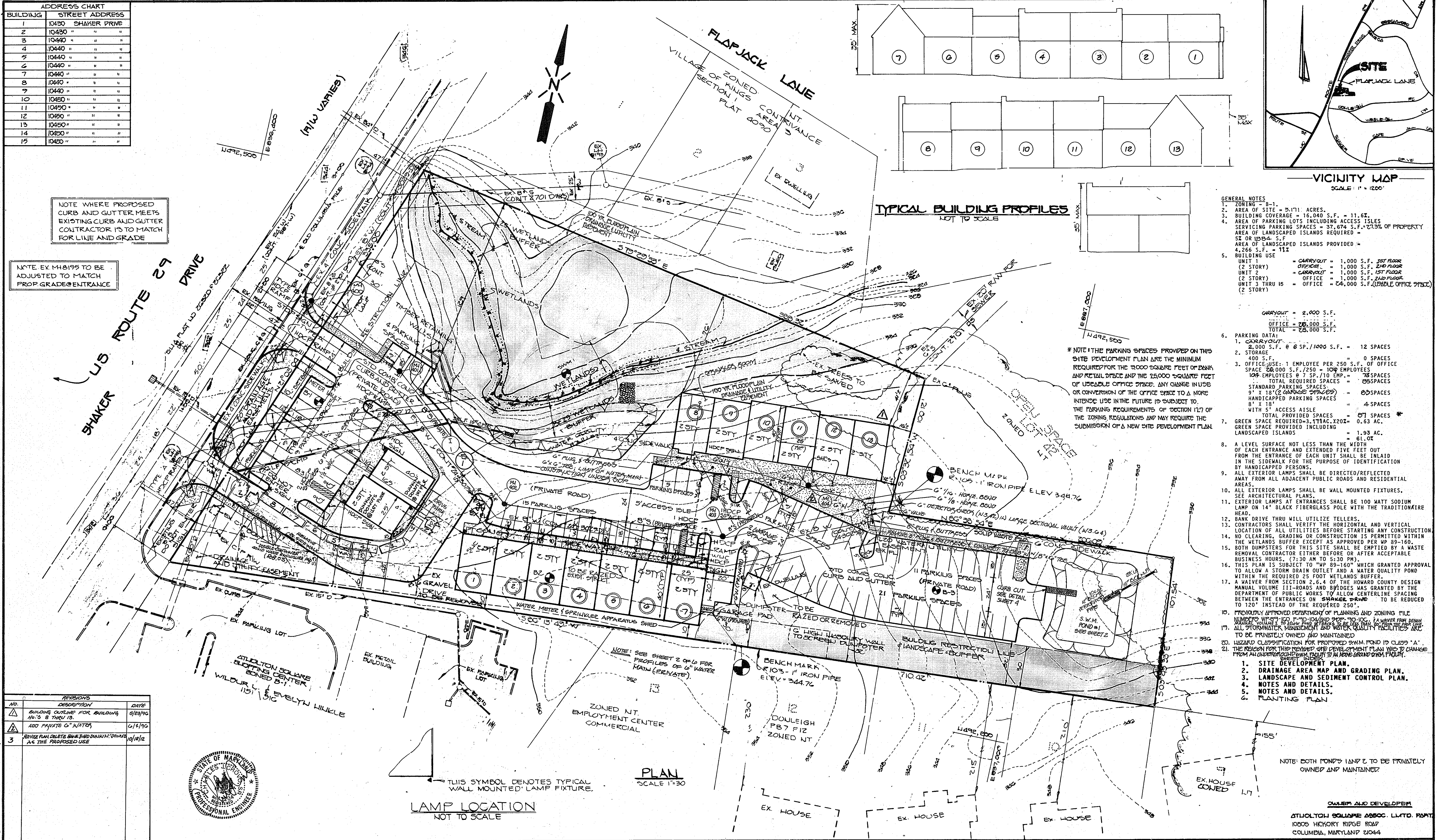


BUILDING	STREET ADDRESS
1	10430 SHAKER DRIVE
2	10430 " " "
3	10440 " " "
4	10440 " " "
5	10440 " " "
6	10440 " " "
7	10440 " " "
8	10440 " " "
9	10440 " " "
10	10450 " " "
11	10450 " " "
12	10450 " " "
13	10450 " " "
14	10450 " " "
15	10450 " " "

NOTE WHERE PROPOSED CURB AND GUTTER MEETS EXISTING CURB AND GUTTER CONTRACTOR IS TO MATCH FOR LINE AND GRADE

NOTE EX M48195 TO BE ADJUSTED TO MATCH PROP GRADES ENTRANCE



TYPICAL BUILDING PROFILES NOT TO SCALE

- GENERAL NOTES
- ZONING - B-1.
 - AREA OF SITE - 3.171 ACRES.
 - BUILDING COVERAGE - 16,040 S.F. = 11.6%.
 - AREA OF PARKING LOTS INCLUDING ACCESS ISLES SERVING PARKING SPACES - 37,674 S.F. = 27.3% OF PROPERTY AREA OF LANDSCAPED ISLANDS REQUIRED - 5% OR 1584 S.F.
 - AREA OF LANDSCAPED ISLANDS PROVIDED - 4,266 S.F. = 11%
 - BUILDING USE UNIT 1 - CARRYOUT = 1,000 S.F. 1ST FLOOR OFFICE = 1,000 S.F. 2ND FLOOR (2 STORY) - CARRYOUT = 1,000 S.F. 1ST FLOOR OFFICE = 1,000 S.F. 2ND FLOOR (2 STORY) UNIT 3 THRU 15 - OFFICE = 1,000 S.F. 1ST FLOOR OFFICE = 1,000 S.F. 2ND FLOOR (2 STORY)
 - CARRYOUT = 2,000 S.F. OFFICE = 20,000 S.F. TOTAL = 22,000 S.F.
 - PARKING DATA: 1. CARRYOUT - 2,000 S.F. @ 6 SP./1000 S.F. = 12 SPACES 2. STORAGE 400 S.F. 3. OFFICE/USE: 1 EMPLOYEE PER 250 S.F. OF OFFICE SPACE 20,000 S.F./250 = 100 EMPLOYEES 100 EMPLOYEES @ 7 SP./10 EMP. = 700 SPACES TOTAL REQUIRED SPACES = 750 SPACES STANDARD PARKING SPACES = 65 SPACES 9' x 18' (2 GARAGE SPACES) = 36 SPACES HANDICAPPED PARKING SPACES 8' x 18' = 4 SPACES WITH 5' ACCESS AISLE = 07 SPACES TOTAL PROVIDED SPACES = 07 SPACES GREEN SPACE REQUIRED = 3.11 AC. 20% GREEN SPACE PROVIDED INCLUDING = 1.93 AC. LANDSCAPED ISLANDS = 61.02
 - A LEVEL SURFACE NOT LESS THAN THE WIDTH OF EACH ENTRANCE AND EXTENDED FIVE FEET OUT FROM THE ENTRANCE OF EACH UNIT SHALL BE INLAIN IN THE SIDEWALK FOR THE PURPOSE OF IDENTIFICATION BY HANDICAPPED PERSONS.
 - ALL EXTERIOR LAMPS SHALL BE DIRECTED/REFLECTED AWAY FROM ALL ADJACENT PUBLIC ROADS AND RESIDENTIAL AREAS.
 - ALL EXTERIOR LAMPS SHALL BE WALL MOUNTED FIXTURES. SEE ARCHITECTURAL PLANS.
 - EXTERIOR LAMPS AT ENTRANCES SHALL BE 100 WATT SODIUM LAMP ON 14" BLACK FIBERGLASS POLE WITH THE TRADITIONAIRE HEAD.
 - BANK DRIVE THRU WILL UTILIZE TELLERS.
 - CONTRACTORS SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES BEFORE STARTING ANY CONSTRUCTION AND CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS BUFFER EXCEPT AS APPROVED PER WP 89-160.
 - BOTH DUMPSTERS FOR THIS SITE SHALL BE EMPTIED BY A WASTE REMOVAL CONTRACTOR EITHER BEFORE OR AFTER ACCEPTABLE BUSINESS HOURS. (7:30 AM TO 5:30 PM)
 - THIS PLAN IS SUBJECT TO "WP 89-160" WHICH GRANTED APPROVAL TO ALLOW A STORM DRAIN OUTLET AND A WATER QUALITY POND WITHIN THE REQUIRED 25 FOOT WETLANDS BUFFER.
 - A WAIVER FROM SECTION 2.6.4 OF THE HOWARD COUNTY DESIGN MANUAL VOLUME III - ROADS AND BRIDGES WAS GRANTED BY THE DEPARTMENT OF PUBLIC WORKS TO ALLOW CENTERLINE SPACING BETWEEN THE ENTRANCES ON SHAKER DRIVE TO BE REDUCED TO 120' INSTEAD OF THE REQUIRED 250'.
 - PROPOSED APPROVED DEPARTMENT OF PLANNING AND ZONING FILE NUMBER WP 89-160. FOR 10' WETLANDS BUFFER. A WAIVER FROM DESIGN MANUAL VOLUME III - ROADS AND BRIDGES WAS GRANTED BY THE DEPARTMENT OF PUBLIC WORKS TO ALLOW CENTERLINE SPACING BETWEEN THE ENTRANCES ON SHAKER DRIVE TO BE REDUCED TO 120' INSTEAD OF THE REQUIRED 250'.
 - ALL STORMWATER MANAGEMENT AND WATER QUALITY FACILITIES ARE TO BE PRIVATELY OWNED AND MAINTAINED.
 - HAZARD CLASSIFICATION FOR PROPOSED SWM POND IS CLASS "A".
 - THE REASON FOR THIS RECLASSIFICATION IS THE DEVELOPMENT PLAN WHO TO CHANGE FROM AN UNDERSTANDING SWM POND TO AN OPEN GRASS SWM POND.

* NOTE: THE PARKING SPACES PROVIDED ON THIS SITE DEVELOPMENT PLAN ARE THE MINIMUM REQUIRED FOR THE 3000 SQUARE FEET OF BANK AND RETAIL SPACE AND THE 25000 SQUARE FEET OF USABLE OFFICE SPACE. ANY CHANGE IN USE OR CONVERSION OF THE OFFICE SPACE TO A MORE INTENSE USE IN THE FUTURE IS SUBJECT TO THE PARKING REQUIREMENTS OF SECTION 17.7 OF THE ZONING REGULATIONS AND MAY REQUIRE THE SUBMISSION OF A NEW SITE DEVELOPMENT PLAN.

NO.	REVISIONS DESCRIPTION	DATE
1	BUILDING OUTLINE FOR BUILDING 10'S & THRU 15.	8/28/96
2	ADD PRIVATE 6" WATER	6/14/96
3	REVISE PLAN DELETE BANK DRIVE DUMPSTER SPACES AS THE PROPOSED USE	12/12/96



LAMP LOCATION NOT TO SCALE

PLAN SCALE 1"=30'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 7171 BALTIMORE NATIONAL PIKE, SUITE 100
 ELICOTT CITY, MARYLAND 21042
 TELEPHONE: (410) 421-7055
 FAX: (410) 750-3784

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature]
 DATE: 10/24/91

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENTATION AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: [Signature]
 DATE: 10/24/91

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Signature: [Signature] 10/26/92
 DATE: 10/26/92

APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: [Signature] 1/7/93
 DATE: 1/7/93

CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

Signature: [Signature] 12/31/92
 DATE: 12/31/92

HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS

Signature: [Signature] 12/29/92
 DATE: 12/29/92

DIRECTOR, PUBLIC WORKS

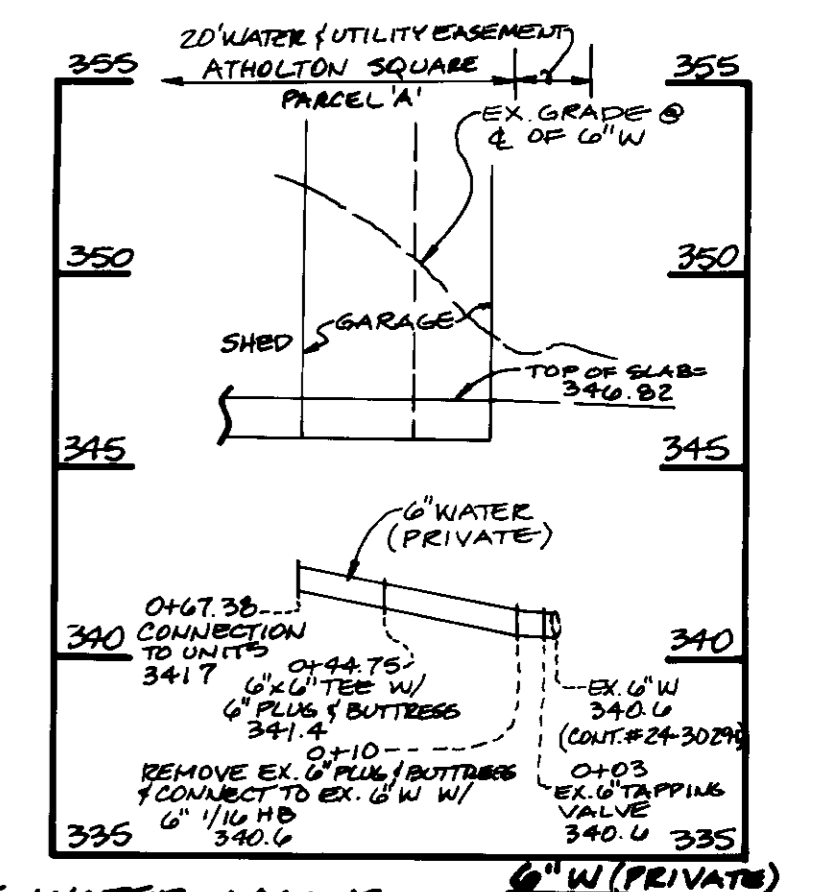
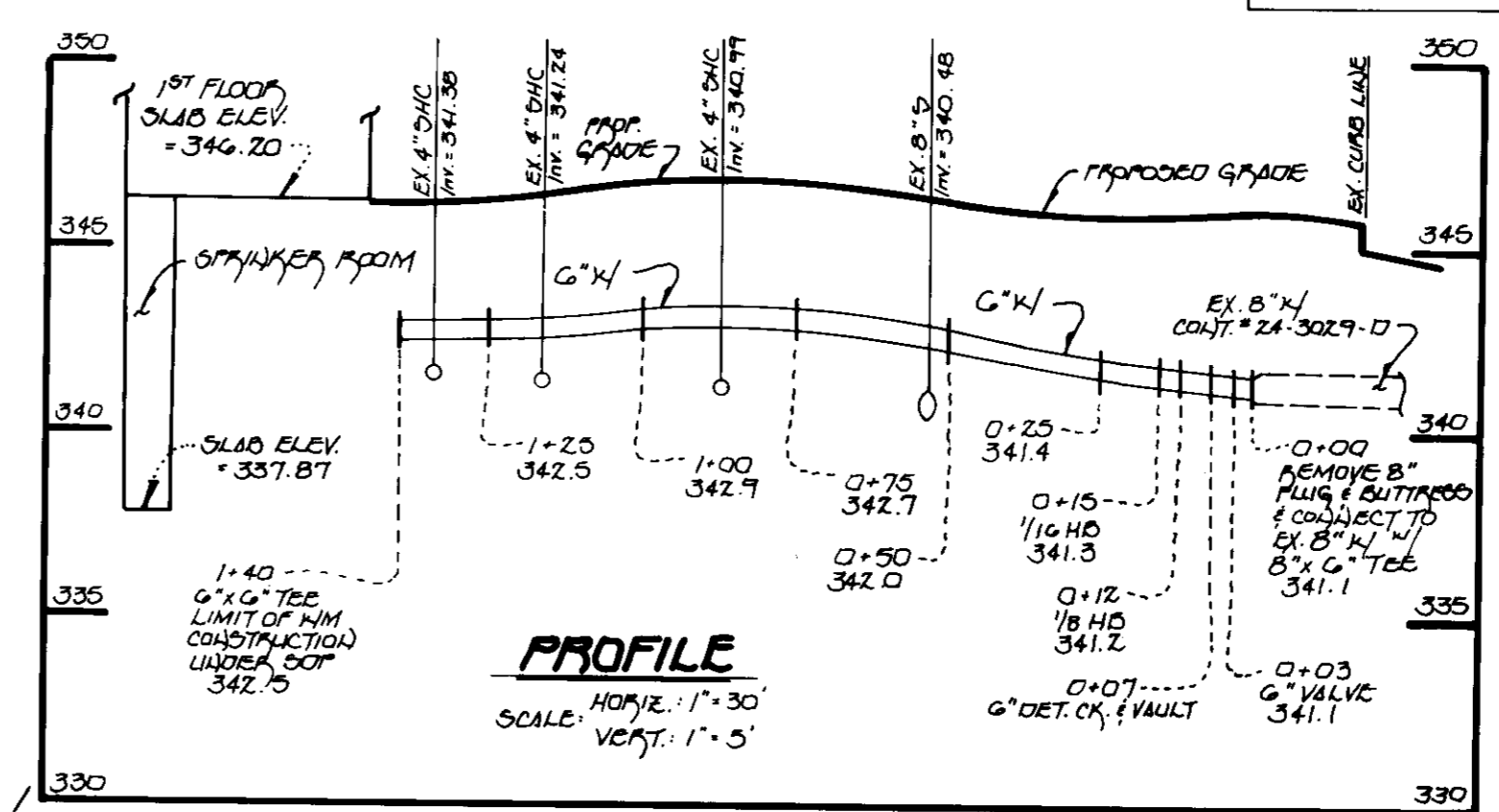
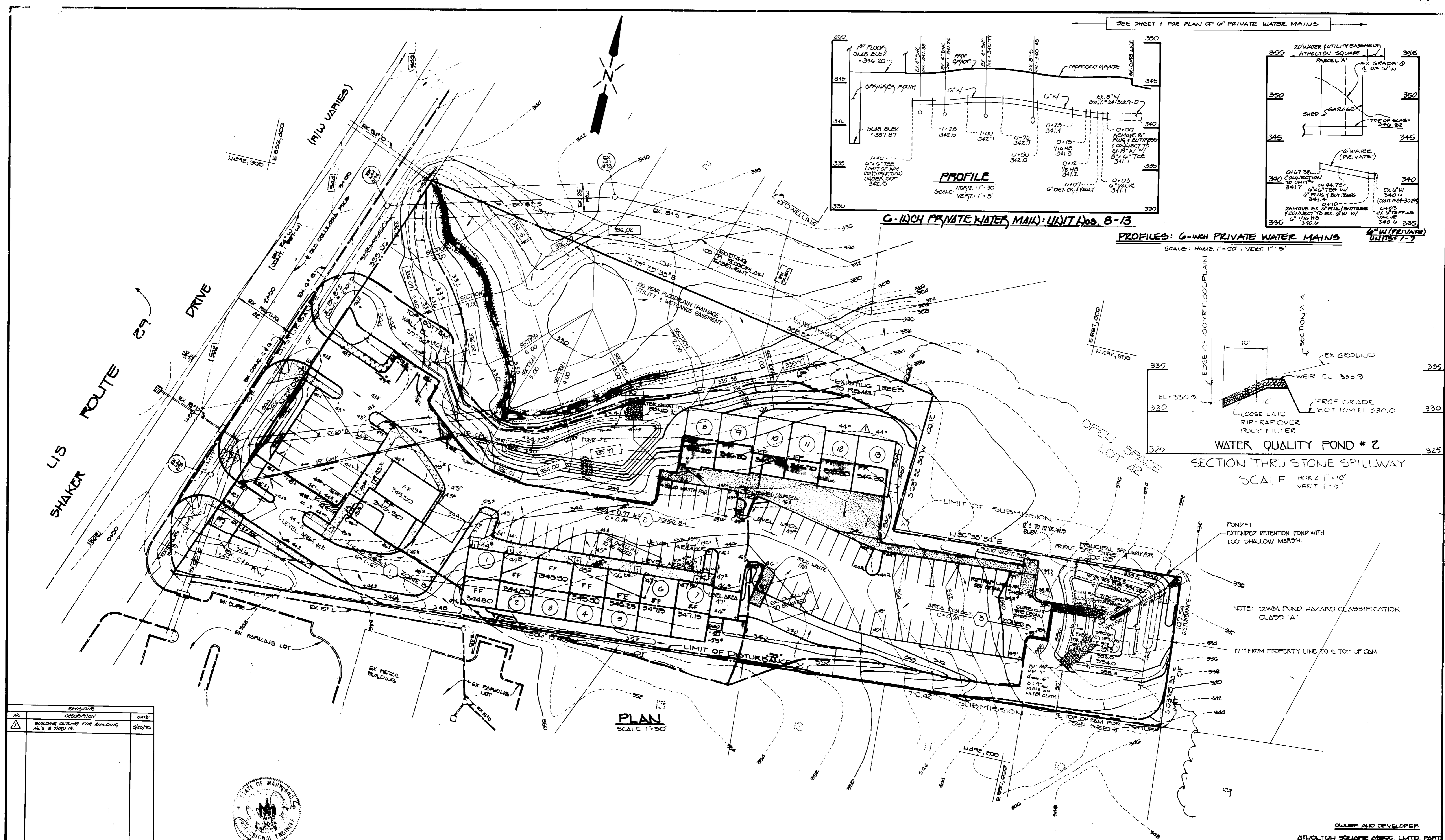
Signature: [Signature] 11-3-92
 DATE: 11-3-92

CHIEF, BUREAU OF ENGINEERING

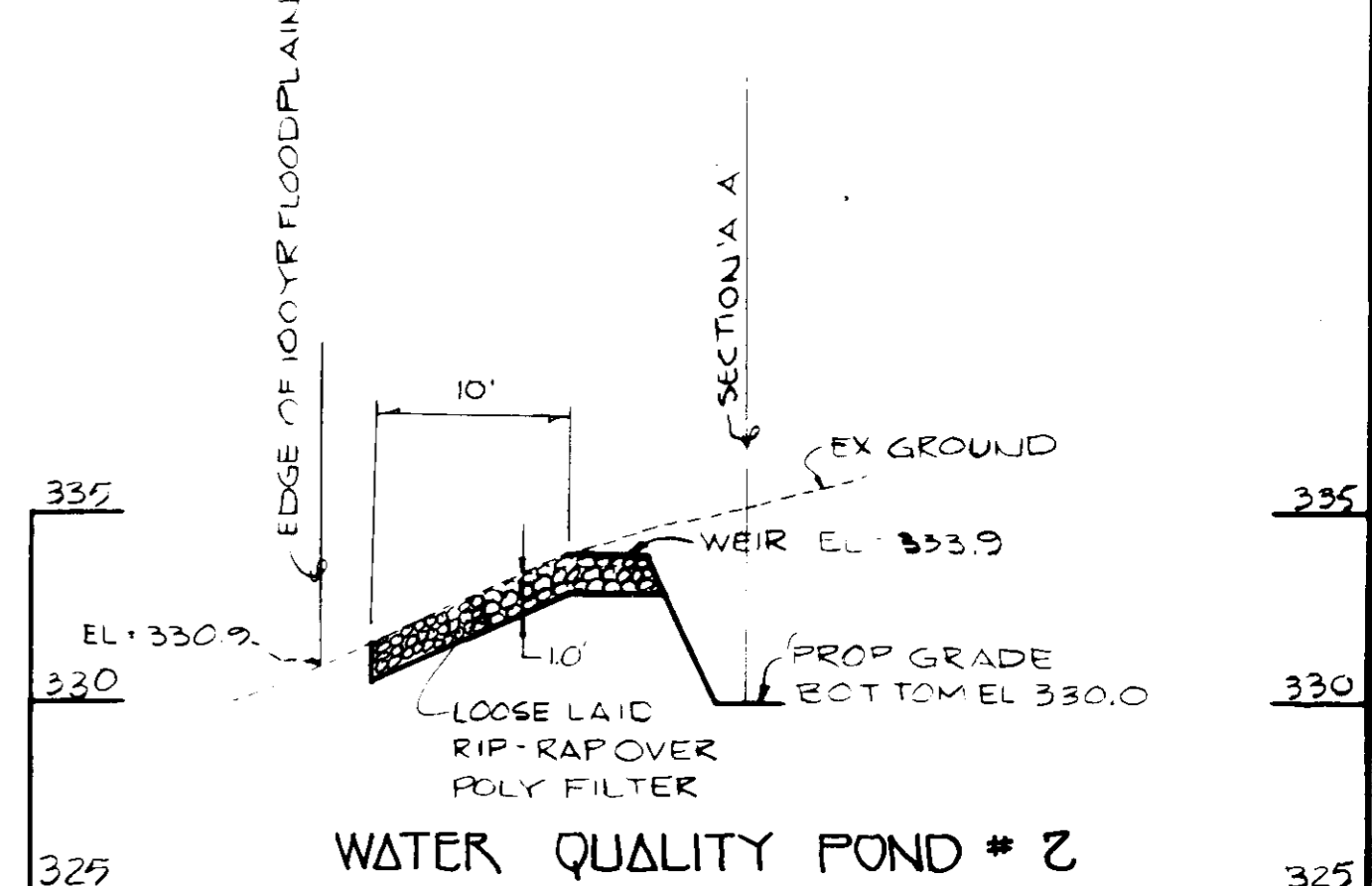
PROPERTY: ATHOLTON SQUARE SECTION/AREA: A PARCEL: A
 PLAT: 7209 BLOCK NO: 19 ZONE: B1 TAX/ZONE: 20 ELEC. DIST.: 50 CENSUS TR.: 6067.01
 WATER CODE: E-13 SEWER CODE: 2321300

ATHOLTON SQUARE ASSOC. LTD. PARTNERS
 10005 HICKORY RIDGE ROAD
 COLUMBIA, MARYLAND 21044

ATHOLTON SQUARE
 REVISED SITE DEVELOPMENT PLAN FOR SDF-92-100
 SHAKER DRIVE
 BANK, OFFICE AND RETAIL STORE
 SIXTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 TAX MAP: 50 PARCEL: A (63,199,287)
 OCTOBER 23, 1991
 SHEET 1 OF 6



PROFILES: 6-INCH PRIVATE WATER MAINS
SCALE: HORIZ. 1"=50'; VERT. 1"=5'



SECTION THRU STONE SPILLWAY
SCALE: HORIZ. 1"=10'; VERT. 1"=5'

NOTE: 3" W.M. POND HAZARD CLASSIFICATION CLASS 'A'
17' FROM PROPERTY LINE TO E. TOP OF DAM

NO.	REVISIONS	DATE
1	BUILDING OUTLINE FOR BUILDING NO. 8 THROUGH 13	5/29/92



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
7171 BALTIMORE NATIONAL PIKE, SUITE 100
ELLICOTT CITY, MARYLAND 21042
TELEPHONE: (410) 461-2299
FAX: (410) 750-3764

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]*
DATE: 10/24/92

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Signature: *[Signature]*
DATE: 10/24/92

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Signature: *[Signature]*
DATE: 11/24/92
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* 11/2/92
Signature: *[Signature]* 1/7/93
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

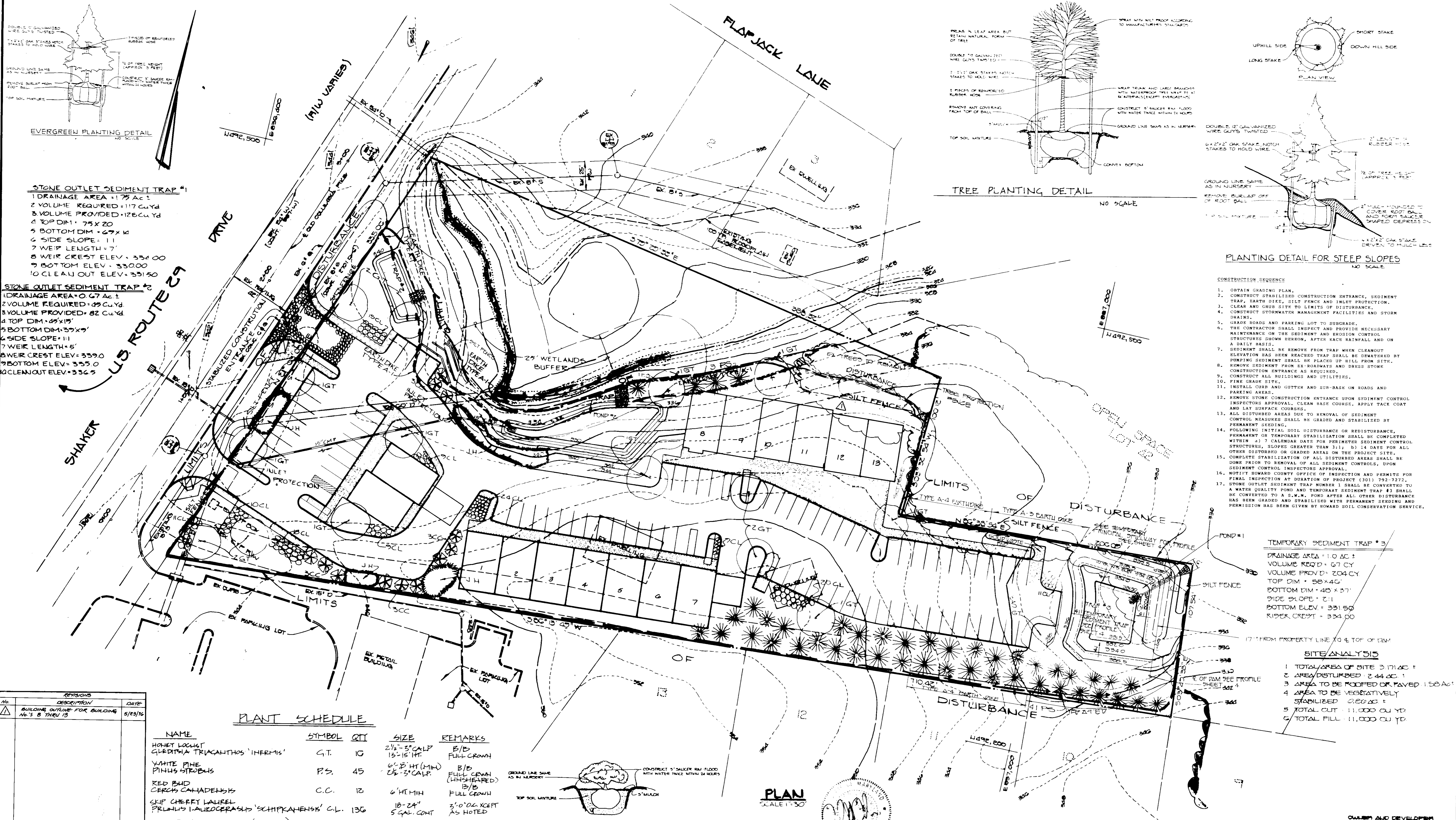
APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
Signature: *[Signature]* 12-31-92
HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

Signature: *[Signature]* 12/29/92
DATE: 11-2-92
CHIEF, BUREAU OF ENGINEERING

PROPERTY	ATHOLTON SQUARE	SECTION/AREA	PARCEL A
PLAT	2205	BLOCK NO.	19
WATER CODE	E-13	TAX/ZONE	30
		ELEC. DIST.	6
		SEWER CODE	3321300
		CENSUS TR.	000701

ATHOLTON SQUARE
REVISED SITE DEVELOPMENT PLAN FOR 200' x 100' SHAKER DRIVE
BANK, OFFICE AND RETAIL STORE
SIXTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
TAX MAP: 66 PARCEL: A (63,199,297)
OCTOBER 22, 1991
SHEET 2 OF 6



EVERGREEN PLANTING DETAIL
NO SCALE

STONE OUTLET SEDIMENT TRAP #1
 1 DRAINAGE AREA = 1.75 AC ±
 2 VOLUME REQUIRED = 117 CU YD
 3 VOLUME PROVIDED = 126 CU YD
 4 TOP DIM = 75 X 20
 5 BOTTOM DIM = 67 X 16
 6 SIDE SLOPE = 1:1
 7 WEIR LENGTH = 7'
 8 WEIR CREST ELEV. = 334.00
 9 BOTTOM ELEV. = 330.00
 10 CLEANOUT ELEV. = 331.50

STONE OUTLET SEDIMENT TRAP #2
 1 DRAINAGE AREA = 0.67 AC ±
 2 VOLUME REQUIRED = 49 CU YD
 3 VOLUME PROVIDED = 82 CU YD
 4 TOP DIM = 45 X 15
 5 BOTTOM DIM = 35 X 9
 6 SIDE SLOPE = 1:1
 7 WEIR LENGTH = 5'
 8 WEIR CREST ELEV. = 333.00
 9 BOTTOM ELEV. = 333.00
 10 CLEANOUT ELEV. = 332.5

CONSTRUCTION SEQUENCE

- OBTAIN GRADING PLAN.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, SEDIMENT TRAP, BARTH DIKE, SILT FENCE AND INLET PROTECTION.
- CLEAR AND GRUB SITE TO LIMITS OF DISTURBANCE.
- CONSTRUCT STORMWATER MANAGEMENT FACILITIES AND STORM DRAINAGE.
- GRADE ROADS AND PARKING LOT TO SUBGRADE.
- THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON, AFTER EACH RAINFALL AND ON A DAILY BASIS.
- SEDIMENT SHALL BE REMOVED FROM TRAP WHEN CLEANOUT ELEVATION HAS BEEN REACHED TRAP SHALL BE DEMATERED BY PUMPING SEDIMENT TO BE PLACED UP HILL FROM SITE.
- REMOVE SEDIMENT FROM EX-ROADWAYS AND DRESS STONE CONSTRUCTION ENTRANCE AS REQUIRED.
- CONSTRUCT ALL BUILDINGS AND UTILITIES.
- FINE GRADE SITE.
- INSTALL CURB AND GUTTER AND SUB-BASE ON ROADS AND PARKING AREAS.
- REMOVE STONE CONSTRUCTION ENTRANCE UPON SEDIMENT CONTROL INSPECTORS APPROVAL. CLEAN BASE COURSE, APPLY TACK COAT AND LAY SURFACE COURSE.
- ALL DISTURBED AREAS DUE TO REMOVAL OF SEDIMENT CONTROL MEASURES SHALL BE GRADED AND STABILIZED BY PERMANENT SEEDING.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS FOR PERIMETER SEDIMENT CONTROL STRUCTURES, SLOPES GREATER THAN 3:1; 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- COMPLETE STABILIZATION OF ALL DISTURBED AREAS SHALL BE DONE PRIOR TO REMOVAL OF ALL SEDIMENT CONTROLS. UPON SEDIMENT CONTROL INSPECTORS APPROVAL.
- NOTIFY HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS FOR FINAL INSPECTION AT DURATION OF PROJECT (301) 792-7272.
- STONE OUTLET SEDIMENT TRAP NUMBER 1 SHALL BE CONVERTED TO A WATER QUALITY POND AND TEMPORARY SEDIMENT TRAP #3 SHALL BE CONVERTED TO A S.W.M. POND AFTER ALL OTHER DISTURBANCE HAS BEEN GRADED AND STABILIZED WITH PERMANENT SEEDING AND PERMISSION HAS BEEN GIVEN BY HOWARD SOIL CONSERVATION SERVICE.

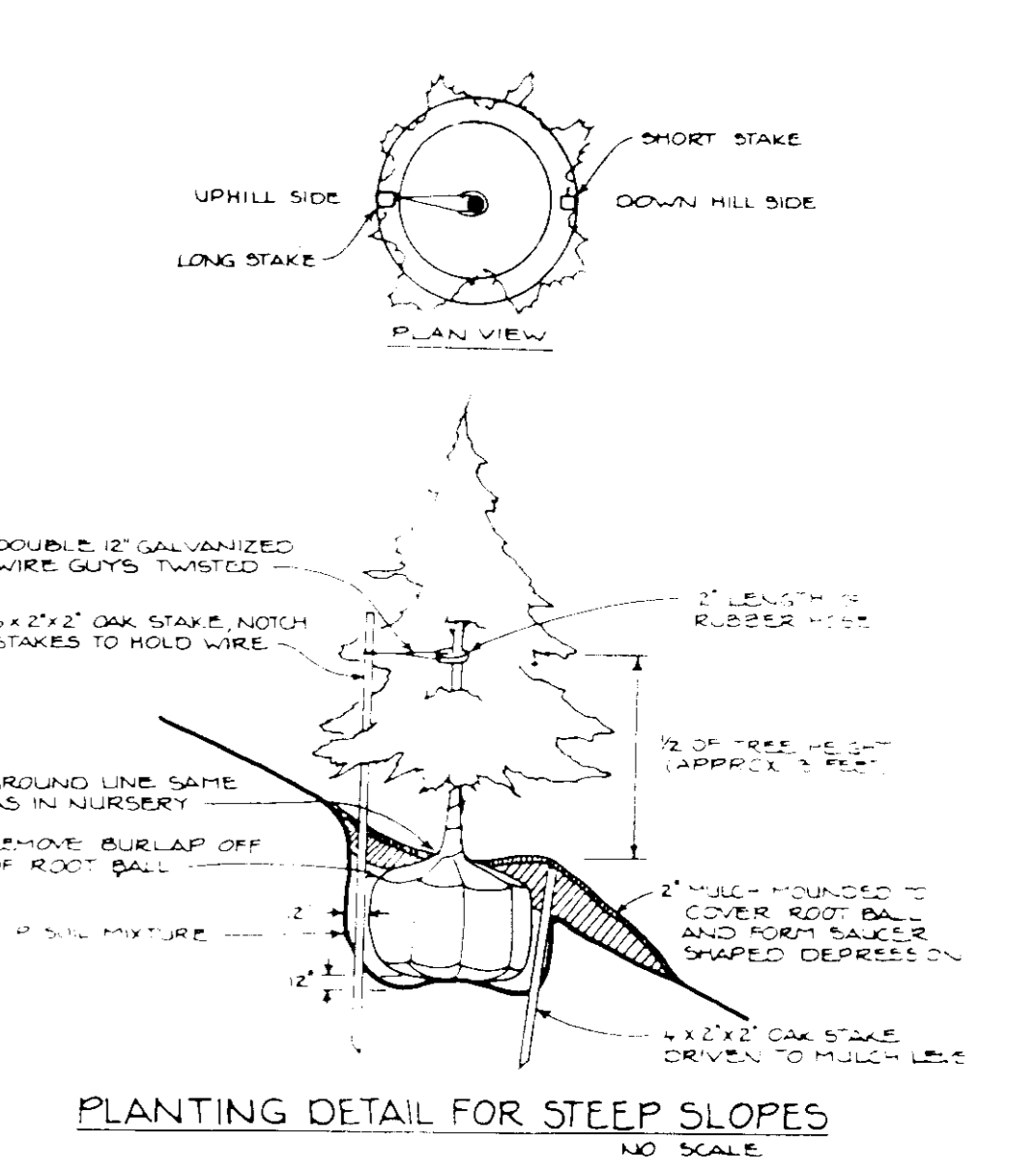
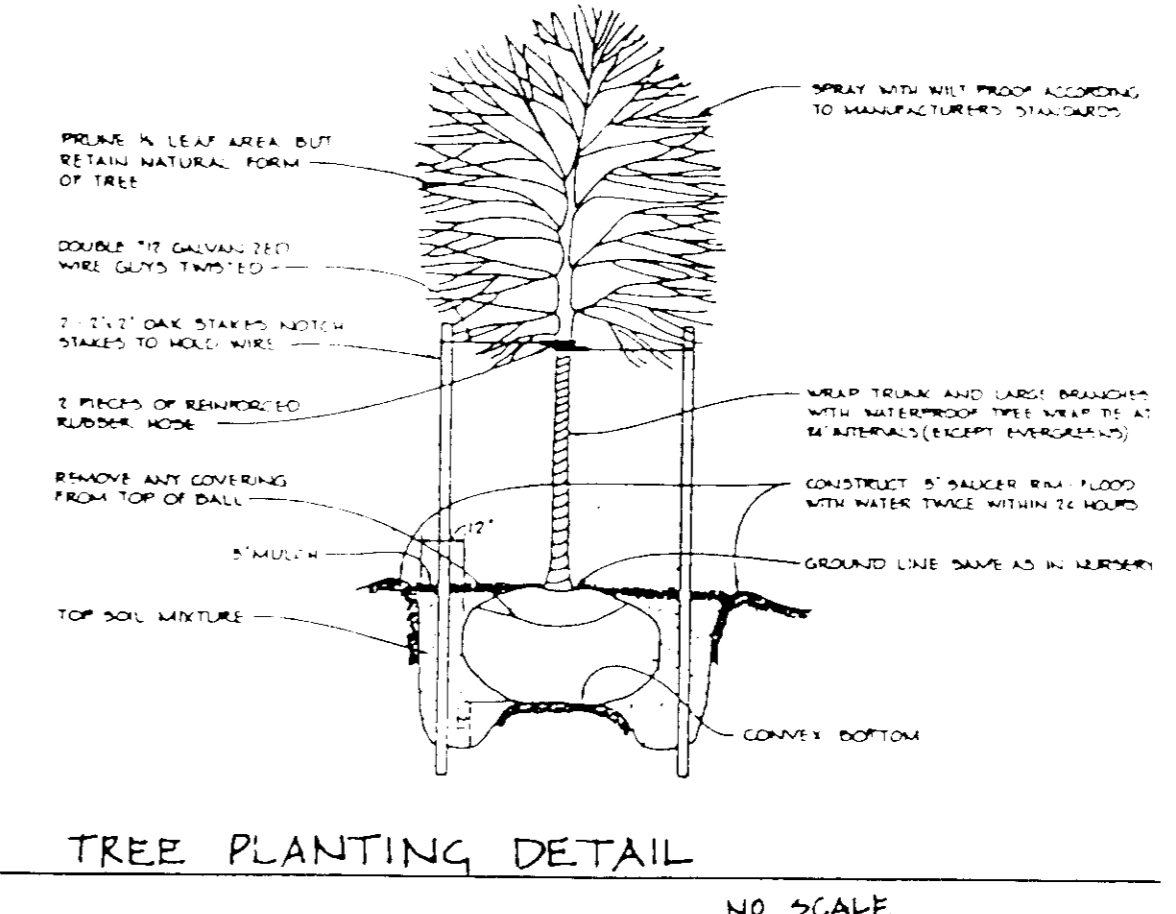
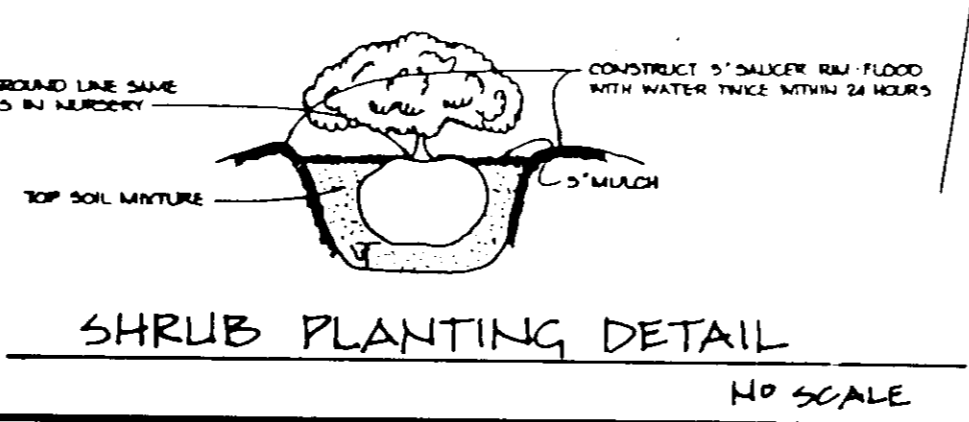
TEMPORARY SEDIMENT TRAP #3
 DRAINAGE AREA = 1.0 AC ±
 VOLUME REQ'D = 67 CU YD
 VOLUME PROV'D = 204 CU YD
 TOP DIM = 50 X 40
 BOTTOM DIM = 40 X 37
 SIDE SLOPE = 2:1
 BOTTOM ELEV. = 331.50
 RIDGE CREST = 334.00

SITE ANALYSIS

- TOTAL AREA OF SITE 3.17 AC ±
- AREA DISTURBED 2.44 AC ±
- AREA TO BE ROOFED OR PAVED 1.58 AC ±
- AREA TO BE VEGETATIVELY STABILIZED 0.20 AC ±
- TOTAL CUT = 11,000 CU YD
- TOTAL FILL = 11,000 CU YD

PLANT SCHEDULE

NAME	SYMBOL	QTY	SIZE	REMARKS
HONEY LOCUST GLABRUM TRICANTHOS 'INERMIS'	G.T.	10	2 1/2" - 3" CALP 15-15' HT.	B/B FULL CROWN
WHITE PINE PINUS STROBUS	P.S.	45	6" - 8" HT (MIN) 2 1/2" - 3" CALP	B/B FULL CROWN (LINESHAPED)
RED BUD CERES CANADENSIS	C.C.	12	6" HT MIN	FULL CROWN
CRIP CHERRY LAUREL PRUNUS LAURO-CERASUS 'SCHIPKANENSIS' C.L.	C.L.	136	18-24" 5 GAL. COHT	3" O.D. XCEPT AS NOTED
ANDORRA JUNIPER (COMPACT) JUNIPERUS HORIZONTALIS 'PLUMOSA COMP' J.H.	J.H.	7	18-24" 5 GAL. COHT	2" O.D. C. THROUGHOUT



REVISIONS

No.	DESCRIPTION	DATE
1	BUILDING OUTLINE FOR BUILDING No. 3 & THRU 13	5/18/94

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS • LAND SURVEYORS
 9171 BALTIMORE NATIONAL PIKE, SUITE 100
 CLLEIGHT CITY, MARYLAND 21042
 TELEPHONE: (410) 451-2255
 FAX: (410) 750-3784

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature]
 Date: 10/24/91

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: [Signature]
 Date: 10/24/91

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Signature: [Signature]
 Date: 10/24/91

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature]
 Date: 10/24/91

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: [Signature]
 Date: 1/7/93

Signature: [Signature]
 Date: 1/7/93

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

Signature: [Signature]
 Date: 12-31-92

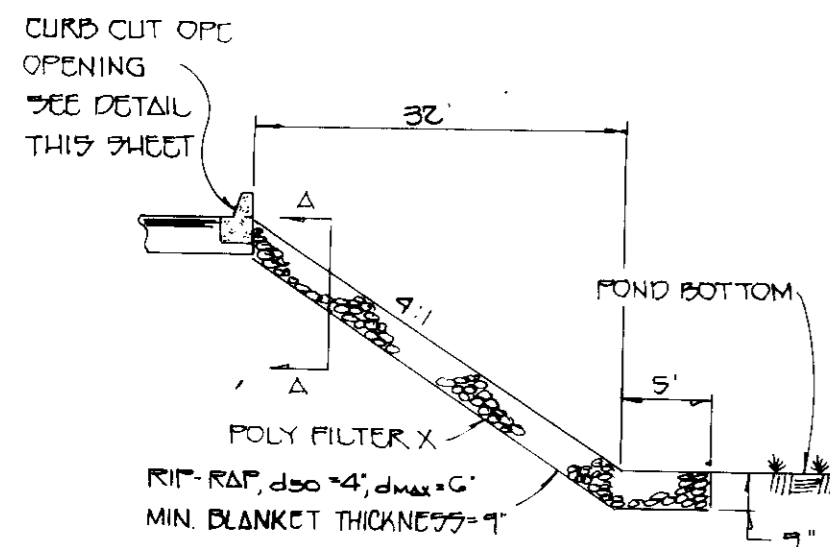
APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

Signature: [Signature]
 Date: 12/29/92

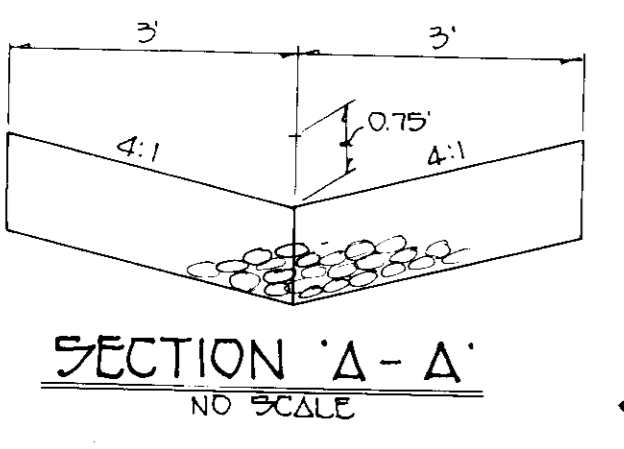
Signature: [Signature]
 Date: 11-2-92

PROPERTY	SECTION/AREA	PARCEL
ATHLTON SQUARE	A	A
PLAT 0203	BLOCK NO 17	ZONE E-1
WATER CODE E-13	TAX/ZONE 30	ELEC. DIST 6
		CENSUS TR 5067.01
		SEWER CODE 321300

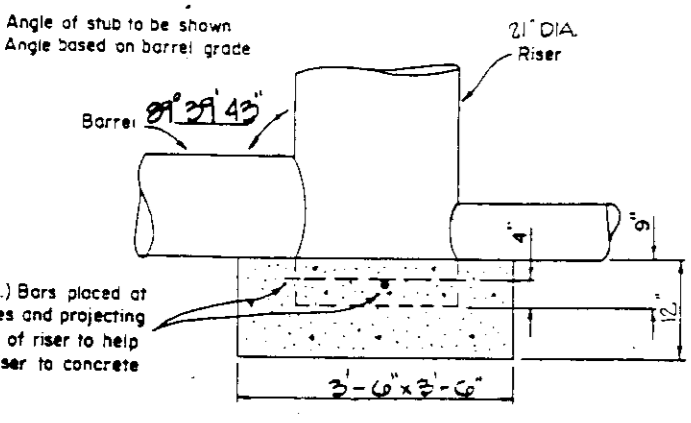
LANDSCAPE AND SEDIMENT CONTROL PLAN'S
ATHLTON SQUARE
 REVISED SITE DEVELOPMENT PLAN FOR SDP 92-50
 SHAKER DRIVE
 BALK, OFFICE, AND RETAIL STORE
 SUTLI ELECTRIC DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 TOWN MAP: 66 PARCEL: A (63199,287)
 OCTOBER 22, 1991
 SHEET 3 OF 6



CURB CUT GABION OUTFALL DETAIL
@ FOND #1 NO SCALE



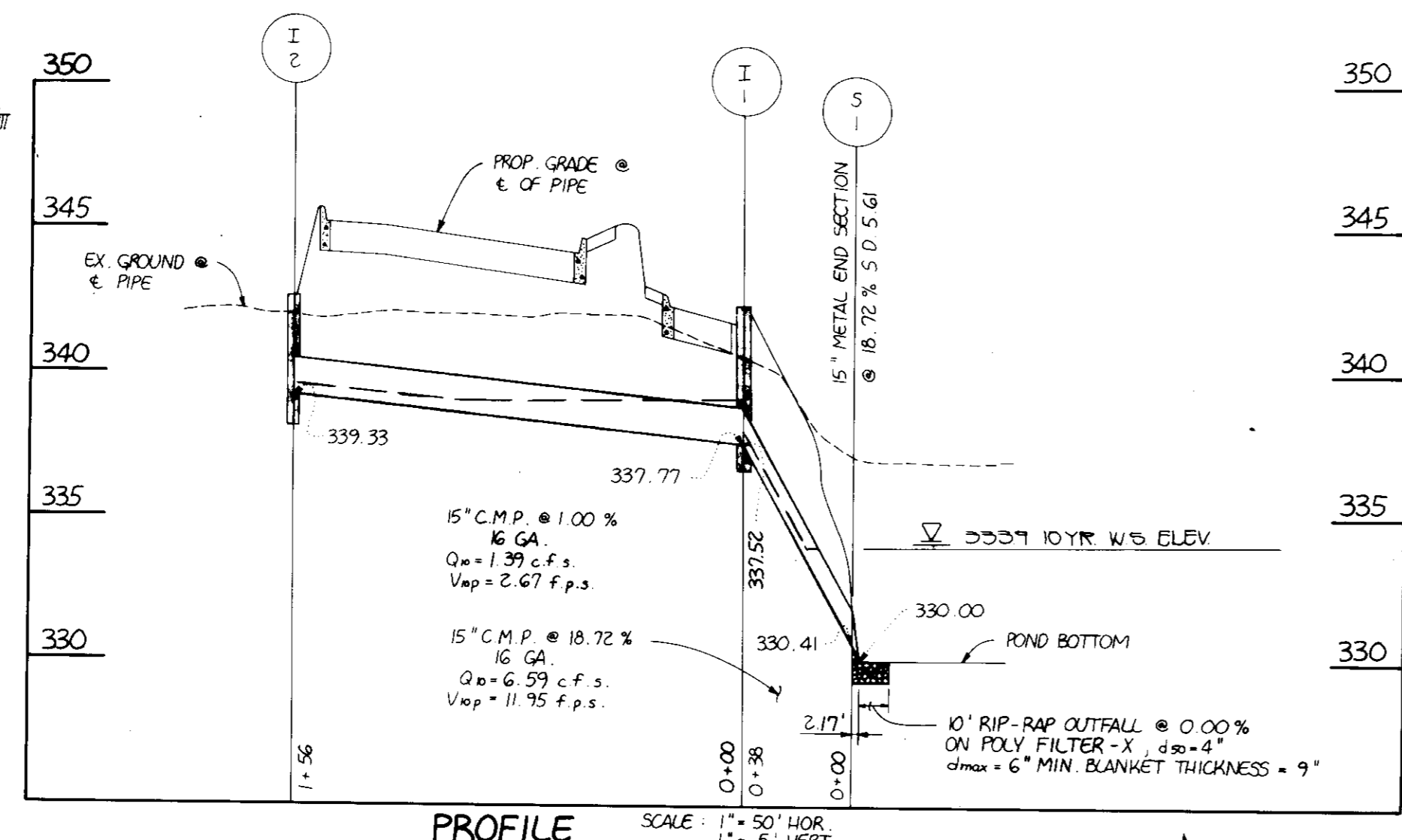
SECTION 'A-A'
NO SCALE



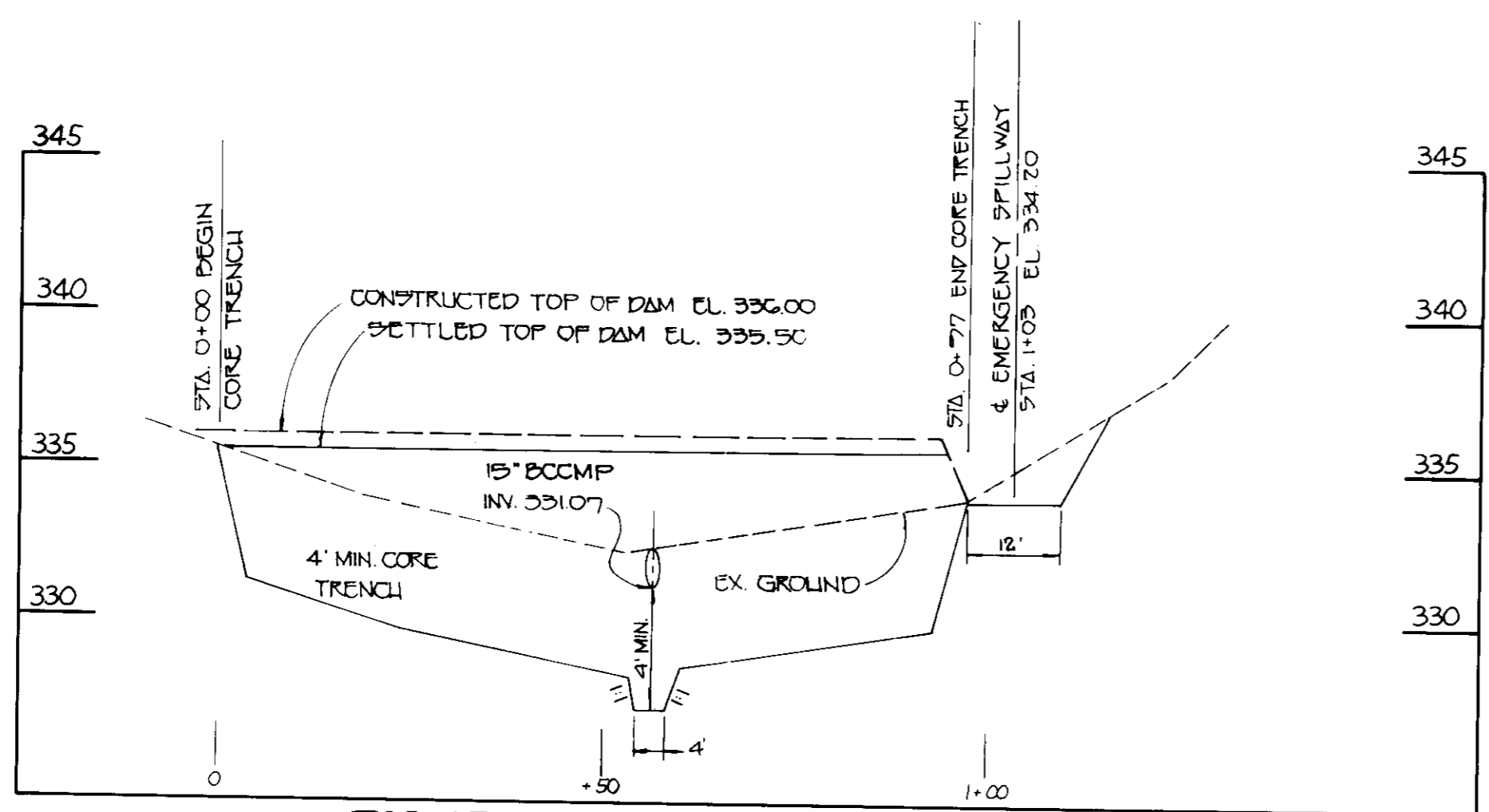
RISER BASE DETAIL

- NOTES:**
- The concrete base shall be poured in such a manner to insure that the concrete fills the bottom of the riser to the invert of the outlet pipe to prevent the riser from breaking away from the base.
 - With aluminum or stainless pipe the embedded section must be painted with zinc chromate or equivalent.
 - Riser base may be used as computed using friction with a factor of safety of 1.2.

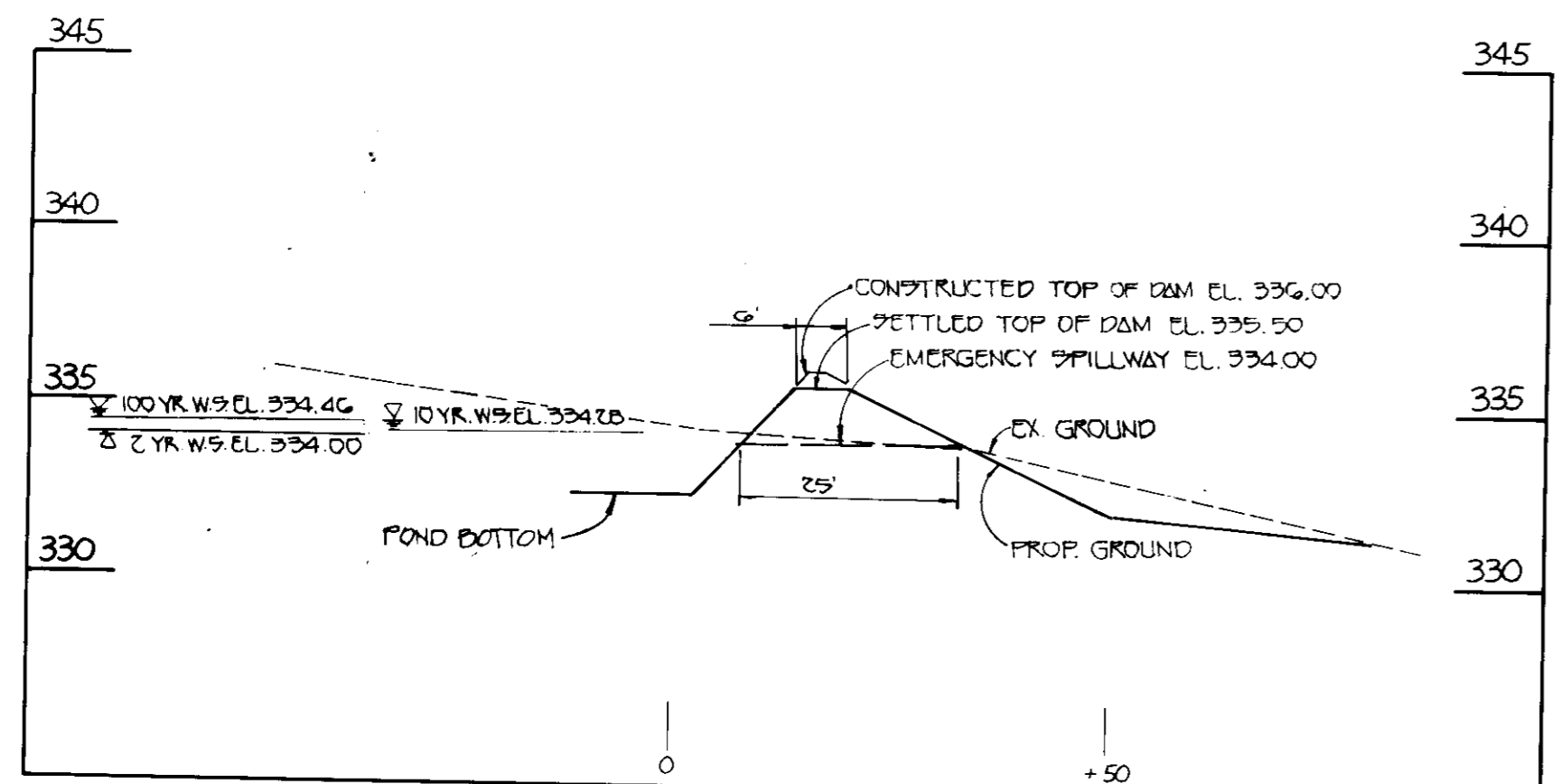
STRUCTURE SCHEDULE					
STRUCTURE	TYPE	TOP STRUCTURE	INV. IN	INV. OUT	REMARKS
I-2	A-5	343.30		339.33	S.D. 4.01
I-1	A-10	342.38	337.77	337.52	S.D. 4.02
S-1	END SECTION			330.00	S.D. 5.61



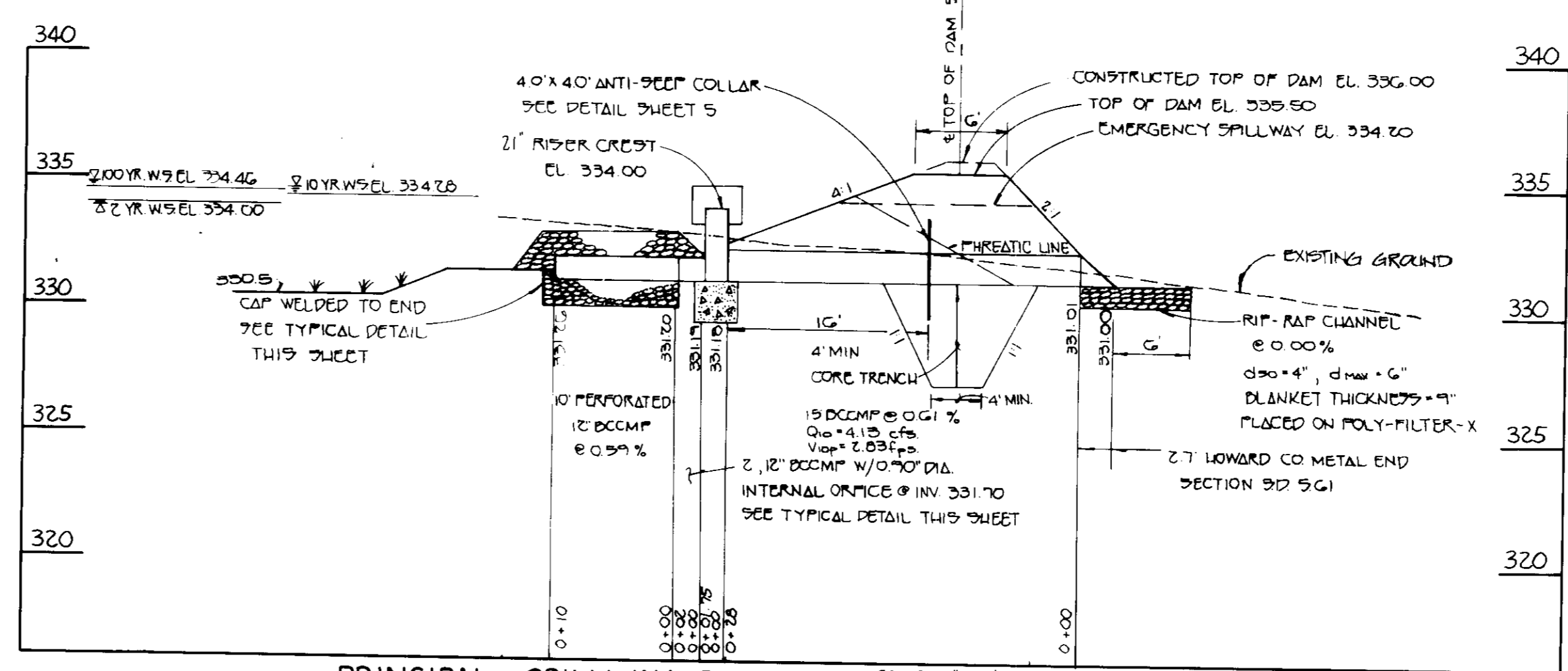
PROFILE SCALE: 1" = 50' HOR. 1" = 5' VERT.



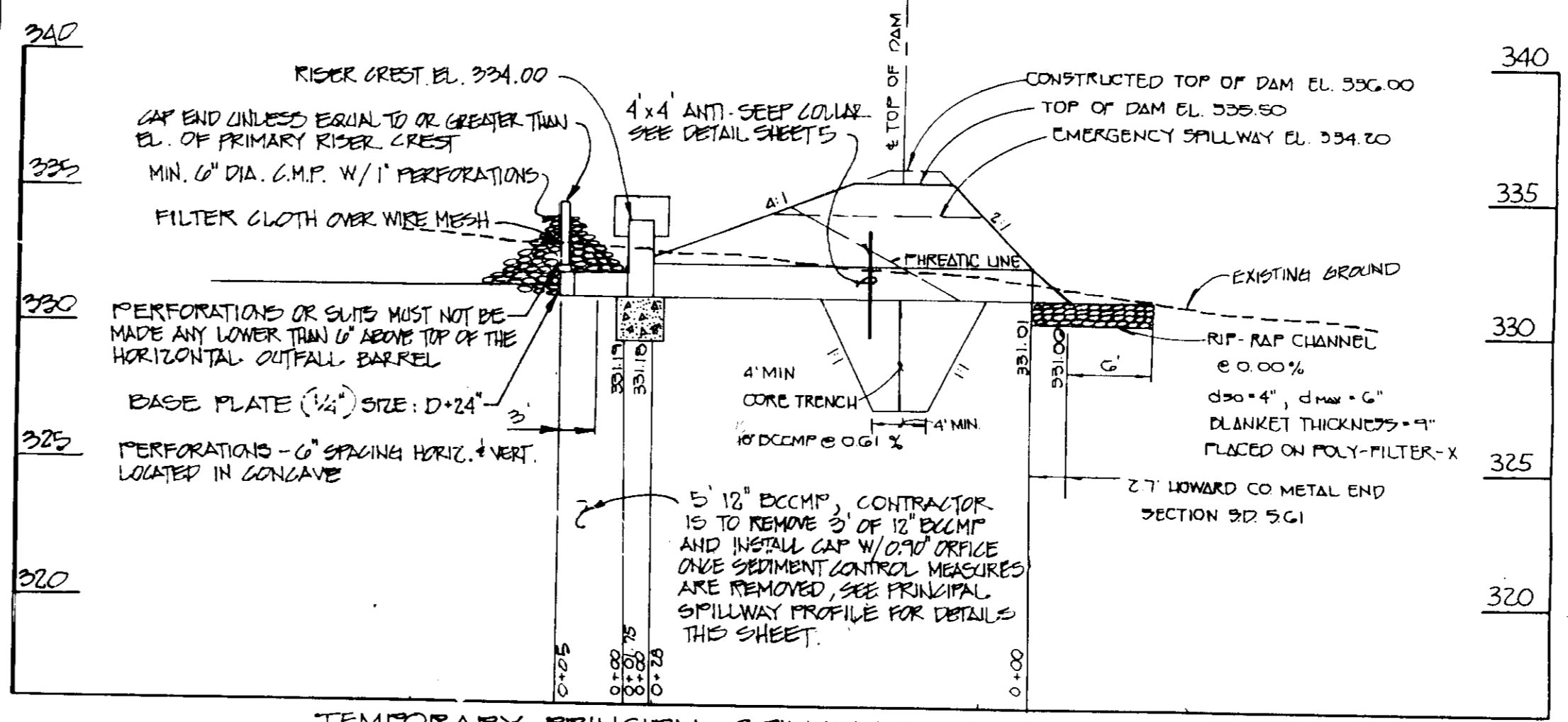
TOP OF DAM PROFILE SCALE: 1" = 20' HOR. 1" = 5' VERT.



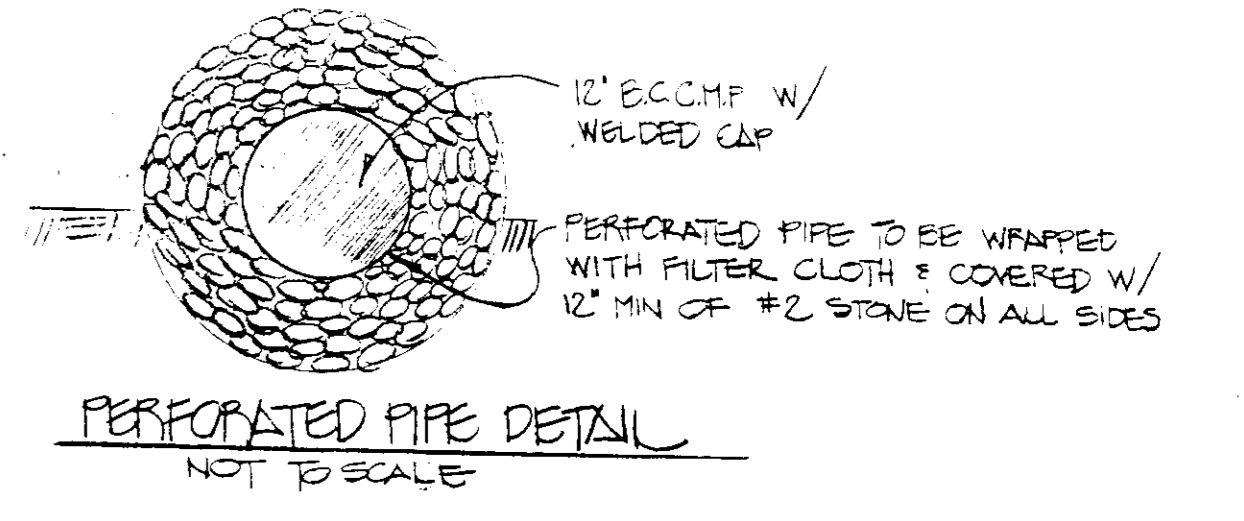
EMERGENCY SPILLWAY PROFILE SCALE: 1" = 20' HOR. 1" = 5' VERT.



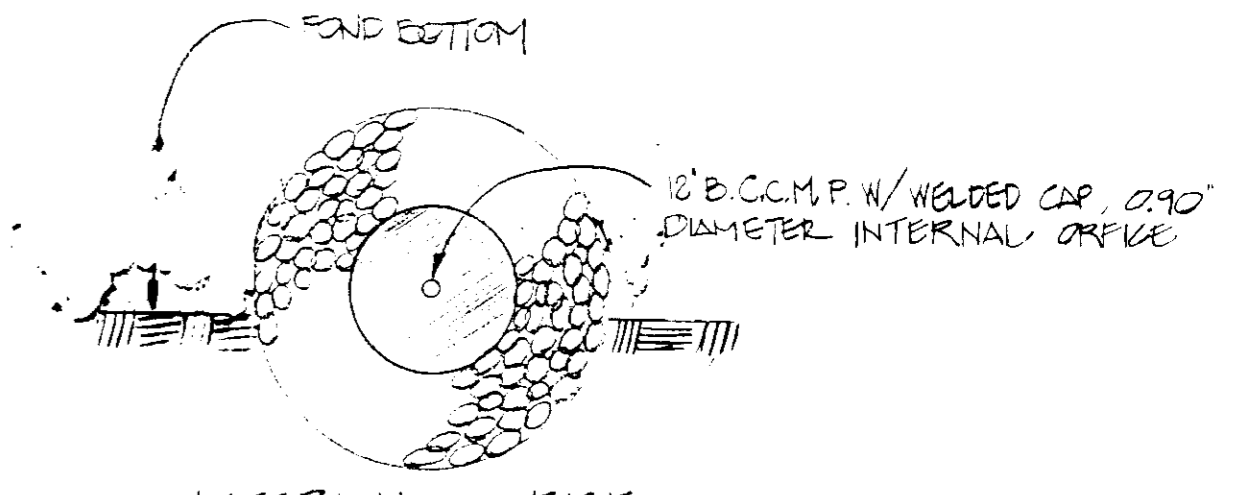
PRINCIPAL SPILLWAY PROFILE SCALE: 1" = 10' HOR. 1" = 5' VERT.



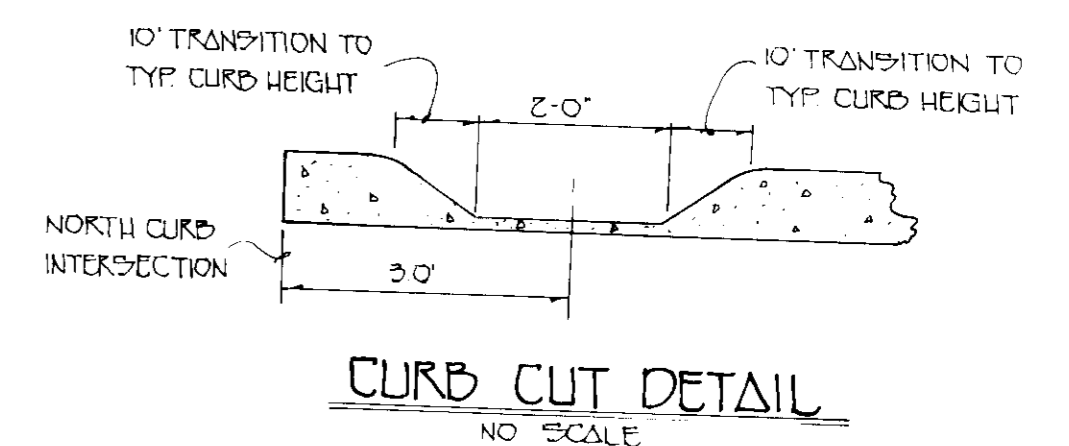
TEMPORARY PRINCIPAL SPILLWAY PROFILE SCALE: 1" = 10' HOR. 1" = 5' VERT.



PERFORATED PIPE DETAIL NOT TO SCALE

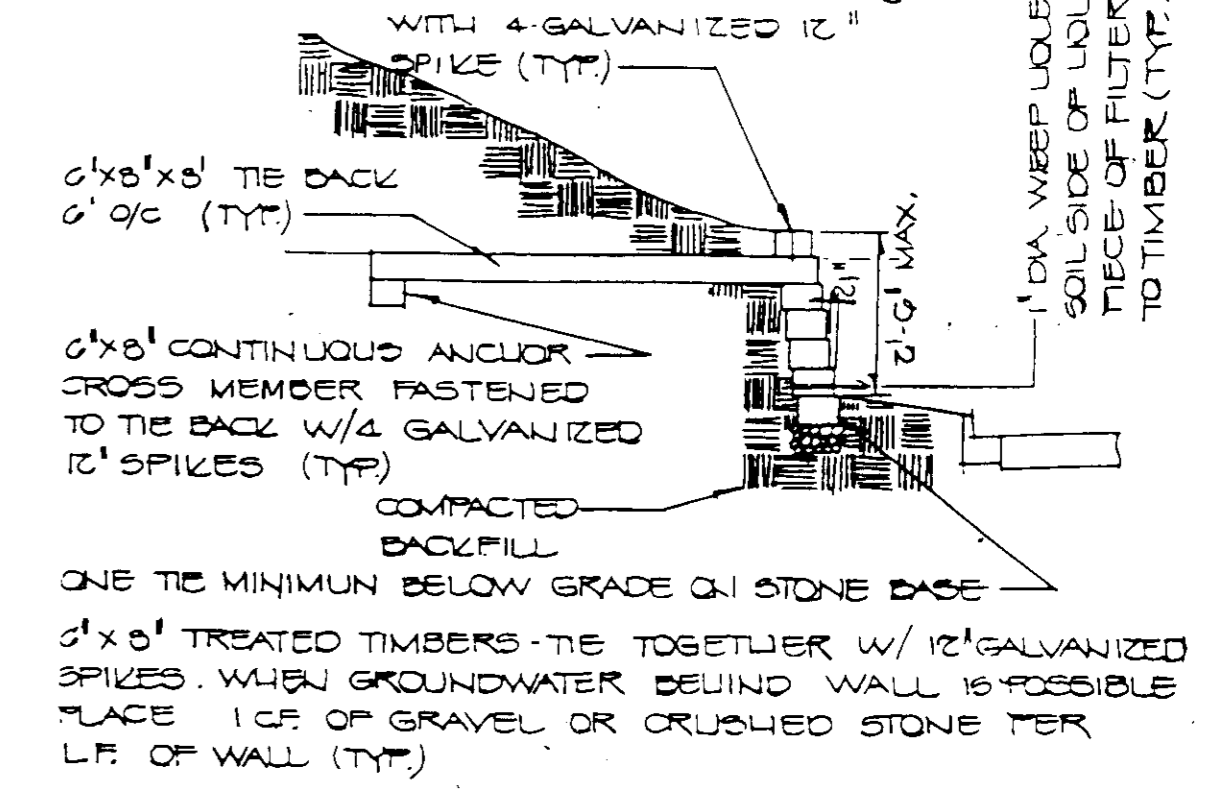


INTERNAL ORIFICE DETAIL NOT TO SCALE

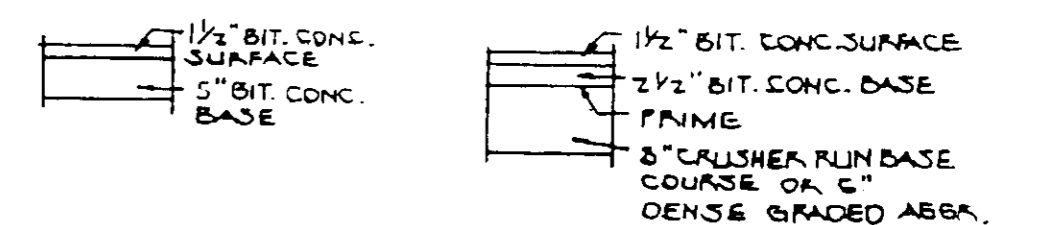


CURB CUT DETAIL NO SCALE

- NOTE:**
- TIMBERS SHALL BE EITHER:
 - CRESOTE TREATED RAILROAD TIES.
 - CCA TREATED LANDSCAPING TIMBERS (.40 LB/GAL RETENTION).
 - WARDWARE SHALL BE HOT DIPPED GALVANIZED WESTLUMES WITH OR WITHOUT GRAVEL DRAIN ARE MIN. MEASURED FOR GROUNDWATER FOR ANY SUBSTANTIAL AMOUNT OF GROUNDWATER, A DRAIN SYSTEM SHOULD BE DESIGNED ANY UTILIZED.
 - DESIGN SHALL BE VERIFIED FOR SITE SPECIFIC SOIL CONDITION BY A GEOTECHNICAL ENGINEER CONNECT THE BACK TO WALL WITH 4 GALVANIZED 12" SPIKE (TYP).



RETAINING WALL DETAIL NOT TO SCALE



P-2 PAVING SECTION

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS • LAND SURVEYORS
1117 BALTHORE NATIONAL PIKE, SUITE 100
CLLICOATE CITY, MARYLAND 21042
TELEPHONE: (410) 461-2395
FAX: (410) 750-3784

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature]
DATE: 10/24/91

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: [Signature]
DATE: 10/24/91

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Signature: [Signature]
DATE: 10/24/91

Signature: [Signature]
DATE: 10/24/91

APPROVED: DEPT. OF PLANNING AND ZONING

Signature: [Signature]
DATE: 11/7/92

Signature: [Signature]
DATE: 11/7/92

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

Signature: [Signature]
DATE: 12/29/92

Signature: [Signature]
DATE: 11/3/92

NOTES AND DETAILS

ATHOLTON SQUARE
10005 HICKORY RIDGE ROAD
COLUMBIA, MARYLAND 21044

SHAKER DRIVE

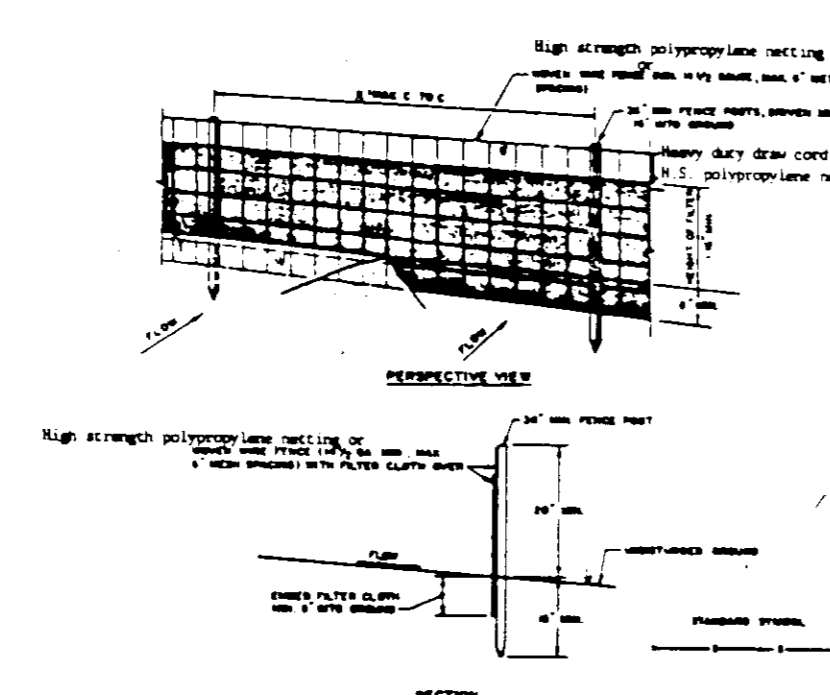
BANK, OFFICE AND RETAIL STORE
SIXTH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN

TAX MAP: 57 PARCEL A (63,199,287)
OCTOBER 22, 1971
SHEET 4 OF 6

PERMANENT SEEDING NOTES

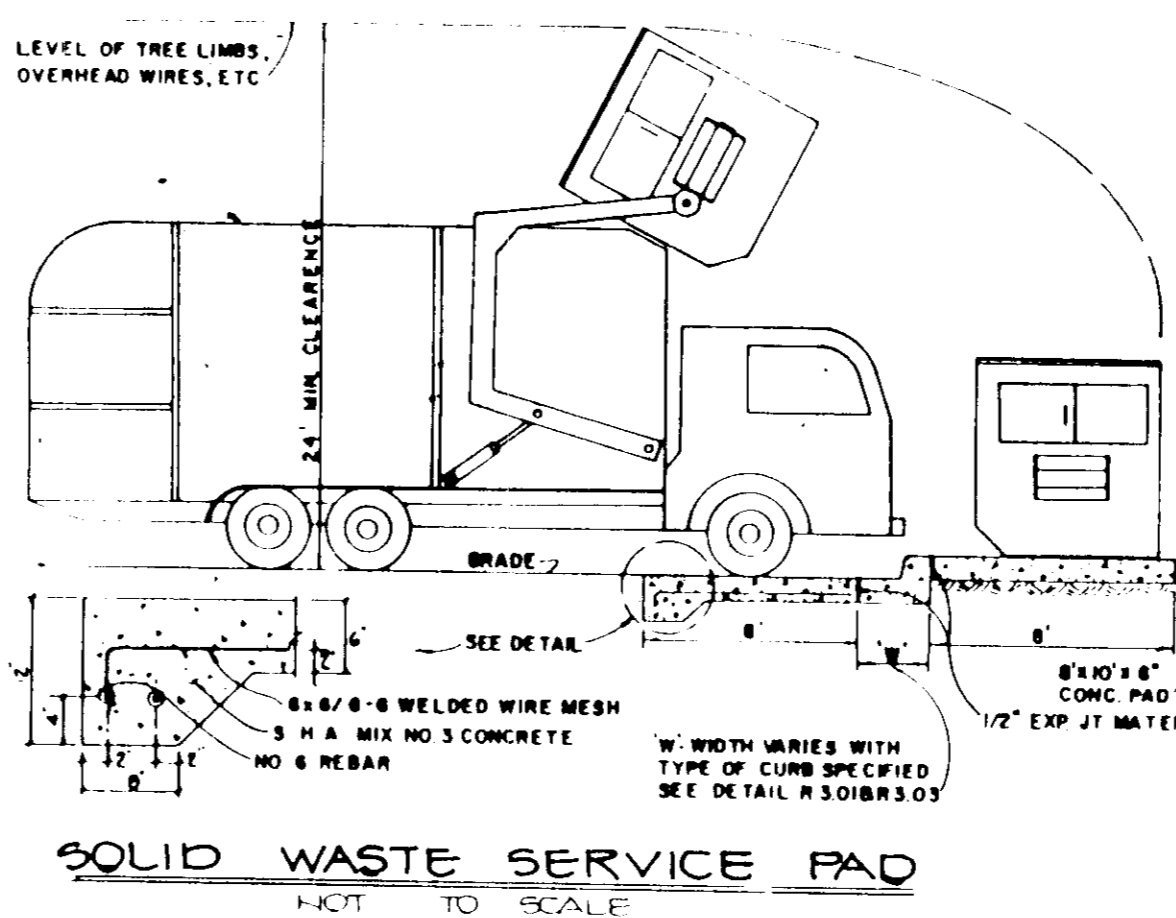
Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
Soil Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.
Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 500 lbs per acre 10-10-10 fertilizer (24 lbs/1000 sq ft) before seeding.
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (24 lbs/1000 sq ft) before seeding.



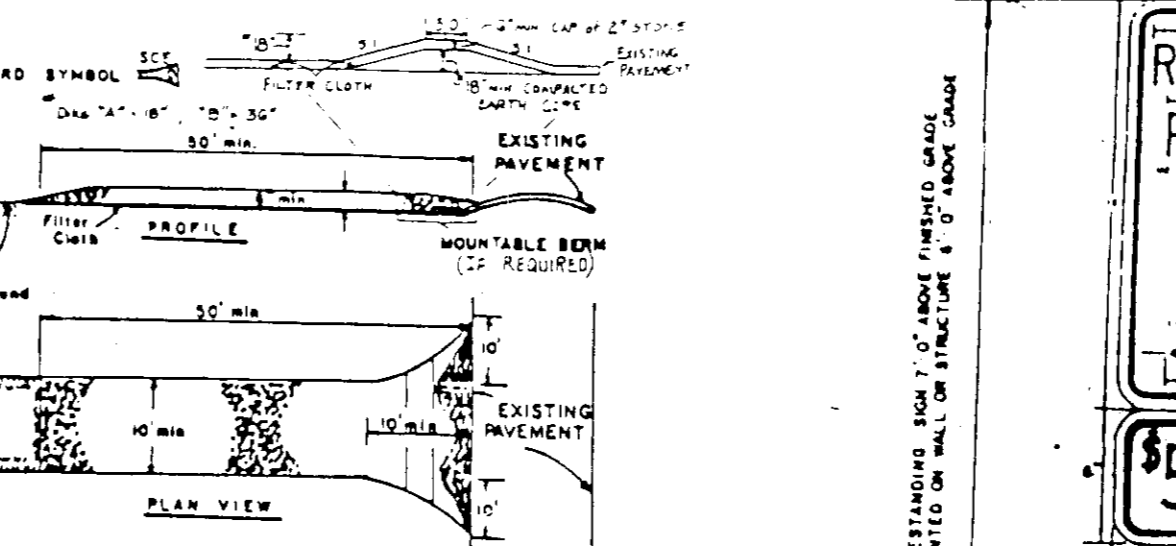
CONSTRUCTION SPECIFICATIONS FOR FABRICATED SILT FENCE

- 1. High strength polypropylene filter cloth...
2. Filter cloth...
3. Stone to be 2" in size and clean, stone fines would clog the cloth.

SILT FENCE NOT TO SCALE



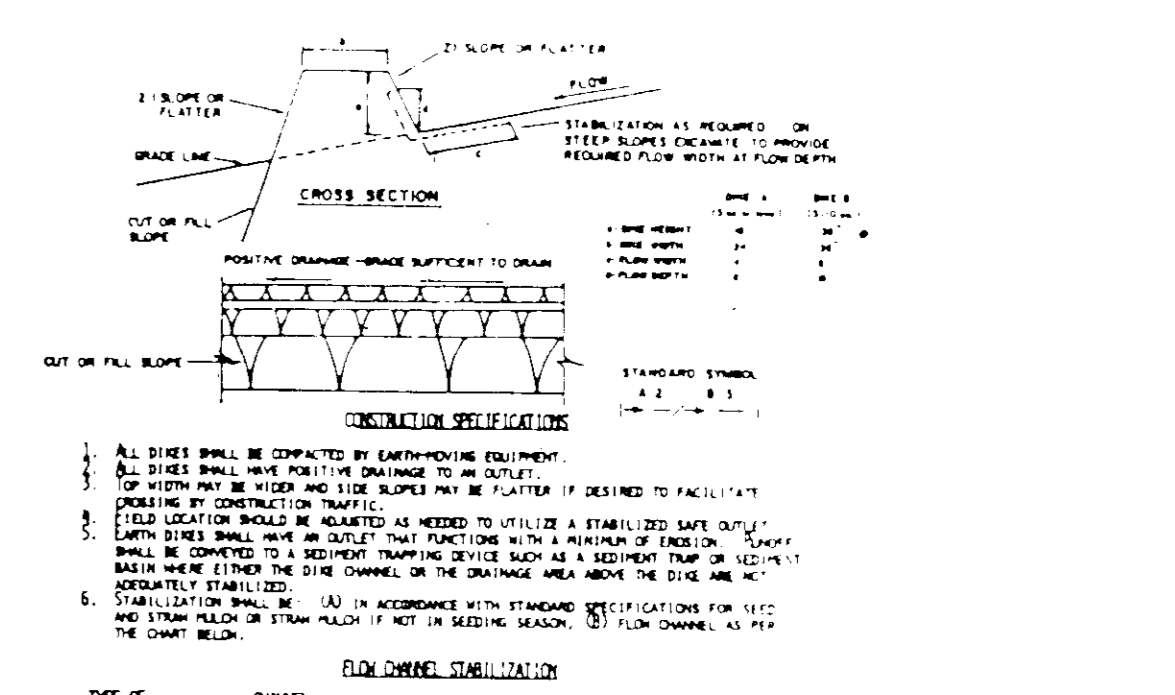
SOLID WASTE SERVICE PAD NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

- 1. Stone to be 2" in size...
2. Filter cloth...
3. Stone to be 2" in size and clean, stone fines would clog the cloth.

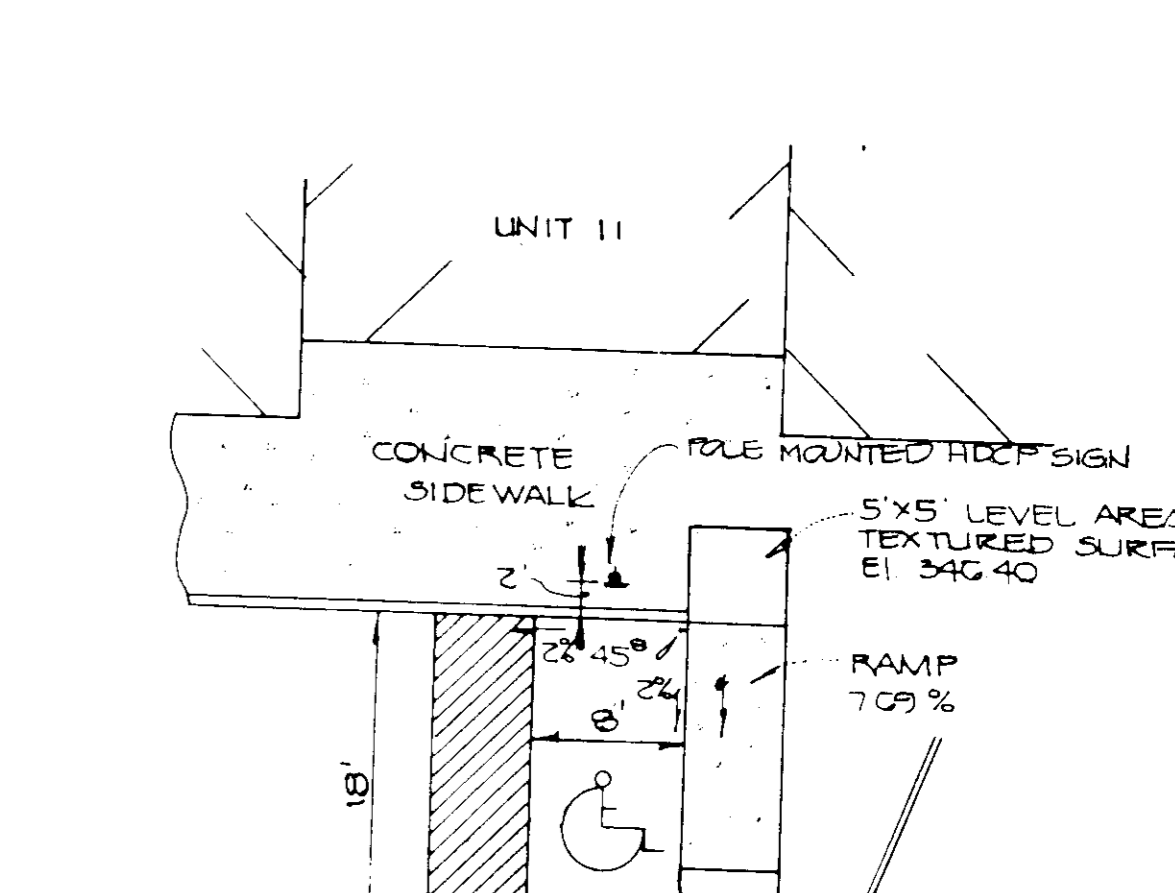
STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



HANDICAPPED PARKING SIGN DETAIL NOT TO SCALE

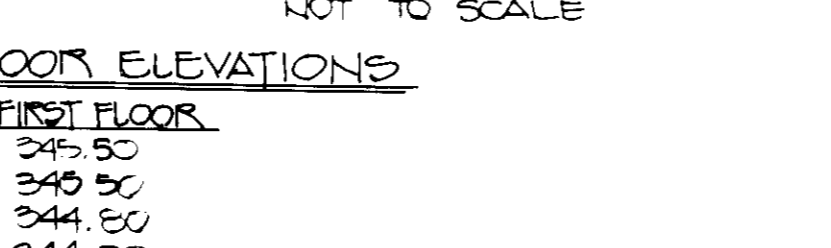
- 1. All signs shall be completed...
2. Signs shall be placed...
3. Signs shall be placed...
4. Signs shall be placed...

EARTH DIKE LOT TO SCALE



EARTH DIKE LOT TO SCALE

CURB INLET PROTECTION DETAIL NOT TO SCALE



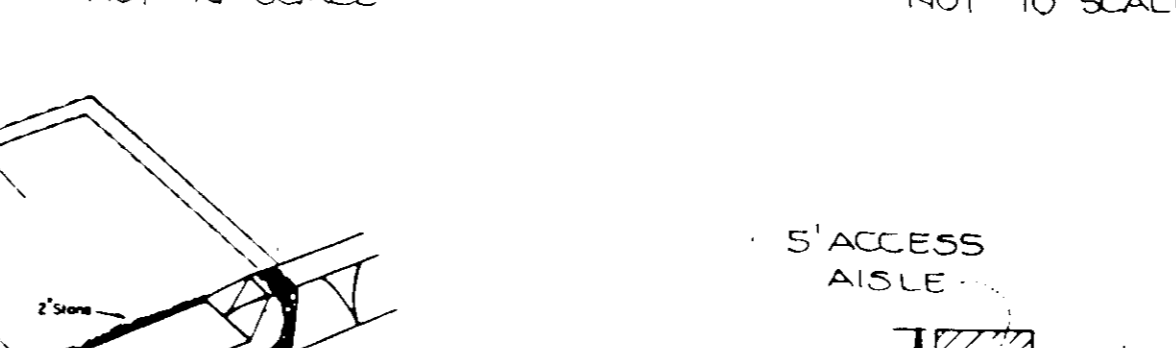
CURB INLET PROTECTION DETAIL NOT TO SCALE

FIRST FLOOR ELEVATIONS

Table with 2 columns: UNIT and FIRST FLOOR. Units 1-11 with elevations ranging from 345.50 to 346.30.

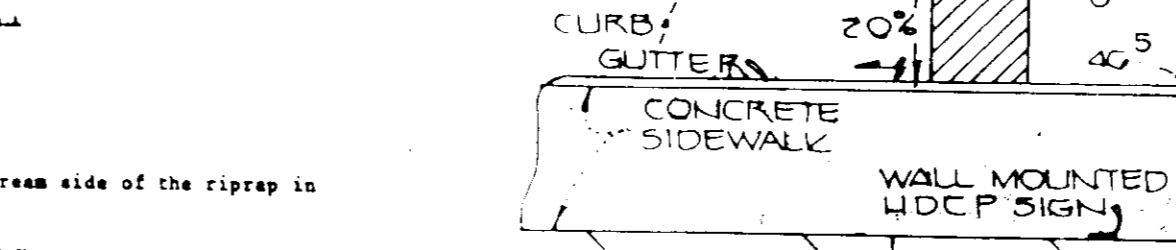
FIRST FLOOR ELEVATIONS

STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



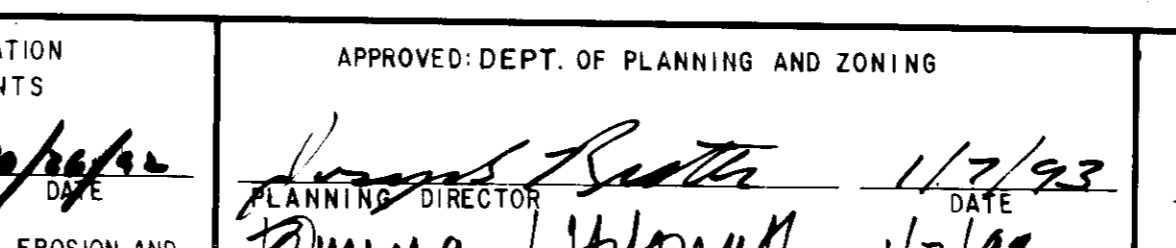
STONE OUTLET SEDIMENT TRAP NOT TO SCALE

STONE OUTLET SEDIMENT TRAP NOT TO SCALE

- 1. Area under embankment shall be cleared...
2. The fill material for the embankment shall be free of roots...
3. All cut and fill slopes shall be 2:1 or flatter.

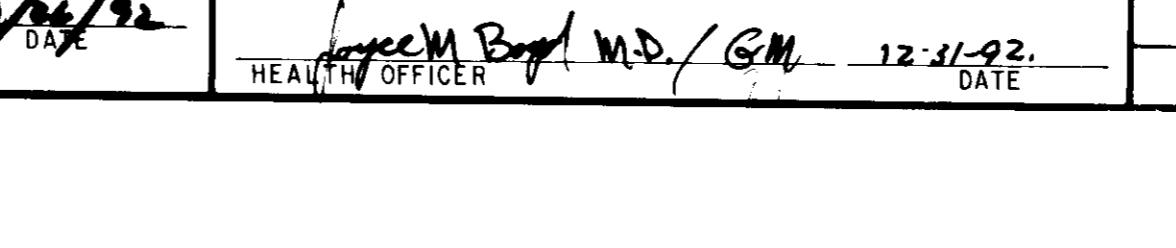
STONE OUTLET SEDIMENT TRAP NOT TO SCALE

STONE OUTLET SEDIMENT TRAP NOT TO SCALE



TREE PROTECTION DETAIL NOT TO SCALE

TREE PROTECTION DETAIL NOT TO SCALE



TYPICAL ANTI-SEEP COLLARS NO SCALE

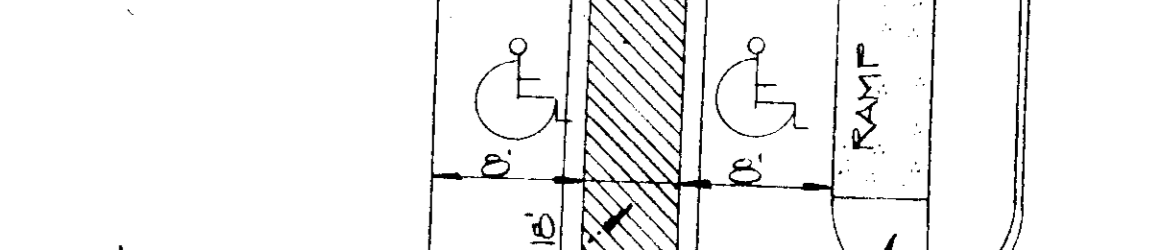
TYPICAL ANTI-SEEP COLLARS NO SCALE

HANDICAPPED PARKING SIGN DETAIL NOT TO SCALE



HANDICAPPED PARKING SIGN DETAIL NOT TO SCALE

HANDICAPPED PARKING SIGN DETAIL NOT TO SCALE



HANDICAPPED PARKING DETAIL NOT TO SCALE

HANDICAPPED PARKING DETAIL NOT TO SCALE

HANDICAPPED PARKING DETAIL NOT TO SCALE

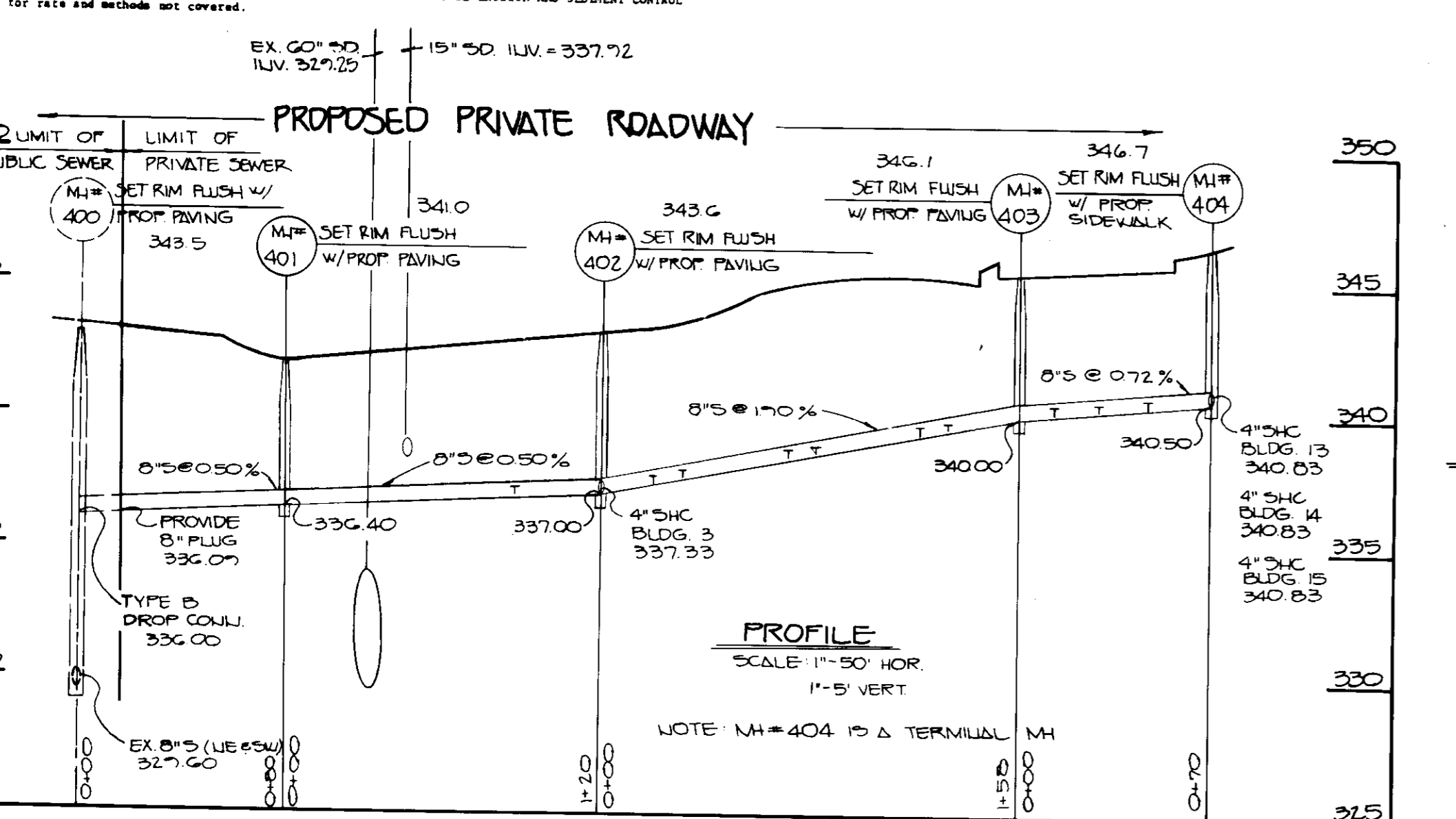
HANDICAPPED PARKING DETAIL NOT TO SCALE

HANDICAPPED PARKING DETAIL NOT TO SCALE

HANDICAPPED PARKING DETAIL NOT TO SCALE

HANDICAPPED PARKING DETAIL NOT TO SCALE

HANDICAPPED PARKING DETAIL NOT TO SCALE



PROPOSED PRIVATE ROADWAY

PROPOSED PRIVATE ROADWAY

PROPOSED PRIVATE ROADWAY

PROPOSED PRIVATE ROADWAY

PROPOSED PRIVATE ROADWAY

PROPOSED PRIVATE ROADWAY

PROPOSED PRIVATE ROADWAY

PROPOSED PRIVATE ROADWAY

PROPOSED PRIVATE ROADWAY

PROPOSED PRIVATE ROADWAY

PROPOSED PRIVATE ROADWAY

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

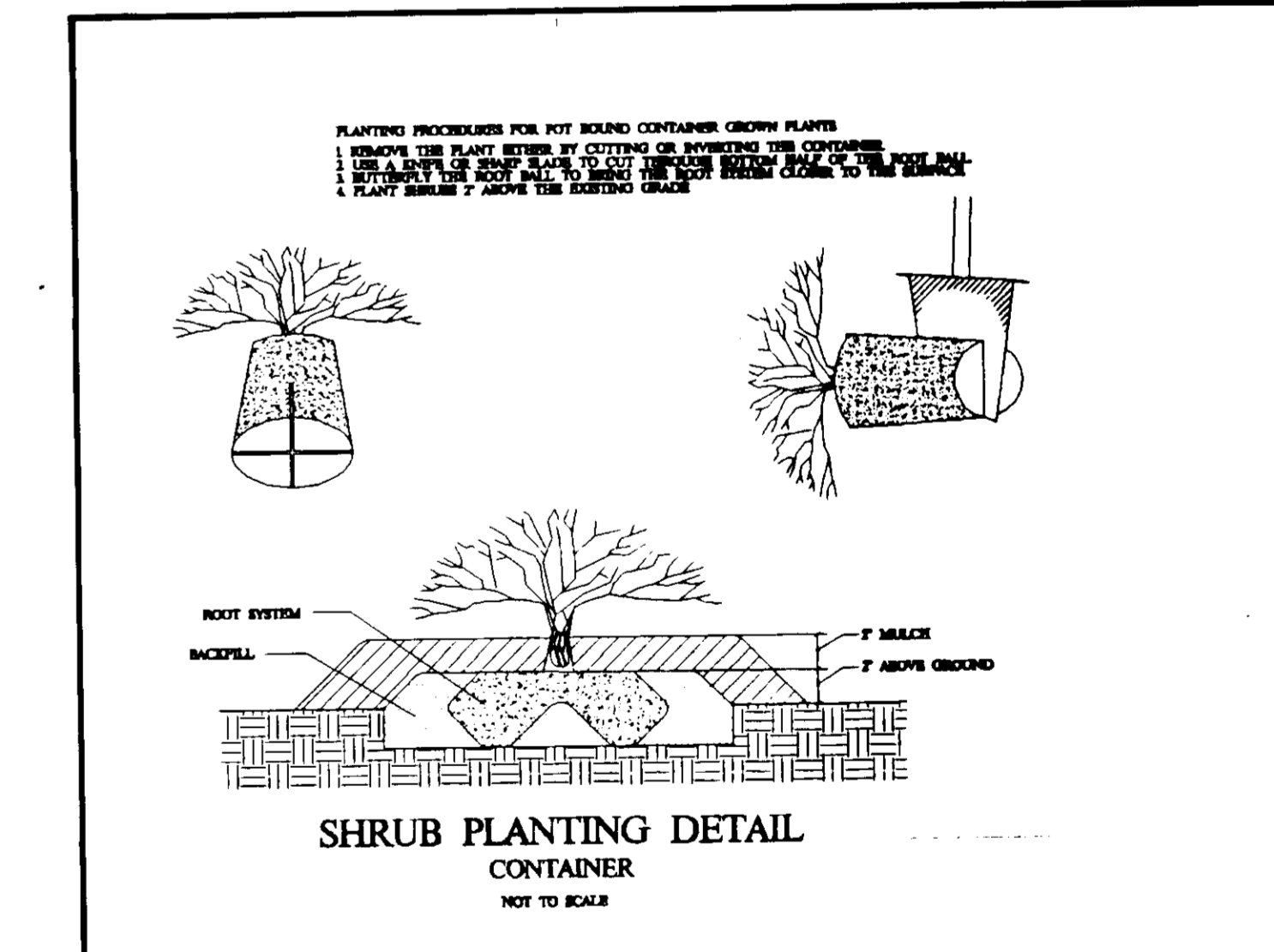
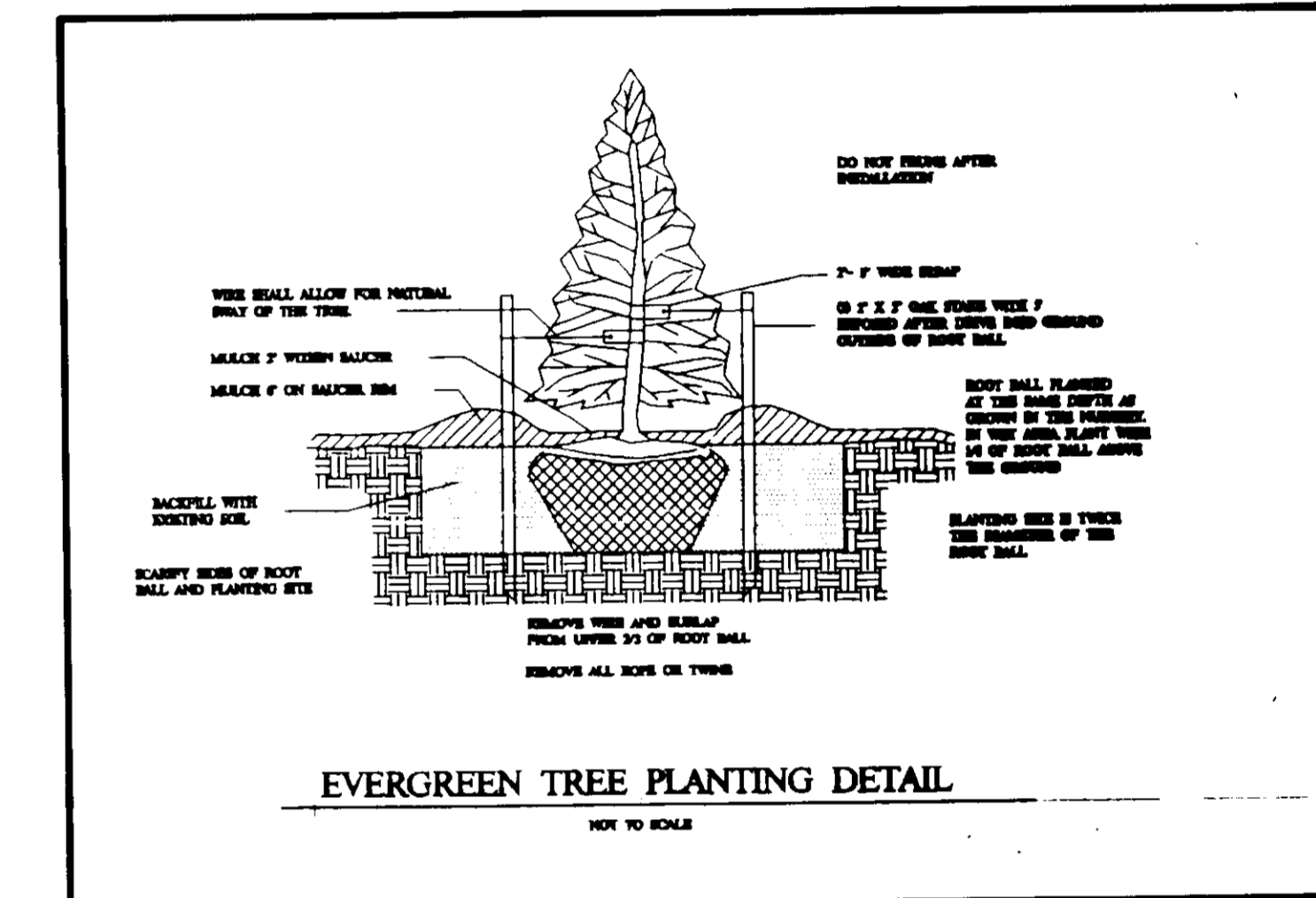
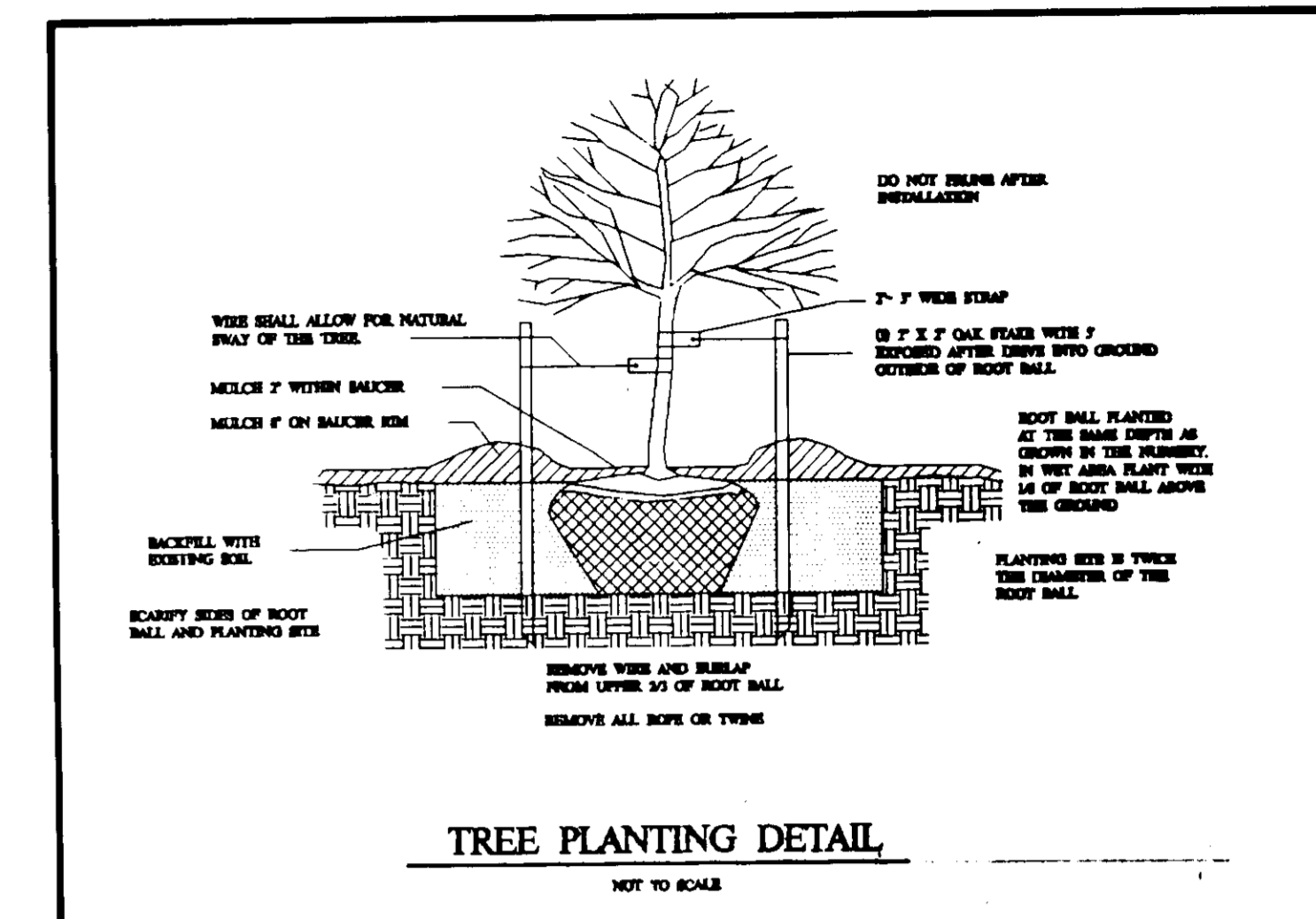
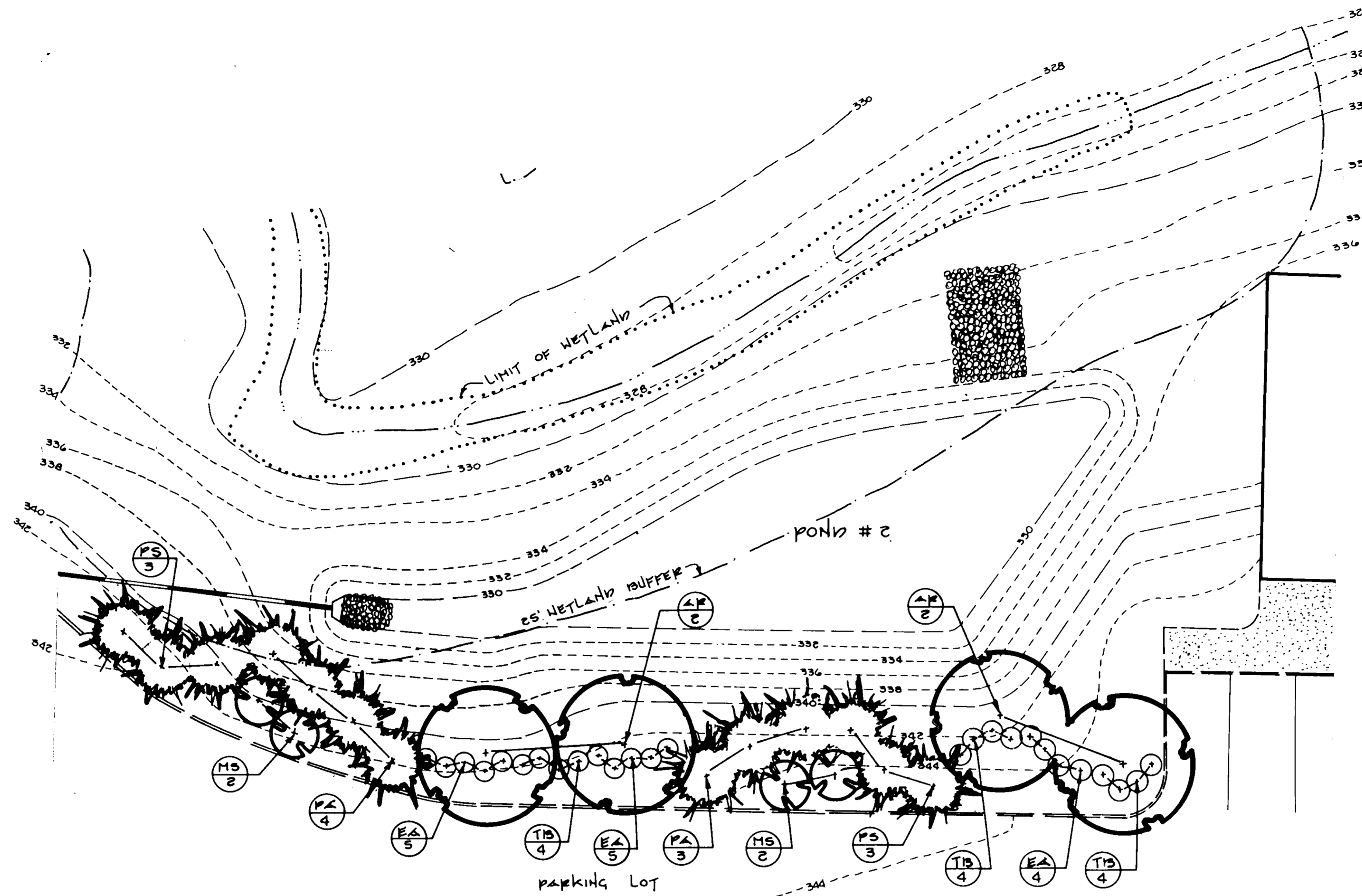
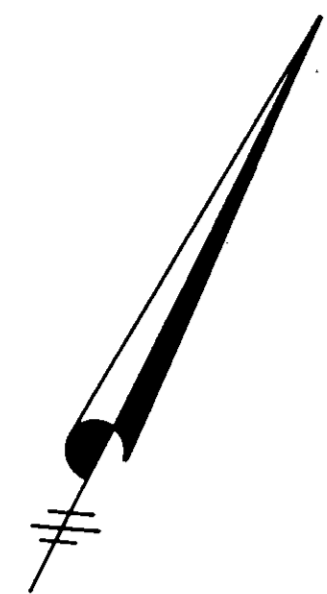
DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

APPROVED: DEPT. OF PLANNING AND ZONING
APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

NOTES AND DETAILS
ATHLTON SQUARE
REVISION SHEET DEVELOPMENT PLAN FOR SDF-90-126
SHAWER DRIVE
DUNK. OFFICE AND RETAIL STORE
SIXTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
TAX MAP: 57 PARCEL: A (63,199,287)
OCTOBER 22, 1991
SHEET 5 OF 6

QUALITY AND DEVELOPER
ATHLTON SQUARE ASSOC. LLTD PART
10005 HICKORY RIDGE ROAD
COLUMBIA, MARYLAND 21044



NOTE: THIS PLANTING PLAN IS IN COMPLIANCE WITH THE CONDITIONS OF WP-89-160



PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
AP	4	ACEK RUBRUM	RED MAPLE	1 1/2" - 2" C.	13x15
PA	7	PICEA AHSIES	NORWAY SPRUCE	5-6'	13x15
PS	6	PINUS STROBUS	WHITE PINE	5-6'	13x15
MS	4	MAGNOLIA STELLATA	STAR MAGNOLIA	6-8'	13x15
EA	14	EUONYMUS ALATUS	WINGED EUONYMUS	18-24"	CONT.
TB	12	TAXUS BACCATA	COMMON YEW	18-24"	CONT.

GENERAL NOTES

- Quality and size of plants, spread of roots, and size of balls shall be in accordance with the standards of the American Association of Nurserymen, "American Standards for Nursery Stock".
- Contractor shall be required to guarantee all plant materials for a period of one year after installation is complete and approved. At the end of one year all plant material which is dead or dying shall be replaced at the contractor's expense as originally specified.
- Contractor shall be responsible for any damage to utilities and may make minor adjustments in spacing and/or location of plant materials. Contractor to verify "as-built" location of all utilities.
- No substitutions shall be made without the approval of the landscape architect.
- All areas not stabilized in paving or plant materials should be seeded and mulched.
- Evergreen trees shall have a full, well-branched, conical form typical of the species.
- All shade trees shall branch a minimum of 6'-0" above ground level. Trees shall be planted and staked in accordance with the planting detail shown.
- Planting soil mix: 2/3 existing soil (with all stones or debris 2" or larger removed), 1/3 peat humus, composted sludge or other organic material.
- All groundcover and shrub beds shall receive 2" topsoil thoroughly worked into the top 6" of existing soil. All beds to be mulched 2" deep when plant installation is complete.
- All planting procedures and specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area" latest edition.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
SUITE 100, 9171 BALTIMORE NATIONAL PKE
ELLCOTT CITY, MARYLAND 21043
(301)461-2855

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature]
DATE: 10/24/91

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Signature: [Signature]
DATE: 10/24/91

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

U.S. SOIL CONSERVATION SERVICE DATE: [Blank]
THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED: [Blank] DATE: [Blank]
DISTRICT: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DATE: 11/2/92
PLANNING DIRECTOR: [Signature]
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
DATE: 12-21-92
HEALTH OFFICER: [Signature]

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
DATE: 12-29-92
DIRECTOR, PUBLIC WORKS: [Signature]
CHIEF, BUREAU OF ENGINEERING
DATE: 11-2-92
PROPERTY/SUBDIVISION: ATHOLTON SQUARE
SECTION/AREA: A
PARCEL/LOT NO: 5H
PLAT NO./L.F.: 7205
BLOCK NO.: 19
ZONE: B1
TAX/ZONE: 36
ELEC. DIST.: 6
CENSUS TR.: 6067.01
WATER CODE: E-13
SEWER CODE: 3321300

PLANTING PLAN
ATHOLTON SQUARE
SHAWER DRIVE
BANK, OFFICE, & RETAIL STORE
SIXTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

DRAWN BY: M.J.F. SCALED 1" = 10'
DESIGNED BY: M.J.F. DATE: SEPTEMBER 25, 1991
CHECKED BY: M.A.M. SHEET NO. 6 OF 6