

**GENERAL NOTES**

- 1) THE LAND INCLUDED IS ZONED R-20
- 2) COORDINATES SHOWN ARE EXTENSIONS MADE FROM THE MARYLAND STATE PLANE COORDINATE SYSTEM. BEARINGS REFER TO THE TRUE NORTH AND ARE BASE ON HOWARD COUNTY GEODETIC SURVEY POINT NO. 2944002 AND NO. 2944201
- 3) THE AREA COVERED IN THIS SUBMISSION IS LOCATED ON TAX MAP 31
- 4) THE TOTAL AREA ON THIS PLAN IS 455,050 SQ.FT. (10.45 AC.)
- 5) ALL ROADS ARE PUBLIC AND EXISTING.
- 6) ANY DAMAGE TO COUNTY OWNED RIGHT-OF-WAYS SHALL BE CORRECTED AT THE DEVELOPERS EXPENSE.
- 7) TOTAL NUMBER OF LOTS IN THIS SUBMISSION ARE 29
- 8) STREET TREES WILL BE PROVIDED IN ACCORDANCE WITH SECTION 16.131 OF THE HOWARD COUNTY SUBDIVISION REGULATIONS BY THE DEVELOPER.

**LEGEND**

EX. CURB & GUTTER	PROP. CONTOUR
EX. CONCRETE WALK	UNIT OF DISTURBANCE
EX. PROPERTY LINE	PROP. SWALE
EX. CONTOUR	SILT FENCE
PROP. SPOT GRADE	STABILIZED CONSTRUCTION ENTRANCE
STREET TREE	PERIMETER DIKE/SWALE
TREES TO REMAIN	STEEL SLOPES 15-20%
TREE PROTECTION	STEEL SLOPES 25%

**ADDRESS CHART**

LOT NO.	ADDRESS	MIN. B.E.	INV. @ P.L.L.S.
1	Doncaster Drive	518.95	414.45
2	Doncaster Drive	518.18	513.88
3	Doncaster Drive	517.46	513.16
4	Doncaster Drive	517.02	512.72
5	Doncaster Drive	516.68	512.38
6	Doncaster Drive	516.31	512.01
7	Doncaster Drive	515.91	511.61
8	Doncaster Drive	515.00	510.70
9	Doncaster Drive	508.76	504.96
10	Doncaster Drive	508.85	504.85
11	Doncaster Drive	517.16	512.66
12	Doncaster Drive	510.94	506.64
13	Doncaster Drive	511.83	507.53
14	Doncaster Drive	507.99	503.99
15	Doncaster Drive	506.92	503.55
36	Doncaster Drive	512.10	508.20
37	Doncaster Drive	516.88	512.38
38	Doncaster Drive	515.86	511.38
39	Doncaster Drive	517.04	512.34
40	Doncaster Drive	512.33	507.63
41	Keating Court	504.10	499.60
42	Keating Court	498.29	493.99
43	Keating Court	498.49	494.59
44	Keating Court	499.69	496.49
45	Keating Court	489.63	484.73
46	Keating Court	488.57	483.87
47	Keating Court	503.43	499.13
48	Keating Court	511.51	507.21
49	Keating Court	516.80	513.30

REVISION TO APPROVED S.D.P. (SEE SHEET 3 OF 3)

CHANGE #	LOT #	MODEL TYPE	GRADE REV.	DATE
1	LOT 43			9/1/92
2	LOT 43			9/1/92
3	LOT 42			9/1/92
4	LOT 40			9/1/92
5	LOT 1			9/1/92

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

7-16-92

COUNTY HEALTH OFFICER: [Signature] DATE: 7-16-92

APPROVED HOWARD COUNTY DEPT. OF PLANNING & ZONING

9/25/92

PLANNING DIRECTOR: [Signature] DATE: 9/25/92

9/24/92

CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE: 9/24/92

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC WORKS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

9-1-92

DIRECTOR: [Signature] DATE: 9-1-92

9-9-92

CHIEF BUREAU OF ENGINEERING DATE: 9-9-92

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

9/3/92

APPROVED: [Signature] DATE: 9/3/92

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

9/1/92

SIGNATURE: [Signature] DATE: 9/1/92

U.S. SOIL CONSERVATION SERVICE

**LAND DESIGN ASSOCIATES**

718 HIGHWOOD DRIVE  
BALTIMORE, MD 21212  
TEL. 410-323-6344

SUBDIVISION NAME WORTHINGTON RESERVES	SECTION # 1	LOTS 1-15, 36-49
PLAT # OF L.P. 1044A-10560	BLOCK # R-20	TAX ZONE MAP ELEC. DIST. 2ND
WATER CODE G01	SEWER CODE 1257013	

**WORTHINGTON RESERVES**  
SECTION ONE  
2ND ELECTION DISTRICT (LOTS 1-15 & 36-49) HOWARD COUNTY, MD

**SITE DEVELOPMENT AND SEDIMENT CONTROL**

FOR: GRAYSON HOMES INC. 9025 CHEVROLET DRIVE ELLICOTT CITY, MD 21043

DESIGNED: [Signature] DRAWN: [Signature] CHECKED: [Signature]

SCALE: 1"=30'  
SHEET 1 OF 3  
DATE: 8-17-92

**DEVELOPERS/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONS INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A 4-HOUR COURSE OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION CONTROL BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OF THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.

9/11/92

SIGNATURE OF DEVELOPER / BUILDER: [Signature] DATE: 9/11/92

**ENGINEERS CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

8/17/92

9/11/92

[Signatures]



- LEGEND
- EX. CURB & GUTTER
  - EX. CONCRETE WALK
  - EX. PROPERTY LINE
  - EX. CONTOUR
  - PROP. SPOT GRADE
  - PROP. CONTOUR
  - LIMIT OF DISTURBANCE
  - PROP. SWALE
  - SILT FENCE
  - STABILIZED CONSTRUCTION ENTRANCE
  - PERIMETER DIKE/SWALE
  - EX. TREE
  - EX. TREE LINE
  - TREE TO REMAIN
  - STREET LIGHT
  - STREET SLOPE ABOVE 5%
  - TREE PROTECTION

"REVISION BLOCK"

CHANGE #	REASON FOR REVISION	DATE	BY
1	MODEL PLING CHANGE	9/1/92	J. H. [Signature]
2	"	9/1/92	J. H. [Signature]
3	"	9/1/92	J. H. [Signature]
4	"	9/1/92	J. H. [Signature]
5	"	9/1/92	J. H. [Signature]

NOTE: SEE SHEET 3 FOR DETAILS, MIN. LOT SIZE CHART, HOUSE TEMPLATES, AND ADDITIONAL INFO.

DEVELOPERS/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONS INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AS A RESULT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION CONTROL BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OF THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.

*[Signature]*  
SIGNATURE OF DEVELOPER / BUILDER

8/17/92  
DATE

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]*  
DATE 8/17/92

*[Signature]*  
DATE 9/11/92

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER: *[Signature]* DATE: 9/25/92

APPROVED HOWARD COUNTY DEPT. OF PLANNING & ZONING

PLANNING DIRECTOR: *[Signature]* DATE: 9/24/92

CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT: *[Signature]* DATE: 9/10/92

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC WORKS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR: *[Signature]* DATE: 9/10/92

CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 9/9/92

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *[Signature]* DATE: 9/1/92

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

SIGNATURE: *[Signature]* DATE: 9/3/92

U.S. SOIL CONSERVATION SERVICE

LAND DESIGN ASSOCIATES

718 HIGHWOOD DRIVE  
BALTIMORE, MD 21212  
TEL. 410-323-6344

SUBDIVISION NAME WORTHINGTON RESERVES	SECT./AREA SECTION 1	LOTS 1-15, 36-49	PREVIOUS SUBMITTALS F-30-50 WP-90-24 F-30-07 WP-91-178 S-40-04
PLAT # or L/F 10444-10500	BLOCK # 31	TAX/ZONE MAP R-20	ELEC. DIST. GEN. S. TR. 2ND
WATER CODE 301	SEWER CODE 1257013		

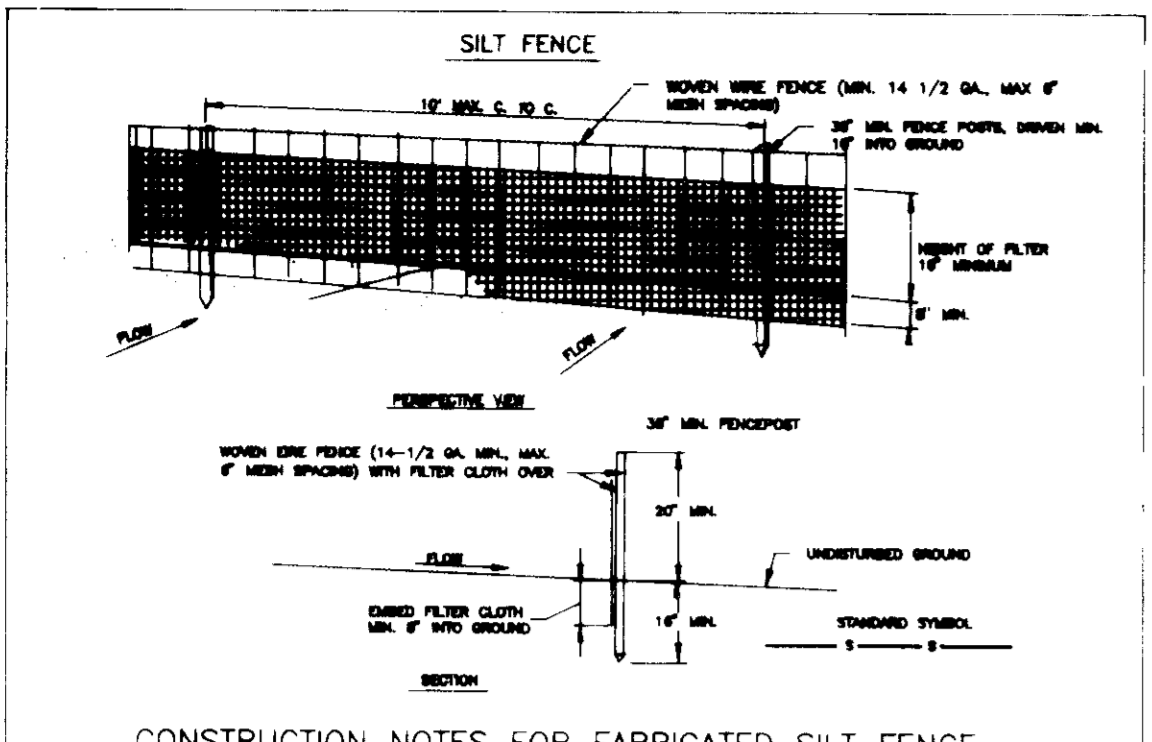
WORTHINGTON RESERVES  
SECTION ONE  
2ND ELECTION DISTRICT LOTS 1-15 & 36-49, HOWARD COUNTY, MD

SITE DEVELOPMENT AND SEDIMENT CONTROL

FOR: GRAYSON HOMES INC.  
9025 CHEVROLET DRIVE  
ELLCOTT CITY, MD 21043

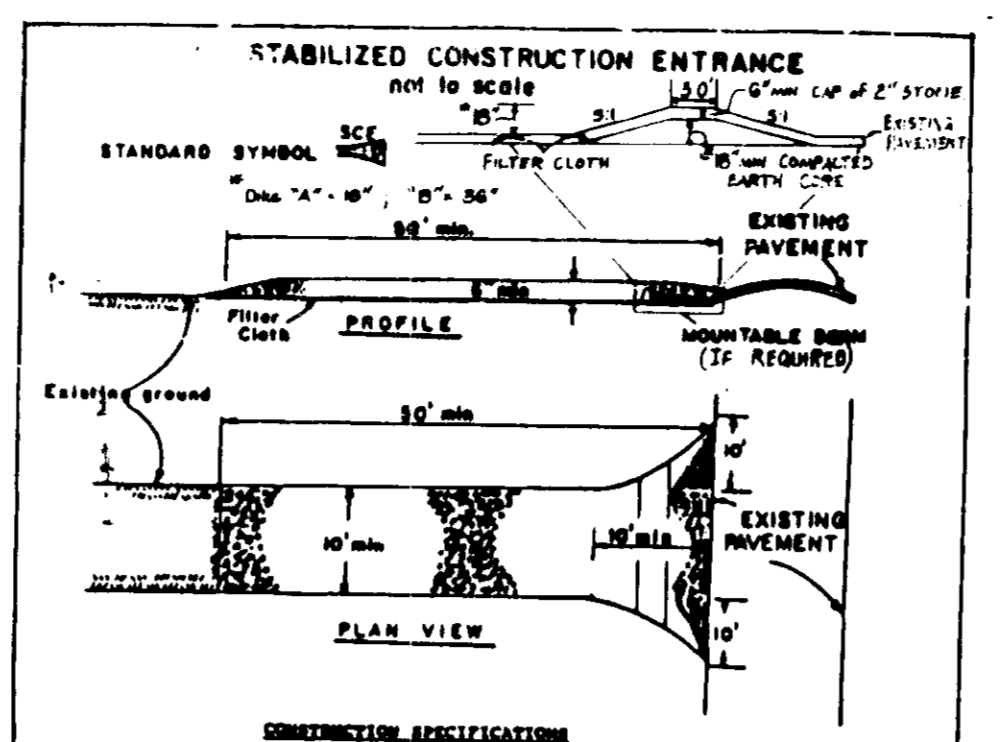
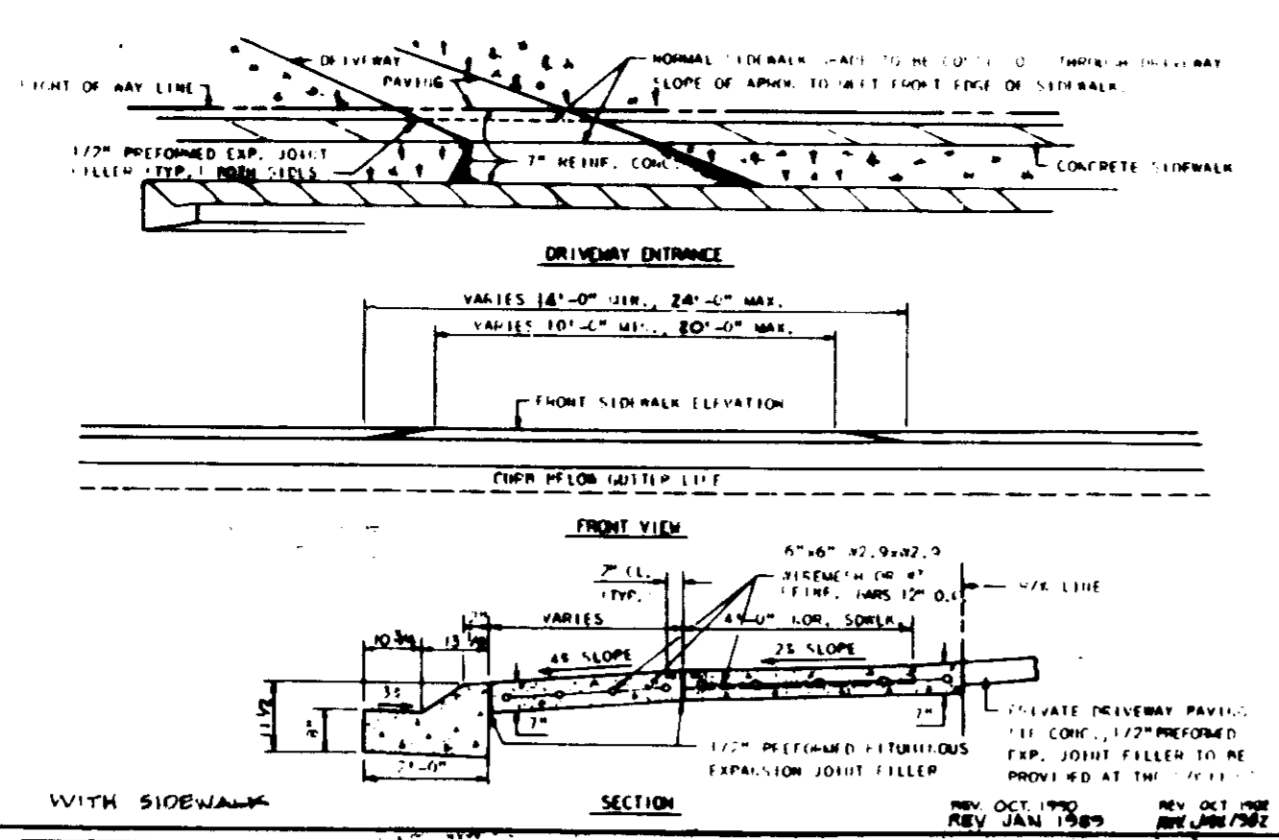
DESIGNED:  
DRAWN:  
CHECKED:

SCALE: 1"=30'  
SHEET 2 OF 3  
DATE: 8/17/92



**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

1. Silt fence fabric to be fabricated according to these specifications. The fabric shall be made of 100% polypropylene or equivalent material.
2. Filter cloth to be fabricated according to these specifications. The fabric shall be made of 100% polypropylene or equivalent material.
3. Heavy-duty frame to be fabricated according to these specifications. The frame shall be made of galvanized steel pipe.
4. The silt fence shall be installed in accordance with the specifications.



**CONSTRUCTION SPECIFICATIONS**

1. Stone Size - 1/2 inch, or recycled concrete equivalent.
2. Length - As required, but not less than 30 ft. (except on a single residence lot where a 30 ft. minimum length would apply).
3. Thickness - Not less than 6 inches.
4. Width - 24 inches, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a suitable area with 3:1 slopes will be provided.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any surface used as a driveway or parking area.
8. Washing - Washing shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which contains an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

**HOWARD SOIL CONSERVATION DISTRICT PERMANENT SEEDING NOTES**

- Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Method Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.
- Soil Amendments:** In lieu of soil test recommendations, use one of the following alternatives:  
 1) **Preferred:** Apply 2 tons per acre domestic limestone (92 lbs/1000 sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harvest or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 or urea (28 lbs/1000 sq. ft.)  
 2) **Acceptable:** Apply 2 tons per acre domestic limestone (92 lbs/1000 sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harvest or disk into upper three inches of soil.
- Seeding:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs per acre of Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq. ft.) of creeping lovegrass. During the period of October 16 thru February 28, perennials, apply by Option 1 (2) - Use seed. Option 1 (1) - Seed with 60 lbs/acre Kentucky 31 Tall Fescue and 2 lbs/acre of creeping lovegrass.  
**Seeding:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of uncoated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 200 gal per acre (5 gal/1000 sq. ft.) of uncoated asphalt on flat areas on slopes 6 feet or higher; use 300 gal per acre (6 gal/1000 sq. ft.) for anchoring.  
**Maintenance:** Inspect all seeding areas and make needed repairs, replacements and reseeding.
- Temporary Seeding Notes:**  
 Apply to graded or cleared areas likely to be reseeded where a short-term vegetative cover is needed.  
**Method Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.  
**Soil Amendments:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).  
**Seeding:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 2-1/2 lbs per acre of annual ryegrass (3.2 lbs/1000 sq. ft.). For the period May 1 thru July 31, seed with 3 lbs per acre of creeping lovegrass (1.7 lbs/1000 sq. ft.). For the period November 16 thru February 28, perennials, apply by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use seed.  
**Seeding:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of uncoated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 200 gal per acre (5 gal/1000 sq. ft.) of uncoated asphalt on flat areas on slopes 6 feet or higher; use 300 gal per acre (6 gal/1000 sq. ft.) for anchoring.  
 Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.  
 REV 1/91

Lot No.	Gross Area	Minus ex-floodplain and 25% slope area to remain	Minus Pipetown Area	Subtotal Area	Minus Created Steep Slope Area	Plus up to 10% Credit for Created Steep Slopes	Minimum Lot Area
9	16,802		2,633	14,169			14,169
10	18,467		2,431	16,036			16,036
42	14,415	153		14,262			14,260
33	14,691			14,691	200	200	14,691
44	14,158	0		14,158	200	200	19,887
45	15,501	0	471	15,030	2,500	1,550	14,080
46	19,887	1,800		18,087	1,800	1,800	18,087



NOTE: THERE WILL BE NO VARIATIONS, SUBSTITUTIONS OR COVERED DECK OPTIONS ON THIS ORIGINAL SUBMISSION.

**DEVELOPERS/BUILDER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONS INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MINIMUM OF 8 HOURS OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION CONTROL BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.

SIGNATURE OF DEVELOPER / BUILDER: *Paul Carson* DATE: 5/8/92

**ENGINEERS CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Ernst Peck* DATE: 5/8/92  
*John L. Schindler* DATE: 9/11/92

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 9-6-92

APPROVED HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 PLANNING DIRECTOR: *[Signature]* DATE: 9/25/92

CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE: 9/21/92

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* DATE: 9-2-92

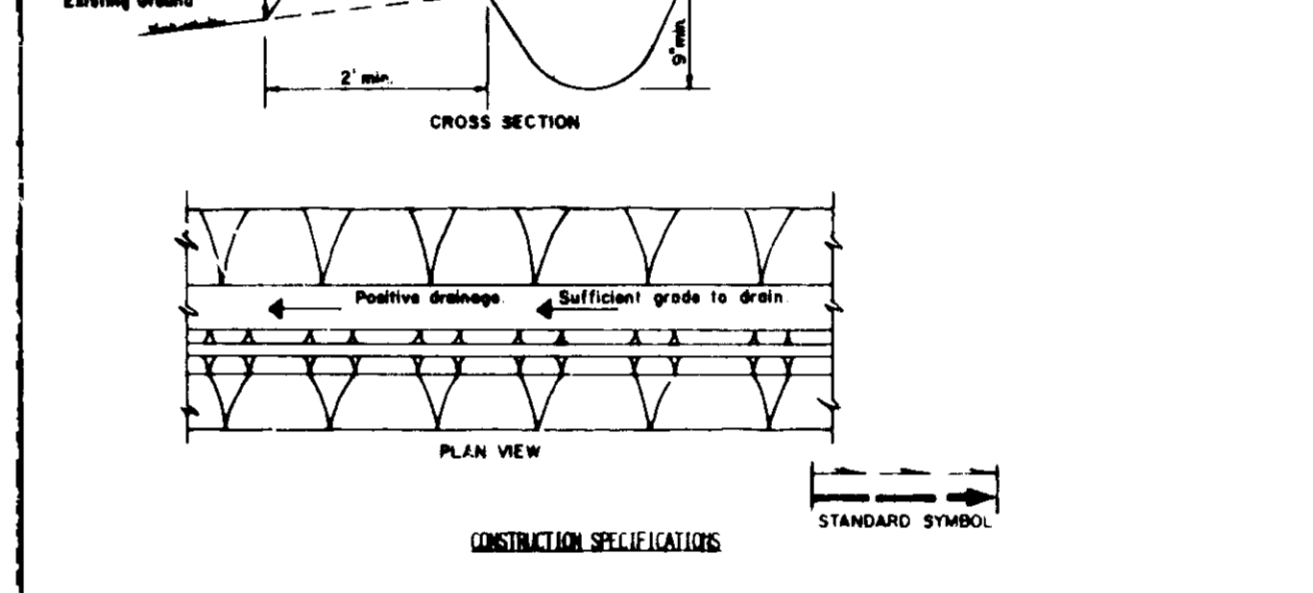
CHIEF BUREAU OF ENGINEERING DATE: JH

- General Notes Continued**
9. The Contractor shall notify the Department of Public Works / Bureau of Construction Inspection at (410) 792-7272 at least five (5) working days prior to the start of work.
  10. The Contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
  11. Topographic information shown on this plan was taken from the grading and sediment control plans for F-92-50. Plans were prepared by Riener Muegge & Associates, Inc. dated Jan. 21, 1992. The original topo was taken from a field run survey dated December 1988 by Dewberry and Davis. The contour interval shown is two feet.
  12. All elevations shown are based on the USC&GS mean sea level datum, 1929.
  13. Benchmarks: #1 - Ho. Co. Control Pt. 2944002, Elev. 535.27, N-514,196.36, E-858,596.39; #2 - San. Sewer Manhole Rim in Roundhill Road, Elev. 509.53, N-513,618.7, E-859,325.9
  14. Storm water management facilities are class 'A' hazard facilities and were approved under F-92-50.
  15. Any damage to the County's right-of-way shall be corrected at the developer's expense.
  16. Existing utilities shown hereon were taken from Water and Sewer Extensions Contract # 14-3160-D and the Roadways, Storm Drain and SWM Plans for the Final Development Plan # F-92-50.
  17. Porches or decks, open or closed, cannot project more than 10 feet into the required front or rear yard building restriction lines, per Section 128 of the Zoning Regulations.
  18. All fireplace chimneys and bay windows not more than 10 feet in width may project not more than four feet into any required yard per Section 128 of the Zoning Regulations.

19. WP-91-178 was a waiver requesting to waive Section 16.120(A)(3), to extend the approved preliminary plan for six months (P-90-07) and to reactivate WP-90-20 (Waiving section 16.116(C)(6) grading adjacent to stream banks and wetlands) was approved by letter dated June 13 1991.

20. The 20-foot wide landscaped buffer shown on this plan is required by Section 16.116(f) of the Subdivision and Land Development Regulations. No clearing of existing vegetation is permitted, however, landscape maintenance is authorized.

21. This site is 95% vegetated, which consists of 85% MATURE TULIP POPLAR AND 15% CHERRY, LOCUST AND FL. DOGWOOD



**CONSTRUCTION SPECIFICATIONS**

1. ALL PERIMETER DITCHES SHALL HAVE UNIMPAIRED POSITIVE GRADE TO AN OUTLET.
  2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
  3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSION VELOCITY.
  4. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED IN THE STANDARD.
  5. STABILIZATION OF THE AREA DISTURBED BY THE DITCH AND SWALE SHALL BE DONE IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SEEDS AND STRAW MULCH, AND SHALL BE DONE WITHIN 30 DAYS.
  6. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
- Max. Drainage Area Limit: 2 Acres

**Protective Tree Fencing**

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *[Signature]* DATE: 9/2/92

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

SIGNATURE: *[Signature]* DATE: 9/2/92

U.S. SOIL CONSERVATION SERVICE

**LAND DESIGN ASSOCIATES**  
 718 HIGHWOOD DRIVE  
 BALTIMORE, MD 21212  
 TEL. 410-323-6344

**SEDIMENT CONTROL NOTES**

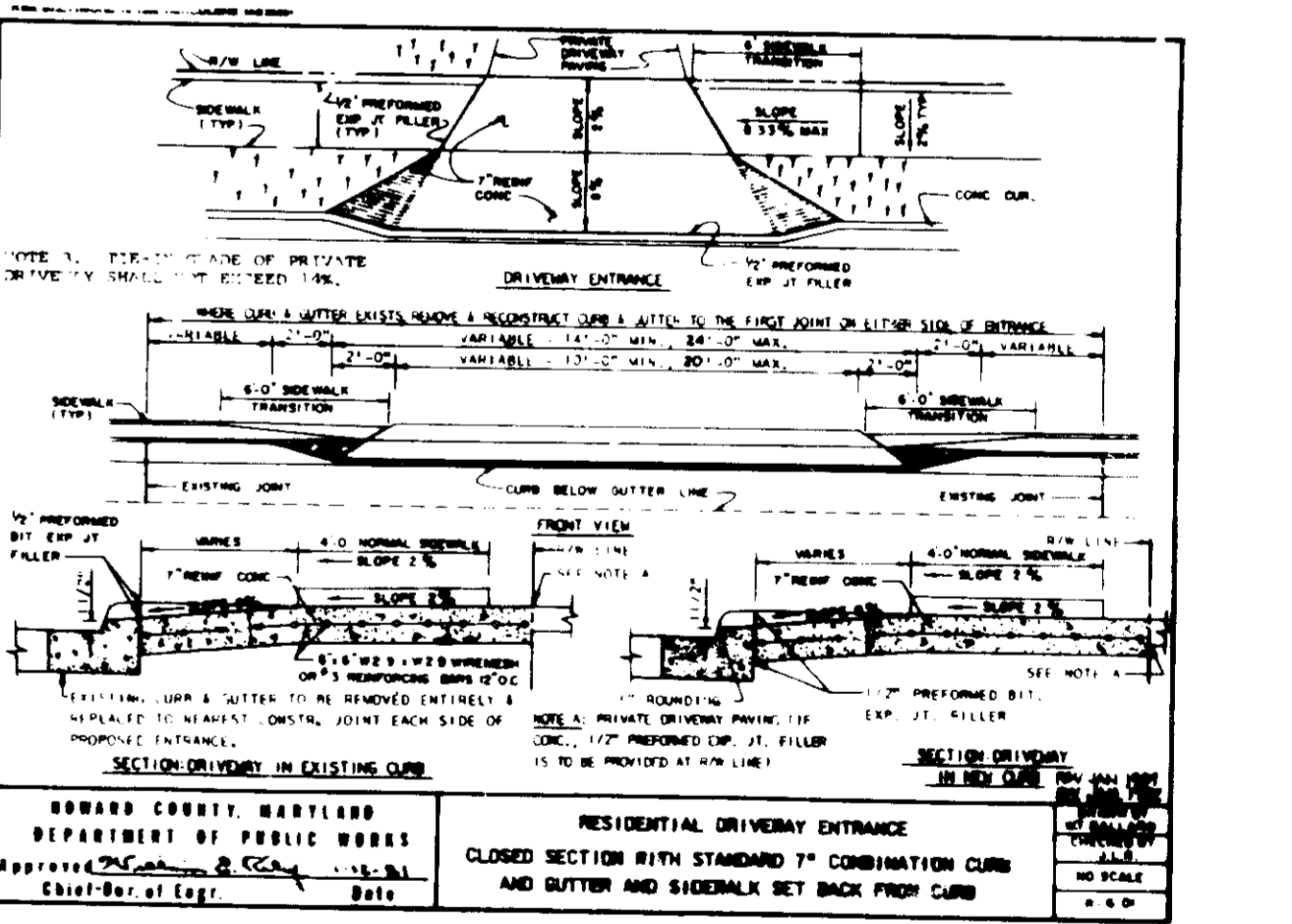
1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (902-2437)
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within 30 calendar days for all perimeter sediment control structures, dikes, permeable slopes and all slopes greater than 3:1 or 14 days as to all disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 54); temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis

Total Area of Site	10.5 Acres
Area Disturbed	8.6 Acres
Area to be roofed or paved	2.0 Acres
Area to be vegetatively stabilized	8.5 Acres
Total Cut	10,150 Cu yds
Total Fill	10,150 Cu yds
Offsite waste/borrow area location	N/A

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until the initial approval by the inspection agency is made.

**SEQUENCE OF OPERATIONS**

1. Obtain a grading permit (1 day)
  2. Clear and grub for sediment and erosion control measures only (3 days)
  3. Install all sediment and erosion control measures. Install tree protection fences (3 days)
  4. Clear and grub remainder of site (2 weeks)
  5. Excavate foundations and rough grade site excluding lots (4 weeks)
  6. Install utilities (2 weeks)
  7. Stabilize Paving Areas with Aggregate (1 week)
  8. Construct Houses (3 months)
  9. Fine grade, topsoil and seed all disturbed areas (6 months, concurrent with steps 5-8)
  10. After turf is established and upon approval of the inspector, remove temporary sediment control measures and clean up site.
- \*Reburish sediment basins #1 and #2 to their original dimensions per F-92-50 and install dewatering devices. Basin #2 riser crest shall remain at elevation 482.3 until all upland areas are permanently stabilized.



SUBDIVISION NAME: WORTHINGTON RESERVES  
 SECTION: 1-15, 36-49  
 PLAT # or L/F BLOCK # ZONE: R-20  
 ELEC. DIST.: 2ND  
 CENSUS TR.: 2-27  
 WATER CODE: G01  
 SEWER CODE: 1257013

PREVIOUS SUBMITTALS:  
 F-92-50 WP-90-20  
 P-90-07 WP-91-178  
 S-89-50

**WORTHINGTON RESERVES SECTION ONE**  
 2ND ELECTION DISTRICT (LOTS 1-15 & 36-49) HOWARD COUNTY, MD

**SITE DEVELOPMENT AND SEDIMENT CONTROL**

FOR: GRAYSON HOMES INC.  
 9025 CHEVROLET DRIVE  
 ELLICOTT CITY, MD 21043

DESIGNED: *[Signature]*  
 DRAWN: *[Signature]*  
 CHECKED: *[Signature]*

SCALE: 1"=30'  
 SHEET # OF 2  
 DATE: 8/17/92