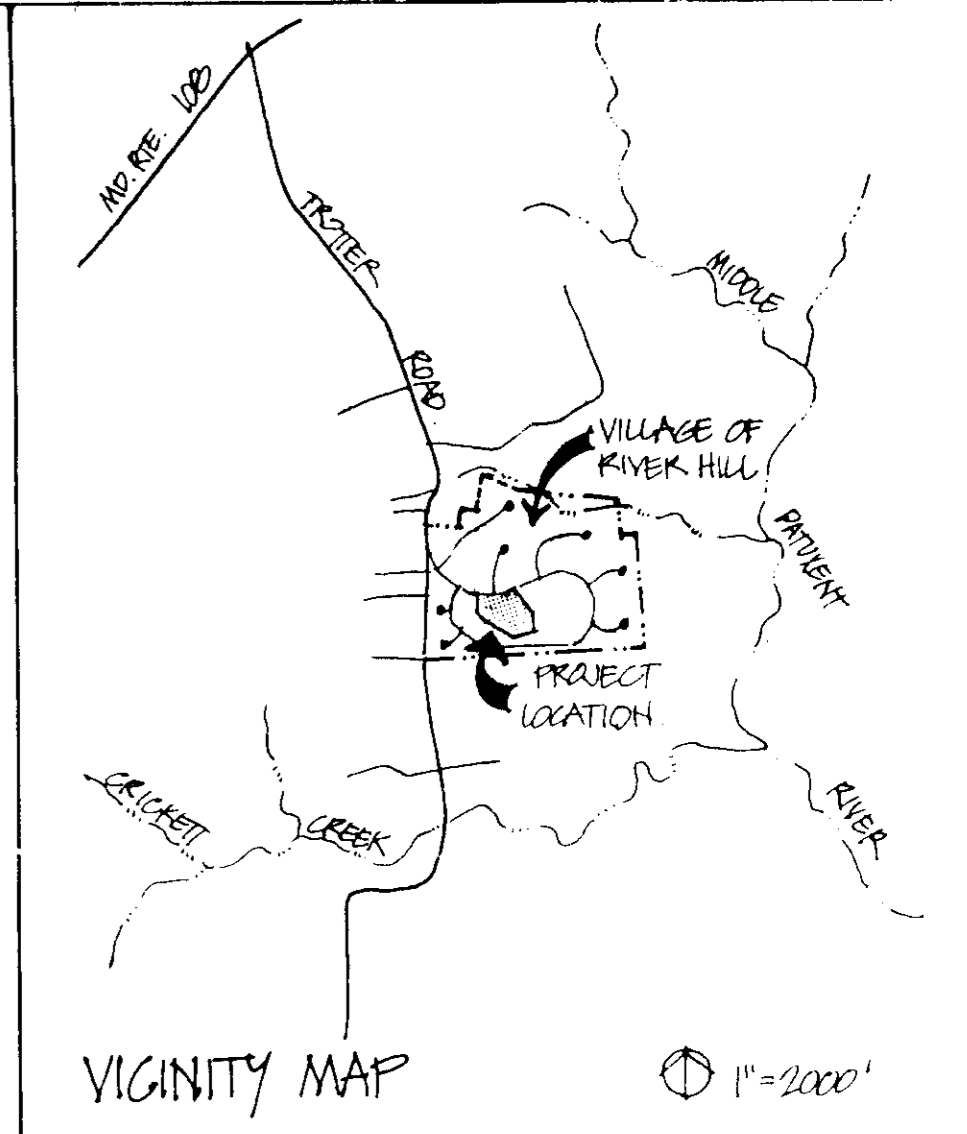


- General Notes
- The existing property is zoned N.T.S.F.L.D. per August 2, 1985, Comprehensive Zoning Plan and is subject to the requirements of the FOP-210.
 - The coordinates shown herein are based on the Maryland State Grid System and derived from the following Howard County Control Stations: 243700, 243705, 237002 and 267004.
 - All roadways are public and are existing.
 - Total area included in this submission is 115,818 s.f. or 2.66 ac. ±.
 - Total number of lots is 12.
 - Any damage to county owned right-of-way shall be corrected at the developer's expense.
 - Maximum lot coverage is 30 percent.
 - Reference plans F-91-98, Contract No. 34-3090-D.
 - The contractor or developer shall contact the Construction/Inspection Survey Division, 24 hours in advance of commencement of work at 732-2630.
 - See Department of Planning and Zoning File Nos. F-91-98, 300 Case 412, 300 Case 507, 23 Case 606, 23 Case 644, 23 Case 691, 23 Case 817.
 - The existing topography shown was taken from a field survey by Daft-McCune-Walker.
 - All road construction, storm drainage facilities and public water and sewer are shown for reference only. Use approved plans for all phases of construction.
 - USE A COMMON EASEMENT FOR SHARED ACCESS TO LOTS 150, 151 & 152 RECORDED IN L. 2404/F. 272
 - Porches and decks may extend up to three feet into the front or rear setbacks and chimneys less than 10 feet in width may extend up to 4 feet into setbacks in accordance with FOP-210.
 - All work shall be performed in accordance with the 1990 version Howard County Standards, Specifications and Details for Construction.
 - All roads adjacent to this development are public.
 - All driveway entrances shall be constructed in accordance with Howard County Std. 11. # R-6.01.
 - IF FIREWATER MANAGEMENT IS PROVIDED ON F-91-98
 - EUCROACHMENTS ON THE STRUCTURAL 7 1/2' SIDE YARD SETBACK RECEIVED PLANNING BOARD APPROVAL OCTOBER 15, 1991 (LOTS 148, 152 AND 155). THE REQUIRED 15 FOOT SPACING BETWEEN ADJACENT STRUCTURES HAS BEEN MAINTAINED.



SEWERABILITY CHART

LOT NO.	SANITARY INVERT @ THE PROPERTY LINE	MIN. ELEV. OF BMT SLAB RECD.	BMT SLAB ELEV.
146	380.04	383.64	391.00
147	386.49	390.89	392.34
148	387.93	392.63	396.00
149	390.42	394.42	397.67
150	392.18	396.34	402.00
151	392.19	397.47	399.87
152	391.75	396.15	401.67
153	391.91	396.17	400.33
154	390.49	394.69	396.00
155	388.54	392.64	396.00
156	387.00	391.50	394.33
157	388.38	392.74	394.67

10/15/91 cm

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
James P. Sullivan 11/15/91
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Anna Halseth 11/21/91
DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James P. Sullivan 11/14/91
DATE

VILLAGE OF RIVER HILL
SECTION 1 AREA 3 PHASE 1
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER
THE MARK BUILDING COMPANY
1301 YORK ROAD
LUTHERVILLE, MD 21093

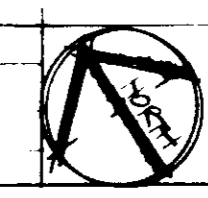
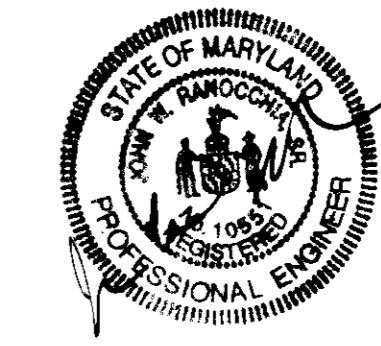
DAFT McCUNE WALKER, INC.
LAND PLANNING CO. 2475
LANDSCAPE ARCHITECTS
ENGINEERS SURVEYORS
200 EAST PENNSYLVANIA AVENUE
TOWSON, MD 21286
TELEPHONE 410-291-1444

SITE DEVELOPMENT PLAN

SUBDIVISION NAME	VILLAGE OF RIVER HILL	SECT. AREA	1.07 PARCEL
PLAT OR REF.	1979	ZONE	N.T.S.F.L.D.
WATER CODE	104	SEWER CODE	670000C

LOT NUMBER	STREET ADDRESS
146	0320 SILVER STAR PATH
147	0320 SILVER STAR PATH
148	0320 SILVER STAR PATH
149	0319 SILVER STAR PATH
150	0317 SILVER STAR PATH
151	0321 SILVER STAR PATH
152	0320 SILVER STAR PATH
153	0316 SILVER STAR PATH
154	0316 SILVER STAR PATH
155	0308 SILVER STAR PATH
156	0309 SILVER STAR PATH
157	0320 SILVER STAR PATH

DES. BY: [Signature] SCALE: 1" = 30'
DRN. BY: [Signature] DATE: 8-14-91
CHK'D. BY: [Signature] APPROVED: [Signature]

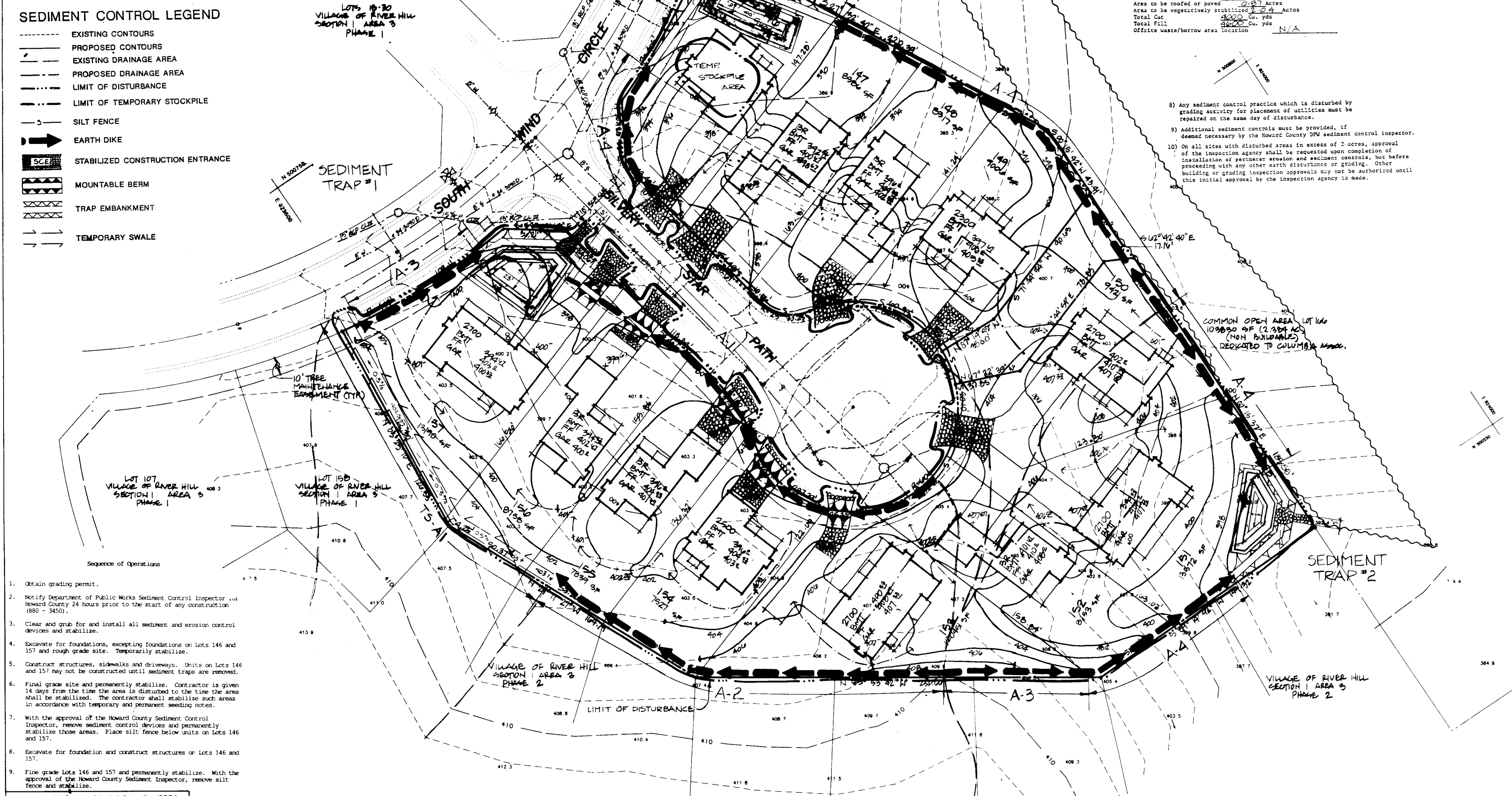


Trap Number	1	2	3
Trap Type	SV	SV	SV
Existing Drainage Area Ac.	1.07	0.57	0.92
Proposed Drainage Area Ac.	0.99	0.54	0.67
Storage Required Cu. Yd.	1,926	1,026	1,056
Storage Provided Cu. Yd.	2,207	1,056	1,764
Top Embankment Elevation	396	396	390
Great Elevation	397	395	388.5
Existing Ground Elevation	396	394	387.5
Clearest Elevation	394.5	392.5	386.0
Bottom Elevation	393	391	384.5
Outlet Width (ft)	5	5	5
Bottom Dimension	18x23	6x16	6x40
Trap Depth	3	3	5
Trap Slopesides	2:1	2:1	2:1
Barrel Diameter	-	-	-
Riser Diameter	-	-	-

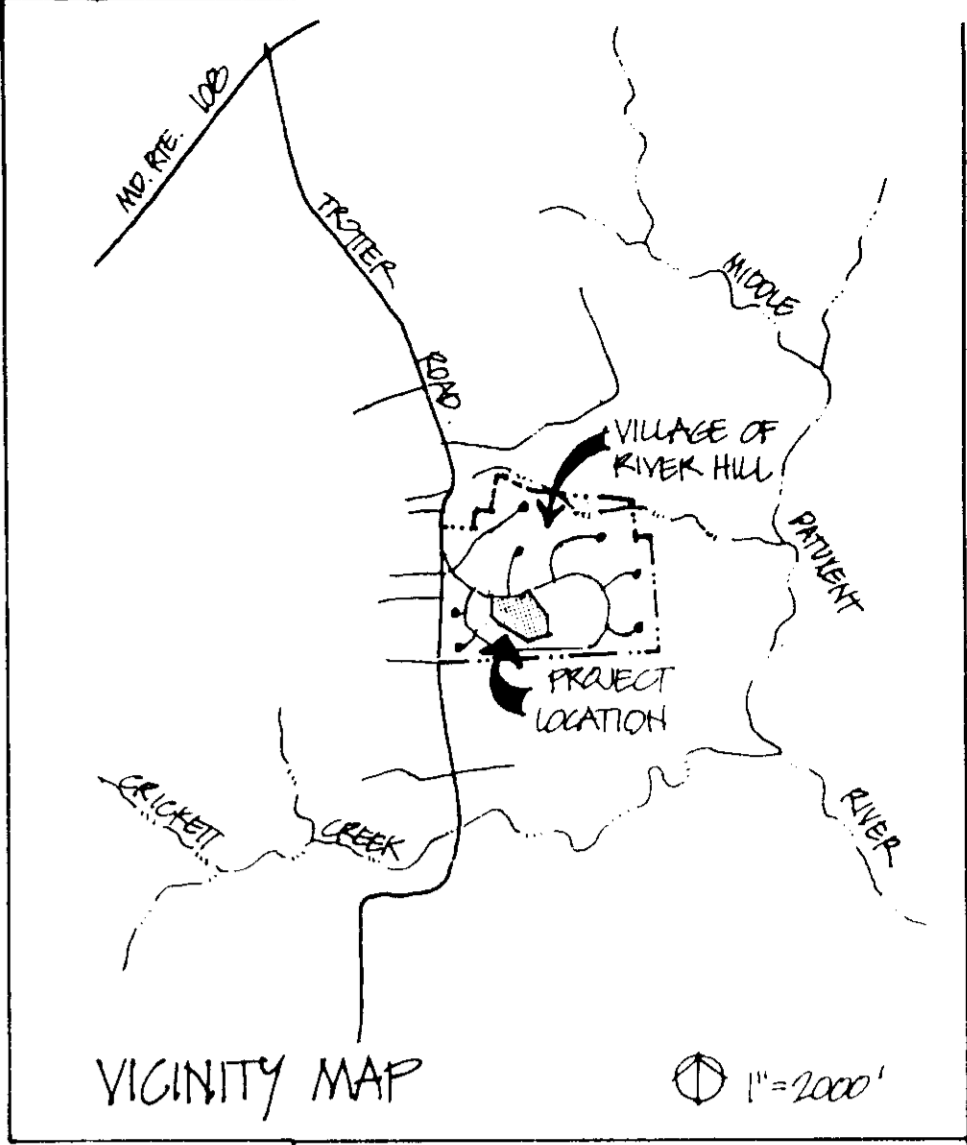
TRAP STORAGE CHART					
TRAP #1					
ELEV.	S.F.	AVG.	Δ	STOR.	E STOR.
399	410	411	1	0	0
396	406	408	2	511	511
396	1084	848		1086	2207
TRAP #2					
ELEV.	S.F.	AVG.	Δ	STOR.	E STOR.
391	180	172	1	0	0
392	294	172	1	172	172
392	642	443	2	260	1056
TRAP #3					
ELEV.	S.F.	AVG.	Δ	STOR.	E STOR.
364.5	264	362	1	264	264
366.5	470	701	2	1402	1764
367.5	932				

SEDIMENT CONTROL LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING DRAINAGE AREA
- PROPOSED DRAINAGE AREA
- LIMIT OF DISTURBANCE
- LIMIT OF TEMPORARY STOCKPILE
- SILT FENCE
- EARTH DIKE
- STABILIZED CONSTRUCTION ENTRANCE
- MOUNTABLE BERM
- TRAP EMBANKMENT
- TEMPORARY SWALE



- SEDIMENT CONTROL NOTES**
- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (982-2437)
 - All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 1:1, b) 14 days as to all other disturbed or graded areas on the project site.
 - All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 17, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 5) and (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 51). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 - Site Analysis:
 - Total Area of Site: 2.62 Acres
 - Area Disturbed: 2.31 Acres
 - Area to be seeded or paved: 2.97 Acres
 - Area to be vegetatively stabilized: 2.4 Acres
 - Total Dc: 4000 Cu. Yds
 - Total Fill: 3000 Cu. Yds
 - Office waste/borrow area location: N/A
 - Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - Additional sediment controls must be provided, if deemed necessary by the Howard County SPM sediment control inspector.
 - On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.



Sequence of Operations

- Obtain grading permit.
- Notify Department of Public Works Sediment Control Inspector via Howard County 24 hours prior to the start of any construction (880 - 3450).
- Clear and grub for and install all sediment and erosion control devices and stabilize.
- Excavate for foundations, excepting foundations on lots 146 and 157 and rough grade site. Temporarily stabilize.
- Construct structures, sidewalks and driveways. Units on lots 146 and 157 may not be constructed until sediment traps are removed.
- Final grade site and permanently stabilize. Contractor is given 14 days from the time the area is disturbed to the time the area shall be stabilized. The contractor shall stabilize such areas in accordance with temporary and permanent seeding notes.
- With the approval of the Howard County Sediment Control Inspector, remove sediment control devices and permanently stabilize those areas. Place silt fence below units on lots 146 and 157.
- Excavate for foundation and construct structures on lots 146 and 157.
- Final grade lots 146 and 157 and permanently stabilize. With the approval of the Howard County Sediment Inspector, remove silt fence and stabilize.

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.
 [Signature] 10/28/91
 SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 10/28/91
 HOWARD S.C.D. DATE

CERTIFICATION BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 10/21/91
 John W. Ranocchia, Sr. DATE

CERTIFICATION BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] October 21, 1991
 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 [Signature] 11-15-91
 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 11/2/91
 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 11/2/91
 DATE

APPROVED: [Signature] 11/2/91
 DATE

APPROVED: [Signature] 11/2/91
 DATE

VILLAGE OF RIVER HILL
 SECTION 1 AREA 3 PHASE 1
 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER
 THE MARK BUILDING COMPANY
 1301 YORK ROAD
 LUTHERVILLE MD 21093

DAFT McCUNE WALKER, INC.
 LAND PLANNING CONSULTANTS
 LANDSCAPE ARCHITECTS
 ENGINEERS SURVEYORS
 200 EAST PENNSYLVANIA AVENUE
 LUTHERVILLE, MD 21093

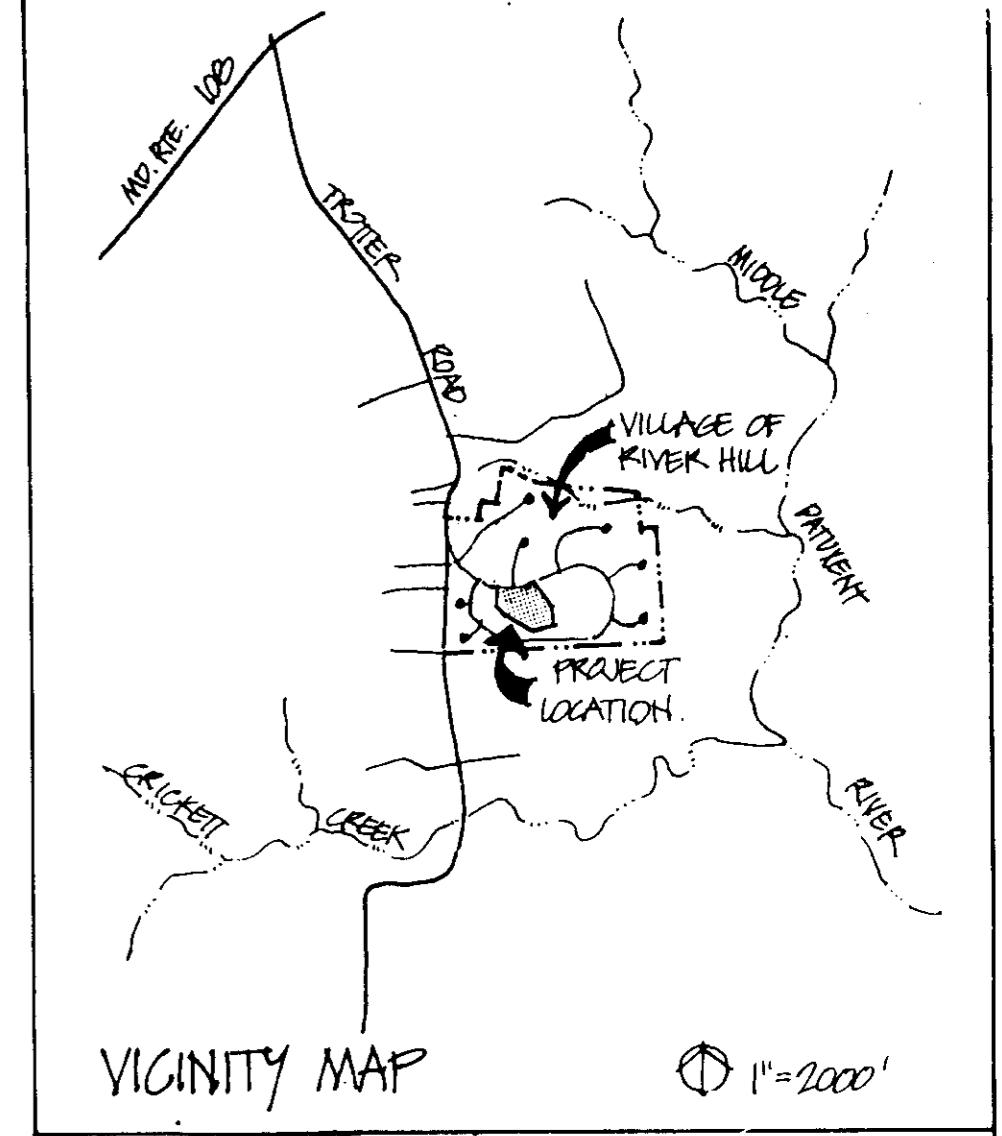
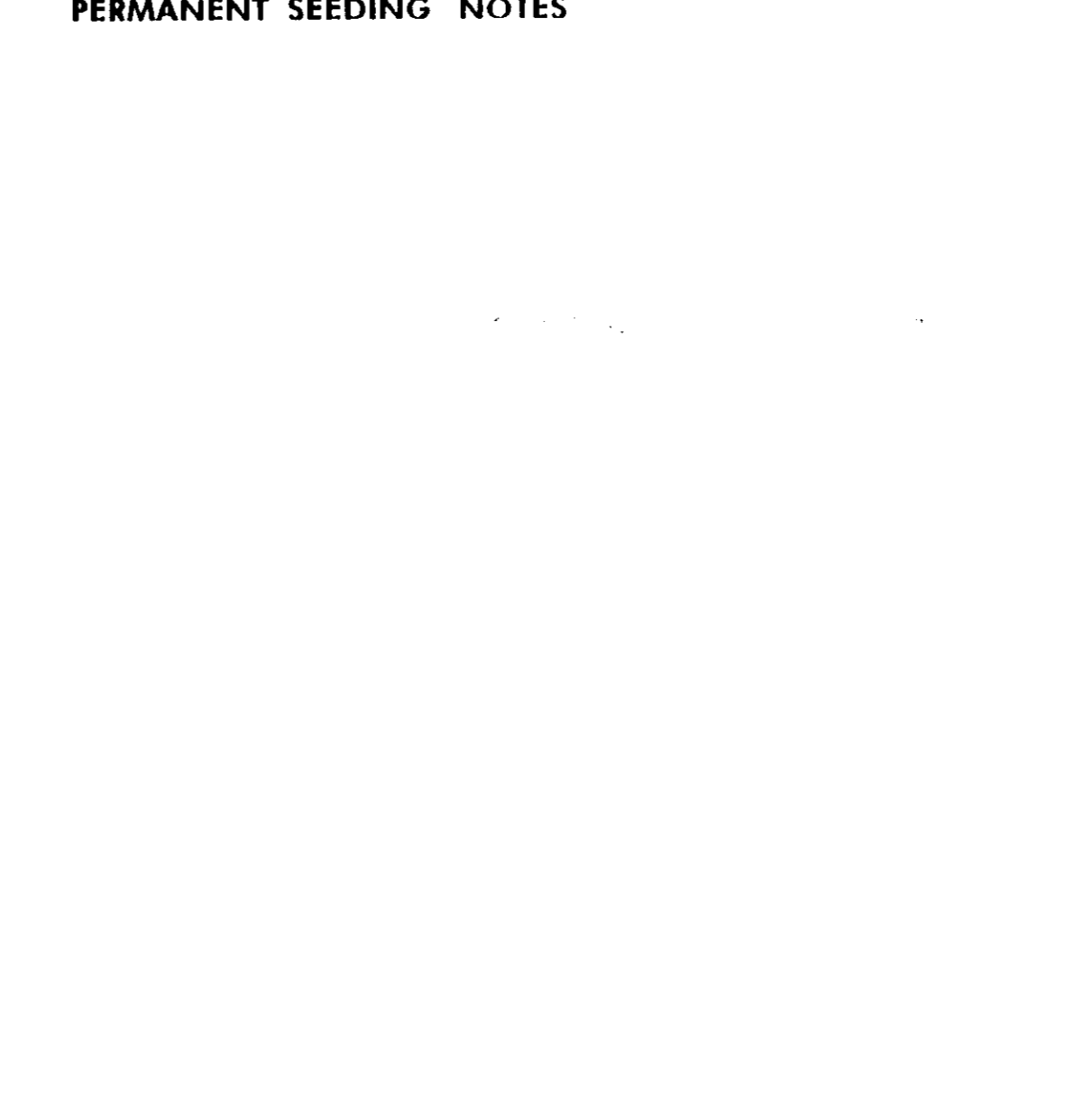
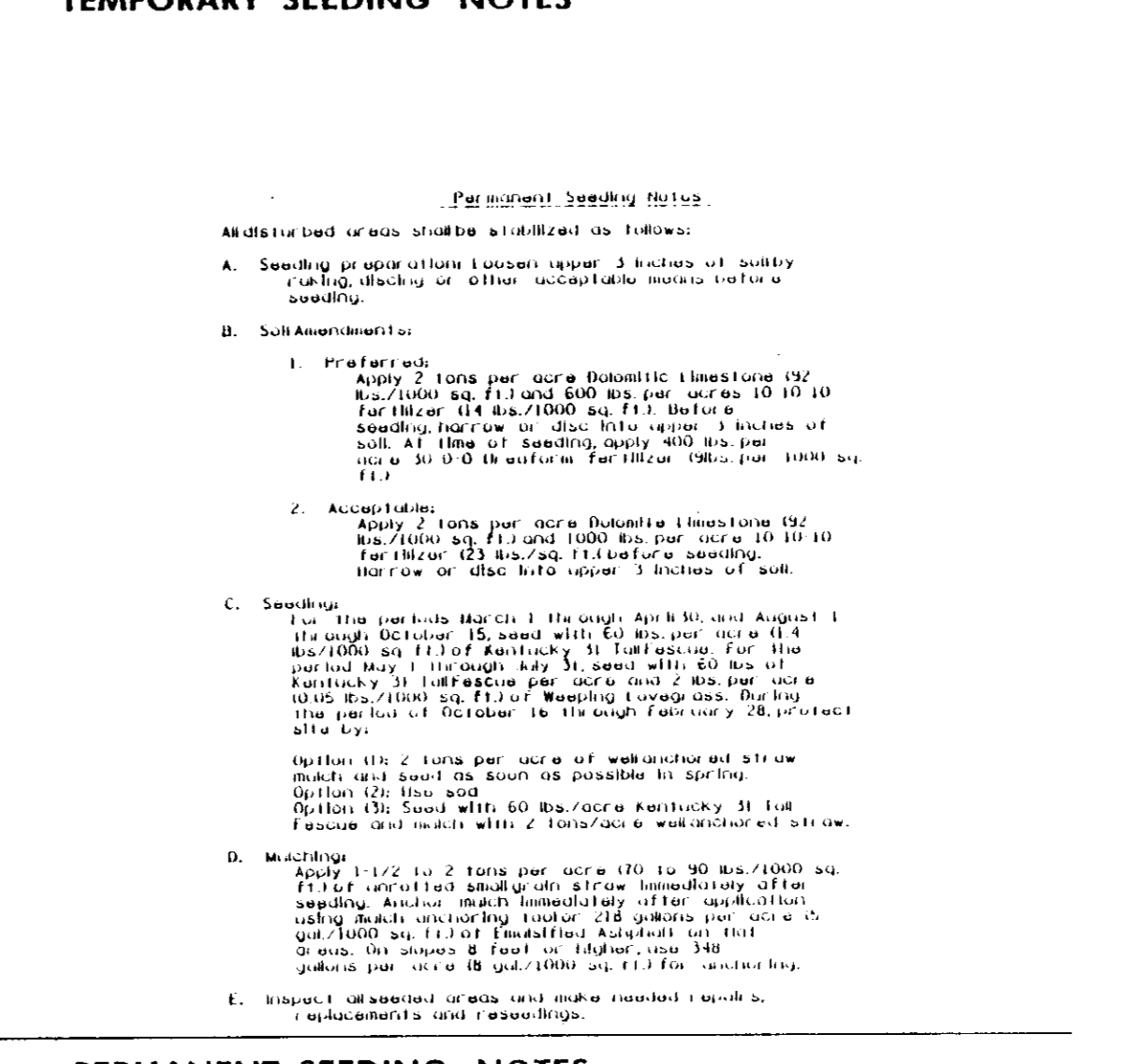
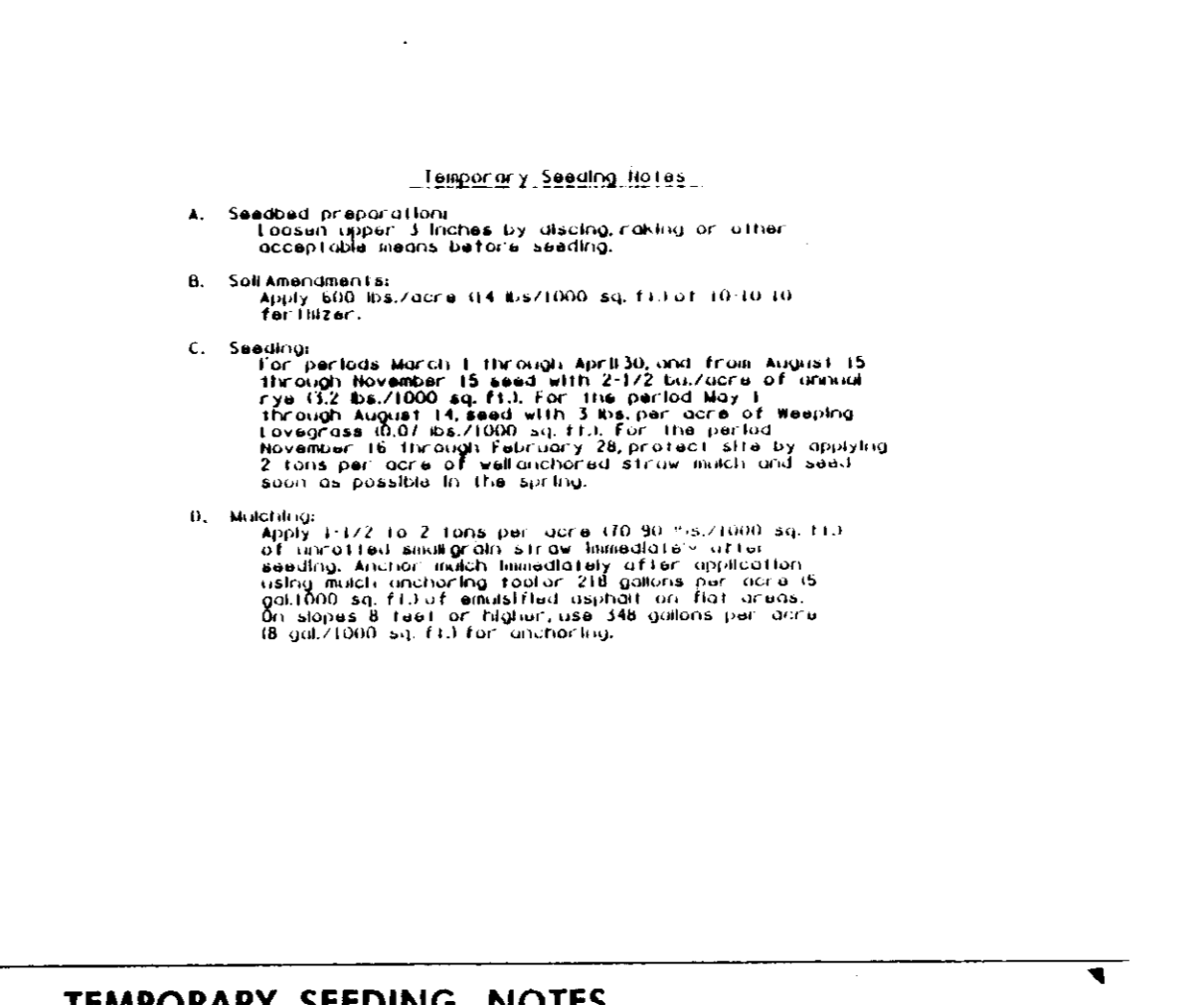
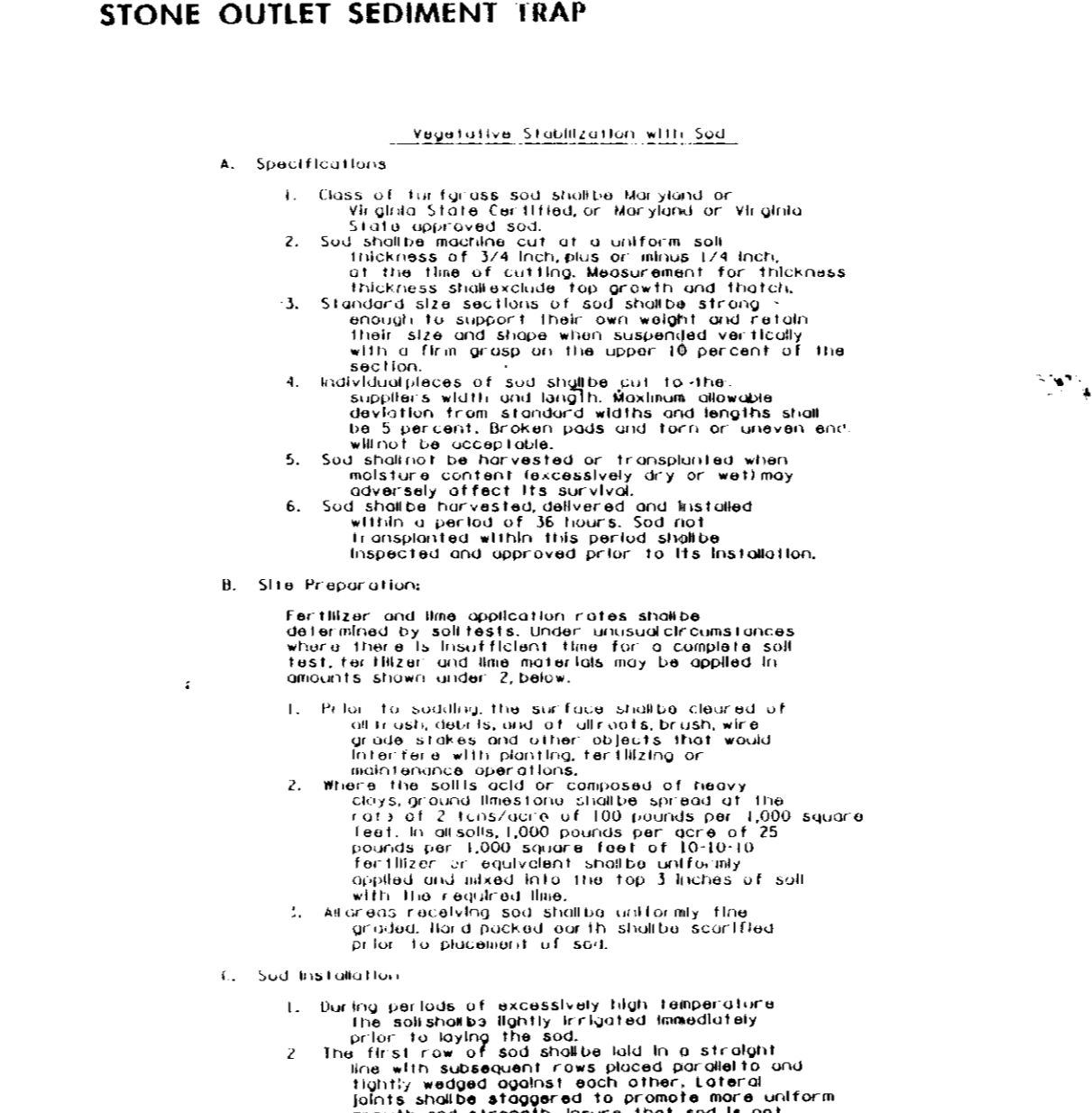
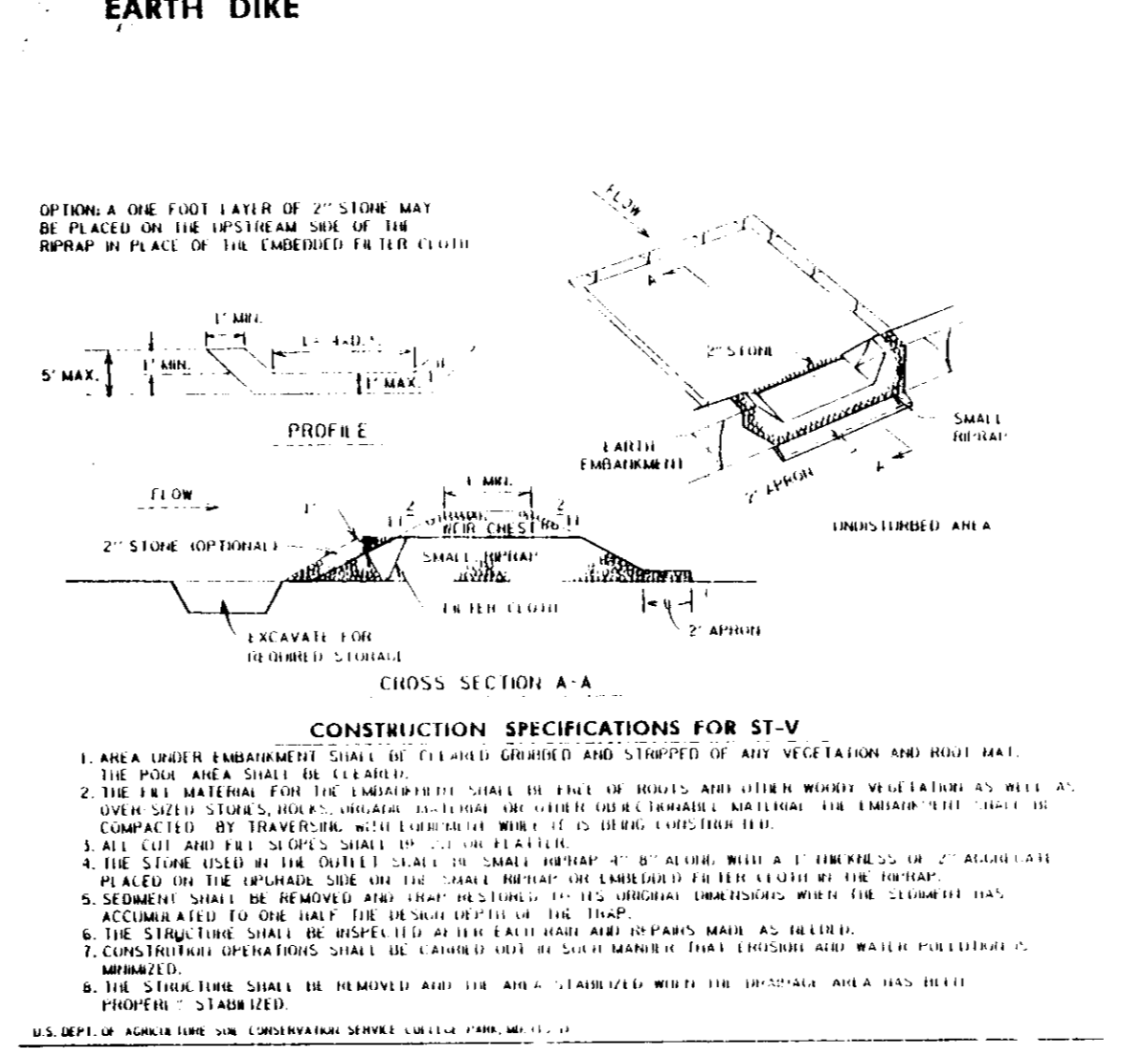
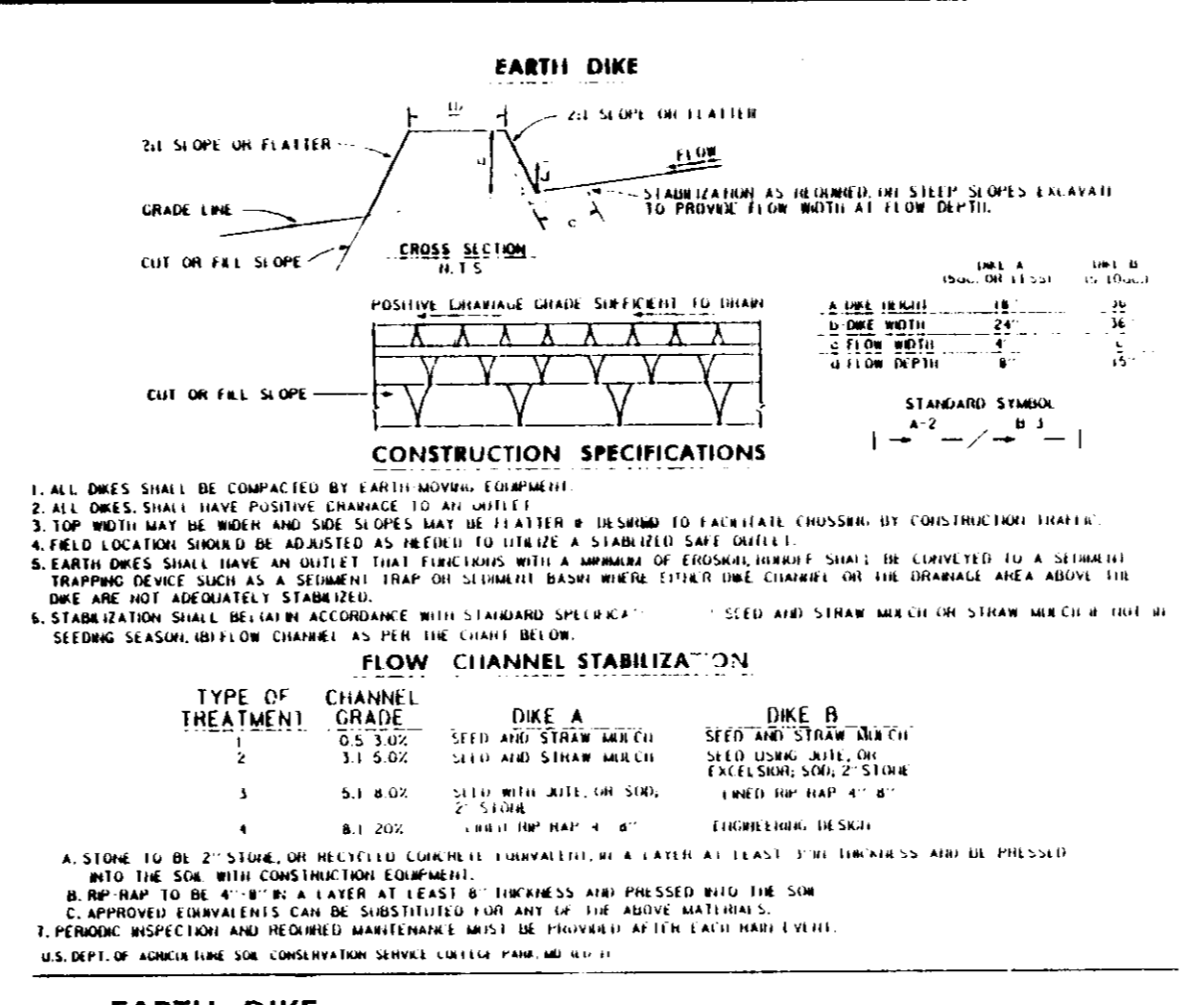
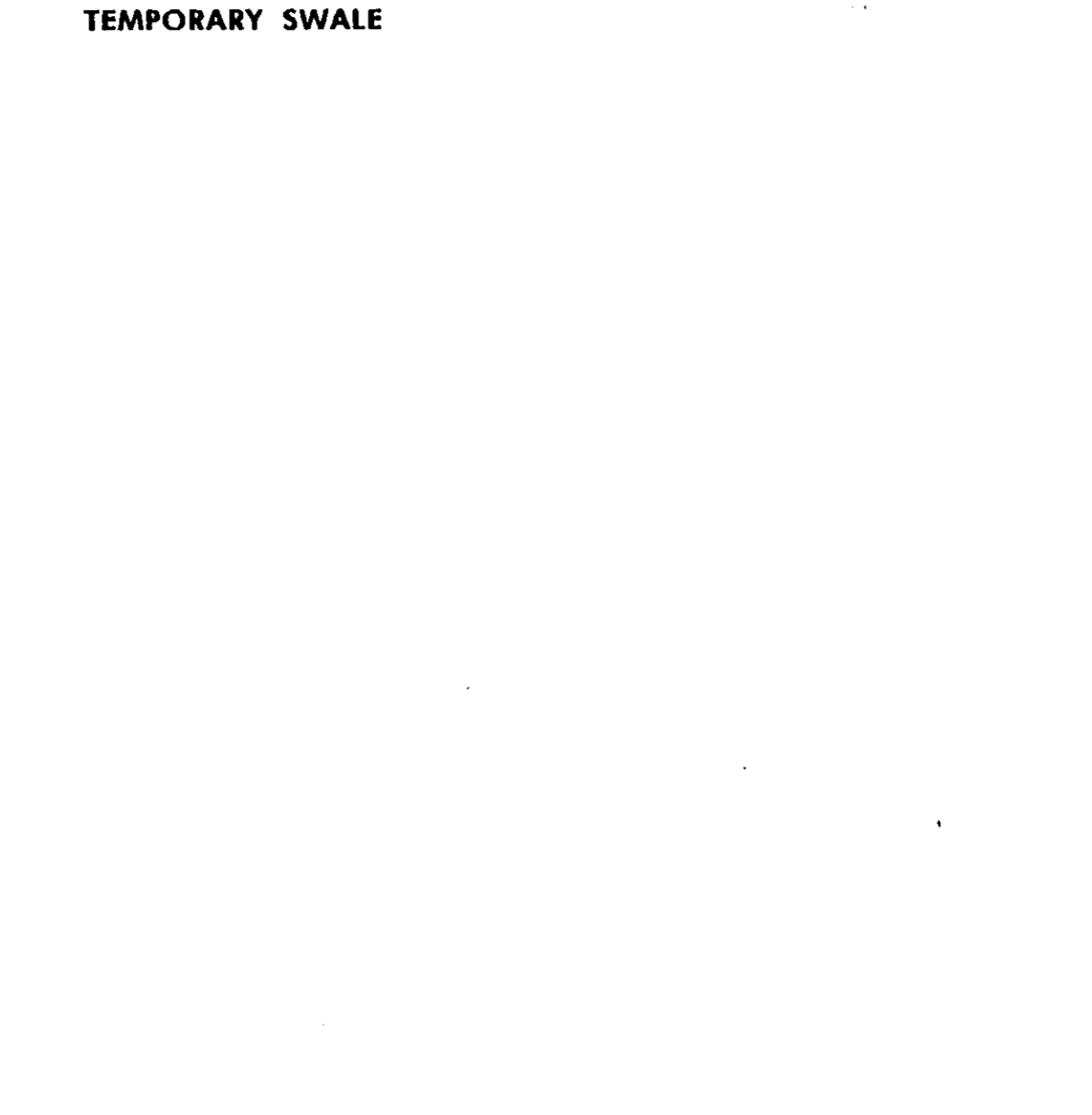
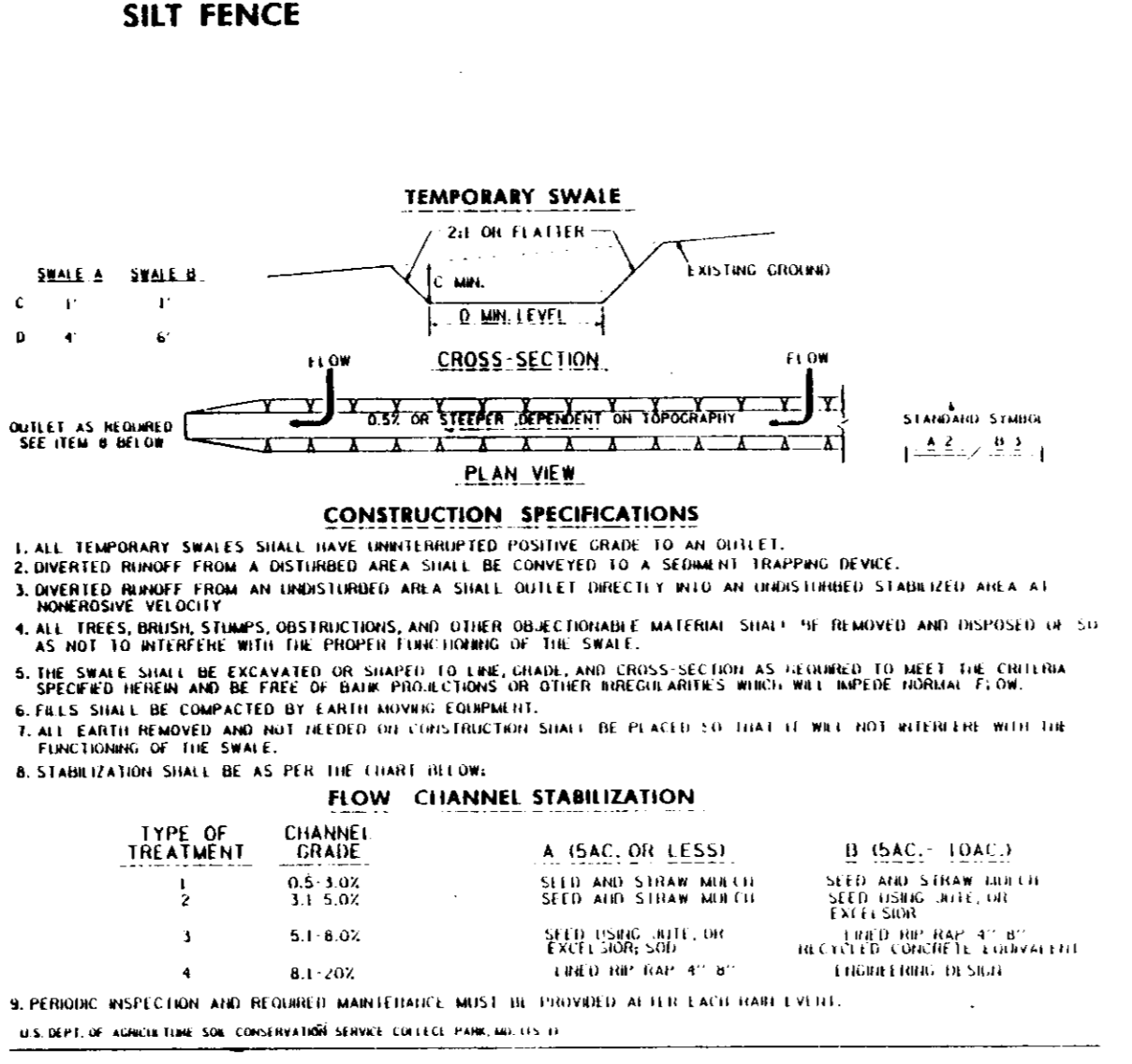
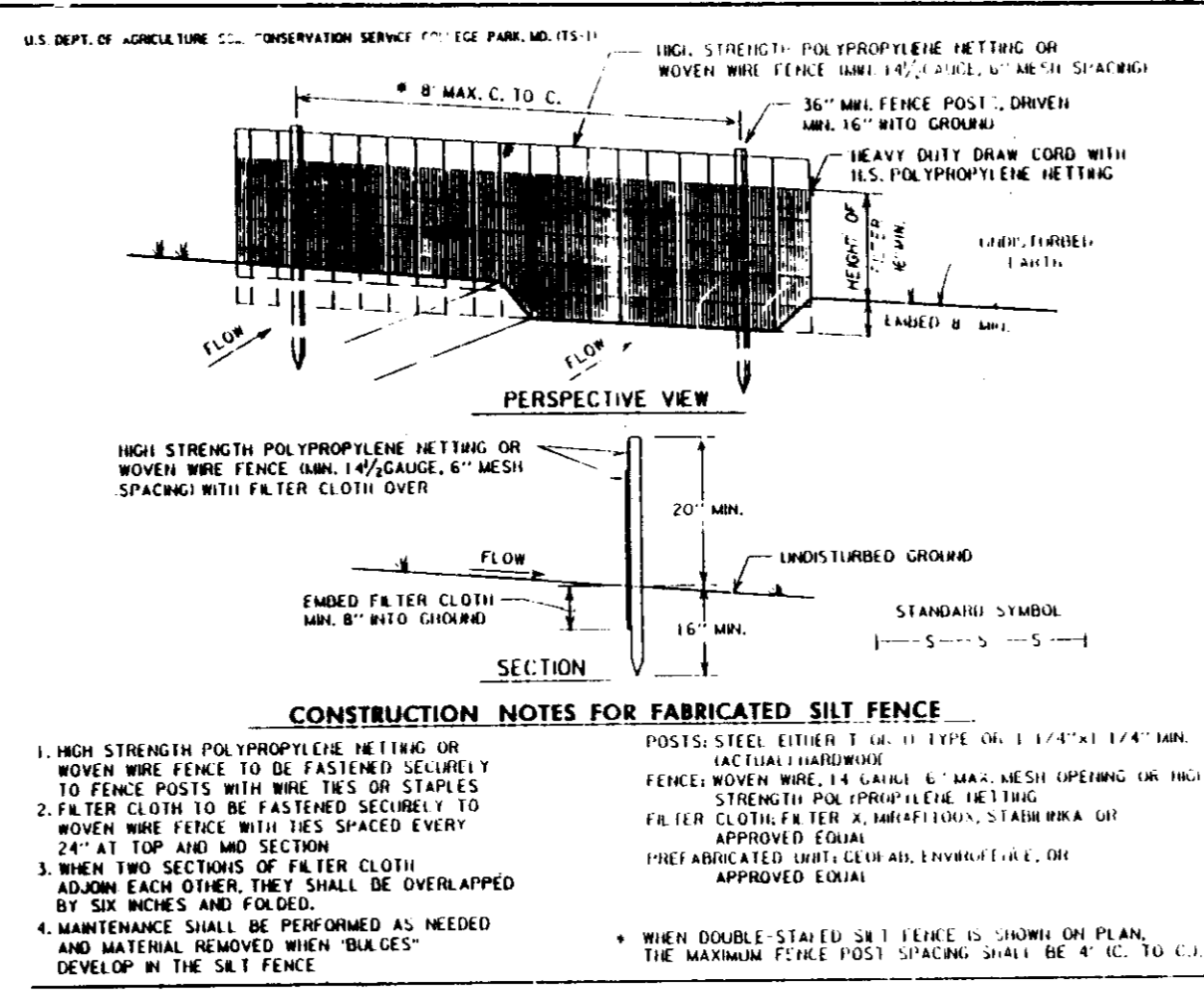
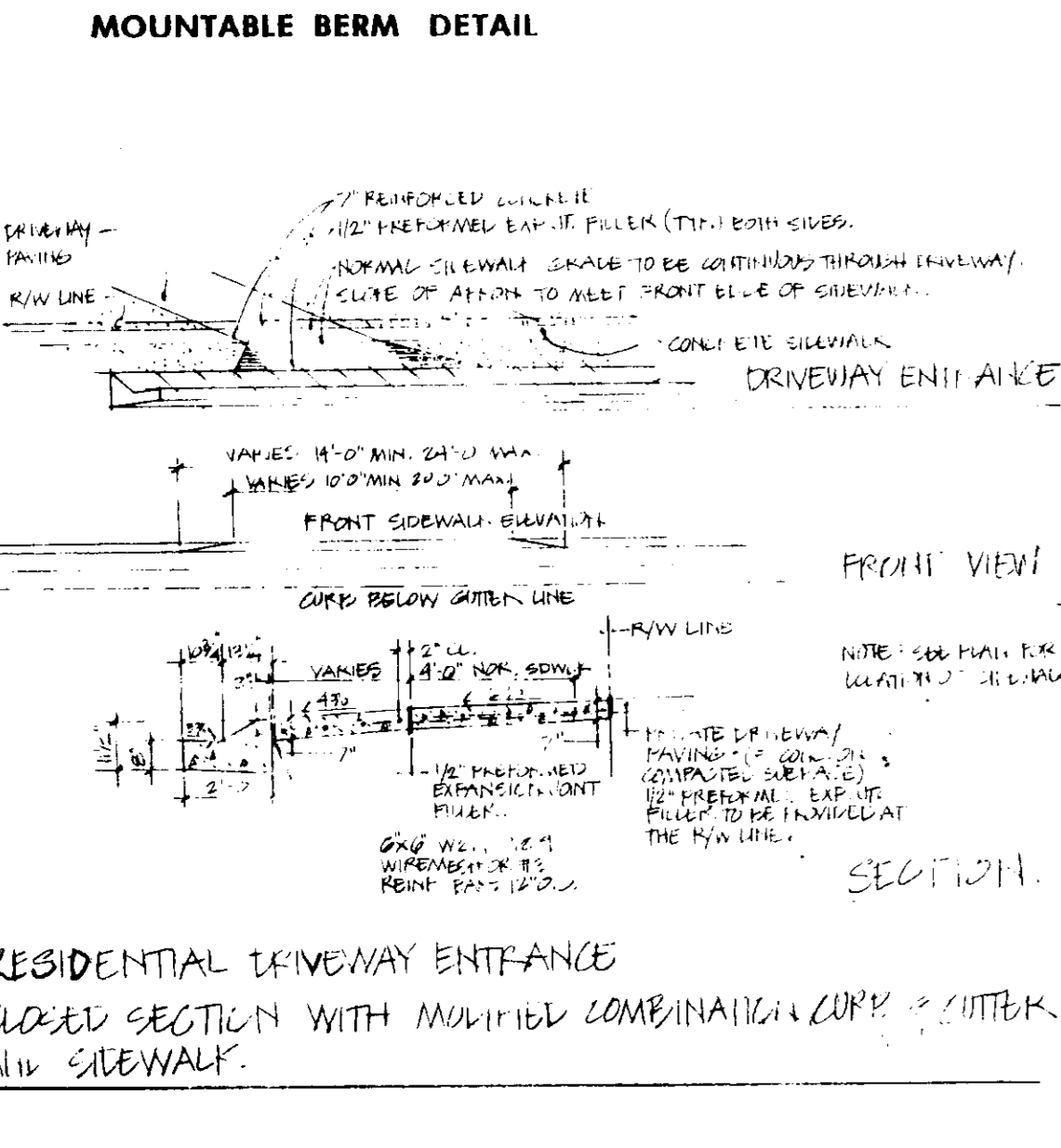
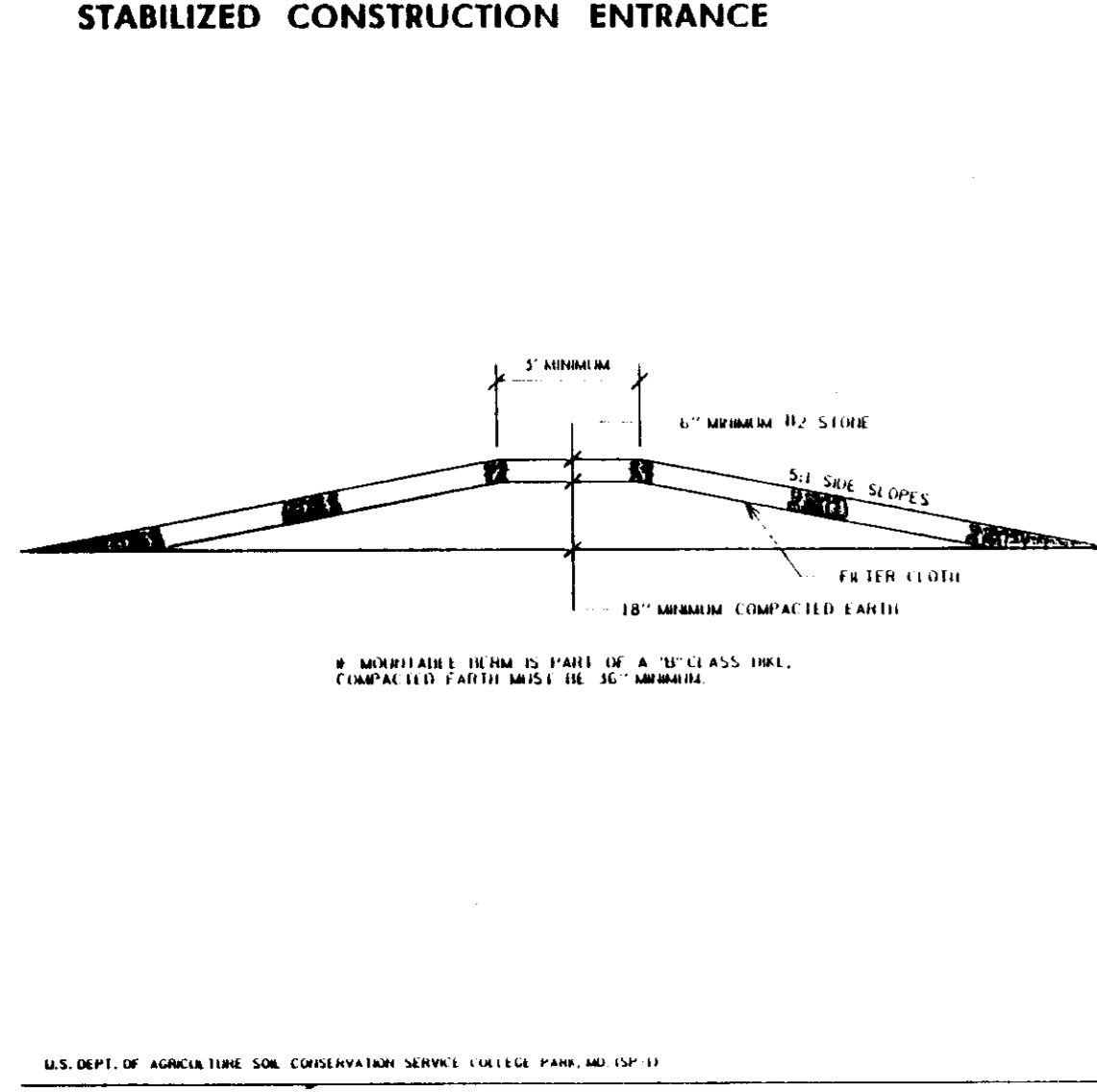
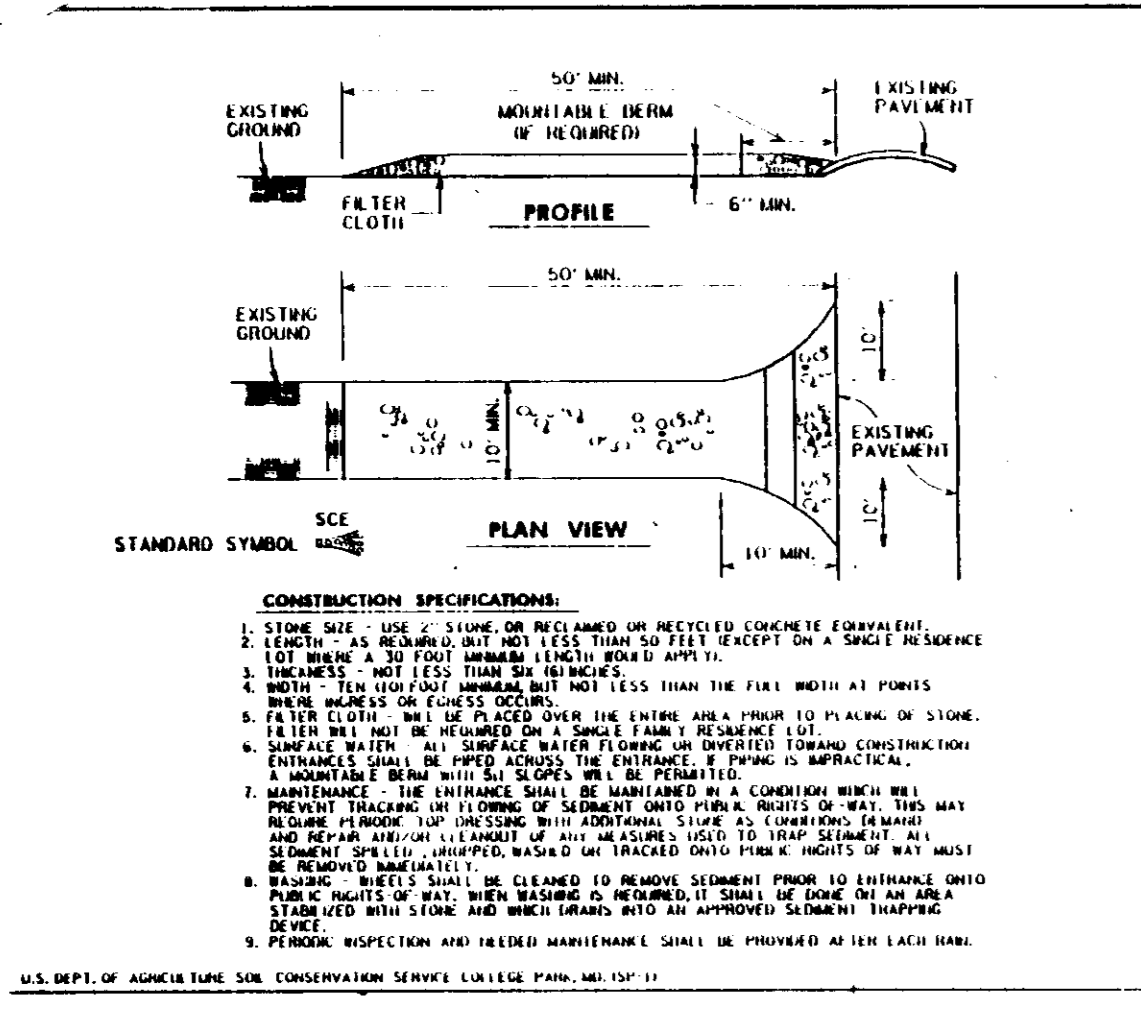
TITLE
SEDIMENT AND EROSION CONTROL PLAN

SUBDIVISION NAME	VILLAGE OF RIVER HILL	SECTION AREA	11.3	LOT/PARCEL	46-157
PLAT OR REF.	9993	BLOCK	B	ZONE	N.T.S.P.D.
WATER CODE	104	SEWER CODE	670600	TAX ZONE MAP	5
ELEC. DIST.	5	CENSUS TR.	6028.01		

LOT NUMBER	STREET ADDRESS
146	6301 SILVER STAR PATH
147	6305 SILVER STAR PATH
148	6309 SILVER STAR PATH
149	6313 SILVER STAR PATH
150	6317 SILVER STAR PATH
151	6321 SILVER STAR PATH
152	6325 SILVER STAR PATH
153	6329 SILVER STAR PATH
154	6333 SILVER STAR PATH
155	6337 SILVER STAR PATH
156	6341 SILVER STAR PATH
157	6300 SILVER STAR PATH

DES. BY: SCALE: 1" = 30'
 DRN. BY: DATE: 8-14-91
 CHK'D. BY: Approved
 PROJ. NO. 91.063
 2 OF 3





APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: 10/15/91

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

VILLAGE OF RIVER HILL

SECTION 1 AREA 3 PHASE 1

5TH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER

THE MARK BUILDING COMPANY

1301 YORK ROAD

LUTHERVILLE, MD 21093

DAFT McCUN WALKER, INC.

LAND PLANNING CONSULTANTS

LANDSCAPE ARCHITECTS

ENGINEERS & SURVEYORS

200 EAST PENNSYLVANIA AVENUE

TOWSON, MD 21284

TELEPHONE: 301-296-1533

TITLE: SEDIMENT AND EROSION CONTROL DETAILS

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #		
VILLAGE OF RIVER HILL	11/3	146-151		
PLAT/BOOK	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
9993	B	NT-S.F.L.D.	5	60244
WATER CODE	SEWER CODE			
104	6700000			

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
146	6301 SILVER STAR PATH
147	6305 SILVER STAR PATH
148	6309 SILVER STAR PATH
149	6313 SILVER STAR PATH
150	6317 SILVER STAR PATH
151	6321 SILVER STAR PATH
152	6325 SILVER STAR PATH
153	6329 SILVER STAR PATH
154	6333 SILVER STAR PATH
155	6337 SILVER STAR PATH
156	6341 SILVER STAR PATH
157	6345 SILVER STAR PATH

DES. BY: SCALE: 1" = 30'

DRN. BY: DATE: 8-14-91

CHK'D. BY: Approved

PROJ. NO. 91.063

3 OF 3

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

DATE: 10/28/91

HOWARD S.C.D.

CERTIFICATION BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

DATE: 10/21/91

John W. Renshaw, Sr.

CERTIFICATION BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

DATE: October 26, 1991

SODDING NOTES

1. In the absence of adequate rainfall, sod should be watered daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4 inches. Watering should be done during the heat of the day to prevent evaporation.
2. After the first water, sod should be watered as necessary to maintain adequate moisture and have establishment.
3. First mowing should not be attempted until the sod has been watered for 10 days. Mowing should be done at a height of 2 to 3 inches. Grass should be mowed at least 2 and 3 times unless otherwise specified.
4. Maintenance of sod should follow specifications outlined in Table 54-1.

