

GENERAL NOTES

1. AREA OF LOTS 14, 15, 16 IS 5.2199 AC
2. PROPERTY ZONED: R-20
3. TAX MAP: 36
4. DEVELOPED BY DEVELOPMENT CONSULTANTS GROUP, INC.
5. BUILDING COVERAGE: 14.6% FOR 0.3412 AC OR 10.61%
6. WATER & SEWER PER CONTRACT: 24-1892-D
7. TOTAL NO LOTS: 10
8. TOTAL NO UNITS: 10
9. EXISTING LOT #11 NOT BEING DEVELOPED AT THIS TIME.
10. OPEN SPACE LOTS HAVE BEEN DEDICATED TO HOMEOWNERS ASSOCIATION ACCOUNT # D300-5697
11. OPEN SPACE LOTS TO REMAIN: LOTS 12, 13, 14; TOTAL AREA: 115.84 AC OR 30.03% OF TOTAL SUBDIVISION (3858.0 AC). 75% GROUND TABLE SPACE: 0.0957 AC OR 0.142% OF TOTAL OPEN SPACE PROVIDED.
12. FIVE (5) FOOT CLOTE ESMT. SHOWN HEREON IS A REVERTIBLE ESMT. OR GRADING ONLY.
13. PREVIOUS FILE REFERENCES: S 89-15; F 89-47; F 81-184; W 90-143; F 91-122.

GENERAL NOTES CONT'D

14. BENCH MARK #2: CUT NAIL IN 10" W DIA TREE
15. BENCH MARK #4: CUT NAIL IN TWIN 14" LOCUST TREE.

NOTE ANY EXISTING STREET TREES PRESERVED BY THIS PLAN SHALL BE RELOCATED DO CLOSE TO ORIGINAL LOCATION AS POSSIBLE.

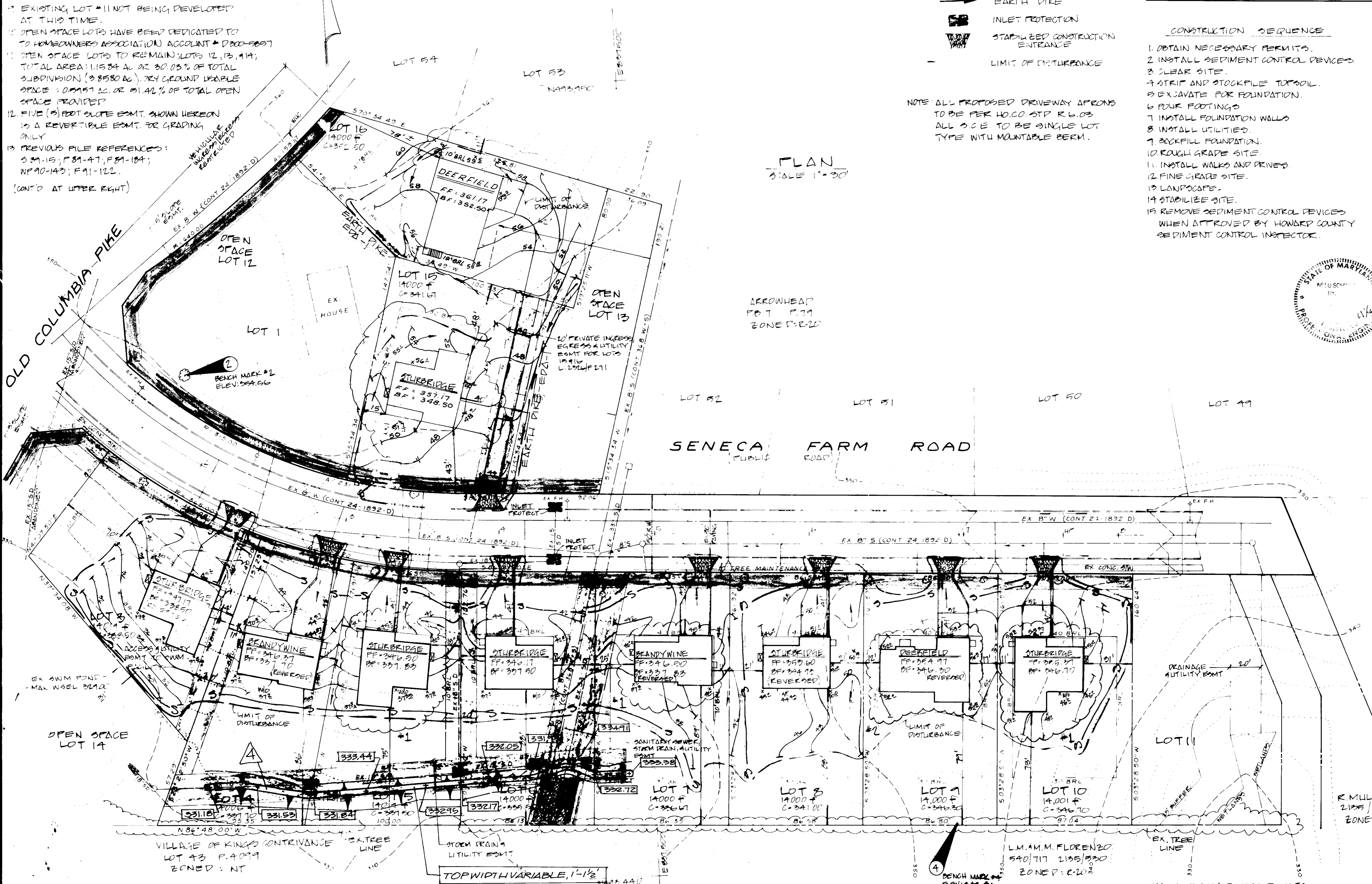
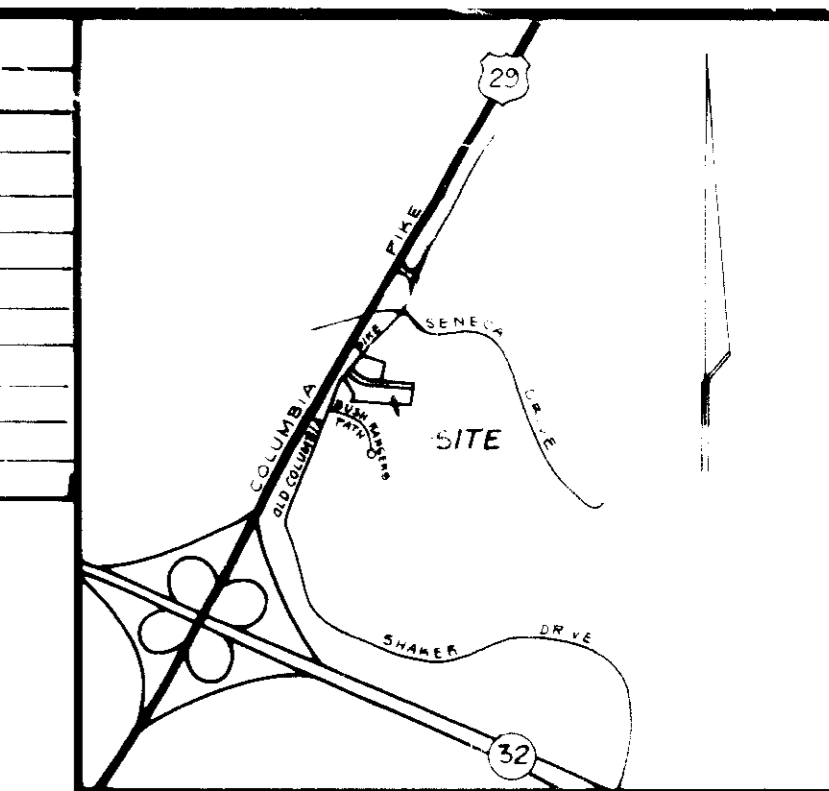
NOTE W 90-143 ALLOWS LOT 16 TO SATISFY ITS ROAD FRONTAGE REQUIREMENTS ONTO OLD COLUMBIA PIKE WHILE ITS ACCESS WILL BE PROVIDED VIA A DRIVE-IN-COMMON DRIVEWAY ESMT. THRU LOT 15 ONTO SENECA FARM ROAD AS PER SECTIONS 16-115(C)(1) AND 16-113(A)(1) OF THE SUBDIVISION REGULATIONS. W 90-143 APPROVED AUGUST 8, 1990.

LEGEND

- SILT FENCE
- EARTH DIKE
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- LIMIT OF DISTURBANCE

PLAT NO.	ZONE	TAX MAP	REG. DIST.	SENSITIVE
7000 1001	R-20	36	6	1001
WATER CODE	SEWER CODE			
E13	S221900			

LOT NO.	STREET ADDRESS
3	6600 SENECA FARMS ROAD
4	6604 SENECA FARMS ROAD
5	6608 SENECA FARMS ROAD
6	6612 SENECA FARMS ROAD
7	6616 SENECA FARMS ROAD
8	6620 SENECA FARMS ROAD
9	6624 SENECA FARMS ROAD
10	6628 SENECA FARMS ROAD
11	6632 SENECA FARMS ROAD
12	6636 SENECA FARMS ROAD
13	6640 SENECA FARMS ROAD
14	6644 SENECA FARMS ROAD
15	6648 SENECA FARMS ROAD
16	6652 SENECA FARMS ROAD



- CONSTRUCTION SEQUENCE**
1. OBTAIN NECESSARY PERMITS.
 2. INSTALL SEDIMENT CONTROL DEVICES
 3. CLEAR SITE.
 4. STRIP AND STOCKPILE TOPSOIL.
 5. EXCAVATE FOR FOUNDATION.
 6. POUR FOOTINGS
 7. INSTALL FOUNDATION WALLS
 8. INSTALL UTILITIES.
 9. BACKFILL FOUNDATION.
 10. RAUGH GRADE SITE.
 11. INSTALL WALKS AND DRIVES
 12. FINE GRADE SITE.
 13. LANDSCAPE.
 14. STABILIZE SITE.
 15. REMOVE SEDIMENT CONTROL DEVICES WHEN APPROVED BY HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

NOTE ALL PROPOSED DRIVEWAY APRONS TO BE PER H.C.C.O. STD R.G.03 ALL S.C.E. TO BE SINGLE LOT TYPE WITH MOUNTABLE BERM.

PLAN
SCALE 1" = 30'

ARROWHEAD
FOOT #77
ZONE: R-20

Permitting Requirements

Following initial soil disturbance or disturbance, permit or temporary stabilization shall be completed within: (1) seven (7) calendar days for all perimeter sediment control structures, dikes, swales, ditches, perimeter slopes and all slopes greater than 3:1; (2) fourteen (14) days for all other disturbed or graded areas on project site.

NOTE: The contractor or developer shall contact the construction inspection/survey division 24 hours in advance of commencement of work at 792-1272.

Developer's Certificate

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a certificate of attendance at a Department of Natural Resources Approved Training Program for the control of sediment and erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Review	Date
Developer's Certificate	
Soil Conservation District	6/16/92
Approved for Howard Co. and meets technical requirements.	
Soil Conservation District	6/23/92
Development plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.	
Approved for Public Water and Public Sewage systems, Howard County Health Department.	
County Health Officer	6/25/92
Approved: Howard County Department of Planning & Zoning	
Director	6/25/92
Director, Division of Community Planning and Land Development	
Approved: For Public Water and Public Sewage, Storm Drainage Systems and Public Road. Howard County Department of Public Works.	
Director	6/29/92
Chief Bureau of Engineering	6/29/92

GLORIOSO
238/114
ZONED: R-20

K MILLOY
2125/527
ZONED: R-20

Contractor - Purchaser
MOUNTAIN DAY HOMES
10904 A CENTENNIAL SQUARE
BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21040
410-780-3126

NO.	REVISIONS	DATE
1	HOUSE CHANGE LOTS 5, 7 & 10	12/17/92 AGH
2	HOUSE CHANGE LOT 9	2/26/93 AGH
3	HOUSE CHANGE-RELOCATE DRIVE, REGRADE LOTS 15 & 16	5/11/93 LDE
4	ADJUST EARTH DIKE & ADJUST STRIPS	6/18/94 BA

DEVELOPMENT CONSULTANTS GROUP, INC.

17904 GEORGIA AVENUE # 102
OLNEY, MARYLAND 20832
301-924-4570

SENECA FARMS

6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
TAX MAP 36 - PLAT NO. 700, 96, 1, 99, 84

DATE: MAR. 1992
DRAWN: EM
CHECKED: M.L.S.
SCALE: 1" = 30'
PROJECT NO.: 248-001

Sheet 1 of 2

SDP-92-100

- SEDIMENT CONTROL NOTES**
- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (1992-2437)
 - All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
 - All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with VOL. 1, CHAPTER 12, of the HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
 - All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 52, temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 - Site analysis: Total Area of Site 3.2147 AC.
Area Disturbed 2.10 Acres
Area to be paved 0.215 Acres
Area to be vegetatively stabilized 1.55 Acres
Total Cut 2.022 CY FREE BELOW
Total Fill 1.990 CY FREE BELOW
Offsite waste/borrow area location - 0.0 Cu. Yds.

- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
 - On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- *MANY EXCESS CUT TO BE MOVED TO A SITE WITH AN EXISTING APPROVED SEDIMENT CONTROL PLAN.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - apply 2 tons per acre Dolomitic Limestone (92 lbs./1000 square feet) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 square feet) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 Ureaform Fertilizer (9 lbs./1000 square feet).
- Acceptable - apply 2 tons per acre Dolomitic Limestone (92 lbs./1000 square feet) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 square feet) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 through April 30, and August 1 through October 15, seed with 50 lbs. per acre 11-4 lbs./1000 square feet of Kentucky 31 Tall Fescue. For the period May 1 through July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 square feet) of Weeping Lovegrass. During the period of October 15 through February 28, protect site by: option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) use sod. Option (3) seed with 60 lbs./acre in the spring. Option (4) use sod and well anchored straw. Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 square feet) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 square feet) of Baulsified Asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 square feet) for anchoring.

Maintenance: Inspect all seeded area and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

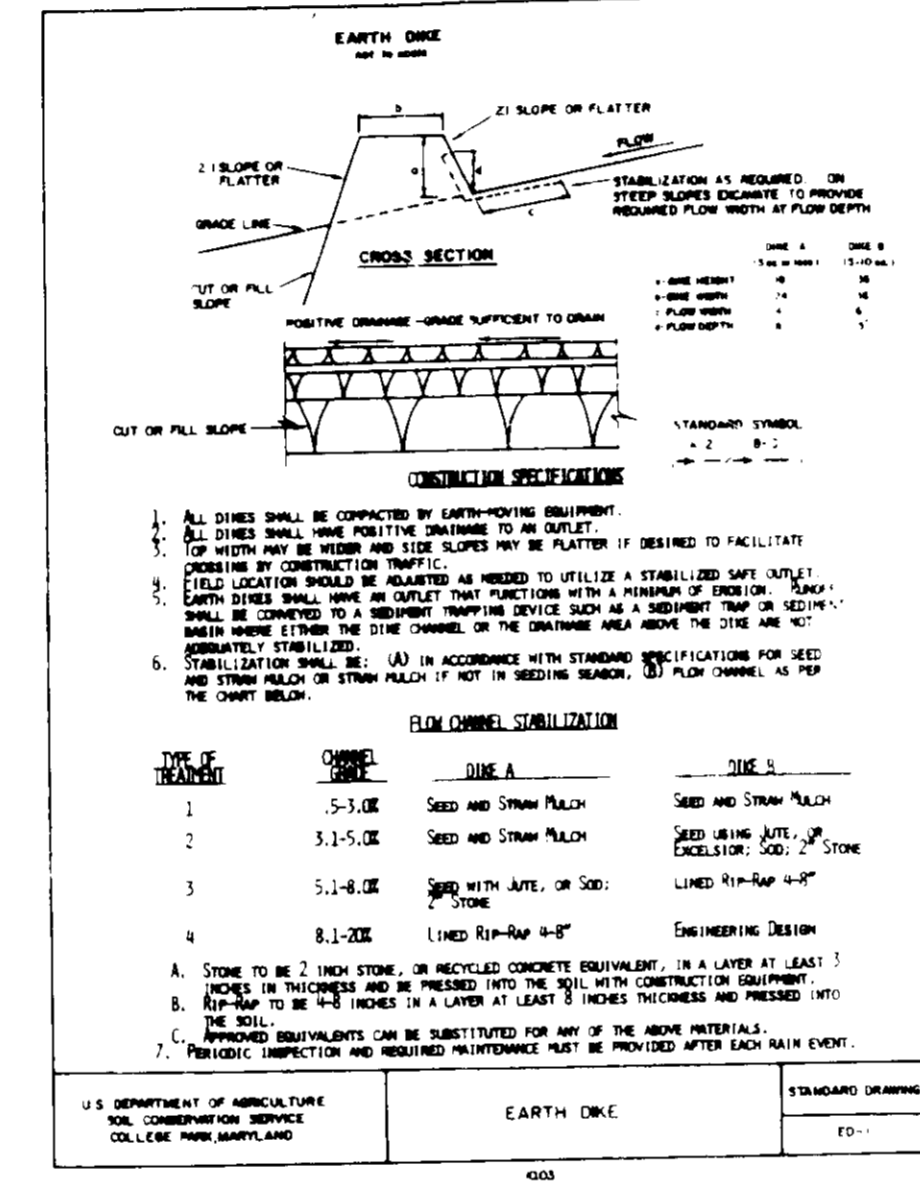
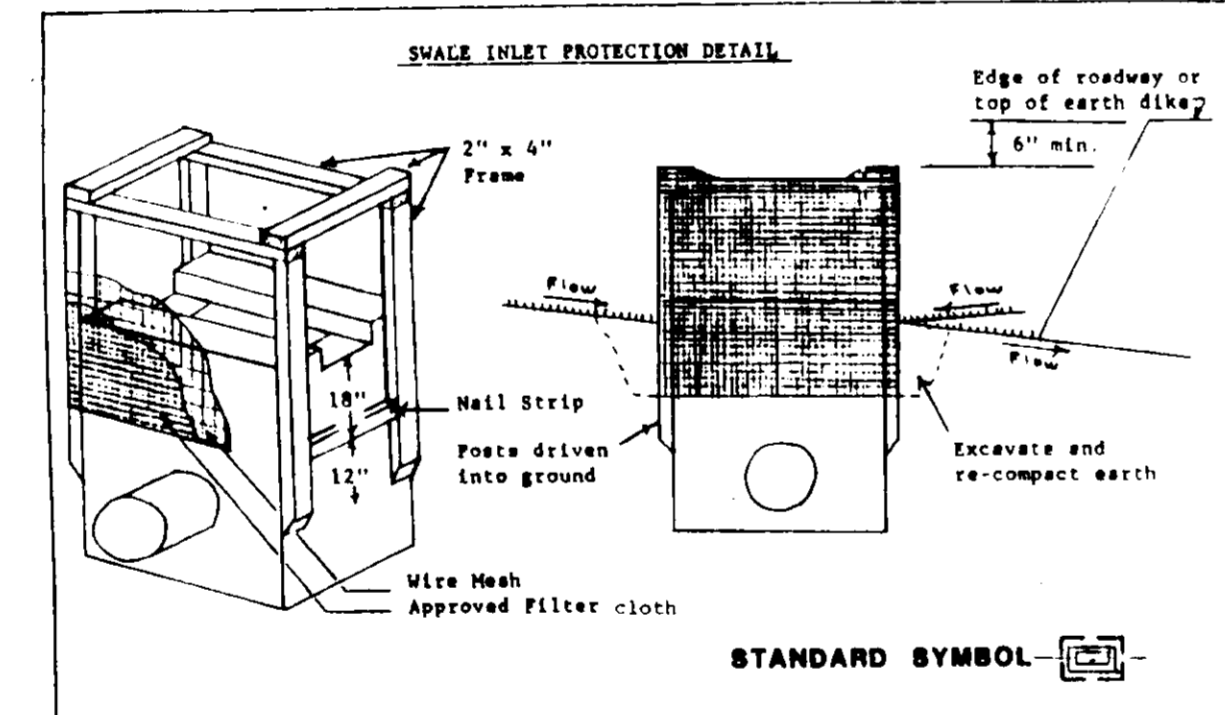
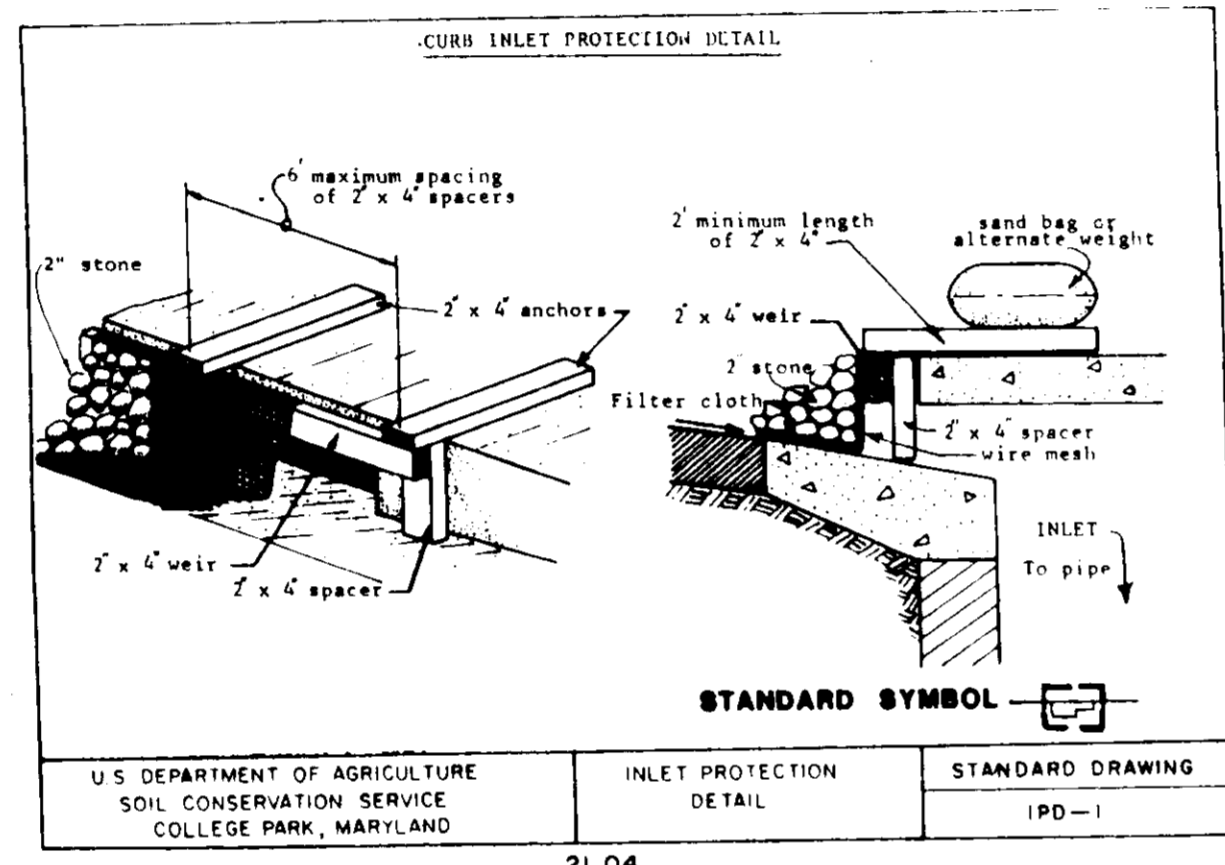
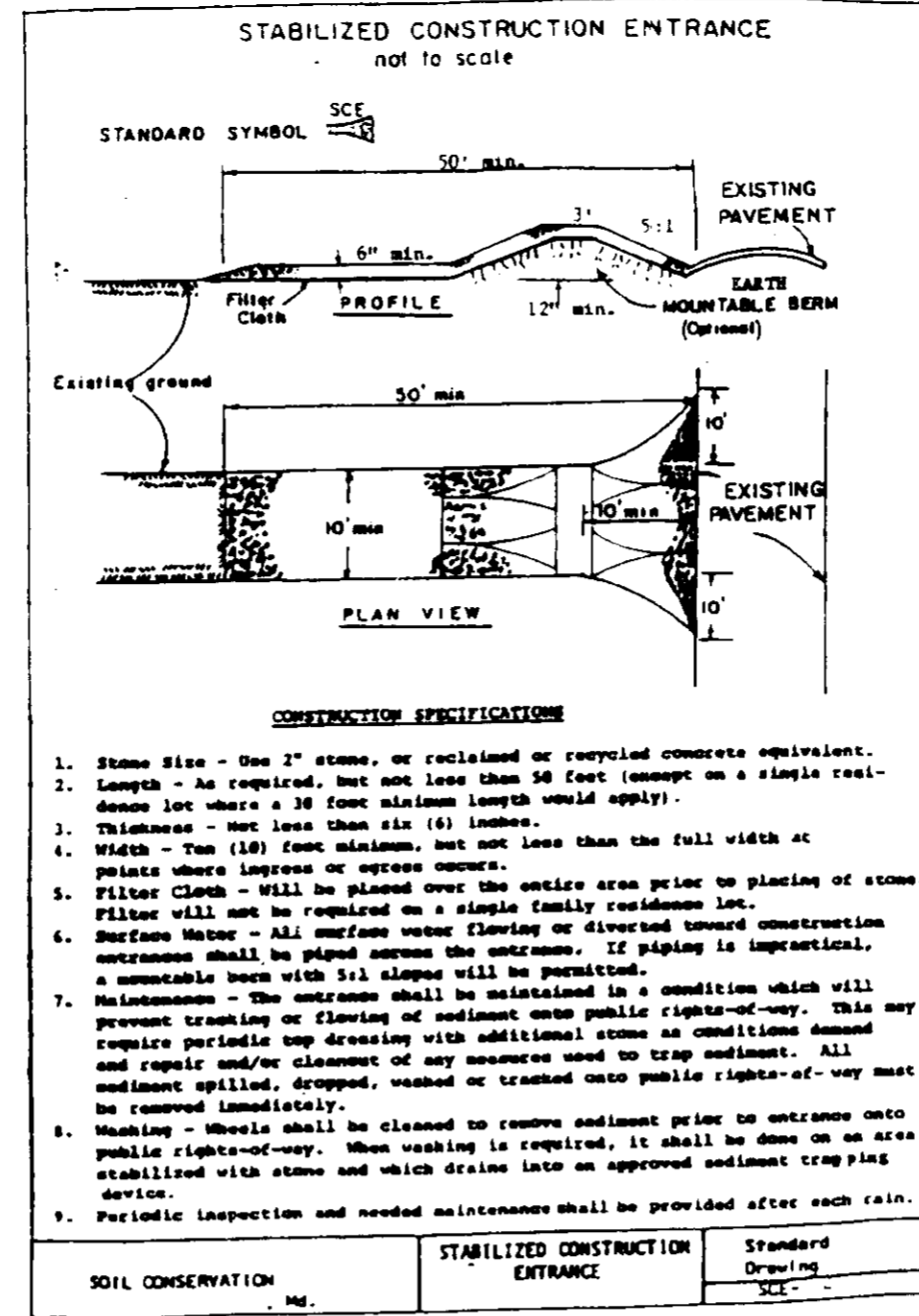
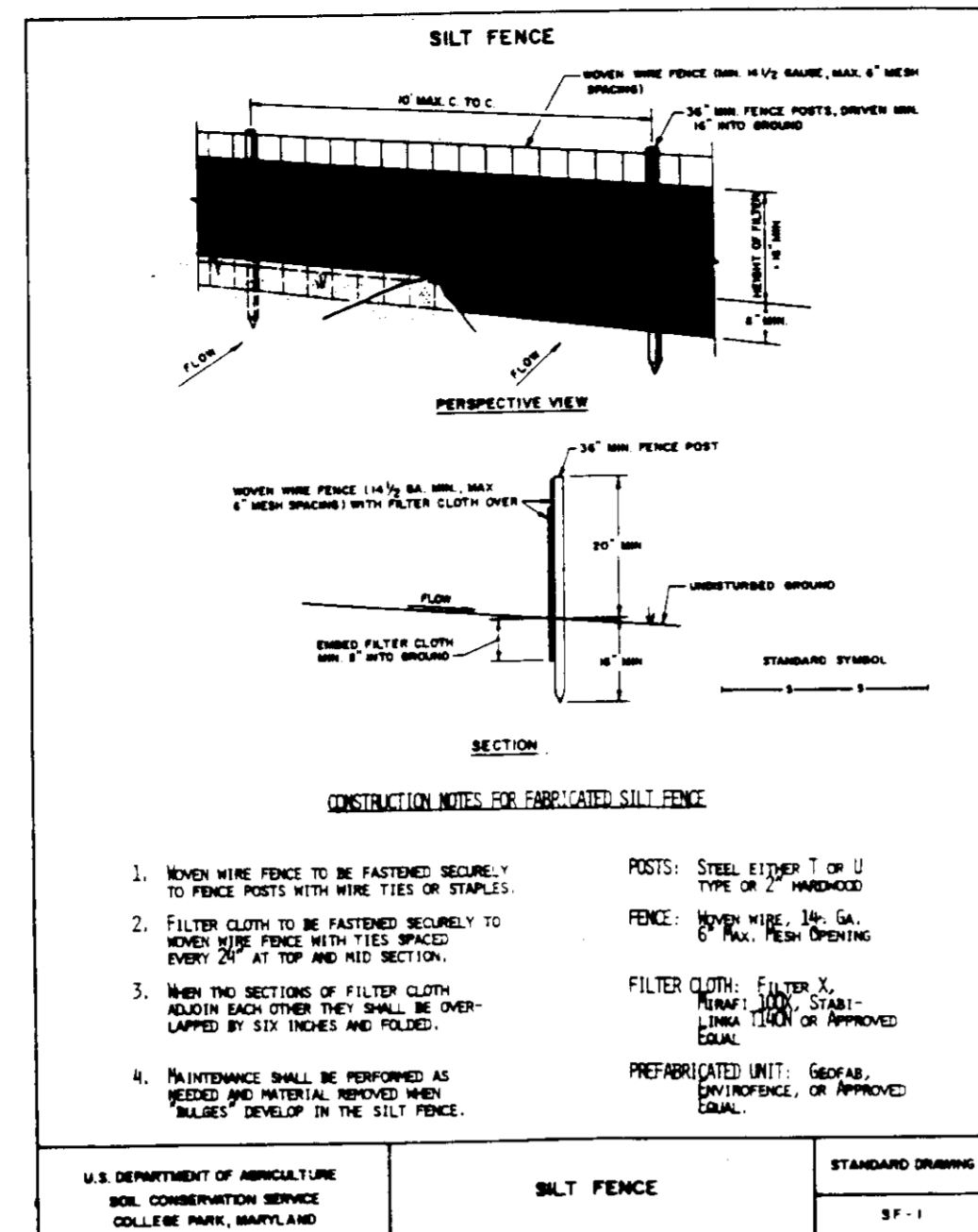
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 square feet).

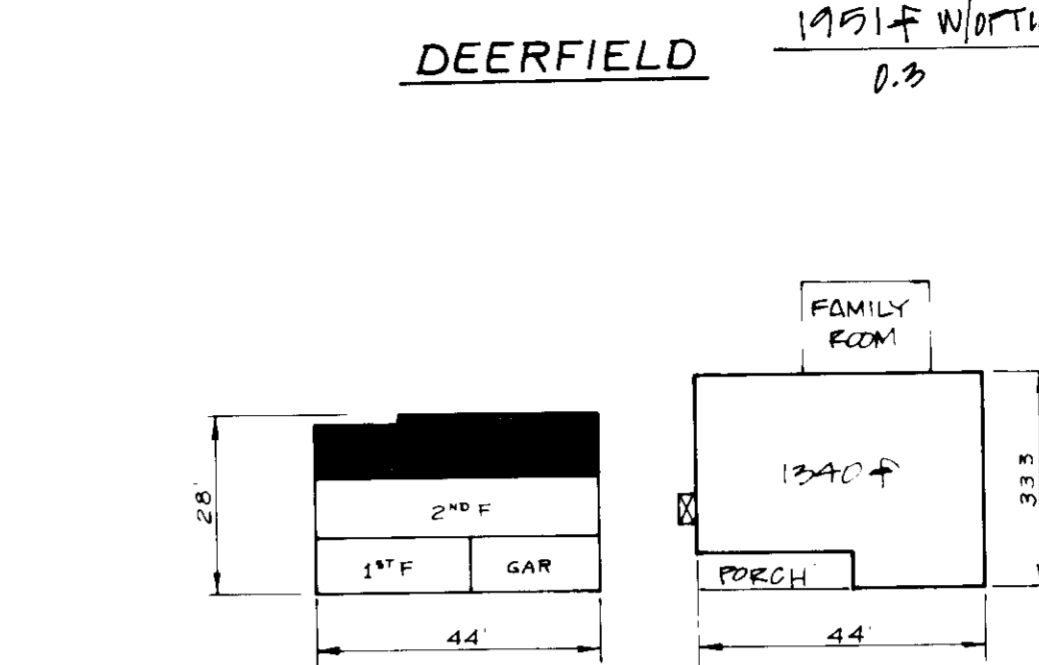
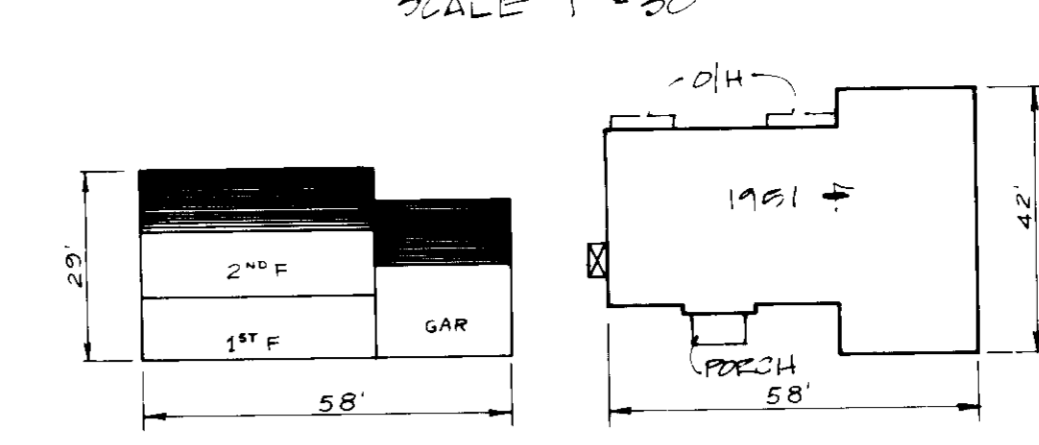
Seeding: For periods March 1 through April 30 and from August 15 through November 15, seed with 2 1/2 bushels per acre of Annual Rye (3.2 lbs./1000 square feet). For the period May 1 through August 14, seed with 3 lbs. per acre of Weeping Love, or Lehmanns Lovegrass (.07 lbs./1000 square feet). For the period November 16 through February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 square feet) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 square feet) of Baulsified Asphalt on flat areas. On slopes 8 ft. or higher, use 348 gallons per acre (8 gal./1000 square feet) for anchoring.

Refer to the 1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control for rate and methods not covered.



TYPICAL HOUSE TYPES



Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: (1) seven (7) calendar days for all perimeter sediment control structures, dikes, slopes, ditches, perimeter slopes and all slopes greater than 3:1, (2) fourteen (14) days as to all other disturbed or graded areas on project site.

Professional Certification: I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a certificate of attendance at a Department of Natural Resources Approved Training Program for the control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Engineer's Certificate: I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Developer's Certification: I/We certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Approved for Howard C.D. and meets technical requirements.
Date: 6/17/92
Signature: [Signature]

Approved for Public Water and Public Sewage systems, Howard County Health Department.
Date: 6/19/92
Signature: [Signature]

Approved for Public Water and Public Sewage systems, Howard County Health Department.
Date: 6/25/92
Signature: [Signature]

Approved: Howard County Department of Planning & Zoning
Date: 6/30/92
Signature: [Signature]

Approved: Howard County Department of Public Works, Storm Drainage System and Public Road.
Date: 6/29/92
Signature: [Signature]

Approved: Howard County Department of Public Works, Storm Drainage System and Public Road.
Date: 6/24/92
Signature: [Signature]

Approved: Howard County Department of Public Works, Storm Drainage System and Public Road.
Date: 6/23/92
Signature: [Signature]

Contractor - Purchaser
MOUNT BAY HOMES
10304-A CENTENNIAL SQUARE
BALTIMORE NATIONAL PIKE
ELLCOTT CITY MD, 21043
410-780-3906

NO.	REVISIONS	DATE



DEVELOPMENT CONSULTANTS GROUP, INC.
17904 GEORGIA AVENUE # 102
OLNEY, MARYLAND 20832
301-924-4570

SINGLE FAMILY DETACHED UNITS
SITE DEVELOPMENT / SEDIMENT CONTROL DETAILS
LOTS 3-10, 15 & 16
SENECA FARMS
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
TAX MAP 36 - PLAT NO. 9600, 1601 & 9984

DATE	Sheet
APRIL, 1992	2
DRAWN E.M.	of 2
CHECKED M.L.S.	PROJECT NO. 248-001
SCALE AS SHOWN	SDP-92-100