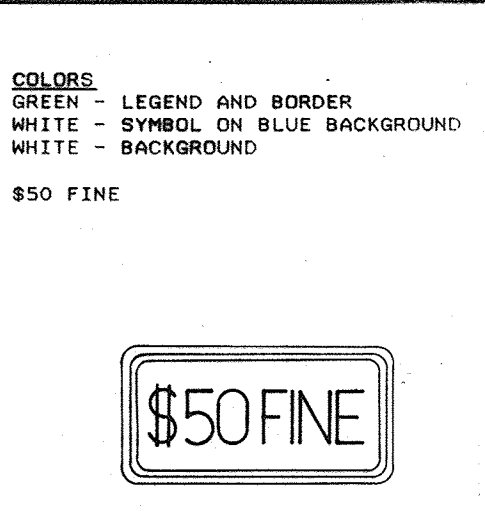
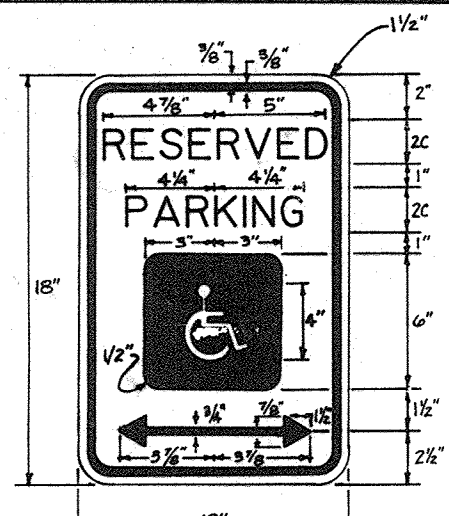
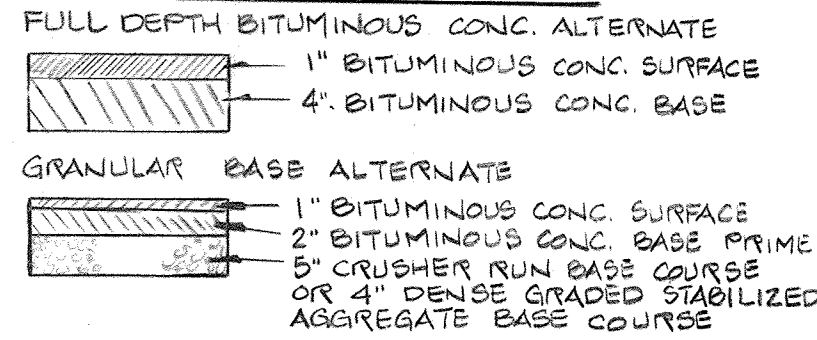
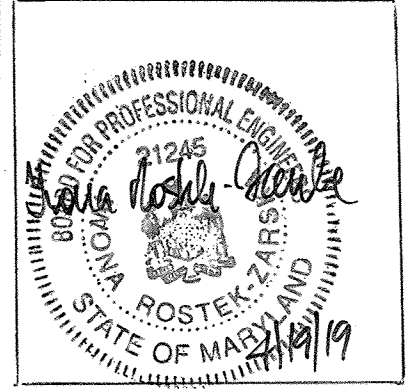


**FULL DEPTH PAVING SECTION P-1**



**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IMONA ROSTER-ZARSKA AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2020.



FOR REVISION # ONLY

BALTIMORE LAND DESIGN GROUP, INC.  
 230 SCHILLING CIRCLE, SUITE 304  
 HUNT VALLEY, MARYLAND 21031  
 PHONE: 410-229-9851

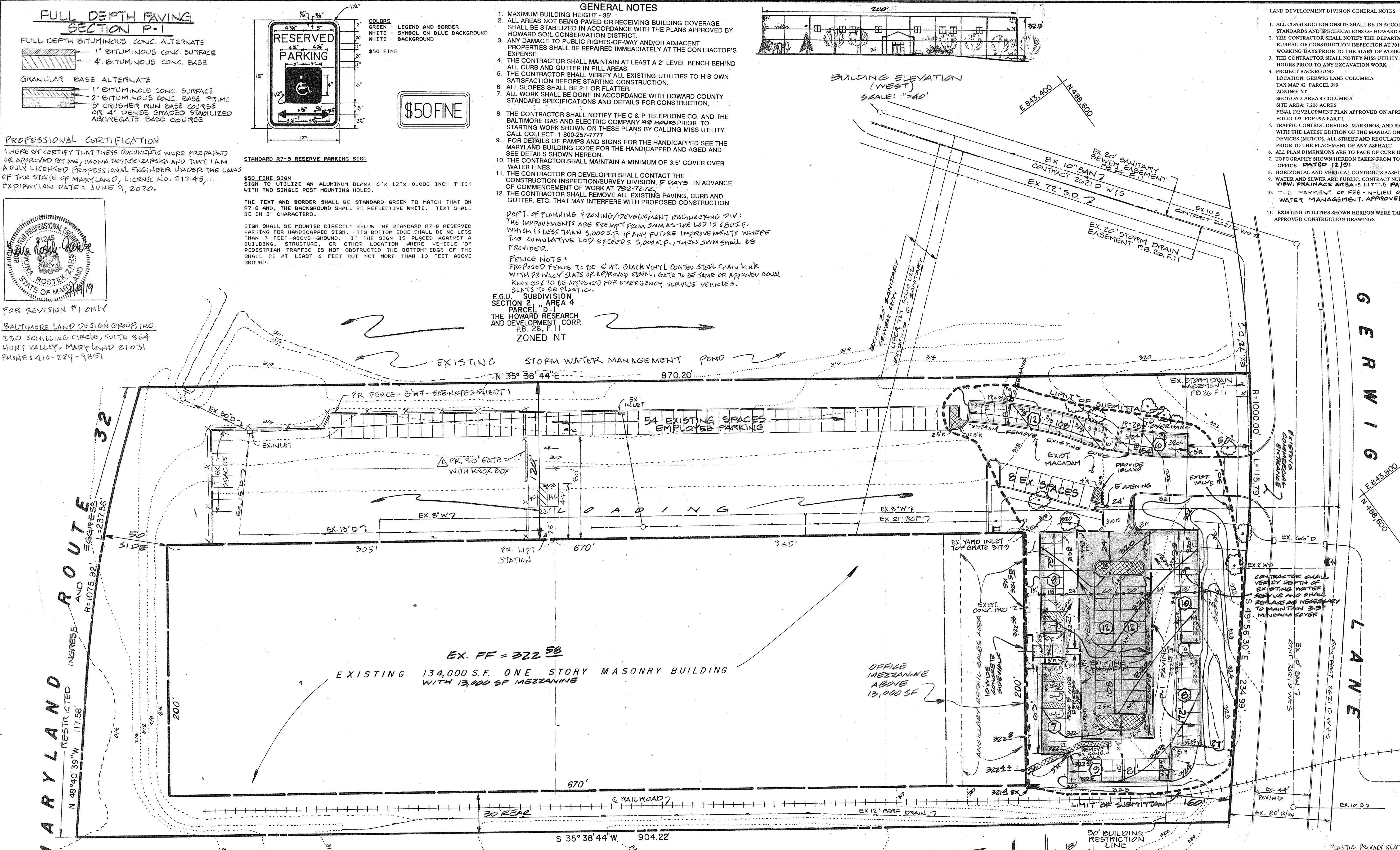
**GENERAL NOTES**

- MAXIMUM BUILDING HEIGHT - 35'
- ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY HOWARD SOIL CONSERVATION DISTRICT.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN AT LEAST A 2' LEVEL BENCH BEHIND ALL CURB AND GUTTER IN FILL AREAS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
- ALL SLOPES SHALL BE 2:1 OR FLATTER.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE C & P TELEPHONE CO. AND THE BALTIMORE GAS AND ELECTRIC COMPANY 48 HOURS PRIOR TO STARTING WORK SHOWN ON THESE PLANS BY CALLING MISS UTILITY, CALL COLLECT 1-800-257-7777.
- FOR DETAILS OF RAMPS AND SIGNS FOR THE HANDICAPPED SEE THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED AND SEE DETAILS SHOWN HEREON.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5' COVER OVER WATER LINES.
- THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION/SURVEY DIVISION, 5 DAYS IN ADVANCE OF COMMENCEMENT OF WORK AT 792-7272.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING, CURB AND GUTTER, ETC. THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.

DEPT. OF PLANNING & ZONING/DEVELOPMENT ENGINEERING DIV:  
 THE IMPROVEMENTS ARE EXEMPT FROM SWMM AS THE LOT IS 6005 SF WHICH IS LESS THAN 5,000 SF. IF ANY FUTURE IMPROVEMENTS WHERE THE CUMULATIVE LOT EXCEEDS 5,000 SF, THEN SWMM SHALL BE PROVIDED.

FENCE NOTE:  
 PROPOSED FENCE TO BE 6' HT. BLACK VINYL COATED STEEL CHAIN LINK WITH PR VINYL SLATS OR APPROVED EQUIV. GATE TO BE SAME OR APPROVED EQUIV. SLATS TO BE PLASTIC.

E.G.U. SUBDIVISION SECTION 2 AREA 4 PARCEL D-1 THE HOWARD RESEARCH AND DEVELOPMENT CORP. FB. 26.11 ZONED NT



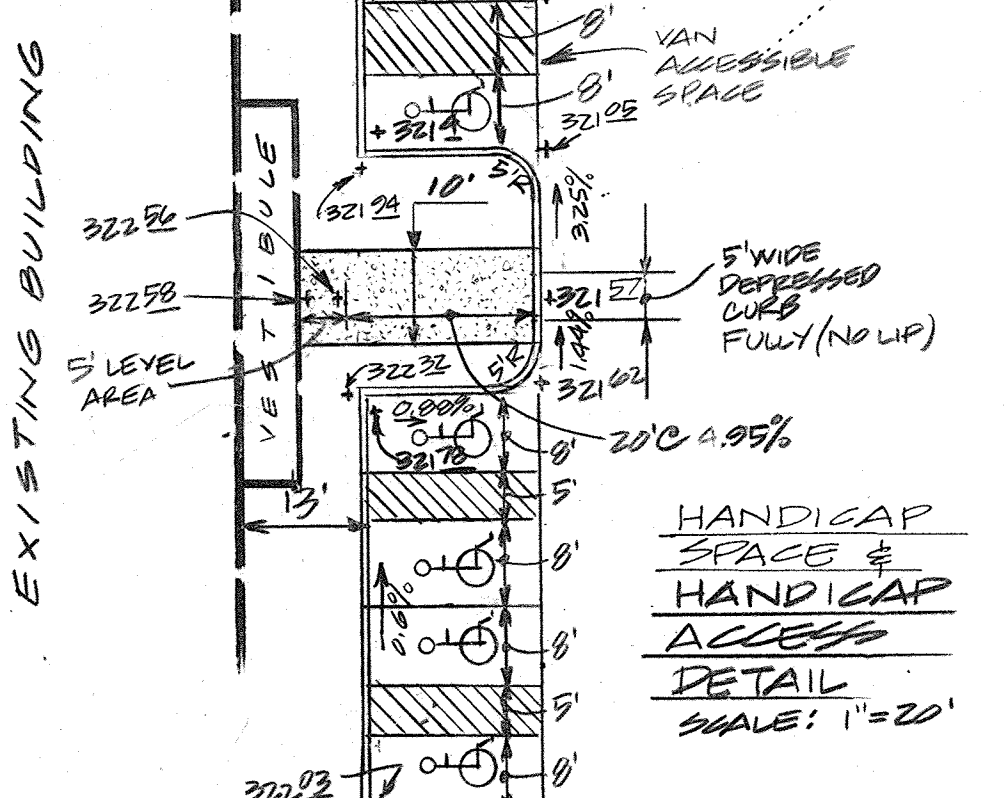
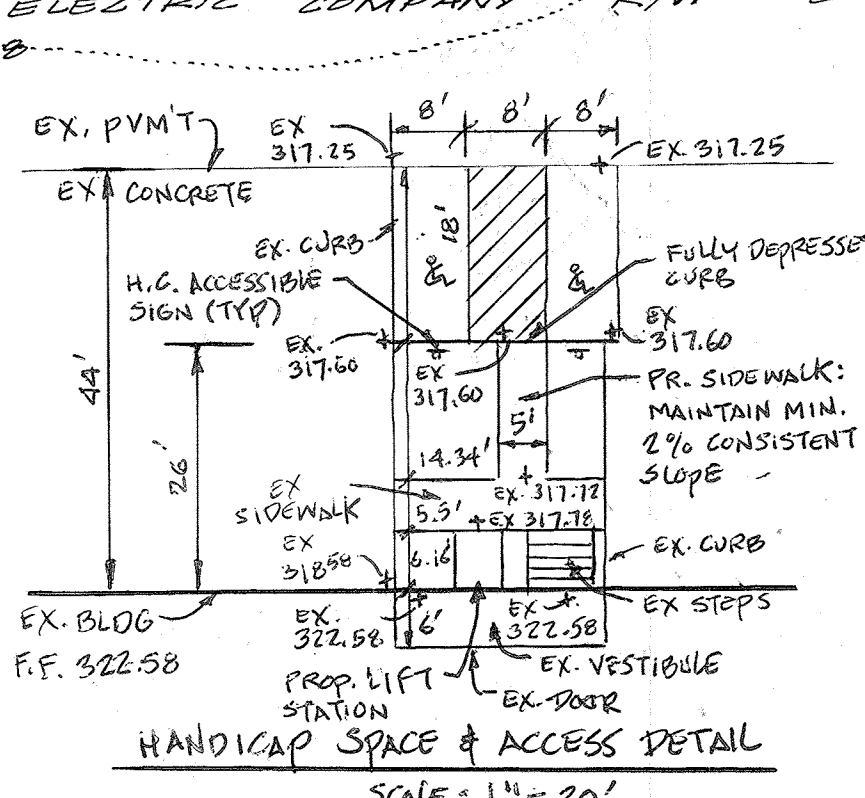
**PARKING TABULATION**

PARKING REQUIREMENTS PER FDP 99A PART 1  
 50 EMPLOYEE WAREHOUSE @ 1 SP/EMPLOYEE = 50 SPS  
 25,900 SF OFFICE SPACE @ 2 SP/1000 SF = 52 SPS  
 TOTAL REQUIRED PER FDP = 112 SPS

TOTAL PARKING PROVIDED  
 STANDARD 9' x 18' SPACES = 144 SPACES  
 HANDICAP SPACES @ 13' x 18' OR TWO SIDE BY SIDE @ 21' x 18' = 7 SPACES  
 TOTAL PARKING PROVIDED = 151 SPACES

**SITE ANALYSIS**

EXISTING ZONING -	NT - EMPLOYMENT CENTER - INDUSTRIAL, FDP 99A, PART 1
TOTAL AREA OF SITE -	52.096 SF OR 1.196 ACS.
AREA OF SUBMITTAL -	PLATBOOK 26 FOLIO 11
PROPERTY REFERENCE -	PARCEL E-1 COLUMBIA E.G.U. - F 73-01C
EXISTING USE -	SUBDIVISION SECTION 2 AREA 4 OFFICE WAREHOUSE BUILDING
PROPOSED USE -	WAREHOUSE BUILDING WITH OFFICE
TOTAL FLOOR AREA -	124,000 SF WAREHOUSE 10,000 SF ANCILLARY RETAIL 13,000 SF OFFICE MEZZANINE
FLOOR AREA RATIO -	0.47
147,000 SF/313,980 SF (7.208 ACS.)	
% OPEN SPACE -	1.95 ACS./7.208 ACS. = 27%
% BUILDING COVERAGE W/ PAVING -	5.26 ACS./7.208 ACS. = 73%
TOTAL AREA OF NEW PARKING LOTS -	31,920 SF
% OF LANDSCAPED ISLANDS WITHIN NEW PARKING LOTS TO NEW PARKING LOT -	6.83%
AREA TO BE DISTURBED -	41380 SF OR 0.95 ACS.



**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 658 KENILWORTH DRIVE, SUITE 100  
 TOWSON, MARYLAND 21284  
 (301) 825-8120

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: *Jam. E.M.*  
 REG. NO.: 210,898 DATE: 5/22/92

**OWNER/DEVELOPER**  
**T.C.W. REALTY**  
 MARYLAND NO. 5 LIMITED PARTNERSHIP  
 30 ROSEHARF  
 BOSTON MASSACHUSETTS 02110  
 c/o TRAMMELL CROW COMPANY  
 9841 BROKENLAND PARKWAY  
 COLUMBIA, MARYLAND 21046  
 410-381-9500

**DEVELOPER'S CERTIFICATE**

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE TOWN & SOIL CONSERVATION DISTRICT.

DEVELOPER: *D. Hudson*  
 NAME: TITLE: *REAL MANAGER*

PN 06912

DESIGNED: J.E.M.  
 DRAWN: P.M.N.  
 CHECKED:

THESE PLANS FOR S.W.M. CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *John L. Roberts* 5/28/92  
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT  
 SDP-92-87  
 PLAN NUMBER DATE

REVIEWED FOR THE HOWARD CONSERVATION DISTRICT TO MEET TECHNICAL REQUIREMENTS.  
 APPROVED: *James M. Helms* 5/28/92  
 APPROVED: HOWARD CONSERVATION DISTRICT  
 SDP-92-87  
 PLAN NUMBER DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 APPROVED: *James M. Helms* 6/18/92  
 HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 APPROVED: *James M. Helms* 6/24/92  
 DIRECTOR DATE

APPROVED: *James M. Helms* 6/28/92  
 CHIEF DIVISION OF COMMUNITY PLANNING DATE  
 AND LAND DEVELOPMENT

APPROVED FOR PUBLIC WATER, SEWER, STORM DRAIN SYSTEM, AND PUBLIC ROADS.  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 APPROVED: *James M. Helms* 6/18/92  
 DIRECTOR DATE

CHIEF BUREAU OF ENGINEERING DATE

ADDRESS CHART

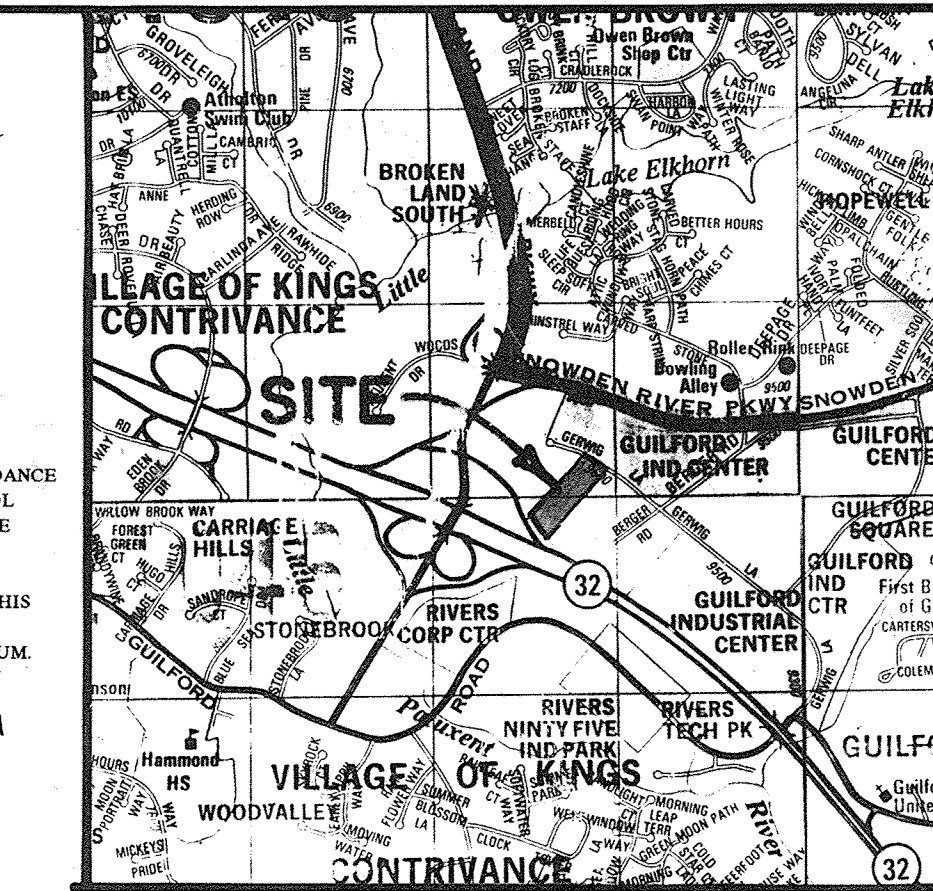
BUILDING NO.	STREET ADDRESS
0645	GERWIG LANE

SUBDIVISION NAME	SECT. AREA	LOT/PARCEL
E.G.U. SUBDIVISION	214	E-1
PLAT NO. OR LIF	BLOCK NO.	ZONE
26-11	9	NT
TAX MAP	ELECT. DIST.	CENSUS TRACT
42	6TH	0067.03
WATER CODE	SEWER CODE	
E-06	5280000	

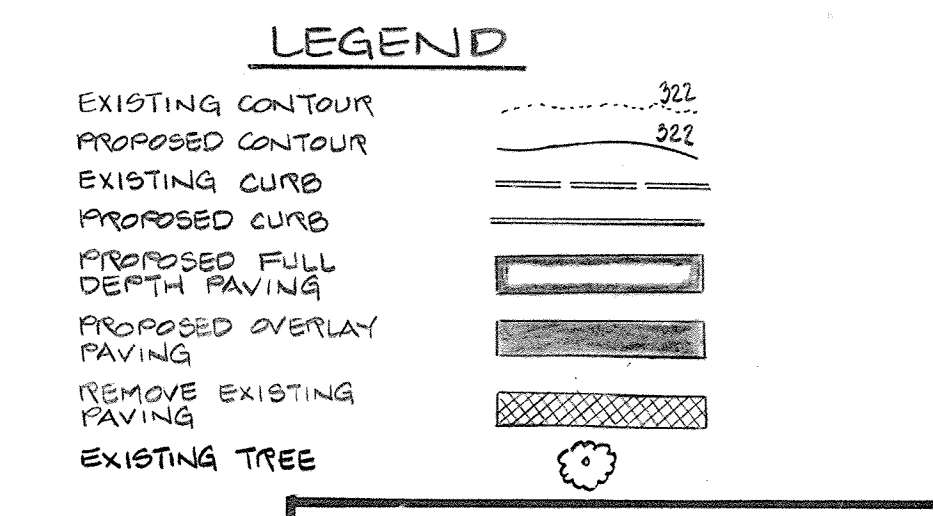
**SITE DEVELOPMENT PLAN**  
**PROPOSED PARKING EXPANSION**  
**CHASELLE INC.**

PARKING LOT ADDITION TO SDP-75-85C  
 No. 9645 GERWIG LANE E.G.U. SUBDIVISION  
 PARCEL E-1 SECTION 2 AREA 4  
 HOWARD COUNTY, MD JANUARY, 1992  
 6TH ELECTION DISTRICT TAX MAP 42 PARCEL 399  
 SCALE 1" = 40' SHEET 1 OF 3

SDP-92-87



BENCHMARK: 322.58 FIRST FLOOR OF EXISTING MASONRY BUILDING.

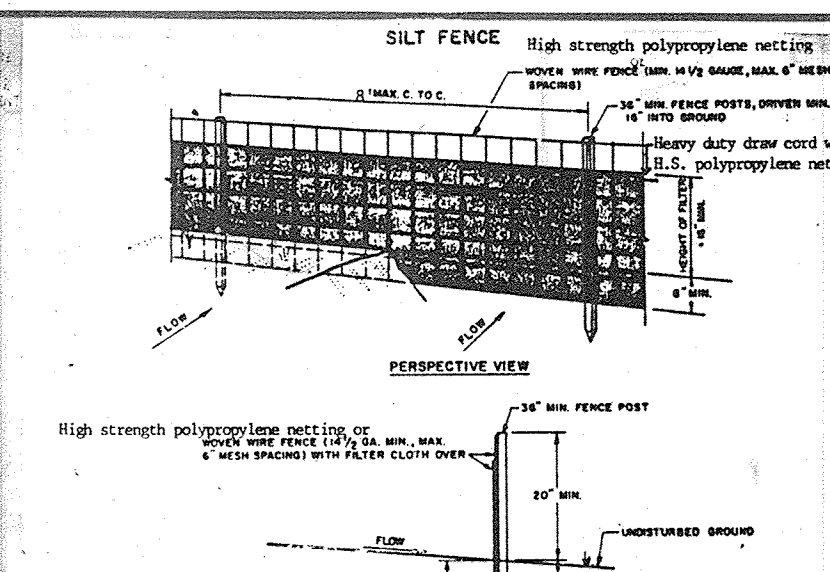
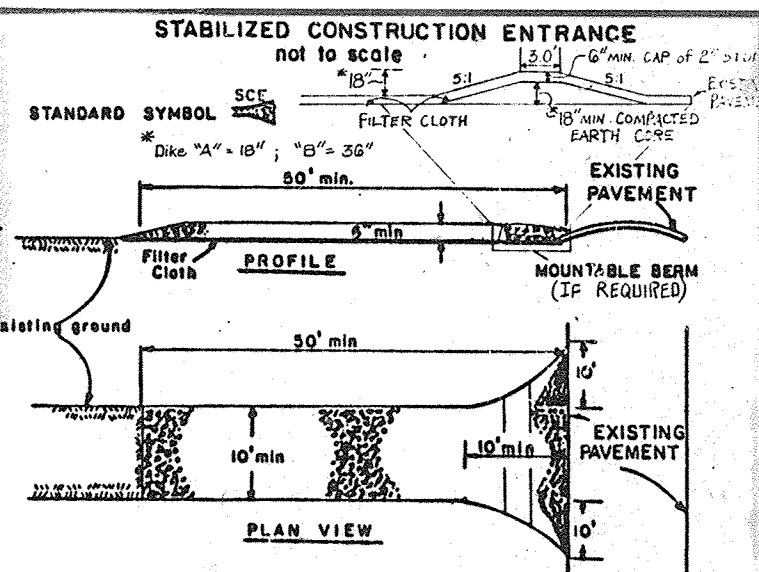


**APPROVED PLANNING BOARD OF HOWARD COUNTY**  
 DATE: 4-28-92.

SEDIMENT CONTROL NOTES

- 1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (1992-2437)
2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

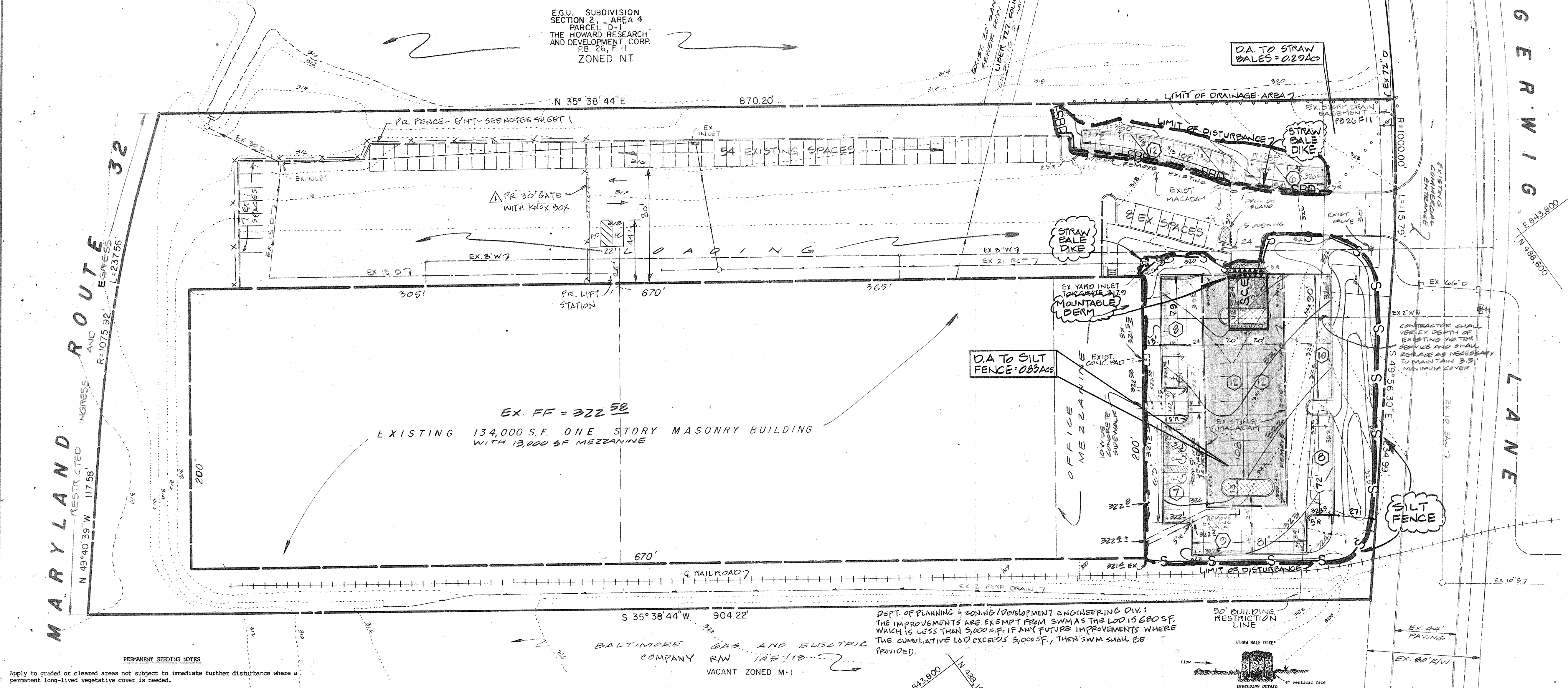
- 8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9) Additional sediment controls must be provided, if deemed necessary by the Howard County DPM sediment control inspector.
10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.



- 1. Stone Size - The stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 50 ft. (except on a single residence lot where a 30 ft. minimum length would apply).
3. Thickness - Not less than 6 inches.
4. Width - Ten (10) ft. minimum, but not less than the full width at points where ingress or egress occurs.

- 1. High strength polypropylene netting or to fence posts with wire ties or staples.
2. Filter cloth to be fastened securely to both sides of the fence with 1/2" galvanized steel wire.
3. Men on site of filter cloth must be removed immediately.
4. Maintenance shall be provided after each rain.

Site Analysis: Total Area of Site 7.100 Acres, Area Disturbed 0.15 Acres, Area to be seeded or planted 2.56 Acres, Area to be vegetatively stabilized 0.30 Acres, Total Cut 650 Cu. yds, Total Fill 200 Cu. yds, Offsite waste/borrow area location TO BE DETERMINED

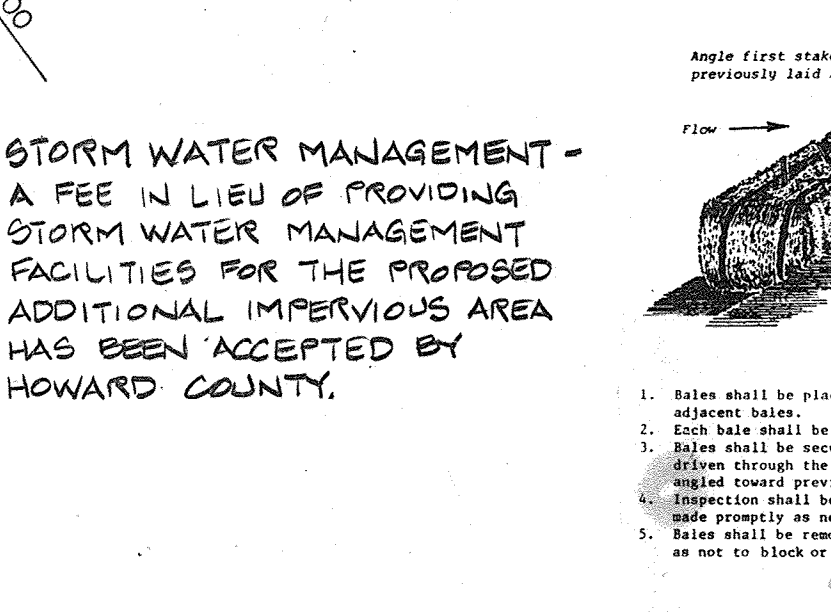


- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 800 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 100 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding.

- 1) Notify Howard County Department of Inspections, Permit Inspector 48 hours prior to beginning any work.
2) Clear and grub for sediment control measures only.
3) Install all sediment control measures and devices.
4) Begin grading.
5) Install curb and gutter and lay stone sub-base in parking areas.
6) Stabilize areas to remain grass in accordance with seeding specifications hereon.

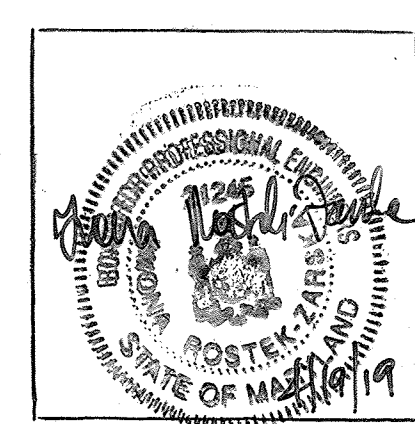
SEQUENCE OF OPERATIONS: 1. NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, PERMIT INSPECTOR 48 HOURS PRIOR TO BEGINNING ANY WORK. 2. CLEAR AND GRUB FOR SEDIMENT CONTROL MEASURES ONLY. 3. INSTALL ALL SEDIMENT CONTROL MEASURES AND DEVICES. 4. BEGIN GRADING. 5. INSTALL CURB AND GUTTER AND LAY STONE SUB-BASE IN PARKING AREAS. 6. STABILIZE AREAS TO REMAIN GRASS IN ACCORDANCE WITH SEEDING SPECIFICATIONS HEREON. 7. PROCEED WITH PAVING OPERATIONS. 8. AFTER OBTAINING PERMISSION FROM SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE.

STORM WATER MANAGEMENT - A FEE IN LIEU OF PROVIDING STORM WATER MANAGEMENT FACILITIES FOR THE PROPOSED ADDITIONAL IMPERVIOUS AREA HAS BEEN ACCEPTED BY HOWARD COUNTY.

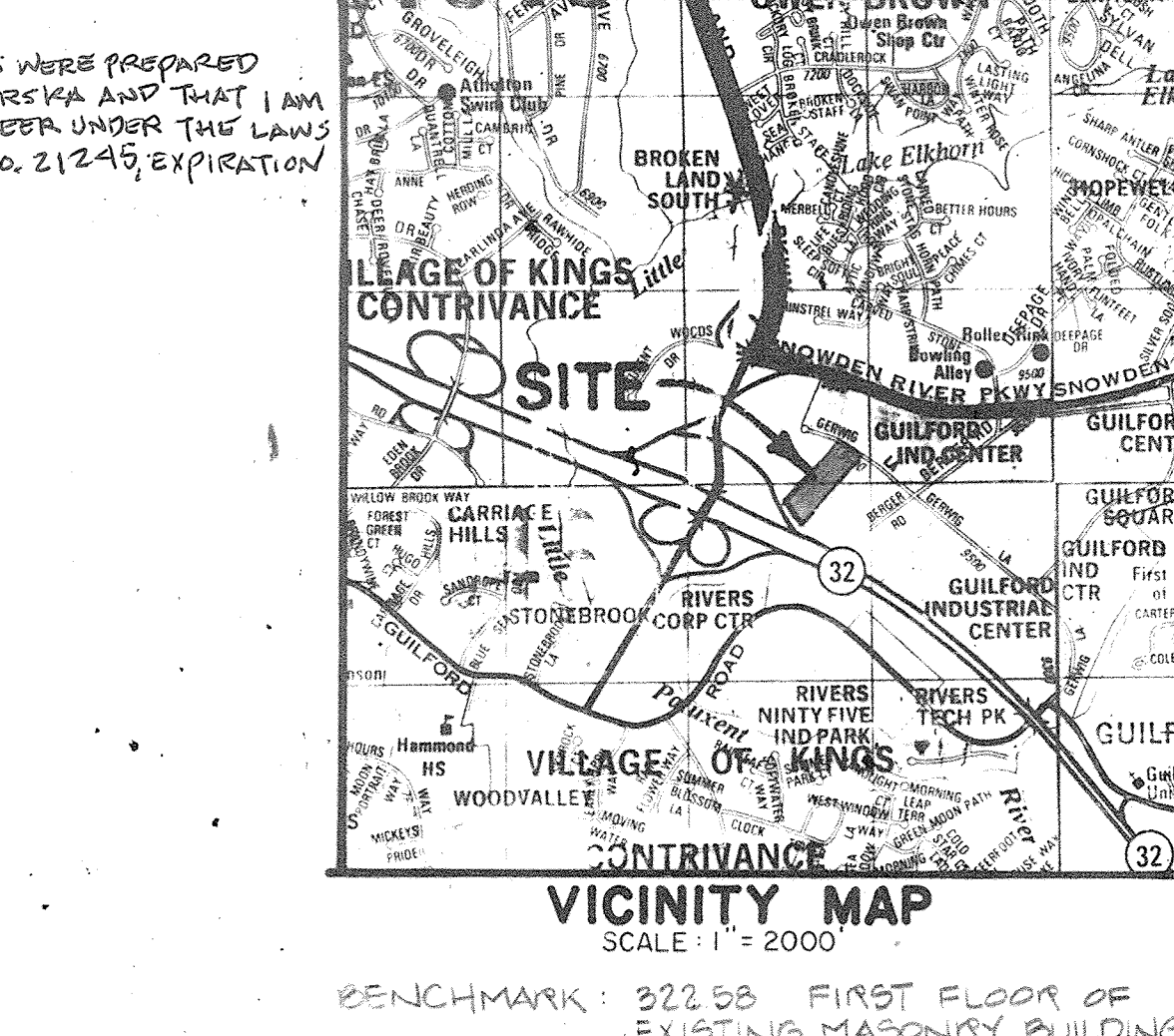


- 1. Bales shall be placed in a row with ends tightly abutting the adjacent bales.
2. Each bale shall be embedded in the soil a minimum of 4".
3. Bales shall be securely anchored to stakes or rebar driven through the bales. The first stake in each bale shall be drilled through previously laid bales or fence before together.

NOTE: THIS PLAN IS TO BE USED FOR THE INSTALLATION OF SEDIMENT AND EROSION CONTROL DEVICES ONLY. SEE SHEET 1 OF 3 FOR SITE WORK DETAILS.



PROFESSIONAL CERTIFICATE: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWOHA ROSTEK-ZARSKA AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245 EXPIRATION DATE: JUNE 9, 2020.



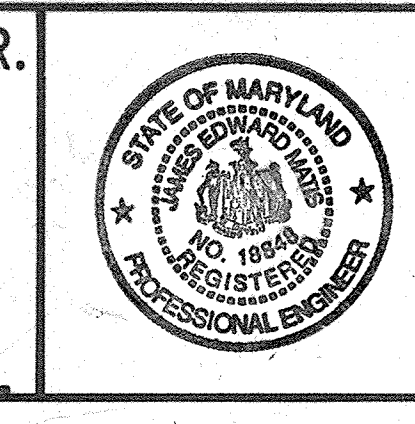
VICINITY MAP SCALE: 1" = 2000'. BENCHMARK: 322.58 FIRST FLOOR OF EXISTING MASONRY BUILDING. LEGEND: EXISTING CONTOUR, PROPOSED CONTOUR, EXISTING CURB, PROPOSED CURB, SILT FENCE, MOUNTABLE BERM, STRAW BALE DIKE, LIMIT OF DISTURBANCE, LIMIT OF DRAINAGE AREA.

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: 4-28-92.

APPROVED FOR HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING: James M. Helm, 5/28/92. APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS: Howard County Health Department, 6/18/92. APPROVED FOR PUBLIC WATER, SEWER, STORM DRAIN SYSTEM, AND PUBLIC ROADS: Howard County Department of Public Works, 6/24/92.

Table with columns: ADDRESS CHART (BUILDING NO., STREET ADDRESS, 9645 GERWIG LANE), SUBDIVISION NAME (E.G.U. SUBDIVISION), SECT./AREA (2/4), LOT/PARCEL (E-1), PLAT NO. OR LIF (26-11), BLOCK NO. (2), ZONE (NT), TAX MAP (42), ELECT. DIST. (6TH), CENSUS TRACT (6067.03), WATER CODE (E-06), SEWER CODE (5280000).

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC. CIVIL ENGINEERS & LAND SURVEYORS. 658 KENILWORTH DRIVE, SUITE 100 TOWSON, MARYLAND 21204 (301) 825-8120.



ENGINEER'S CERTIFICATE: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. ENGINEER: Jan 47, 10, 296 DATE: 5/22/92

OWNER / DEVELOPER: T.C.W. REALTY, MARYLAND No. 5 LIMITED PARTNERSHIP, 30 ROSEWARF, BOSTON MASSACHUSETTS 02110, c/o TRAMMELL CROW COMPANY, 9841 BROCKENLAND PARKWAY, COLUMBIA, MARYLAND 21046, 410-381-9500.

DEVELOPER'S CERTIFICATE: I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. DEVELOPER: [Signature] DATE: 5/18/92

REVISION: 1/28/19 ADDED SPACES & LIFT, PER NEW USER, ADDITION OF FENCE & GATE.

SEDIMENT AND EROSION CONTROL PLAN PROPOSED PARKING EXPANSION CHASELLE INC. PARKING LOT ADDITION TO SDP-75-85C No. 9645 GERWIG LANE PARCEL E-1 SECTION 2 AREA 4 HOWARD COUNTY, MD 6TH ELECTION DISTRICT SCALE 1" = 40' JANUARY, 1992 TAX MAP 42 PARCEL 399 SHEET 2 OF 3 SDP-92-87

