

EVERGREEN PLANTING DETAIL

NO	REVISIONS	Date
1	Rev. hse and grad. lots 4, 5, 12 & 15, Add hse. typical	3-23-91
2	Rev. hse and grad. lot 14	4-10-92
3	Rev. hse & grad. lot 10	4-30-92
4	Rev. hse & grad. lot 3	6-29-92
5	Rev. hse & grad. lot 18	7-20-92
6	Rev. hse & grad. lot 17	9-28-92

ROUTE

108

MINIMUM LOT AREA CHART

Lot	Gross Area	Pipestem Area	Building Area
16	8385 sq	280 sq	8,105 sq

VICINITY MAP

Scale: 1" = 2000'

LEGEND

CONTOUR INTERVAL
EXISTING CONTOUR
PROPOSED CONTOUR
DIRECTION OF DRAINAGE
WALK OUT BASEMENT
EXISTING SEWER MAIN
EXISTING WATER MAIN
EXISTING STORM DRAIN
EXISTING TREES TO REMAIN
100 Year Flood Plain Elev.
Tree Protection Fence

TYPICAL TREE PROTECTION FENCE DETAIL

NOTE:
Fireplace, chimneys and bay windows not more than 10 feet in width, may project not more than four feet into any required yard in accordance with Section 128 of the Zoning Regulations.

GENERAL NOTES

- Subject property is zoned: R-SC
- The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System.
- All roadways are public and existing.
- The total area included in this submission is: 123,917 sq or 2,844.7 Ac
- The total number of lots included in this submission are: 17
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- The maximum lot coverage is: 40%
- Dept. of Planning and Zoning file reference file numbers are: S-86-84, P-88-28, P-88-85, A-86-11, F-89-102 & SDP-89-162
- The contractor or developer shall contact the Construction Inspection Survey Division, 24 hours in advance of commencement of work at 301-793-2630.
- The existing topography shown was field run by Clark, Finefrock and Sackett, Inc. on August 15, 1991.
- For driveway entrance details refer to Howard County Design Manual Volume III Section R-6.01, R-6.03 & R-6.05
- Stormwater Management provided for under F-89-102
- The wetland (stream) buffers indicated on this plan does not affect the initial construction of a residential unit on a lot. It does prohibit subsequent clearing, grading or construction in the buffer area. Maintenance of residences, landscaping and utilities is permitted.
- Garages on Lots 13 & 16 shall be used for parking purposes only, in accordance with Section 127 B 2 b (18) of Ho Co Zoning Regulations.

SPECIAL NOTES:

- This plan is for grading of lots only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-89-102 and/or approved Water and Sewer Plans Contract #C-24-1863-D
- Subject to A-86-11 which was approved June 3, 1986. It allows for the reduction of the Open Space requirement from 20% to 18% and the reduction of the minimum lot width of the building restriction line from 60 feet to 54 feet for lots 5, 6, 7 and 8.
- Section 128 of the Zoning Regulations allows porches or decks, open or enclosed, not to project more than 10 feet into the required front or rear yard B.R.L.

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
COTTONWOOD WAY	
3	10709
4	10713
5	10717
6	10723
7	10727
8	10744
9	10740
10	10736
11	10732
12	10728
13	10724
14	10720
15	10716
16	10712
17	10708
18	10704
19	10700

TYPICAL HOUSES

- NOTES: 1. All units have 1" roof eaves front and rear.
2. # Denotes minimum lot size

SUBDIVISION NAME	CEEDAR MANOR	SECTION/AREA	N/A	LOTS/PARCELS	3 thru 19
PLAT NO.	9178	BLOCK NO.	11	ZONE	R-SC
TAX MAP NO.	29	ELECTION DIST.	5TH	CENSUS TRACT	6055
WATER CODE	I 02	SEWER CODE	5583000		

OWNER/DEVELOPER
Howard Estate Development Corp.
P.O. Box 1018
Columbia, MD 21044

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

DESIGNED	VLP	SCALE	1" = 30'
DRAWN	BAL	SITE DEVELOPMENT PLAN	
CHECKED	UME	LOTS 3 thru 19	
DATE	Sept 1991	CEEDAR MANOR	
		5TH ELECTION DISTRICT	
		HOWARD COUNTY, MARYLAND	
		FOR PATRIOT HOMES	
		P.O. Box 1018	
		Columbia, Maryland 21044	
		SDP 92-37	

TREE PLANTING DETAIL

- PLANTING NOTES
- Contractor shall verify location of underground utilities prior to digging.
 - All planting shall be done in accordance w/ Bait/Wash Land specs.

Existing Stormwater Management Pond

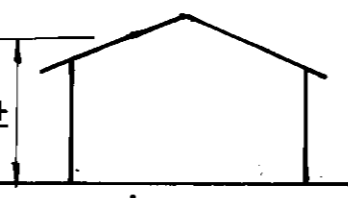
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
John W. Gaudus 12-3-91
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
James R. Smith 12/16/91
Thomas A. Harnish 10/16/91
DATE DATE

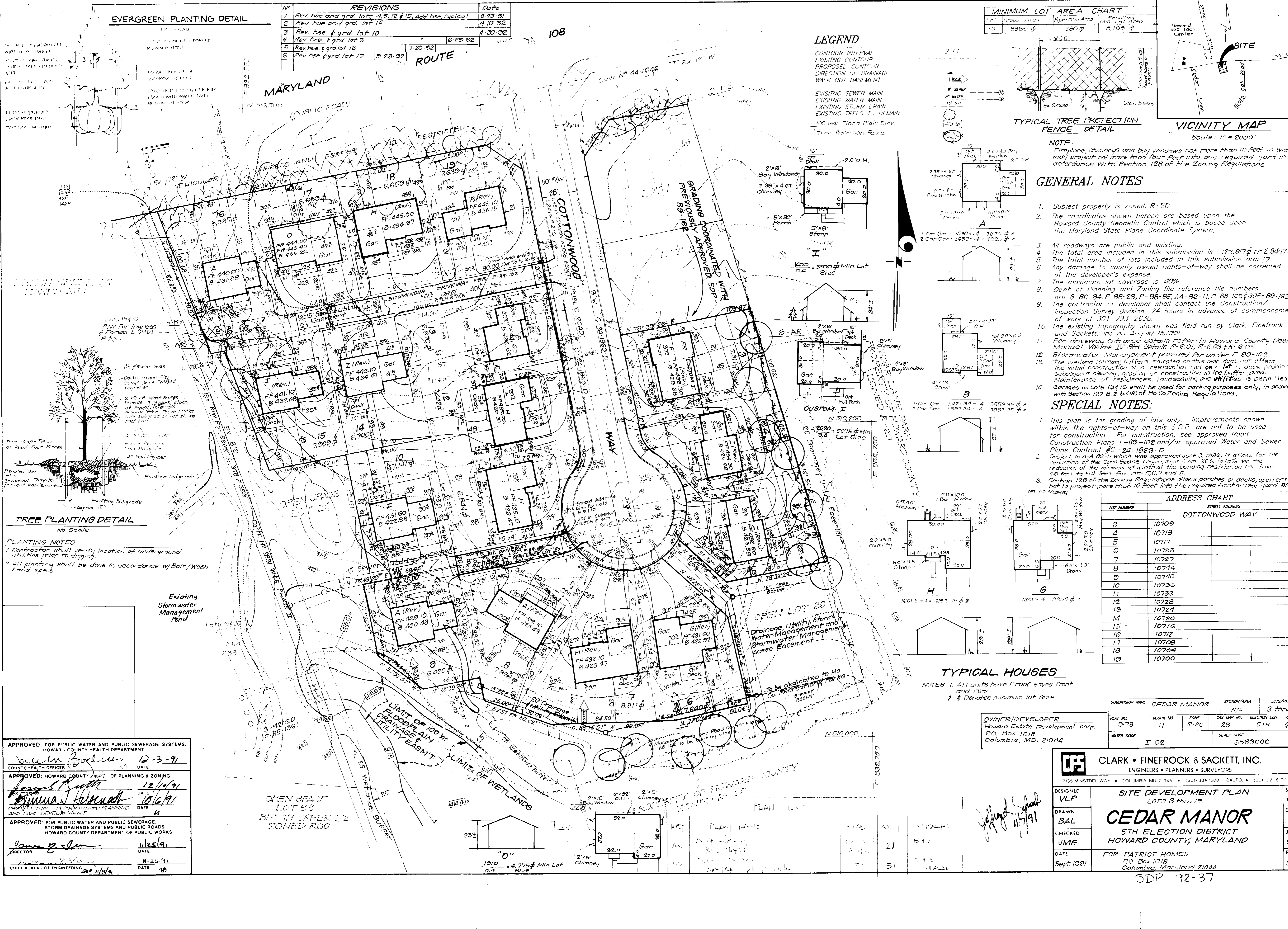
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James P. Schum 11/25/91
DIRECTOR DATE

CHIEF BUREAU OF ENGINEERING 11/25/91 DATE

OPEN SPACE LOT 23
BLEISH CREEK 1:2
ZONED R30

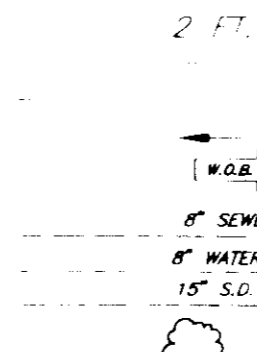


10'0" = 4,775# Min Lot Size

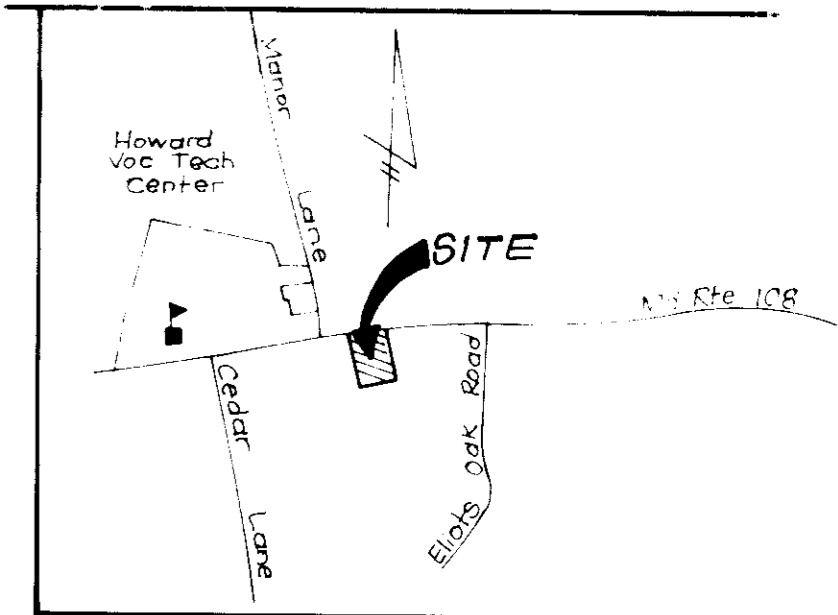


LEGEND

CONTOUR INTERVAL
EXISTING CONTOUR
PROPOSED CONTOUR
DIRECTION OF DRAINAGE
WALK OUT BASEMENT
EXISTING SEWER MAIN
EXISTING WATER MAIN
EXISTING STORM DRAIN
EXISTING TREES TO REMAIN



100 Year Floodplain Elev. 414.4 *
6ft Fence
Ex. Earth Dike
Proposed Earth Dike
Stabilized Construction Entrance



VICINITY MAP
Scale 1" = 2000



REFURBISH EXISTING TRAP NO 2 AS FOLLOWS
TRAP NO 2 80ST (ST-V)

Drainage Area 1.1 Ac
Storage Required 2016 CF
Storage Provided 2216 CF
Top of Stone Weir 424.0
Bottom Elevation 420.0
Clean out Elevation 421.5
Bottom Dimensions 42' x 8'
Depth: 3'
2:1 Side Slopes
L=5'

OPEN SPACE
LOT 5
BLEECH CREEK 1:1
ZONED RSC

Ex. trapper
field Survey
dated 8-15-91

Existing
Stormwater
Management
Pond

OPEN SPACE
LOT 23
BLEECH CREEK 1:2
ZONED RSC

Ex. Trap per field
Survey dated 8-15-91

Note: Extreme care to be taken
when grading in area of
ex. storm drain

REFURBISH EXISTING TRAP
NO 1 AS FOLLOWS:
TRAP NO 1 80ST (ST-V)

Drainage Area: 2.5 Ac
Storage Required: 4500 CF
Storage Provided: 4930 CF
Depth: 3'
Top of Stone Weir 418.0
Bottom Elevation: 418.0
Clean out Elevation: 418.5
Bottom Dimensions: Vary See Plan
2:1 Side Slope
L=10'

OWNER/DEVELOPER
Howard Estate Development Corp.
P.O. Box 1018
Columbia, MD 21044

Reviewed for HOWARD COUNTY
and meets Technical Requirements
Signature: *[Signature]* 11/18/91
U.S. Soil Conservation District

THIS DEVELOPMENT PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

[Signature] Approved 11/17/91

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan of development and construction and will be under control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a District of Maryland Resources Approved Training Program in the Control of Soil Erosion before beginning the project. I also authorize construction site inspection by the Howard Soil Conservation District or its authorized agents, as are deemed necessary.

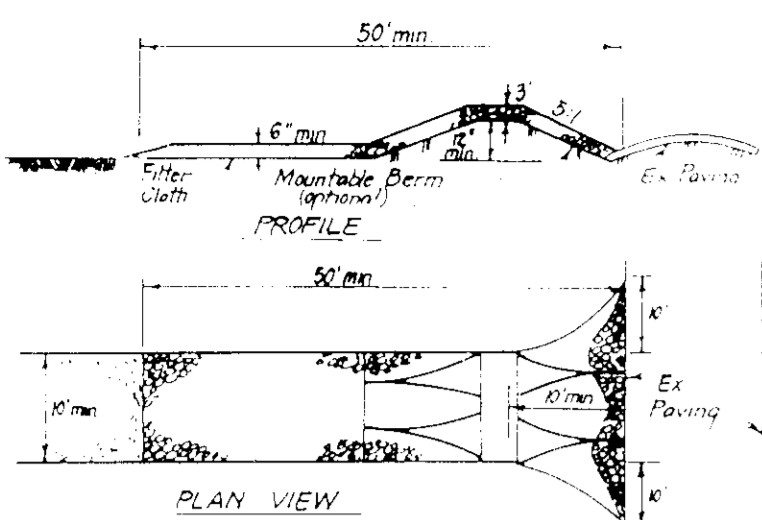
[Signature] 9-17-91
Signature of Developer/Builder

I hereby certify that this plan for Erosion and Sediment Control represents a practice that will be done in accordance with the plan based on my personal knowledge of site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 9-17-91
G. Nelson Clark Date

Table with 2 columns: Agency/Department and Date. Includes approvals from Howard County Health Department, Planning & Zoning, and Public Works.

Table with 3 columns: Designer (CLARK • FINEROCK & SACKETT, INC.), Drawing Title (CEDAR MANOR), and Drawing Info (Scale, Date, Job No.).



CONSTRUCTION SPECIFICATIONS:

- Stone size - Use 2" stone or equivalent of equivalent.
- Length - As required, but not less than 50' long (exception a single row of 10' where a 30' minimum length would apply).
- Thickness - Not less than six (6) inches.
- Width - Ten (10) feet minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to paving of stone. Filter will not be required on single family residential.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a masonry curb with 5/16" slits will be permitted.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing, with additional stone as sand/pine dunnop and/or repair and/or cleaning. If any repairs used to trap sediment, the sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE (SCE)
NO SCALE

PERMANENT SEEDING NOTES:

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 15 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 358 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES:

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

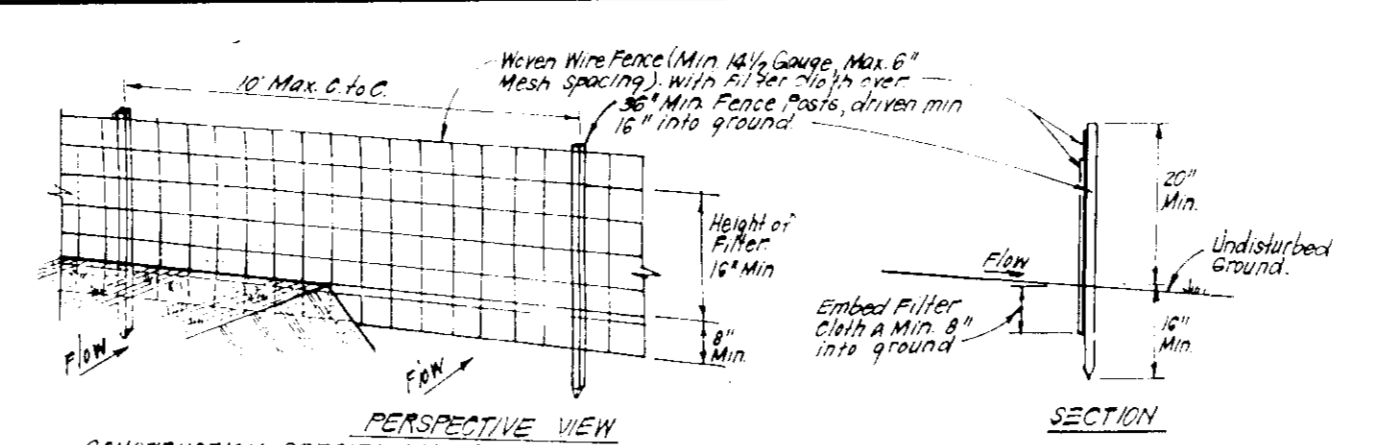
Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

Seeding - For periods March 1 thru April 30 and from August 15 thru November 15, seed with 25 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 358 gal per acre (8 gal/1000 sq ft) for anchoring.

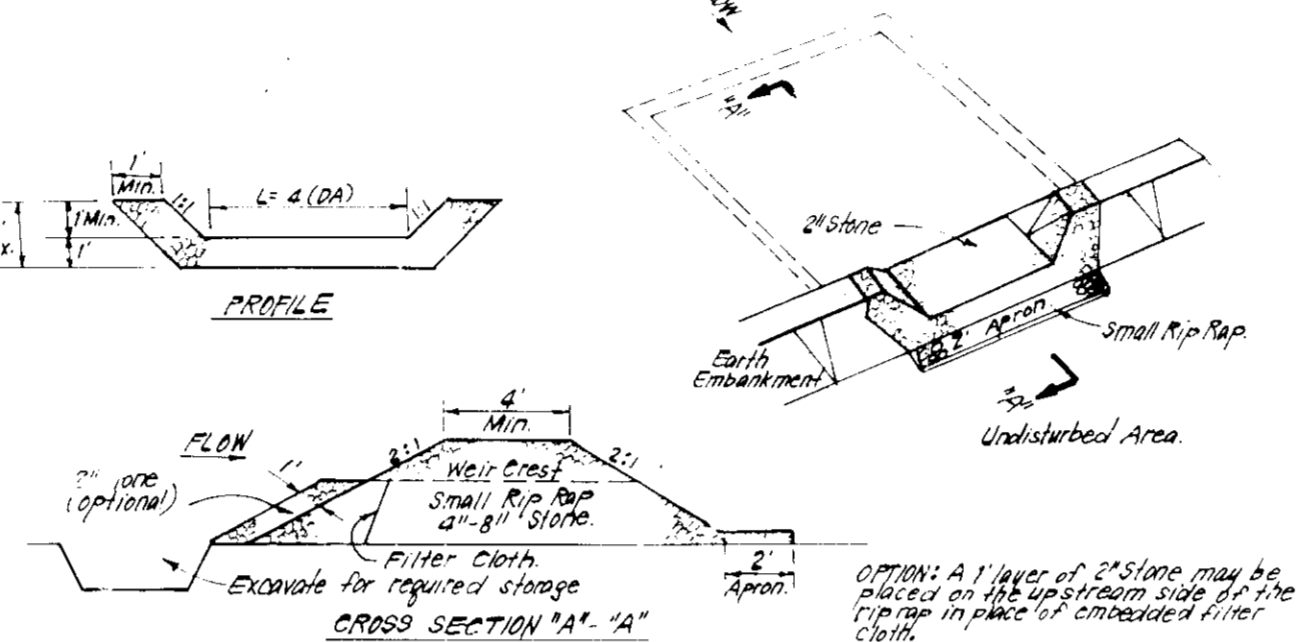
Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



CONSTRUCTION SPECIFICATIONS:

1. Woven wire fence to be fastened securely to fence posts with wire fast of staples.
2. Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" by 1" and mid section.
3. When 2 sections of filter cloth adjoin, each other they shall be overlapped by 6" and ties shall be maintained as needed and material removed when "blowers" develop in soil fence.

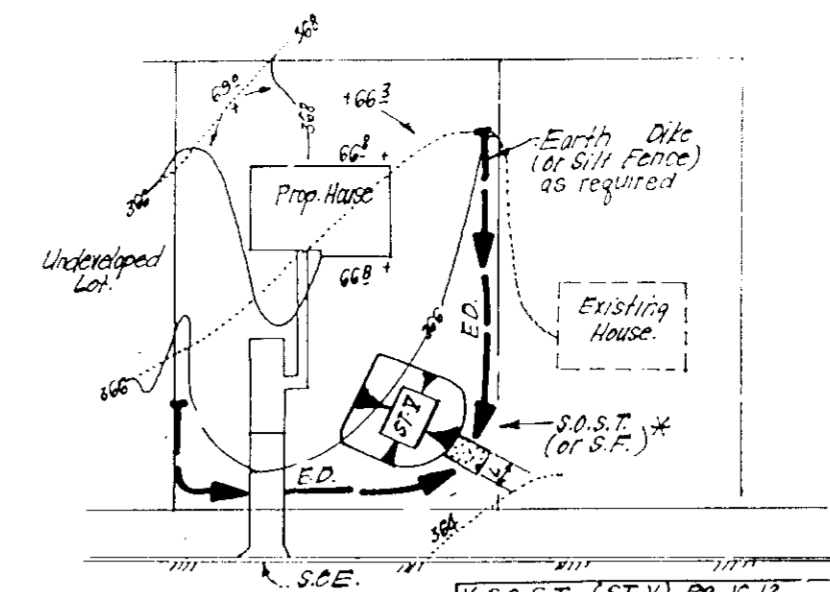
SILT FENCE DETAIL (S)
NO SCALE



CONSTRUCTION SPECIFICATIONS:

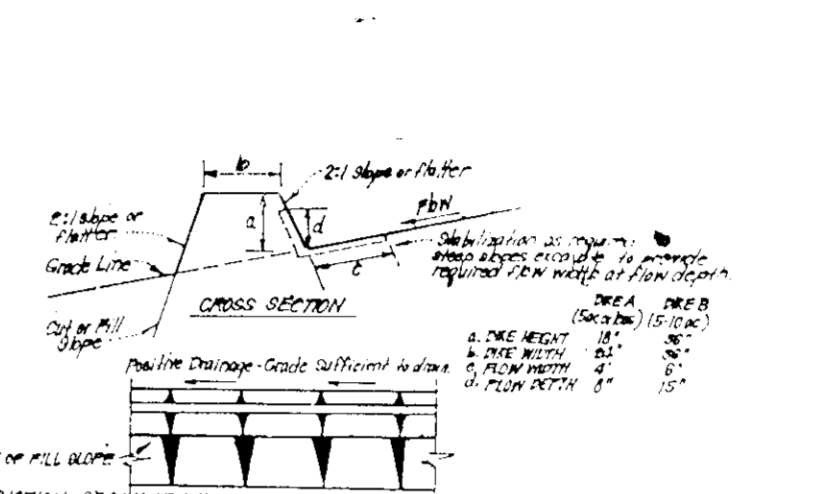
1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The trap area shall be cleared.
2. The fill material for the embankment shall be free of roots and other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by tamping with equipment while it is being constructed.
3. All cut and fill slopes shall be 2:1 or flatter.
4. The stone used in the outlet shall be small rip rap 4" to 8" with 1" thickness of 2" aggregate placed on the up-slope side of the small rip rap of embedded filter cloth to the rip rap.
5. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
6. The structure shall be inspected after each rain and repairs made as needed.
7. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
8. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

STONE OUTLET SEDIMENT TRAP (S.O.S.T.) STY
NO SCALE



SINGLE LOT SEDIMENT CONTROL PLAN
NO SCALE

* NOTE: Single lot detail can not be utilized if any two lots abutting common property lines are to be disturbed at the same time or on any lots showing a sediment trap.



CONSTRUCTION SPECIFICATIONS:

1. All dikes shall be constructed by earth-moving equipment.
2. All dikes shall have positive drainage to an outlet.
3. The width of the dike shall be 10' at the top and 12' at the base.
4. The height of the dike shall be 2' above the finished ground level.
5. Earth dikes shall have an outlet that discharges with a minimum of 10' of freeboard.
6. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
7. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
8. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
9. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
10. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
11. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
12. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
13. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
14. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
15. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
16. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
17. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
18. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
19. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.
20. Earth dikes shall be constructed with a minimum of 10' of freeboard above the finished ground level.

EARTH DIKE DETAIL (E.D.)
NO SCALE

- SEDIMENT CONTROL NOTES**
- 1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
 - 2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - 3) Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 14 days as to all other disturbed or graded areas on the project site.
 - 4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - 5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 57). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 - 6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 - 7) Site Analysis:

Total Area of Site	2.847	Acres
Area Disturbed	3.66	Acres
Area to be roofed or paved	1.19	Acres
Area to be vegetatively stabilized	2.47	Acres
Total Cut	5900	Cu. yds
Total Fill	3222	Cu. yds
Offsite waste/borrow area location	*	
 - 8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - 9) Additional sediment control must be provided, if deemed necessary by the Howard County DFW sediment control inspector.
 - 10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
 - 11) If houses are to be constructed on an "As-Built" basis, at random, Single Lot Sediment Control as shown below shall be implemented.
 - 12) All pipes to be blocked at the end of each day (see detail below).
 - 13) The total amount of straw bale dikes/silt fence equals L.F.
- * It is the responsibility of the contractor to identify the spoil/borrow site and notify HOSCO of the site and its grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:

Activity	No. of Days
A. Obtain Grading Permit and Install Sediment and Erosion Control Devices and Stabilize.	7
B. Excavate for foundations and Rough Grade & Temporarily Stabilize.	14
C. Construct Structures, Sidewalks and Driveways.	60
D. Final Grade and stabilize in accordance with Stds. & Specs.	14
E. Upon approval of the sediment control inspector, remove sediment and erosion controls and stabilize.	7

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

James Boyd 12-3-91
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

James Boyd 12/10/91
DIRECTOR DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James Boyd 11/25/91
DIRECTOR DATE

James Boyd 11-25-91
CHIEF BUREAU OF ENGINEERING DATE

Reviewed for HOWARD COUNTY S.C.D. Name: *John R. Johnson* Date: 11/17/91

Signature: *John R. Johnson* Date: 11/17/91

U.S. Soil Conservation Service

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

John R. Johnson 9-17-91
Signature Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark 9-17-91
Signature Date

OWNER/DEVELOPER
Howard Estate Development, Corp.
P.O. Box 1018
Columbia, MD. 21044

CLARK • FINEPROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINTREL WAY • COLUMBIA, MD. 21046 • (301) 881-7500 • BALTO. • (410) 651-8800 • WASH.

DESIGNED KIWM
DRAWN BAL
CHECKED KIWM
DATE Sept 1991

DETAIL SHEET
LOTS 3 thru 19
CEDAR MANOR
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE As Shown
DRAWING 3 of 3
JOB NO 91-112
FILE NO 91-112 SE

FOR: PATRIOT HOMES
P.O. Box 1018
Columbia, Maryland 21044

SDP-92-37