FOR LOT-30 ONLY) Limit of Disturbed Area = 7,304 sq.ft. Hydrologic Soil Type = 'B' Impermeable Area = 2,788 sq.ft. Percent Impervious = 38% Target P<sub>e</sub> = 1.8" Target ESDV = 428 cu.ft.



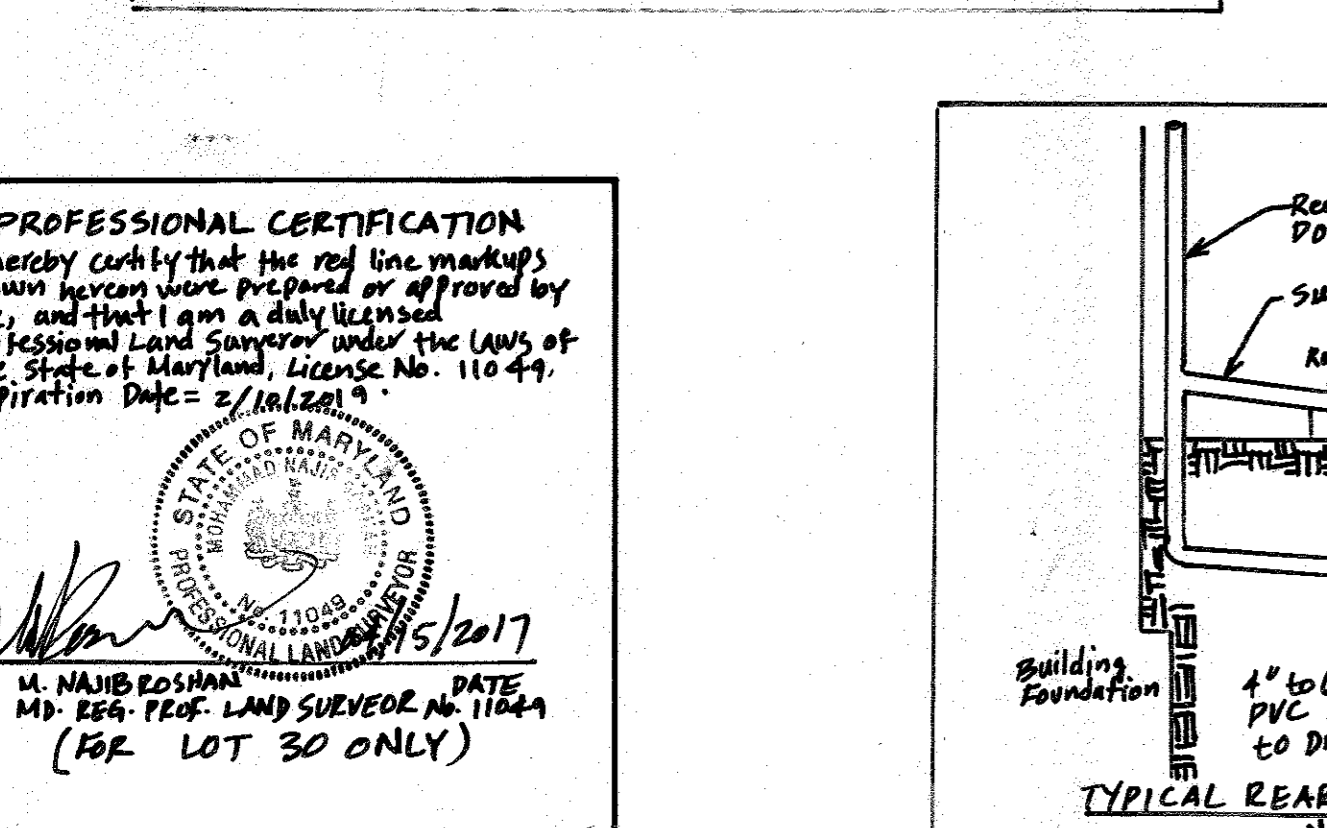
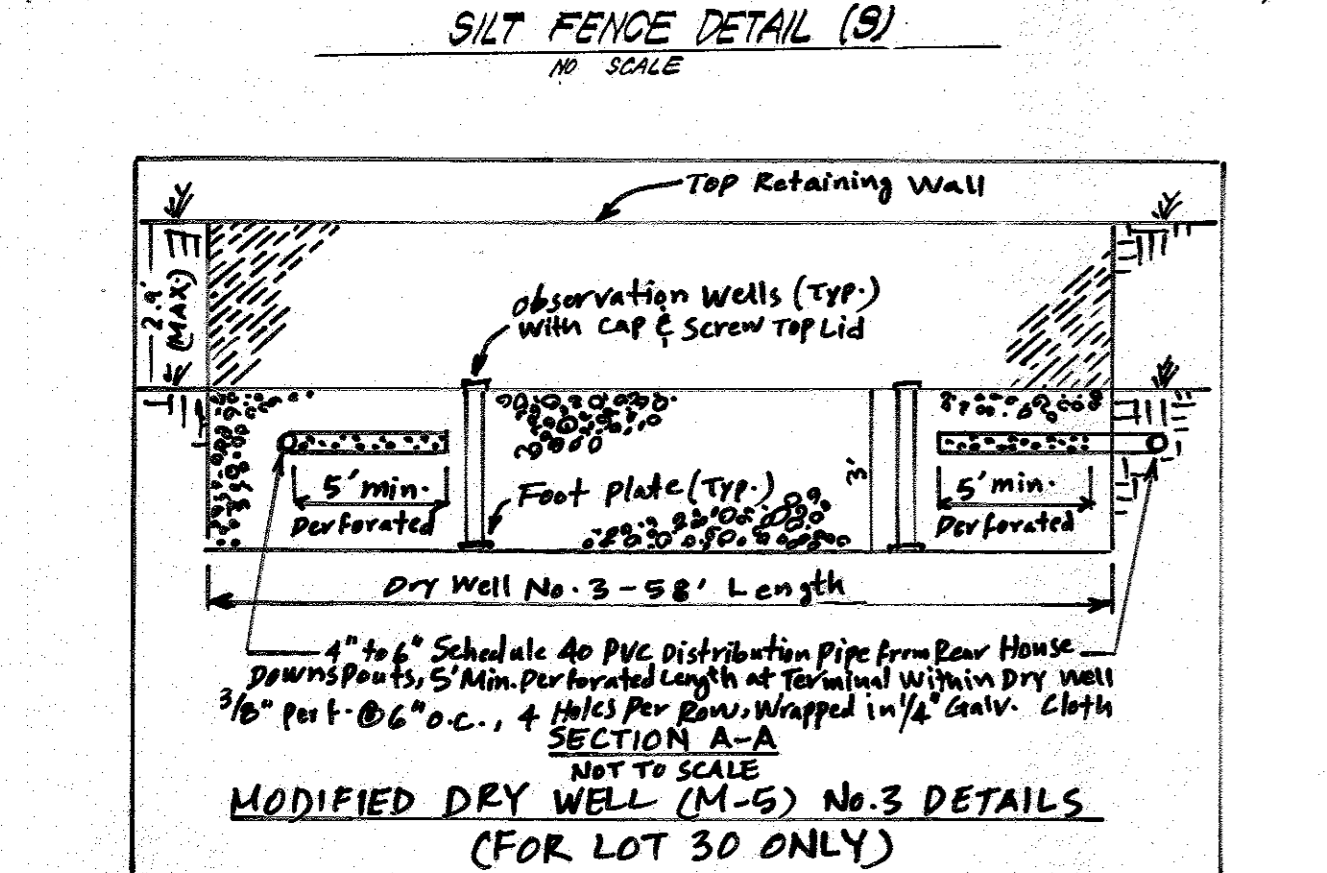
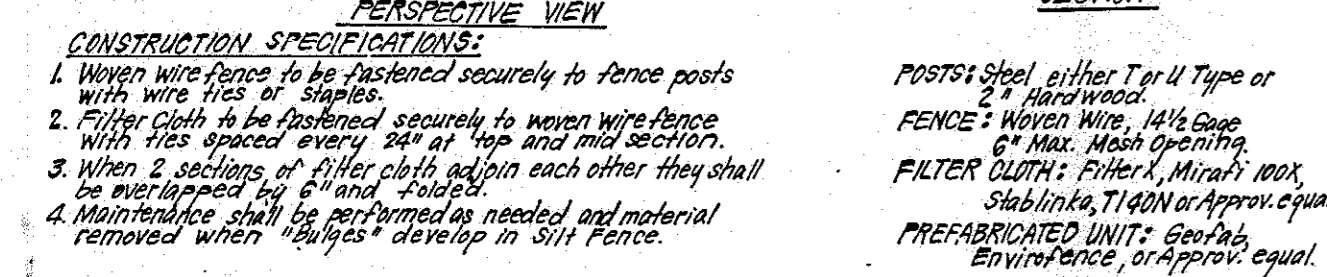
STORMWATER MANAGEMENT SUMMARY (FOR LOT-30 ONLY) Table with columns for SWM Practice, Code, Area, ESDV Computed, and ESDV Provided.



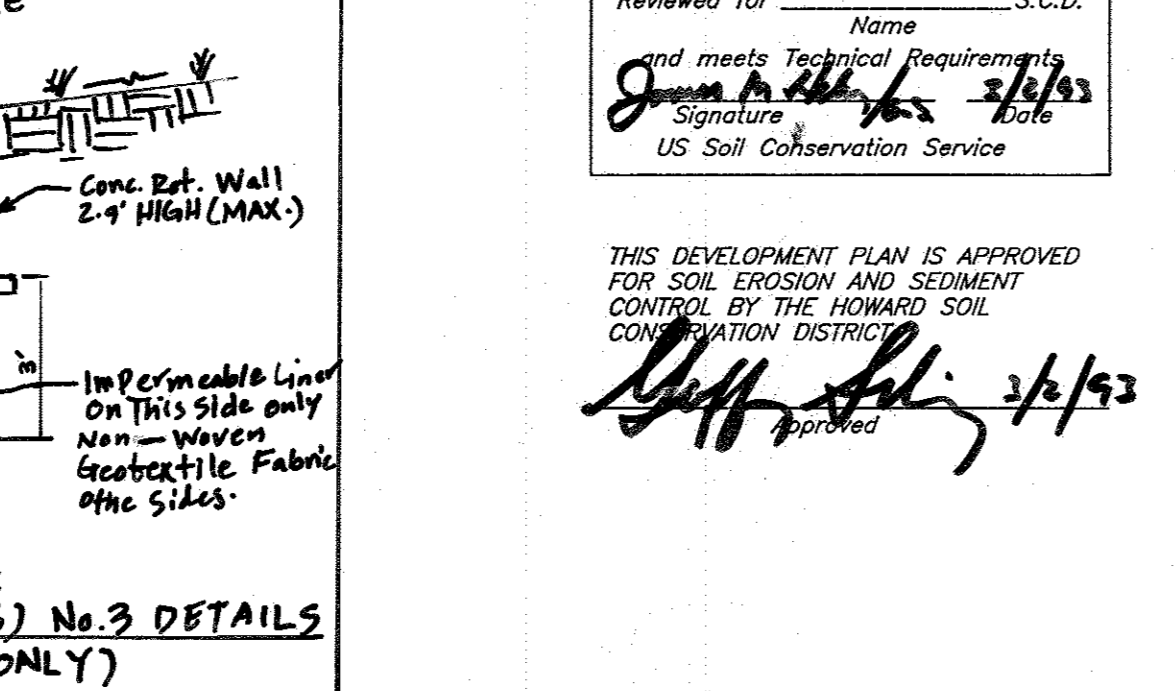
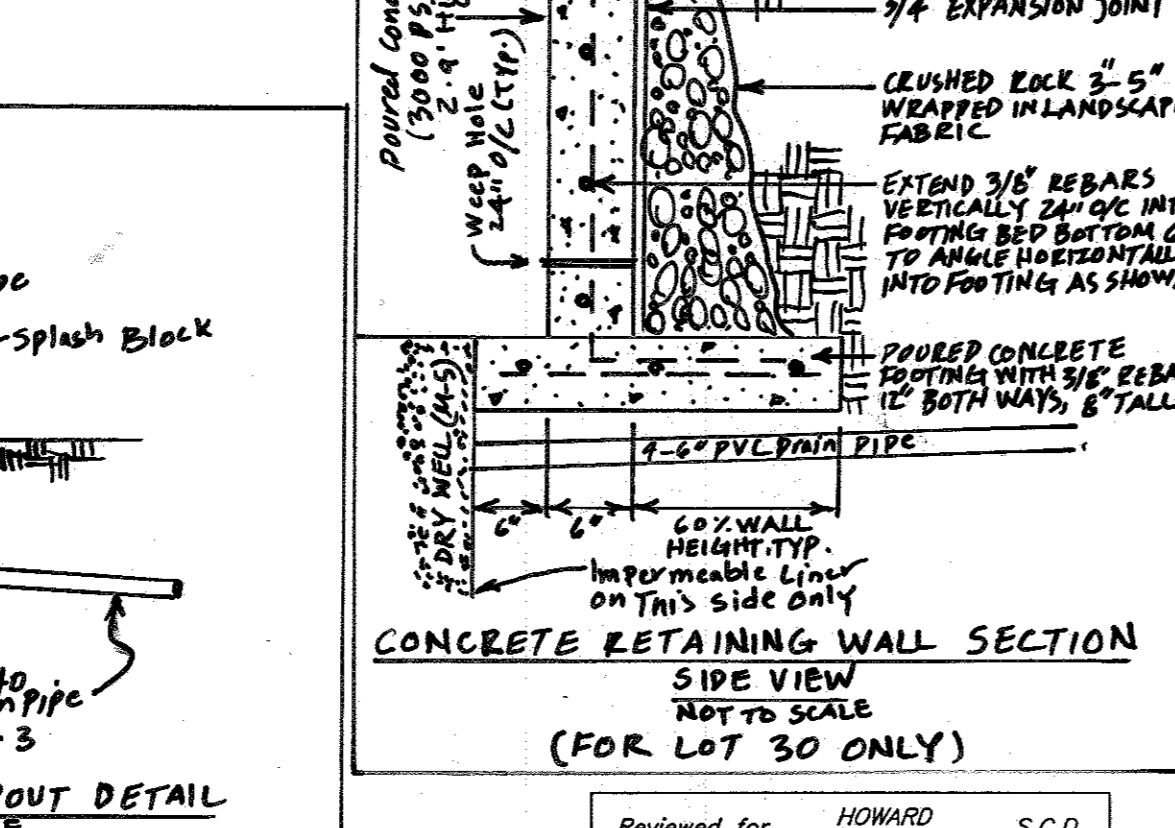
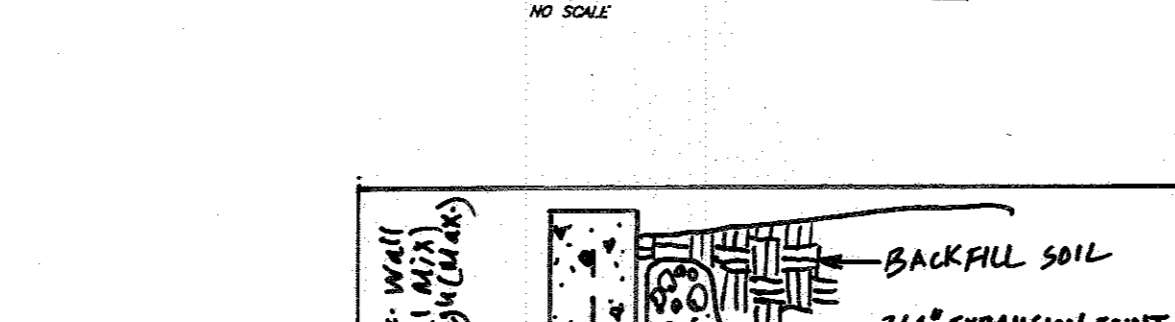
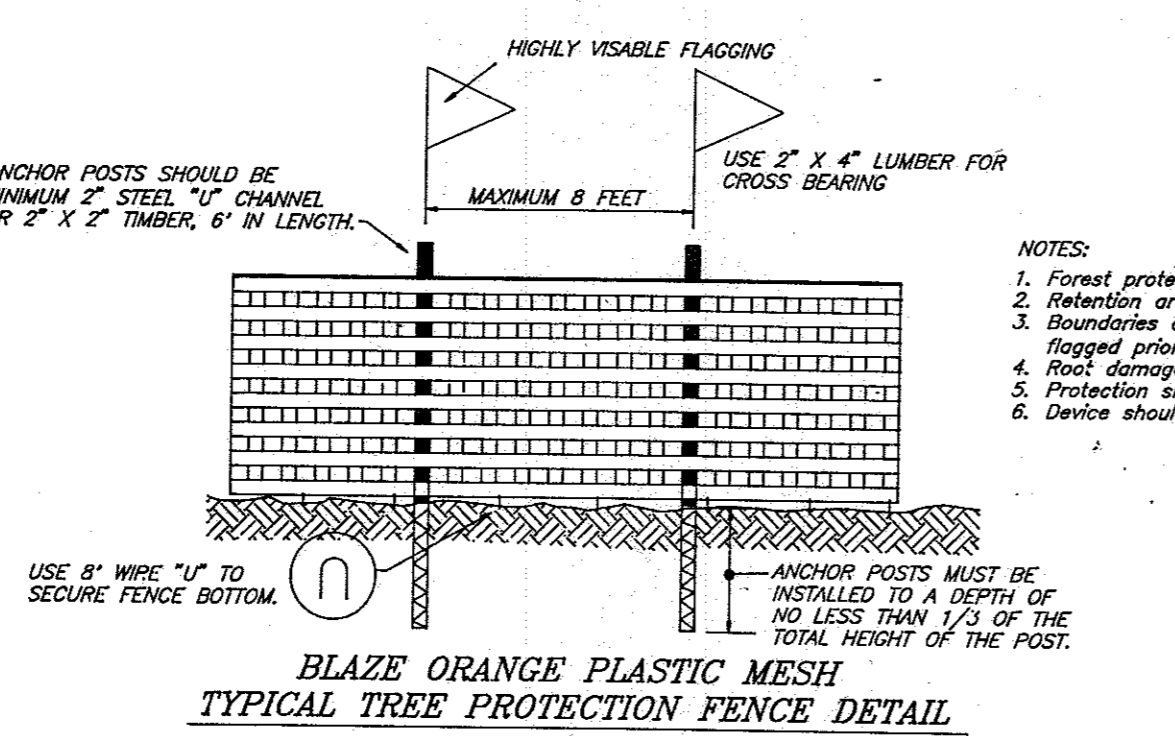
\* SWM has been treated using ESDV practices to the maximum extent practicable, all impervious areas have been treated.



- CONSTRUCTION SPECIFICATIONS: 1. All filter dikes shall be constructed by earth-moving equipment. 2. All filter dikes shall have positive drainage to an outlet. 3. The filter cloth shall be made of woven wire mesh.



PROFESSIONAL CERTIFICATION: I hereby certify that the red line markings shown hereon were prepared or approved by me, and that I am a duly licensed Professional Land Surveyor under the laws of the State of Maryland, License No. 110447. Expiration Date = 2/16/2019.



DEVELOPER'S/BUILDER'S CERTIFICATE: We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project.

ENGINEER'S CERTIFICATE: I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS. 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 • BALTO. • (301) 621-8100 • WASH.