

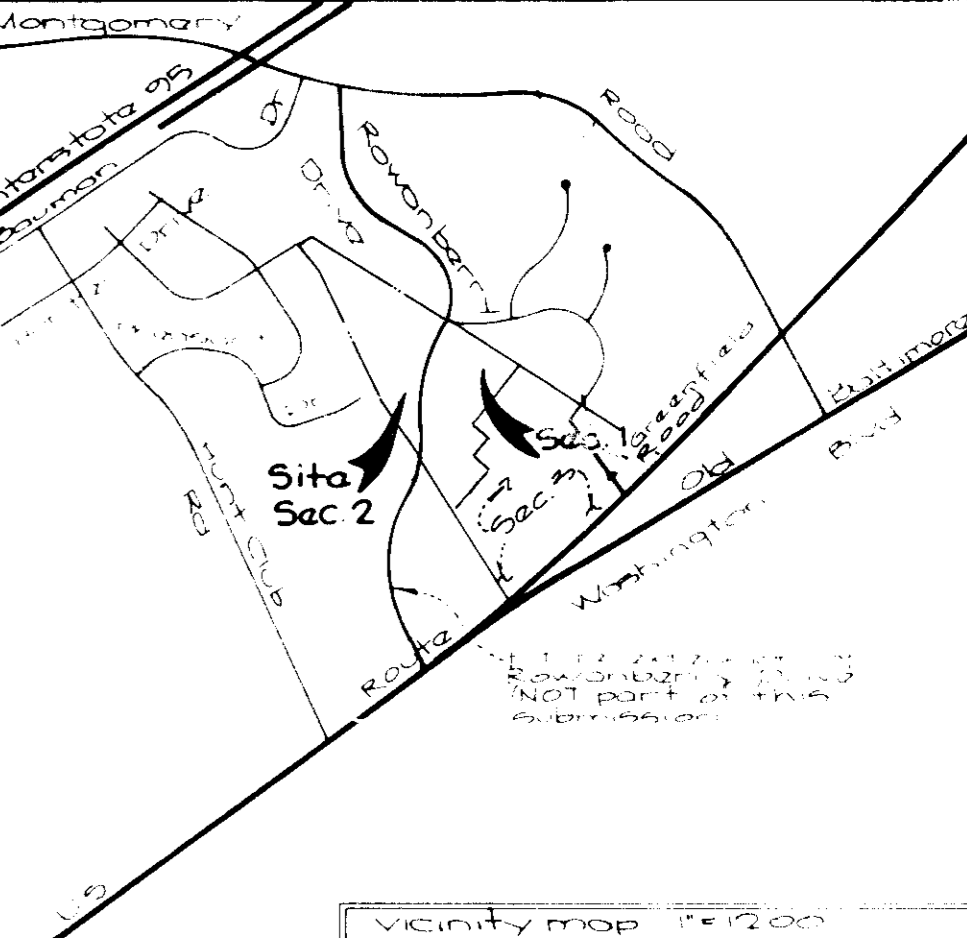
NOTE: THERE SHALL BE A 1/4" THRESHOLD BETWEEN THE SIDEWALK ELEVATION AND THE FINISHED FLOOR ELEVATION

NOTE: FOR REMAINING WALL LEGEND DETAILS AND NOTES SEE SHEET 10

GENERAL NOTES

- Any materials and construction to be in accordance with Howard County Road Construction Code and Specifications.
- Any damage to county owned rights-of-way to be corrected at the developer's expense.
- Installation of traffic control devices shall be in accordance with the latest edition of the "Manual of Uniform Traffic Control".
- Topography was compiled from actual field survey and Aerial Photography.
- The area shown is located on Tax Map No. 38, Parcel 526.
- All driveways and parking to be privately owned and maintained.
- All coordinates are based on the Howard County Geodetic Control Survey Traverse which is based on the Maryland State Plane Coordinate System.
- Class "C" trench bedding shall be used under all storm drains unless otherwise shown.
- Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location by digging test pits at all utility crossings well in advance of construction.
- The contractor/developer shall contact the Construction Inspection Division 24 hours in advance of work (410) 519-1800.
- The developer agrees to work with the Department of Licenses and Inspections to resolve any problems caused by roof water discharge.
- All downspout drains shall be handled by one of these methods:
 - Downspout to splash blocks and discharge onto ground having good percolation;
 - Downspout in front of units piped to curb;
 - Downspout connected to storm drain.
- Handicap parking details to be in accordance with the "Maryland Building Code for the Handicapped" Section 5.01-7.05 and details on sheet 10.
- Stormwater Management is to be provided by a central facility located in Section 1 for quantity. Water quality is being provided on site by using oil/grit separators.
- Wetland disturbance shown on the plans is covered by Maryland Dept. of Natural Resources Permit No. 21-111-0370.

See Office of Planning and Zoning Files:
 SDP-90-06, F-90-09, S-89-12, F-90-121, F-92-107
 WP-89-16 (Preliminary Plan Submission Requirement, Section 16.120) Granted 2/8/89
 AA-89-27 (From Section 110.01(a) at Zoning Regulations under AA Procedure Section 100.F.1 to increase building height from 34 feet to 36 feet 7 1/4 inches) Granted October 1989 (For Section 1)
 AA-90-18 (From Section 110.01(a) at Zoning Regulations under AA Procedure Section 100.F.1 to increase building height from 34 feet to 36 feet 7 1/4 inches) Granted March 4, 1991 (For Section 2)
 For details of 8 C.Y. Dumpster and wooden enclosure see sheet 10 of 11.
 Where proposed curb is along a designated fire lane (shown as solid curb and gutter line, see legend sheet 2), common "fire traffic points" shall be used to point the entire top and vertical surface of the curb. The pointed surface shall extend for the full length of the designated fire lane. This type of point is readily obtainable from the Baltimore Paint and Chemical Company or any similar source dispensing special-use points. Point may be applied by either brush or spray.
 Parcel C-2-C-5 (shown as shaded) is a 24' Ingress/Egress easement as shown on Plat No. 10-95-01 (coincidental with the 24' wide paving width of Bayberry Court and Sandrise Court), for the benefit of Parcel C-2.



Legend For Handicap Items

- Handicap ramp indication for chart on sheet 2
- Unit that is handicap accessible.
- Landing grade with slope not to exceed 1/4" in any direction.

CONDITIONS AND MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS

- Remove excess fill or construction material or debris to an upland disposal area outside of the nontidal wetlands and their buffers.
- Place materials in a location and manner which does not adversely impact surface or subsurface water flow into or out of the nontidal wetland, beyond those impacts authorized.
- If backfill is obtained from other than the originally excavated material, use clean material free of waste metal products, unsightly debris, toxic material or any other deleterious substance.
- Rectify any nontidal wetlands temporarily impacted by any construction stabilization of temporarily impacted wetlands shall be with annual seed such as rice or millet and mulch.
- Repair and maintain any serviceable structure or fill so there is no permanent loss of nontidal wetlands in excess of nontidal wetlands lost under the authorized structure or fill.
- After installation has been completed, make post construction grades and elevations of temporarily impacted nontidal wetlands the same as the original grades and elevations.

DEVELOPER'S/BUILDER'S CERTIFICATE

"I certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance of a Department of the Environment, Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

J. E. Sullivan 4-21-92
 Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

C. K. Risher 4-21-92
 Signature of Engineer Date

Approved *Coyce M. Boyd* 8/26/92
 Director of Health Department

Approved *Anna Blomquist* 8/31/92
 Director of Community Planning and Development

Approved *James H. Lee* 8-24-92
 Director of Public Works

GLW GUTSCHICK LITTLE & WEBER, P.A.
 ENGINEERS, PLANNERS, SURVEYORS
 39.9 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20886
 TELEPHONE (301) 421-4024

DATE	REVISION	BY	APP'R.
11/22/94	rev. 2.0.1 location	MCF	
7/11/94	rev. 2.0.2 location	MCF	
4/8/94	revise dumpster pad	MCF	
March 10/94	General revisions for new unit types on Parcel C-2	MCF	
June 1992	Incorporated comments from D.I.P. and C.F.S.	MCF	
MAY 1992	REVISED TO SERVE PARCELS C-1 & C-2 SEPARATELY	RBF	

PREPARED FOR
 OAK CLUB II, INC.
 94 ORCHARD DEVELOPMENT CORP.
 9300 North Ridge Road
 Suite 250
 Columbia Maryland 21043
 (410) 750-1800

Site Development Plan
Elkridge Town Center
 Section Two
 Parcel C-2-C-5
 First Election District
 Howard County, Maryland

1. AREA OF PARCEL - SECTION ONE 430,000.00 # / 14.25 AC
 SECTION TWO 478,724.61 # / 15.99 AC
 TOTAL 908,724.61 # / 30.24 AC

2. DENSITY - 15 UNITS / ACRE
 SECTION ONE 258 SLOPES FLOORPLAN NET AREA 14.25 AC = 213.75 UNITS
 SECTION TWO 10.99 AC = 164.85 UNITS
 TOTALS 378.6 UNITS

3. FLOOR SPACE - 2 BEDROOM - UNIT TYPE A - 1,000 SF (60%)
 UNIT TYPE B - 1,200 SF (40%)
 SECTION ONE 213.75 UNITS = 213,750 SF
 SECTION TWO 164.85 UNITS = 197,820 SF
 TOTALS 378.6 UNITS = 411,570 SF

4. HANDICAP SPACES - 48 REQUIRED - 12.54 SPACES PROVIDED - 15 SPACES

5. OPEN SPACE - SECTION ONE 14.25 AC = 618,750 SF
 SECTION TWO 10.99 AC = 473,610 SF
 TOTALS 25.24 AC = 1,092,360 SF

6. BALANCE COVERAGE - SECTION ONE 14.25 AC = 618,750 SF
 SECTION TWO 10.99 AC = 473,610 SF
 TOTALS 25.24 AC = 1,092,360 SF

7. BALANCE COVERAGE - SECTION ONE 14.25 AC = 618,750 SF
 SECTION TWO 10.99 AC = 473,610 SF
 TOTALS 25.24 AC = 1,092,360 SF

8. PARKING FOR POOL - (SECTION TWO) 150 # of spaces
 PROVIDED = 1 SPACE

8. BUILDING TABULATION (SECTION TWO)

BLDG. No.	No. UNITS	No. BEDROOMS	UNIT TYPE	FLOOR AREA (SF)	GROUND FLOOR UNITS
1	14	27	A	12,000	7
2	14	27	B	14,400	7
3	14	27	A	12,000	7
4	14	27	B	14,400	7
5	14	27	A	12,000	7
6	14	27	B	14,400	7
7	14	27	A	12,000	7
8	14	27	B	14,400	7
9	14	27	A	12,000	7
10	14	27	B	14,400	7
11	14	27	A	12,000	7
12	14	27	B	14,400	7
TOTALS	154	297		141,120	50

11. USABLE OPEN SPACE - SECTION ONE 14.25 AC = 618,750 SF
 SECTION TWO 10.99 AC = 473,610 SF
 TOTALS 25.24 AC = 1,092,360 SF

12. Accessibility Tabulation (Section 2) (apartments only)

Bldg. No.	No. UNITS	No. GROUND FLOOR UNITS	NO. ACCESSIBLE UNITS
1	14	7	7
2	14	7	7
3	14	7	7
4	14	7	7
5	14	7	7
6	14	7	7
7	14	7	7
8	14	7	7
9	14	7	7
10	14	7	7
11	14	7	7
12	14	7	7
TOTALS	154	77	77

Note:
 In accordance with the provisions of the Fair Housing Accessibility Guidelines (Federal Register (Volume 19) No. 243, Wednesday, March 14, 1990) a site analysis test was conducted and revealed that 50% of the unshaded site, excluding the "near floodplain" has a natural grade of less than 10% slope. Therefore, at least 50% of the ground floor units must have accessible units.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

John H. Blomquist 7/16/92
 Director
 Howard Soil Conservation District

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

John H. Blomquist 7/16/92
 Director
 U.S. Soil Conservation Service

Sheet Index

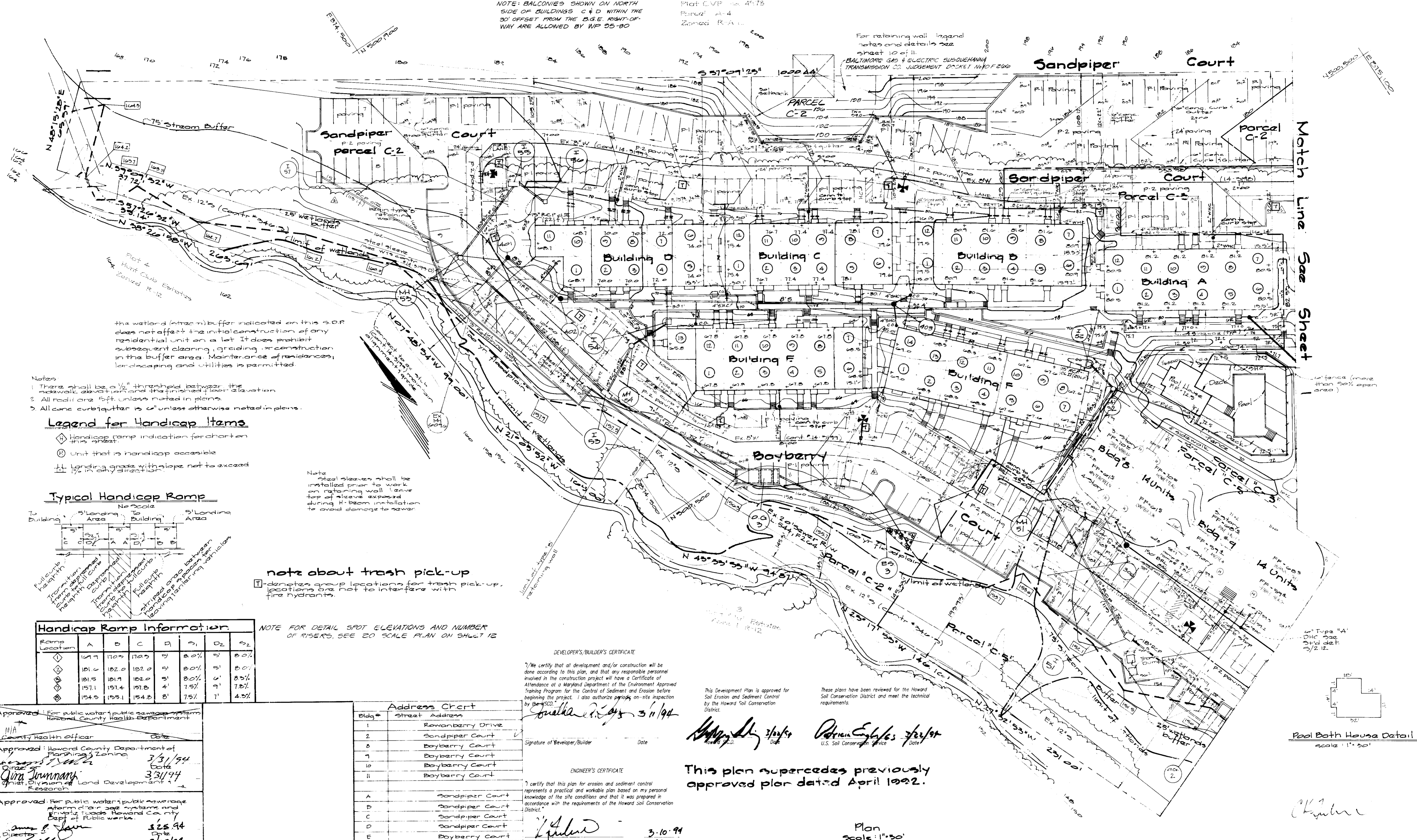
No.	Description
1	Site Development Plan, Gen Notes, Tabulation
2	Site Development Plan, Address Chart, Det. for Handicap
3	Sediment Control, Drainage Area Map, Sequence of Construction, Drainage Area Information
4	Sediment Control and Drainage Area Map
5	Private Road Profiles
6	Storm Drain Profiles, Structures & Pipe Schedules (all unit separations)
7	Sewer Profiles, Structures & Pipe Schedules
8	Landscape Plan & Plant Schedule for sheets 8, 9, 10
9	Landscape Plan
10	Notes and Details
11	Notes and Details
12	Detail for Floor and Timber wall Elevations
13	Detail Landscape Plan Area

SCALE	ZONING	GLW FILE NO.
1" = 30'	RA-15	01-001
DATE	TAX MAP NO.	SHEET
APRIL 1992	38	1 of 13

NOTE: BALCONIES SHOWN ON NORTH SIDE OF BUILDINGS C & D WITHIN THE 30' OFFSET FROM THE B.G.E. RIGHT-OF-WAY ARE ALLOWED BY WP 55-80

Civil Plans Section One
 Plot CVP No. 4973
 Parcel A-4
 Zoned R-3A

For retaining wall legend notes and details see sheet 10 of 11.
 BALTIMORE GAS & ELECTRIC SUBDUQUANNA TRANSMISSION CO. JUDGEMENT DCKET 1401 F 2000



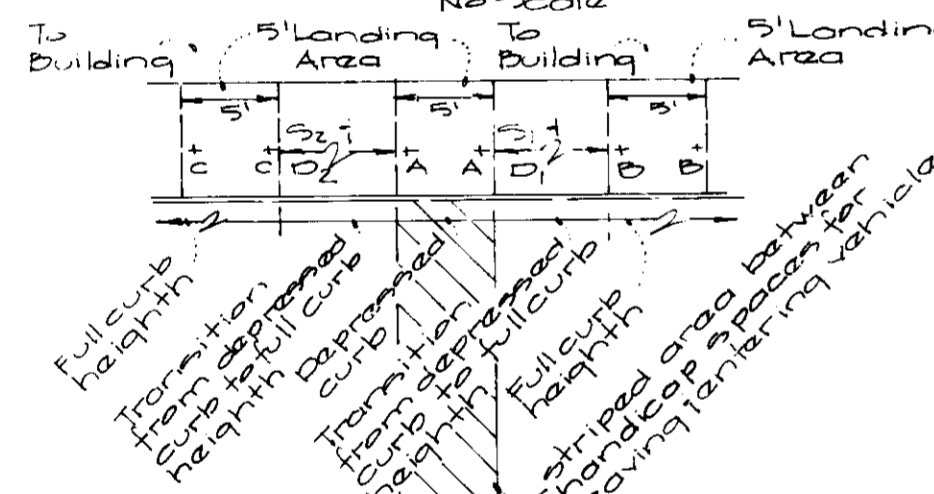
the wetland (stream) buffer indicated on this S.O.P. does not affect the initial construction of any residential unit on a lot. It does prohibit subsequent clearing, grading, or construction in the buffer area. Maintenance of residences, landscaping and utilities is permitted.

- Notes
- There shall be a 1/2" threshold between the sidewalk abutment and the finished floor elevation.
 - All radii are 5ft. unless noted in plans.
 - All curb cutouts are 6" unless otherwise noted in plans.

Legend for Handicap Items

- Handicap ramp indication for chart on this sheet.
- Unit that is handicap accessible.
- Landing grade with slope not to exceed 1% in any direction.

Typical Handicap Ramp



Note: steel sleeves shall be installed prior to work on retaining wall. Leave top of sleeve exposed during H-beam installation to avoid damage to sewer.

note about trash pick-up
 I denotes group locations for trash pick-up. Locations are not to interfere with fire hydrants.

Handicap Ramp Information

Ramp Location	A	B	C	D	R1	R2	R3
1	151.7	150.5	150.5	5'	8.0%	5'	8.0%
2	151.5	151.7	152.0	5'	8.0%	6'	8.5%
3	157.1	151.4	151.8	4'	7.5%	9'	7.5%
4	154.5	155.1	154.8	8'	7.5%	7'	4.5%

NOTE FOR DETAIL SPOT ELEVATIONS AND NUMBER OF RISERS, SEE 20 SCALE PLAN ON SHEET 12

Address Chart

Blgd #	Street Address
1	Roxanberry Drive
2	Sandpiper Court
3	Boyberry Court
7	Boyberry Court
10	Boyberry Court
11	Boyberry Court
A	Sandpiper Court
D	Sandpiper Court
C	Sandpiper Court
D	Sandpiper Court
E	Boyberry Court
F	Boyberry Court

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the MDCO.
 Signature: *[Signature]* Date: 3/11/94

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
 Signature: *[Signature]* Date: 3/22/94
 Signature: *[Signature]* Date: 3/22/94

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: *[Signature]* Date: 3-10-94

This plan supercedes previously approved plan dated April 1992.

Plan Scale: 1"=50'

Approved: For public water/public sewerage systems
 Howard County Health Department
 County Health Officer
 Approved: Howard County Department of Planning/Zoning
 3/31/94
 Approved: Chief, Division of Land Development
 3/31/94
 Approved: For public water/public sewerage information age systems and primary sewage treatment
 Howard County Dept. of Public Works
 Director
 3/25/94

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3919 NATIONAL DRIVE, SUITE 250, BURTONSVILLE OFFICE PARK, BURTONSVILLE, MD 20986

DATE	REVISION	BY	APPR
3-22-95	SHOW BALCONY ON BLDGS C,D,E & F	MCF	
5/20/94	REV. M.V. for Buildings A-F & raw pool	MCF	
1/11/94	REV. 002 Location	MCF	
4/8/94	REV. SANDPIPER CT, REMOVE DUMPSTER PAD @ BOYBERRY CT & SANDPIPER COURT, ADD PARKING & RAW POOL AREA	MCF	
3-10-94	REPLACEMENT OF PLAN DATED APRIL 1992	UCE	

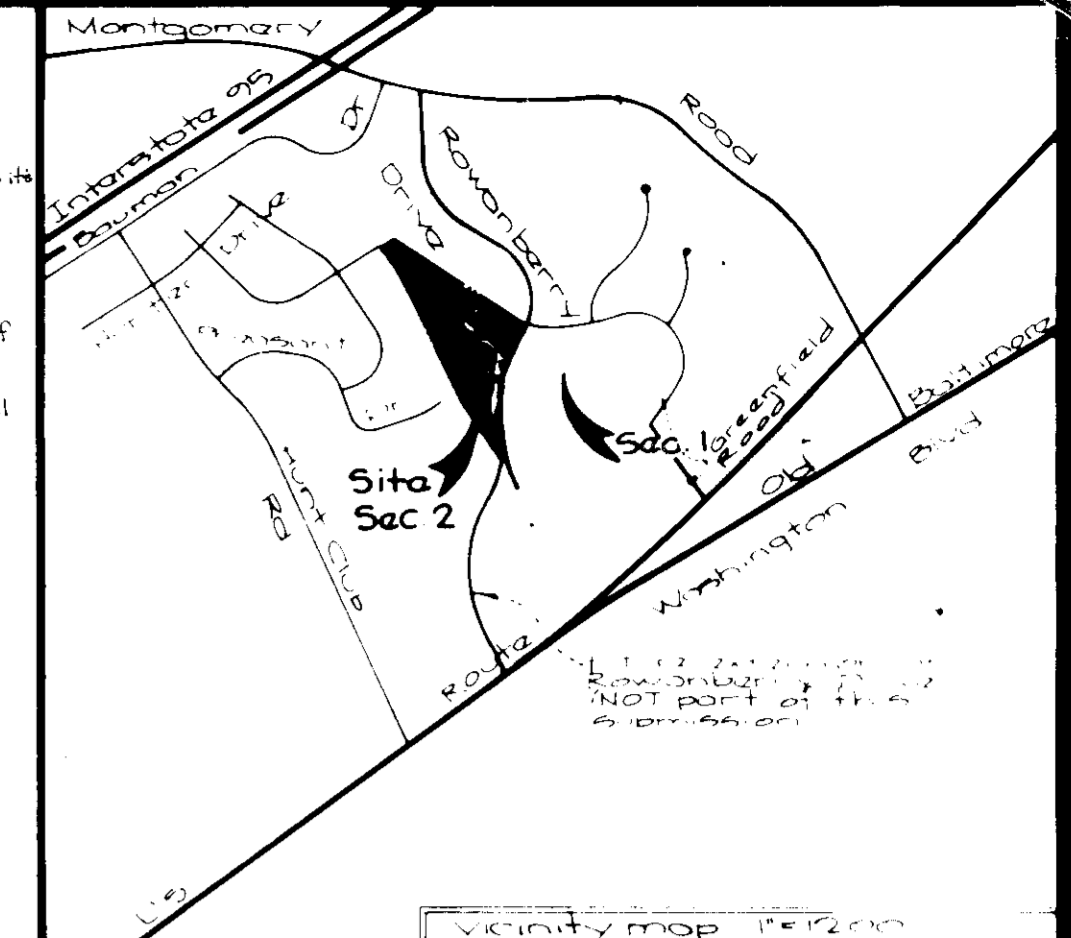
PREPARED FOR
 1002 Club II, Inc.
 4000 Grand Development Corp
 3500 North Ridge Rd
 Suite 200
 Columbia, Md 21045
 (301) 750-1300

Site Development Plan
Elkridge Town Center
 Sited on Two
 Parcels C-2 thru C-5
 First Election District
 Howard County, Maryland

DES. DEV.	SCALE	COUNTY	FILE NO.
DRN. MCF	1"=50'	RA/15	11-019
CHK. CLKG	DATE	TAX MAP NO.	SHEET
	March 10, 1994	38	2 of 13

NOTE:
THERE SHALL BE A 1/4" THRESHOLD BETWEEN THE SIDEWALK ELEVATION AND THE FINISHED FLOOR ELEVATION.

- Sequence of Construction
1. Obtain grading permit and arrange on-site meeting with the inspector.
 2. Install stabilized construction entrance and silt fence.
 3. Install sediment traps and earth dikes.
 4. Begin grading. Excavation between 1:30 and 2:30. As fill progresses, move earth dikes to trap #2 to its final location. Grading in Bayberry Court should proceed only to the extent that it does not interfere with the proper installation of earth dikes and traps up to Bayberry Court.
 5. Clear and grade site.
 6. Install utilities except for storm drains I-55 through E-57, J-4 through M-5, I-6-1 through E-2, as shown on these plans. Install flexible corrugated pipe (F.C.P.P.) as shown in order to convey runoff to sediment traps. Place mid-section of each inlet. Contractor shall make repairs to sediment control devices as necessary at the end of each day.
 7. Construct buildings and bathhouse. Final grade site and bring roads to subgrade and install curb & gutter, except in areas of earth dikes.
 8. Install concrete sidewalks.
 9. Pave roads, where possible, and stabilize all disturbed areas, except for remaining areas to be paved, according to permanent seeding notes.
 10. With permission of inspector, remove all traps and earth dikes.
 11. Bring remaining areas to grade.
 12. Install remaining utilities, curb & gutter & retaining walls along parking areas of Bayberry Court.
 13. Pave remaining roadway and parking areas.
 14. Stabilize remaining disturbed area according to permanent seeding notes.
 15. Apply surface pavement.
 16. With permission of inspector, remove all remaining sediment control devices and complete paving in area of stabilized construction entrance.



Drainage Area Data					
Symbol	Inlet #	Drainage Area	Impervious %	Grass %	C
A	1	0.14 Ac.±	0.05 (36%)	0.09 (64%)	0.46
B	2	0.35 Ac.±	0.22 (62%)	0.13 (38%)	0.62
I	20	0.34 Ac.±	0.17 (50%)	0.17 (50%)	0.55
C	3	1.02 Ac.±	0.74 (70%)	0.28 (30%)	0.65
D	4	2.03 Ac.±	1.22 (60%)	0.81 (40%)	0.60
E	5	1.00 Ac.±	1.02 (61%)	0.04 (3%)	0.58
AA	51	1.00 Ac.±	0.75 (60%)	0.25 (31%)	0.61
BB	52	0.42 Ac.±	0.24 (57%)	0.18 (43%)	0.51
CC	53	0.50 Ac.±	0.24 (48%)	0.26 (52%)	0.50
DD	54	0.28 Ac.±	0.16 (57%)	0.12 (43%)	0.51
EE	55	1.10 Ac.±	0.47 (43%)	0.63 (57%)	0.45
FF	56	0.28 Ac.±	0.18 (64%)	0.10 (36%)	0.61
GG	57	0.36 Ac.±	0.21 (58%)	0.15 (42%)	0.50

- Legend**
- Drainage Area to SWM facility in Phase #1.
 - Drainage Area for Storm Drains
 - Drainage Area for Sediment Control
 - Existing Contour
 - Temporary Contour for Sediment Control
 - Propose Contour
 - Limit of Disturbance
 - Earth Dike
 - Silt Fence
 - Rip Rap
 - S.C.E. Stone Construction Entrance
 - F.C.P.P. Flexible Corrugated Plastic Pipe

Reviewed for HOWARD SOU and made Technical Requirements and notes Technical Requirements
 Date: 7/10/92
 Signature: [Signature]
 Engineer's Certificate
 I certify that this plan for erosion and sediment control complies with the provisions of the Howard Soil Conservation District.
 Date: 4-21-92
 Signature: [Signature]



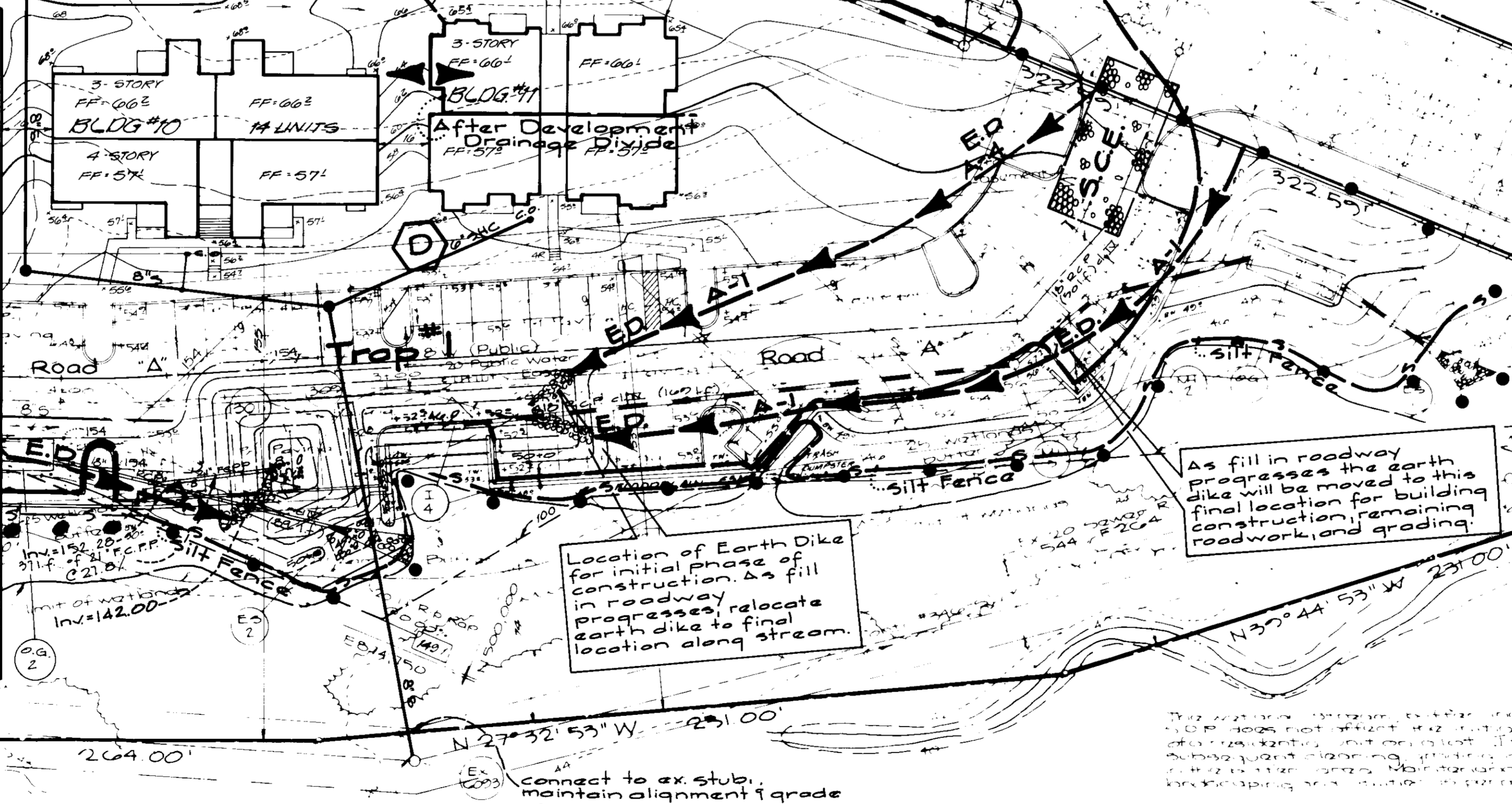
Developer/Builder's Certificate
 I certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Approval as a Department of the Environment Approval Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periods on-site inspection by the HSCD.
 Date: 4-21-92
 Signature: [Signature]

Stone Outlet Sediment Trap Data #1

Drainage Area = 0.71 Ac.± (Existing)
 Storage Required = 6152 cf
 Storage Provided = 6000 cf
 Top of Dam = 120.0
 Bottom Elevation = 142.0 to 140.0
 Weir Crest Elevation = 142.0
 Weir Length = 12.0
 Top of Dam Width = 4.0
 Cleanout Elevation = 140.0 to 147.0
 Limit of Storage = 1480

Approved [Signature] 8/26/92
 Approved [Signature] 9/1/92
 Approved [Signature] 8/31/92
 Approved [Signature] 8/24/92
 Approved [Signature] 7-15-92

Contractor shall not disturb the ground at or beyond trap out-fall until final phase earth dikes to traps #1 and #2 are in place and stabilized.



Contractor shall be responsible for repairs to Ex. Stormwater Management Pond in Section One of Elkridge Town Center due to Sediment Control runoff from this site.

THIS PLAN IS FOR SEDIMENT CONTROL ONLY!

NOTE:
ALL RADII ARE GIVE UNLESS NOTED IN PLANS

GLW GUTSCHICK LITTLE & WEBER, P.A.
 ENGINEERS, PLANNERS, SURVEYORS
 3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
 TELEPHONE (301) 421-4024

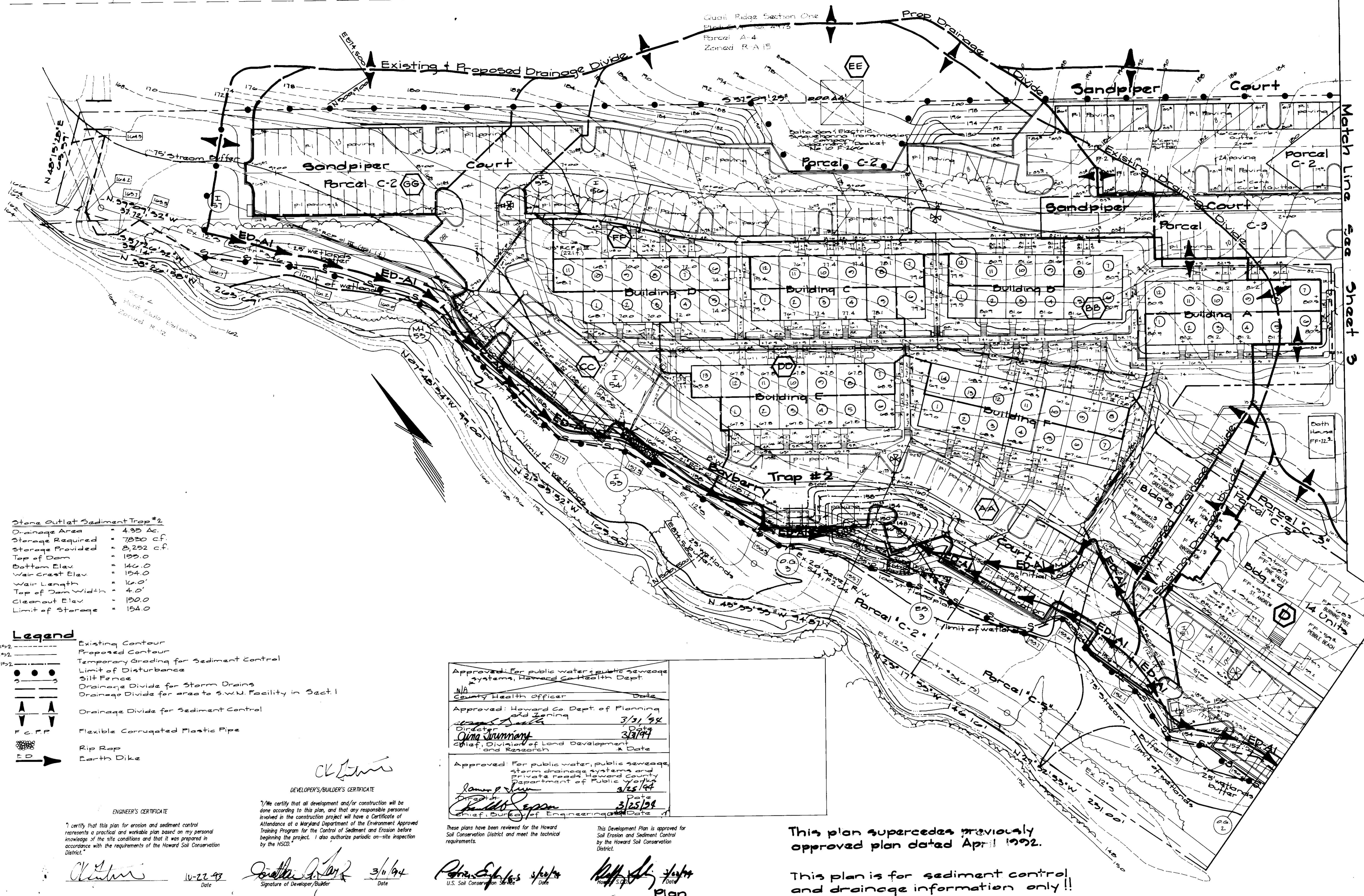
DATE	REVISION	BY	APP'R.
7/11/94	rev. 022 location	MCF	
3-10-94	General revisions for new unit types on parcel C-2	MCF	

PREPARED FOR
 THE ORCHARD DEVELOPMENT CORP
 3900 North Ridge Road
 Suite 250
 Columbia, Maryland 21043
 410-750-1800

Sediment Control Plan & Drainage Area Map
Elkridge Town Center
 Section Two
 Parcel C-2-C-5
 Howard County, Maryland

SCALE	DWG. NO.	GLW FILE NO.
AS SHOWN	SDP-92-22	100-100-100
DATE	TAX MAP NO.	SHEET
April 1992	AP	3 of 13

SDP-92-22



N 50° 00' 00" E 157.35' 00"

Stone Outlet Sediment Trap #2
 Drainage Area = 4.35 Ac.
 Storage Required = 7830 C.F.
 Storage Provided = 8,252 C.F.
 Top of Dam = 155.0
 Bottom Elev. = 146.0
 Weir Crest Elev. = 154.0
 Weir Length = 16.0'
 Top of Dam Width = 4.0'
 Cleanout Elev. = 150.0
 Limit of Storage = 154.0

- Legend**
- 152 --- Existing Contour
 - 152 - - - Proposed Contour
 - 152 - - - Temporary Grading for Sediment Control
 - Limit of Disturbance
 - Silt Fence
 - Drainage Divide for Storm Drains
 - Drainage Divide for area to S.W.N. Facility in Sect. 1
 - ↑ Drainage Divide for Sediment Control
 - F.C.P.P. Flexible Corrugated Plastic Pipe
 - Rip Rap
 - ED Earth Dike

CK [Signature]
 DEVELOPER'S/BUILDER'S CERTIFICATE

ENGINEER'S CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Approved: For public water, public sewage systems, Howard Co. Health Dept.
 N/A County Health Officer Date
 Approved: Howard Co. Dept. of Planning and Zoning 3/31/94
 Director Date
 Olga Summey 3/31/94
 Chief, Division of Land Development and Research Date
 Approved: For public water, public sewage, storm drainage systems and private roads, Howard County Department of Public Works 3/25/94
 James P. [Signature] 3/25/94
 Director Date
 [Signature] 3/25/94
 Chief, Bureau of Engineering Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.
 [Signature] 3/16/94
 U.S. Soil Conservation Service Date
 This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
 [Signature] 3/16/94
 Date

This plan supercedes previously approved plan dated April 1992.
 This plan is for sediment control and drainage information only!!

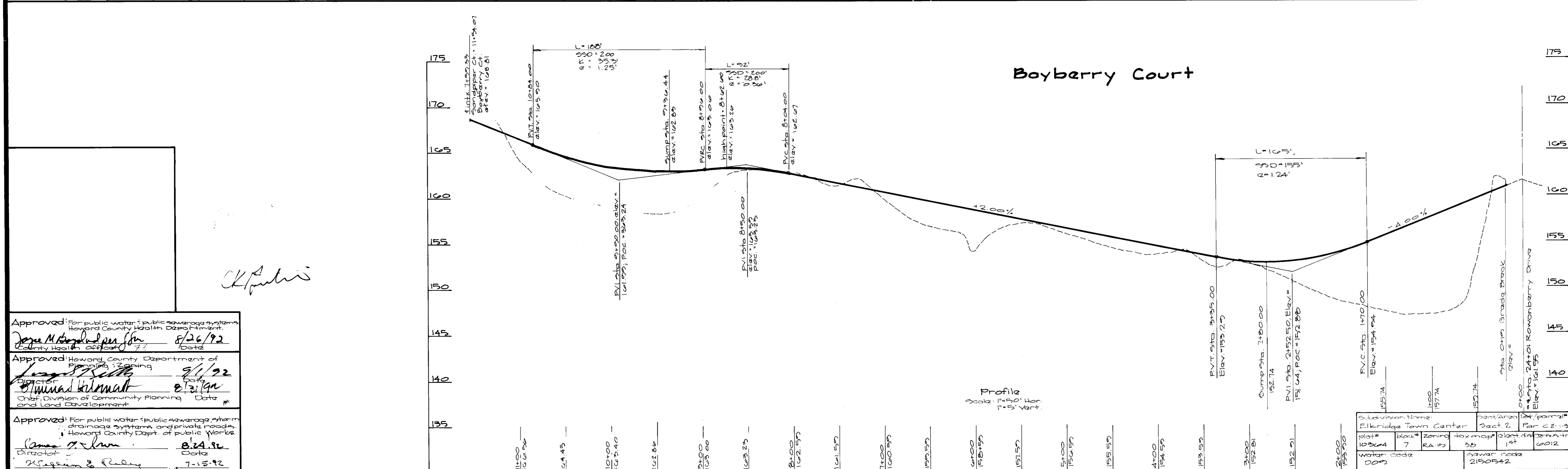
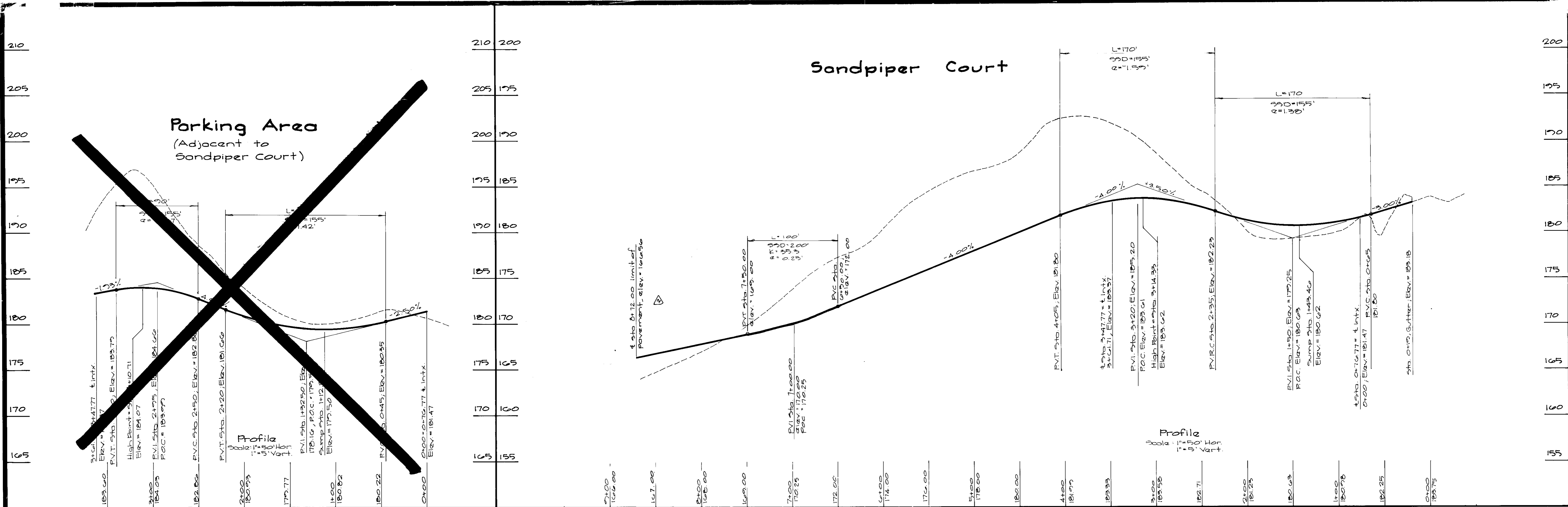
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20886
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APPR.
7/11/94	rev. O.G. 2 location	MCF	
3/16/94	replacement of plan dated April 1992 (see sediment)	MCF	

PREPARED FOR:
 CDC Club II, Inc.
 5500 North Ridge Rd.
 Suite 250
 Columbia, Md 21045
 (301) 750-1800

Sediment Control & Drainage Area Map
Elkridge Town Center
 Section Two
 Parcels C-2 thru C-5
 First Election District
 Howard County, Maryland

DES.: DEV	SCALE: 1"=50'	ZONING: RA/15	G.L.W. FILE No.: 91-019
DRN.: MCF <td>DATE: March 10, 1994 <td>TAX MAP No.: 38 <td>SHEET: 4 of 13</td> </td></td>	DATE: March 10, 1994 <td>TAX MAP No.: 38 <td>SHEET: 4 of 13</td> </td>	TAX MAP No.: 38 <td>SHEET: 4 of 13</td>	SHEET: 4 of 13
CHK.: CKG			



Approved: For public water & public sewerage systems
Howard County Health Department
Jorge M. Rodriguez for 8/26/92
County Health Officer

Approved: Howard County Department of
Planning & Zoning
Jeanette Smith 9/1/92
Director
Shirley K. Korman 8/31/92
Chief, Division of Community Planning, Zoning
and Land Development

Approved: For public water & public sewerage system
Howard County Dept. of Public Works
Thomas A. Shinn 8/24/92
Director
William S. Ridd 7-15-92
Chief, Bureau of Engineering

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
TELEPHONE: (301)421-4024 NO VA (301)989-2524 BAL CO (301)880-1820 FAX (301)421-4186

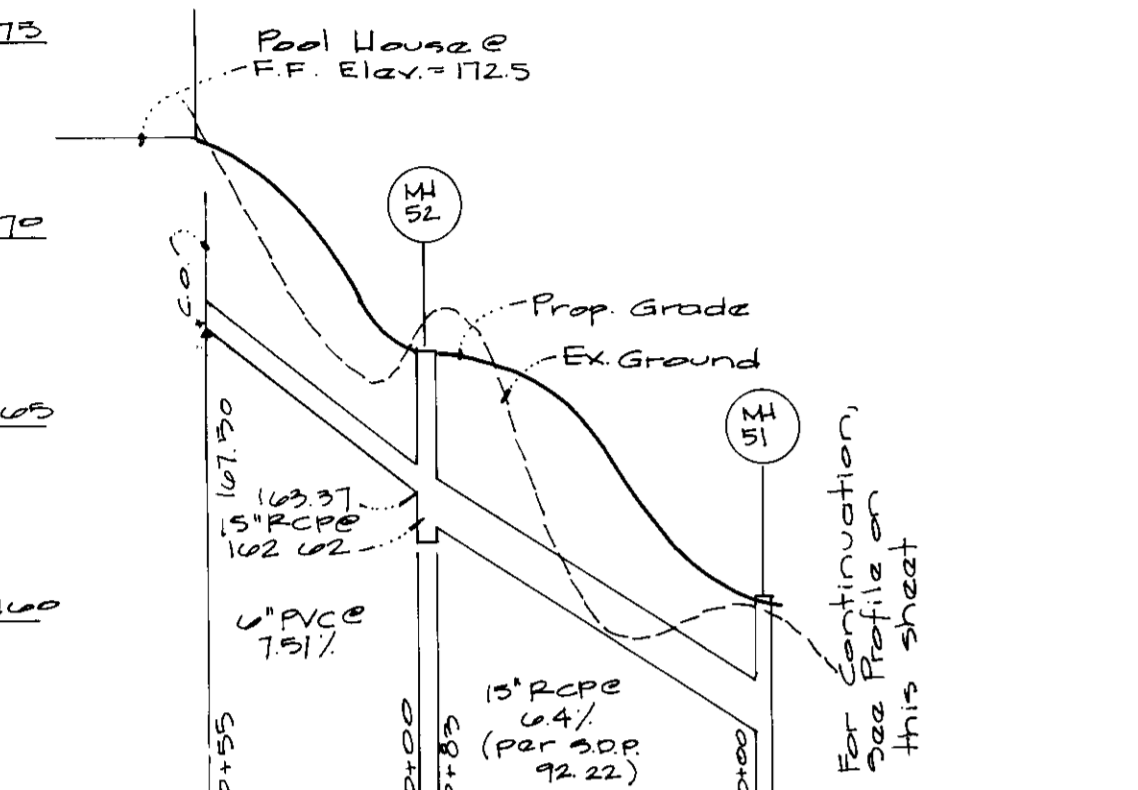
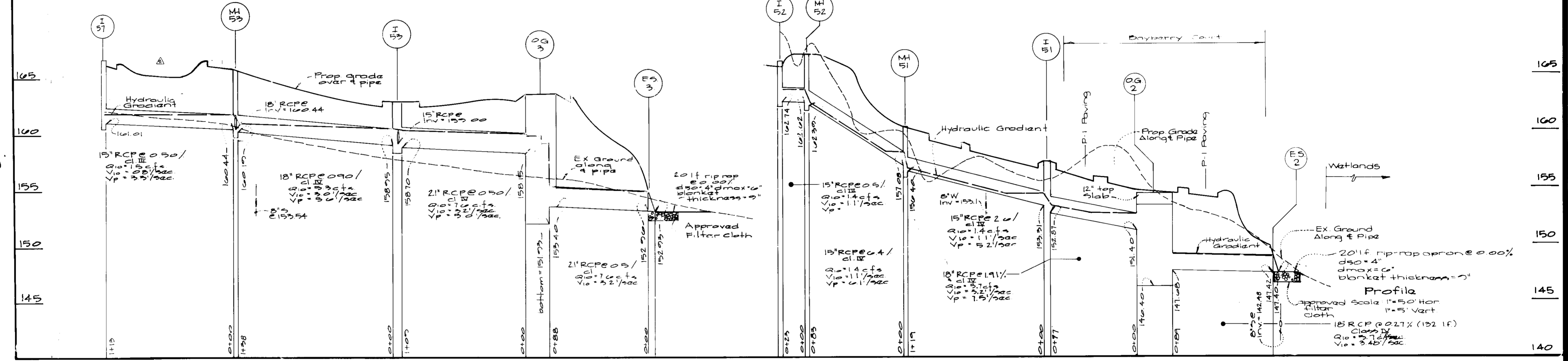
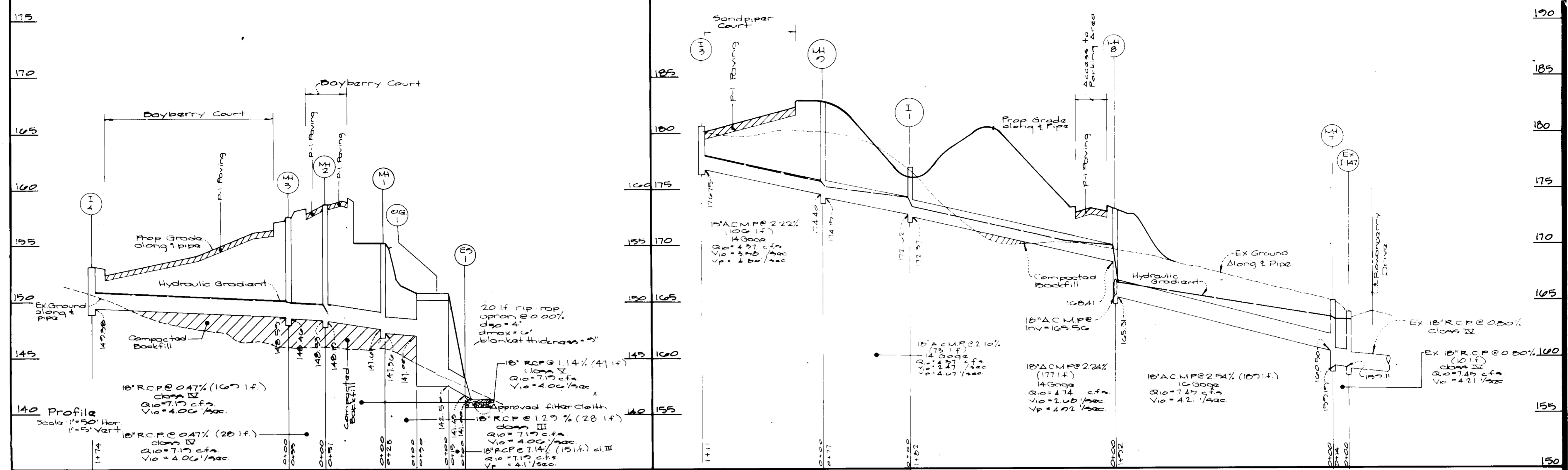
DATE	REVISION	BY	APP'R.
4/8/94	revise profile for sandpiper ct & boyberry ct	MCF	
3/16/94	General revisions for new unit types on parcel C-2	MCF	

PREPARED FOR:
ODD CLUES II, INC.
46 ORCHARD DEVELOPMENT CORP
3300 North Ridge Road
Suite 230
Columbia, Maryland 21043
(301) 750-1800

Road Profiles
Elkridge Town Center
Section Two
Parcel C-2-C-5
First Election District
Howard County, Maryland

DES: gnt	SCALE: As Shown	ZONING: RA-15	G.L.W. FILE NO.: 71-017
DRN: mcf	DATE: APRIL 1992	TAX MAP NO.: 30	SHEET: 5 of 13
CHK: ckg			

Station	Invert	Structure	Structure Schedule - Storm Drains
I-1	176.85	12x12	See Plan
I-2	176.10	12x12	See Plan
I-3	175.35	12x12	See Plan
I-4	174.60	12x12	See Plan
I-5	173.85	12x12	See Plan
I-6	173.10	12x12	See Plan
I-7	172.35	12x12	See Plan
I-8	171.60	12x12	See Plan
I-9	170.85	12x12	See Plan
I-10	170.10	12x12	See Plan
I-11	169.35	12x12	See Plan
I-12	168.60	12x12	See Plan
I-13	167.85	12x12	See Plan
I-14	167.10	12x12	See Plan
I-15	166.35	12x12	See Plan
I-16	165.60	12x12	See Plan
I-17	164.85	12x12	See Plan
I-18	164.10	12x12	See Plan
I-19	163.35	12x12	See Plan
I-20	162.60	12x12	See Plan
I-21	161.85	12x12	See Plan
I-22	161.10	12x12	See Plan
I-23	160.35	12x12	See Plan
I-24	159.60	12x12	See Plan
I-25	158.85	12x12	See Plan
I-26	158.10	12x12	See Plan
I-27	157.35	12x12	See Plan
I-28	156.60	12x12	See Plan
I-29	155.85	12x12	See Plan
I-30	155.10	12x12	See Plan
I-31	154.35	12x12	See Plan
I-32	153.60	12x12	See Plan
I-33	152.85	12x12	See Plan
I-34	152.10	12x12	See Plan
I-35	151.35	12x12	See Plan
I-36	150.60	12x12	See Plan
I-37	149.85	12x12	See Plan
I-38	149.10	12x12	See Plan
I-39	148.35	12x12	See Plan
I-40	147.60	12x12	See Plan
I-41	146.85	12x12	See Plan
I-42	146.10	12x12	See Plan
I-43	145.35	12x12	See Plan
I-44	144.60	12x12	See Plan
I-45	143.85	12x12	See Plan
I-46	143.10	12x12	See Plan
I-47	142.35	12x12	See Plan
I-48	141.60	12x12	See Plan
I-49	140.85	12x12	See Plan
I-50	140.10	12x12	See Plan
I-51	139.35	12x12	See Plan
I-52	138.60	12x12	See Plan
I-53	137.85	12x12	See Plan
I-54	137.10	12x12	See Plan
I-55	136.35	12x12	See Plan
I-56	135.60	12x12	See Plan
I-57	134.85	12x12	See Plan
I-58	134.10	12x12	See Plan
I-59	133.35	12x12	See Plan
I-60	132.60	12x12	See Plan
I-61	131.85	12x12	See Plan
I-62	131.10	12x12	See Plan
I-63	130.35	12x12	See Plan
I-64	129.60	12x12	See Plan
I-65	128.85	12x12	See Plan
I-66	128.10	12x12	See Plan
I-67	127.35	12x12	See Plan
I-68	126.60	12x12	See Plan
I-69	125.85	12x12	See Plan
I-70	125.10	12x12	See Plan
I-71	124.35	12x12	See Plan
I-72	123.60	12x12	See Plan
I-73	122.85	12x12	See Plan
I-74	122.10	12x12	See Plan
I-75	121.35	12x12	See Plan
I-76	120.60	12x12	See Plan
I-77	119.85	12x12	See Plan
I-78	119.10	12x12	See Plan
I-79	118.35	12x12	See Plan
I-80	117.60	12x12	See Plan
I-81	116.85	12x12	See Plan
I-82	116.10	12x12	See Plan
I-83	115.35	12x12	See Plan
I-84	114.60	12x12	See Plan
I-85	113.85	12x12	See Plan
I-86	113.10	12x12	See Plan
I-87	112.35	12x12	See Plan
I-88	111.60	12x12	See Plan
I-89	110.85	12x12	See Plan
I-90	110.10	12x12	See Plan
I-91	109.35	12x12	See Plan
I-92	108.60	12x12	See Plan
I-93	107.85	12x12	See Plan
I-94	107.10	12x12	See Plan
I-95	106.35	12x12	See Plan
I-96	105.60	12x12	See Plan
I-97	104.85	12x12	See Plan
I-98	104.10	12x12	See Plan
I-99	103.35	12x12	See Plan
I-100	102.60	12x12	See Plan



DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

Signature *Date*

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

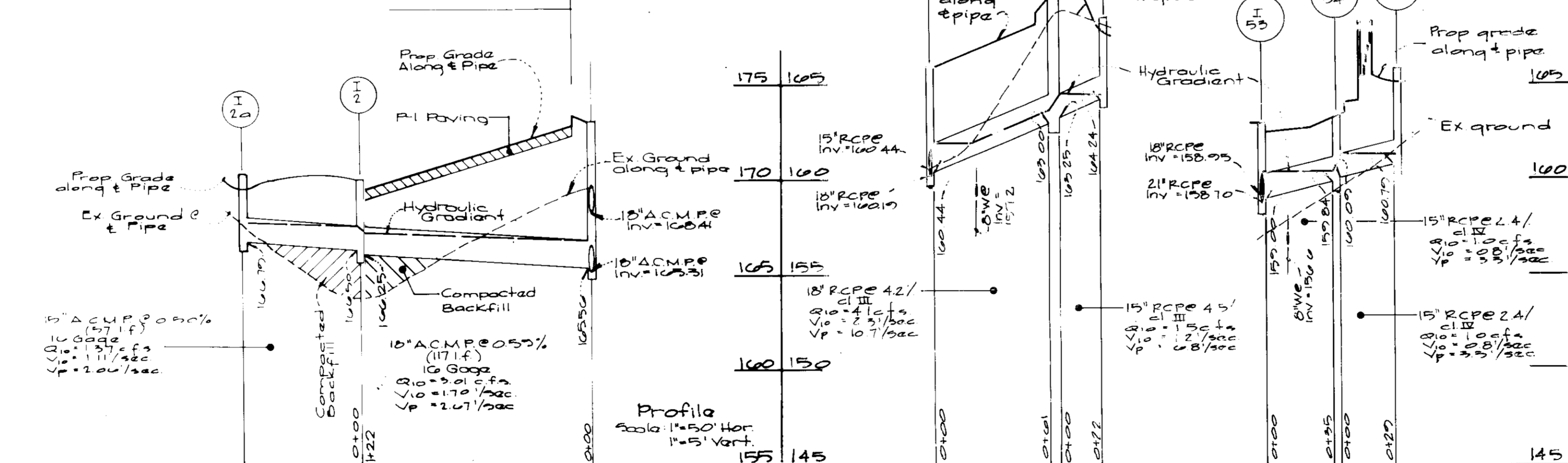
Signature *Date*

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Signature *Date*

This plan supercedes previously approved plan dated April 1992



Oil/Grit Separator Data

OG #	L ₁	L ₂	L ₃	B	D ₁	D ₂	H	Invert Elev.	Permanent Pool	Trash Rock
1	15'-3"	7'-10"	4'-0"	8'-0"	18"	18"	7'-6"	142.50	147.00	36" AACMP
2	12'-6"	6'-0"	4'-0"	8'-0"	15"	15"	7'-3"	144.40	150.90	36" AACMP
3	15'-0"	7'-0"	4'-0"	8'-0"	21"	21"	10'-2"	See profile	157.53	36" AACMP

Note: Oil/Grit Separator #1 has a top slab of 8" and oil/grit Separator #2 and #3 has a top slab of 12".

Hydraulic Gradient # or as approved by county inspector.

OG #	First Chamber	Second Chamber	Third Chamber
	h	h	h
1	145.00	148.75	148.27
2	148.90	152.90	152.06
3	150.00	160.80	160.05

Approved for public water/public sewerage systems
Howard County Health Department
County Health Officer *Date*

Approved for Howard County Department of Planning
Director *Date*

Approved for public water/public sewerage systems,
drainage systems and public roads
Howard County Dept. of Public Works
Director *Date*

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE, SUITE 250, BURTONSVILLE OFFICE PARK, BURTONSVILLE, MD 20866
TELEPHONE (301)421-4024 NO VA (301)989-2524 BALTO (301)880-1820 FAX (301)421-4186

PREPARED FOR:
ODS Club III, Inc
% Orchard Development Corp
3900 North Ridge Rd
Suite 200
Elliott City, Md 21043
(301) 790-1800

DATE	REVISION	BY	APP'R.
11/22/94	rev. 2.0 I in profile		
8/30/94	add profile for pool backwash to storm drain (MH 52)	MCF	
11/1/94	rev. 2.0 Z in profile	MCF	
4/15/94	rev. profile elevation 5.0 run I-51 to MH 55 & replacement of plan dated April 1992 (Rev. 2.0)	MCF	
3/10/94		MCF	

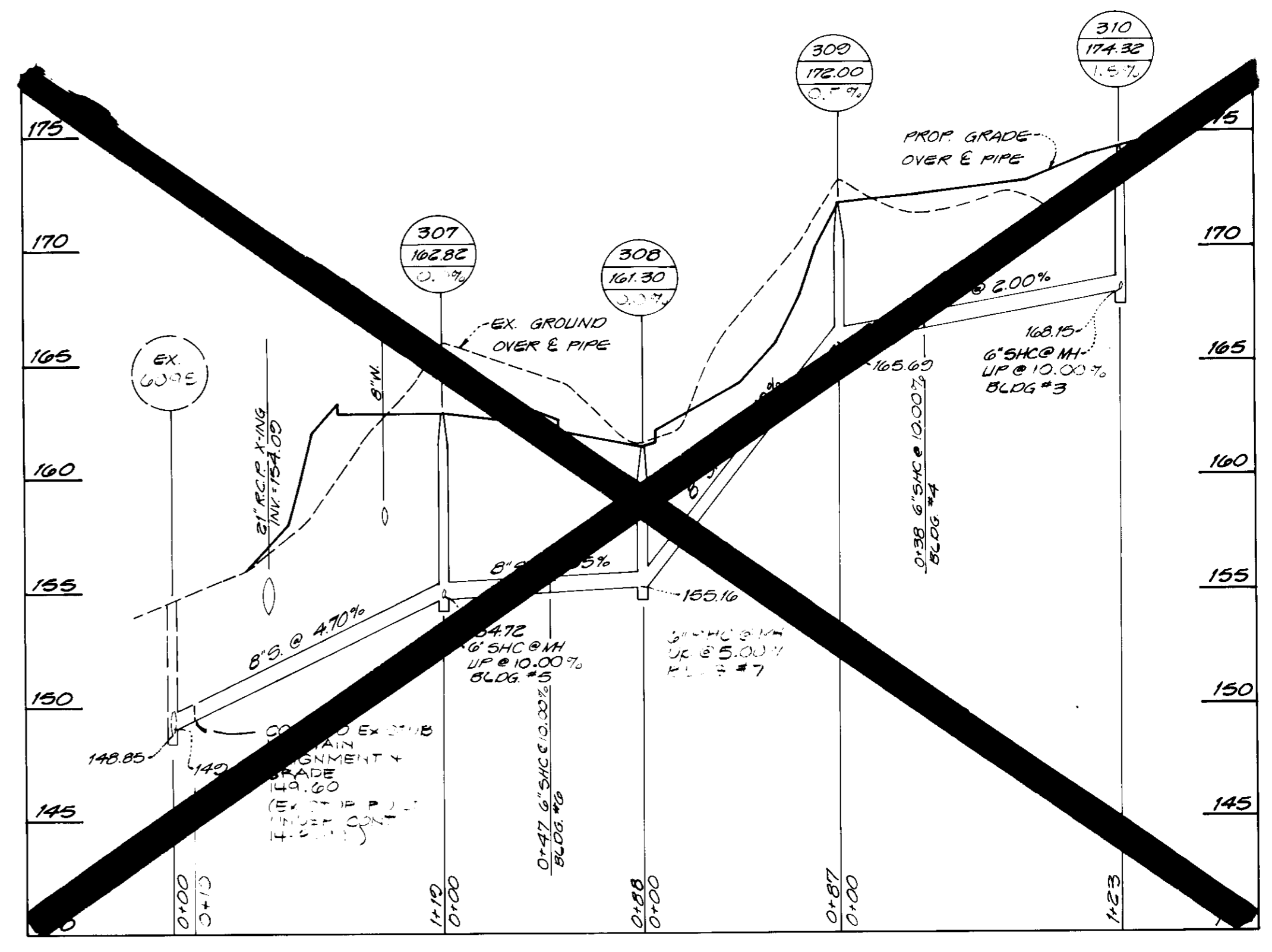
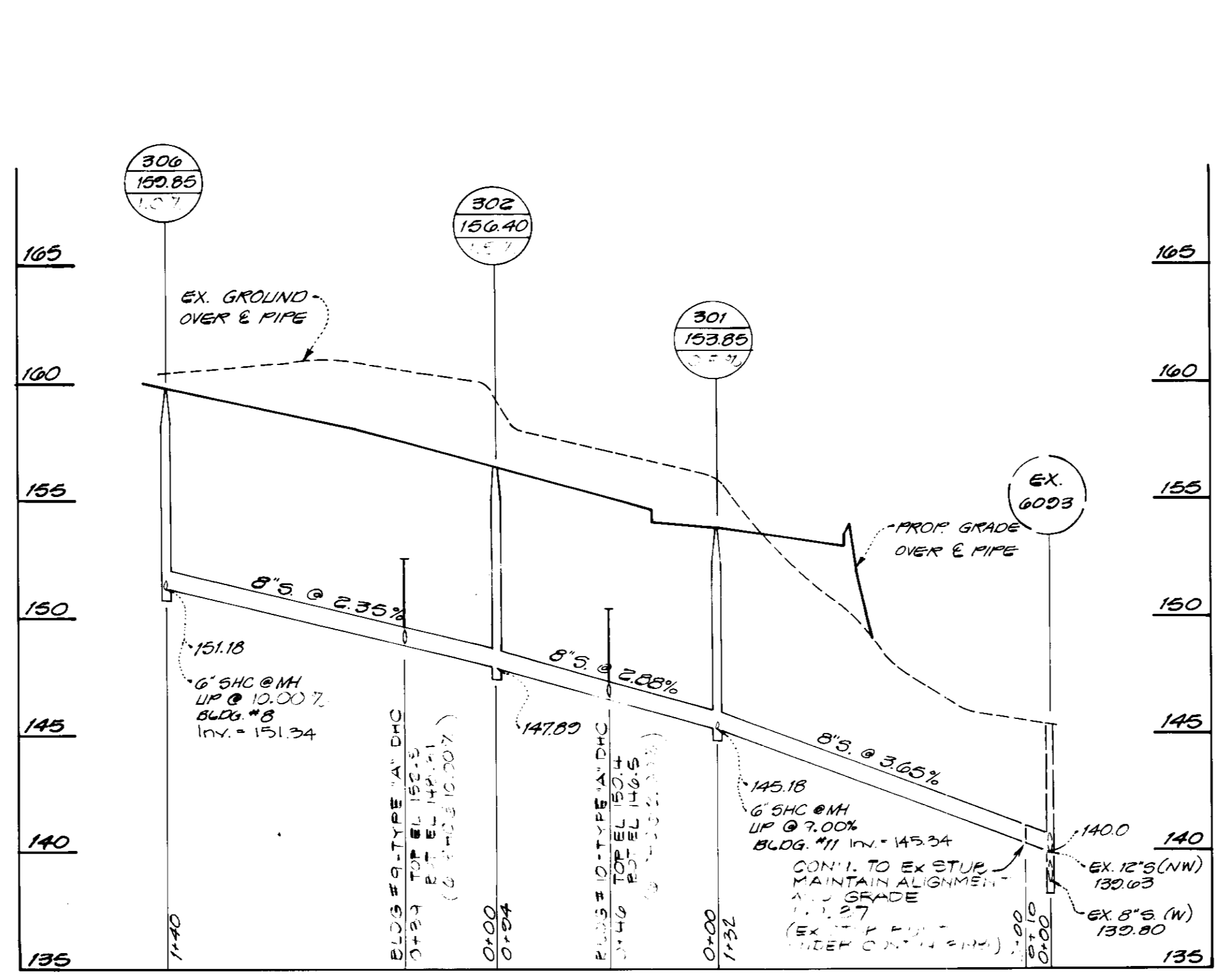
storm drain profiles
Elkridge Town Center
Section Two
Parcel C-2 thru C-5
First Election District
Howard County, Maryland

DES.:	SCALE:	ZONING:	G.L.W. FILE NO.:
dev	As Shown	RA-15	91-019
DRN.:	DATE:	TAX MAP NO.:	SHEET:
mcf	March 10, 1994	33	6 of 13
CHK.:	DATE:	TAX MAP NO.:	SHEET:
ckg			

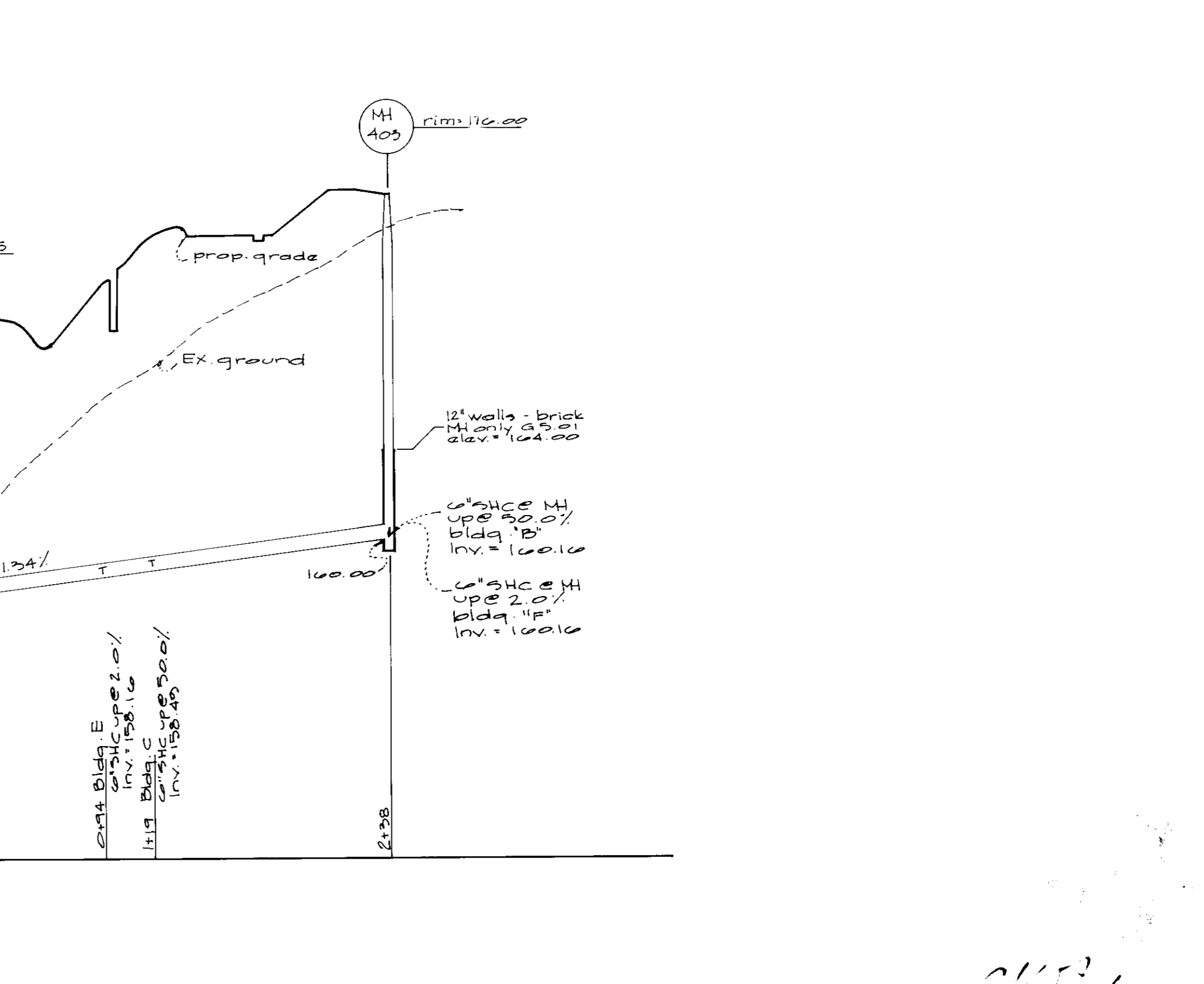
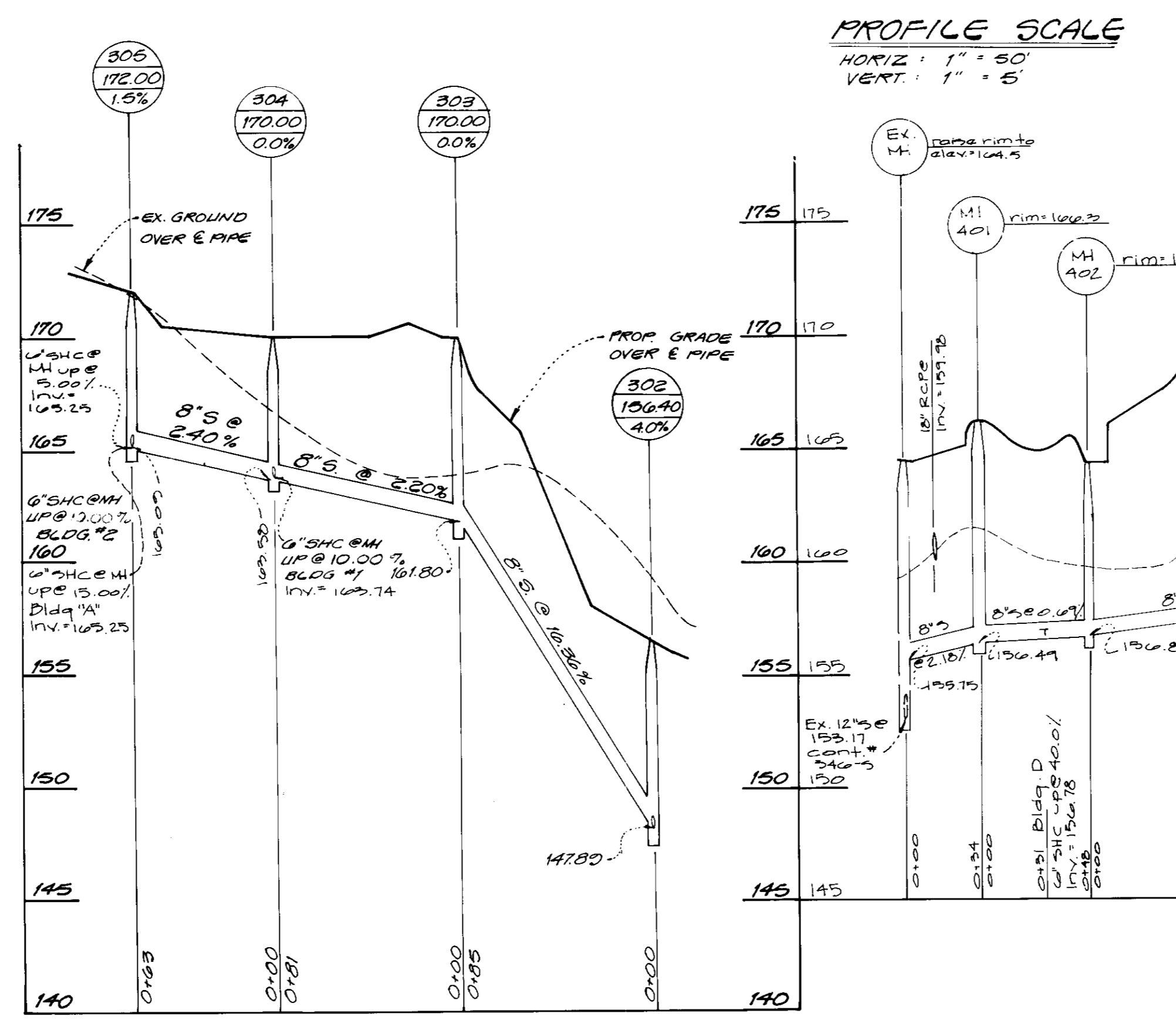
Structure	Type	Station #	Invert	Outlet	Notes
301	Manhole	159.55	145.11	145.11	4+10 = 25' Rt.
302	Manhole	159.40	147.11	147.11	4+12 = 34' Rt.
303	Manhole	170.31	151.31	151.31	5+11 = 16' Rt.
304	Manhole	170.31	151.31	151.31	5+11 = 16' Rt.
305	Manhole	170.31	151.31	151.31	5+11 = 16' Rt.
306	Manhole	170.31	151.31	151.31	5+11 = 16' Rt.
401	Std. MH	G5.01	100.45	150.45	10+55 = 18' Rt.
402	"	"	104.5	150.82	7+85 = 19' Rt.
403	"	"	171.0	100.00	See plan

Building Number	S.H.C. Invert @ C.C. Cleanout	Minimum Cellar Elevation
1	109.84	109.9
2	109.25	119.0
A	173.35	173.5
B	100.00	173.1
C	101.47	107.8
D	109.18	108.7
E	158.48	104.9
8	153.14	157.2
9	153.50	157.7
10	150.04	154.0
11	151.46	155.5
F	100.48	107.3
POOL HOUSE	105.18	108.2

Type	Size	Quantity
SEWER	8"	915 L.F.
S.H.C.	6"	303 L.F.
W.H.C.	2"	21 L.F.



- WATER & SEWER NOTES**
- ALL CONSTRUCTION METHODS AND MATERIALS FOR PRIVATE WATER AND SEWER MAINS AND CONNECTIONS SHALL FOLLOW THE CURRENT EDITION OF THE HOWARD COUNTY PLUMBING CODE, SUPPLEMENTED BY THE HOWARD COUNTY STANDARDS, DETAILS & SPECIFICATIONS, WHERE NECESSARY.
 - ALL SEWER MAINS AND CONNECTIONS SHALL BE P.V.C.
 - ALL WATER MAINS SHALL BE D.I.P. CLASS 52.
 - BLOCK ALL WATER FITTINGS WITH CONCRETE.
 - SEWER MANHOLES SHALL BE 4' DIAMETER.
 - WATER SERVICES ARE FOR INSIDE METER SETTINGS.
 - VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION OF UTILITIES SHOWN ON THIS PLAN.
 - Line and grade of existing sewer shall be verified by a surveyor or engineer. Engineer shall be notified of discrepancies prior to construction.



APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 Joyce M. Boydland per Jfr 8/26/92
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF
 PLANNING & ZONING
 Director: [Signature] 9/1/92
 DATE

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE/
 STORM DRAINAGE SYSTEMS AND PRIVATE ROADS
 HOWARD COUNTY DEPT. OF PUBLIC WORKS
 Director: [Signature] 8/24/92
 DATE

CHIEF BUREAU OF ENGINEERING: [Signature] 7/15/92
 DATE

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
 TELEPHONE (301)421-4024 NO VA (301)989-2524 BALTO (301)880-1820 FAX (301)421-4186

NO.	DATE	REVISION	BY	APP'R.
1	9/10/94	General revisions for new unit type on parcel C-2	MCF	
2	MAY 92	REVISED B'S TO SERVE PARCELS C-1 & C-2 SEPARATELY	MSF	

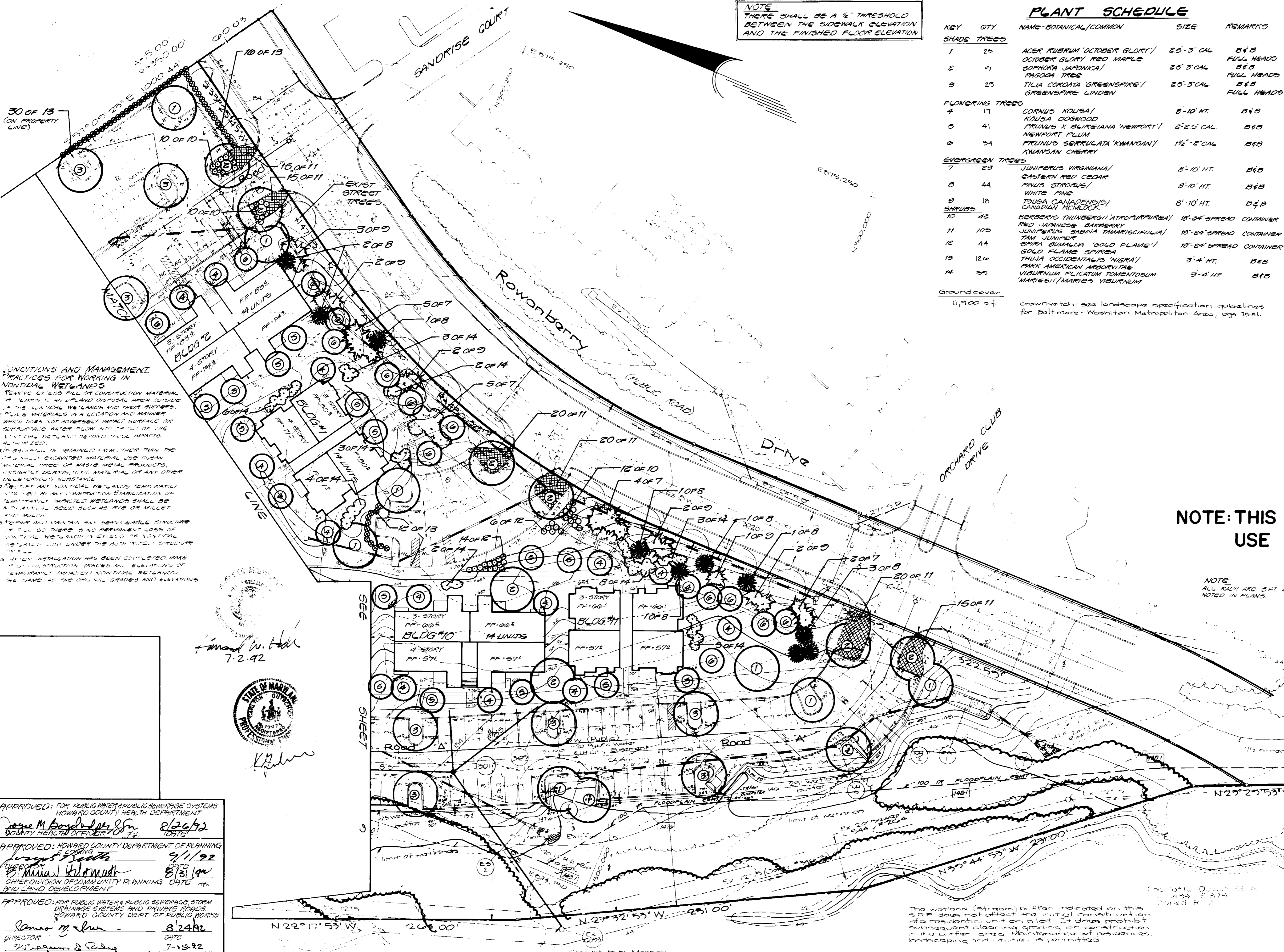
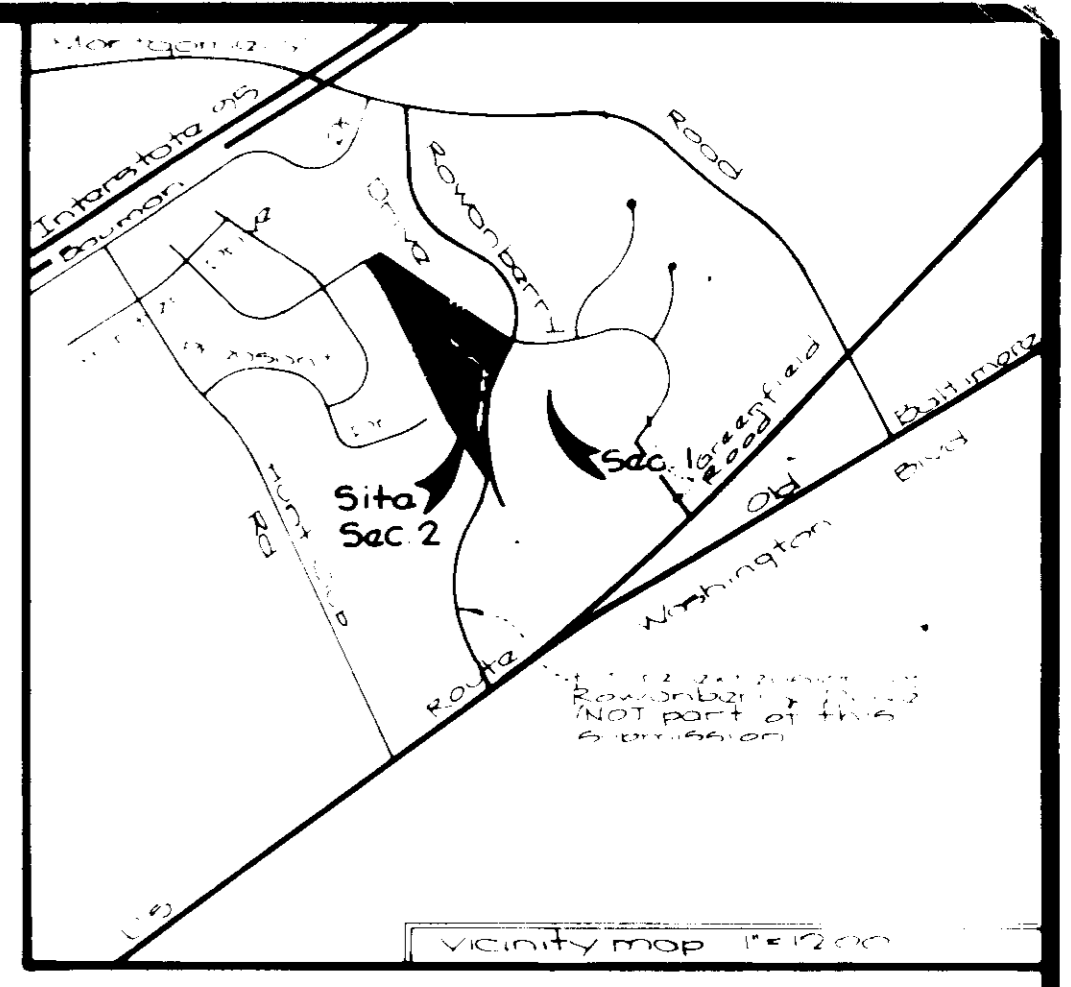
PREPARED FOR
 G.D. GUYE, INC.
 2533 Highway 5, Burtonsville, MD
 20866

SEWER PROFILES
ELKRIDGE TOWN CENTER
 SECTION TWO
 PARCELS C-2 thru C-5
 HOWARD COUNTY, MARYLAND

Subdivision Name	Elkridge Town Center	Parcel	C-2-C-5
Plot #	Block #	Zoning	RA-1
Water Code	000	Sewer Code	2150542
DES: RSP	SCALE: AS SHOWN	DATE: April 1992	SHEET: 7 of 13

NOTE:
THERE SHALL BE A 1/2" THRESHOLD
BETWEEN THE SIDEWALK ELEVATION
AND THE FINISHED FLOOR ELEVATION

KEY	QTY.	NAME-BOTANICAL/COMMON	SIZE	REMARKS
SHADE TREES				
1	25	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	25'-3" CAL	5'± FULL HEADS
2	7	SOPHORA JAPONICA / PASODA TREE	25'-3" CAL	5'± FULL HEADS
3	25	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	25'-3" CAL	5'± FULL HEADS
FLOWERING TREES				
4	17	CORNUS KOUSA / KOUSA DOGWOOD	8'-10" HT.	5'±
5	41	PRUNUS X SHIRENANA 'NEWPORT' / NEWPORT PLUM	2'-2.5' CAL	5'±
6	34	PRUNUS SERRULATA 'KWANSAN' / KWANSAN CHERRY	1 1/2" - 2" CAL	5'±
EVERGREEN TREES				
7	23	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	8'-10" HT.	5'±
8	44	FINUS STROBUS / WHITE PINE	8'-10" HT.	5'±
9	16	TSUGA CANADENSIS / CANADIAN HEMLOCK	8'-10" HT.	5'±
SHRUBS				
10	42	BARBERTS THUNBERGII 'ATROPURPUREA' / RED JAPANESE BARBERTS	18"-24" SPREAD CONTAINER	
11	105	JUNIPERUS SHIBATA 'TAMARISCIFOLIA' / TAM JUNIPER	18"-24" SPREAD CONTAINER	
12	44	SPIRA BUNALOA 'GOLD FLAME' / GOLD FLAME SPIREA	18"-24" SPREAD CONTAINER	
13	126	TILIA OCCIDENTALIS 'VIGRA' / PARK AMERICAN LINDEN	3'-4" HT.	5'±
14	20	VIBURNUM PLICATUM TOMENTOSUM 'MARISSII' / MARISSII VIBURNUM	3'-4" HT.	5'±
Groundcover				
	11,700 sq. ft.	crownvetch - see landscape specification guidelines for Baltimore - Washington Metropolitan Area, pgs. 70&1.		



CONDITIONS AND MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS

1. REMOVE OR FILL OR CONSTRUCTION MATERIAL OR DEBRIS FROM A PLAND DISPOSAL AREA OUTSIDE OF THE NONTIDAL WETLANDS AND THEIR BUFFERZ.

2. PLACE MATERIALS IN A LOCATION AND MANNER WHICH DOES NOT ADVERSELY IMPACT SURFACE OR SUBSURFACE WATER FLOW INTO OR OUT OF THE NONTIDAL WETLANDS BEYOND THOSE IMPACTS AUTHORIZED.

3. IF MATERIAL IS OBTAINED FROM OTHER THAN THE SITE SHALL EXCAVATED MATERIAL USE CLEAN MATERIAL FREE OF WASTE METAL PRODUCTS, INSOLUBLE OILS, TOXIC MATERIAL OR ANY OTHER HAZARDOUS SUBSTANCE.

4. RESTORE ANY NONTIDAL WETLANDS TEMPORARILY IMPACTED BY ANY CONSTRUCTION STABILIZATION OF TEMPORARILY IMPACTED WETLANDS SHALL BE WITH ANNUAL SEED SUCH AS RYE OR WHEAT AND MUCH.

5. RESTORE AND MAINTAIN ANY RESTOREABLE STRUCTURE OR FILL SO THERE IS NO PERMANENT LOSS OF NONTIDAL WETLANDS IN EXCESS OF NONTIDAL WETLANDS LOST UNDER THE AUTHORIZED STRUCTURE.

6. WHEN INSTALLATION HAS BEEN COMPLETED, MAKE SURE THAT CONSTRUCTION PRACTICES AND ELEVATIONS OF TEMPORARILY IMPACTED NONTIDAL WETLANDS THE SAME AS THE ORIGINAL GRADES AND ELEVATIONS.

NOTE: THIS PLAN FOR LANDSCAPE USE ONLY!

NOTE:
ALL RADII ARE 0.5 FT. UNLESS NOTED IN PLANS

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
James M. Bond 8/26/92
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING
& ZONING
James M. Bond 8/31/92
CHIEF DIVISION OF COMMUNITY PLANNING DATE
AND LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE, STORM
DRAINAGE SYSTEMS AND PRIVATE ROADS
HOWARD COUNTY DEPT. OF PUBLIC WORKS
James M. Bond 8/24/92
DIRECTOR DATE
CHIEF, BUREAU OF ENGINEERING, PLANNING & SURVEYING

GLW GUTSCHICK LITTLE & WEBER, P.A.
ENGINEERS, PLANNERS, SURVEYORS
1939 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20886
TEL: 301-421-4024

NO.	DATE	REVISION	BY	APP'R.
010-94		General revisions for new unit type on parcel C-2	MCF	

PREPARED FOR
GOC CLUB II, INC.
9900 NORTH RIDGE ROAD
SUITE 243
COLUMBIA MARYLAND 21043
(301) 750-1800

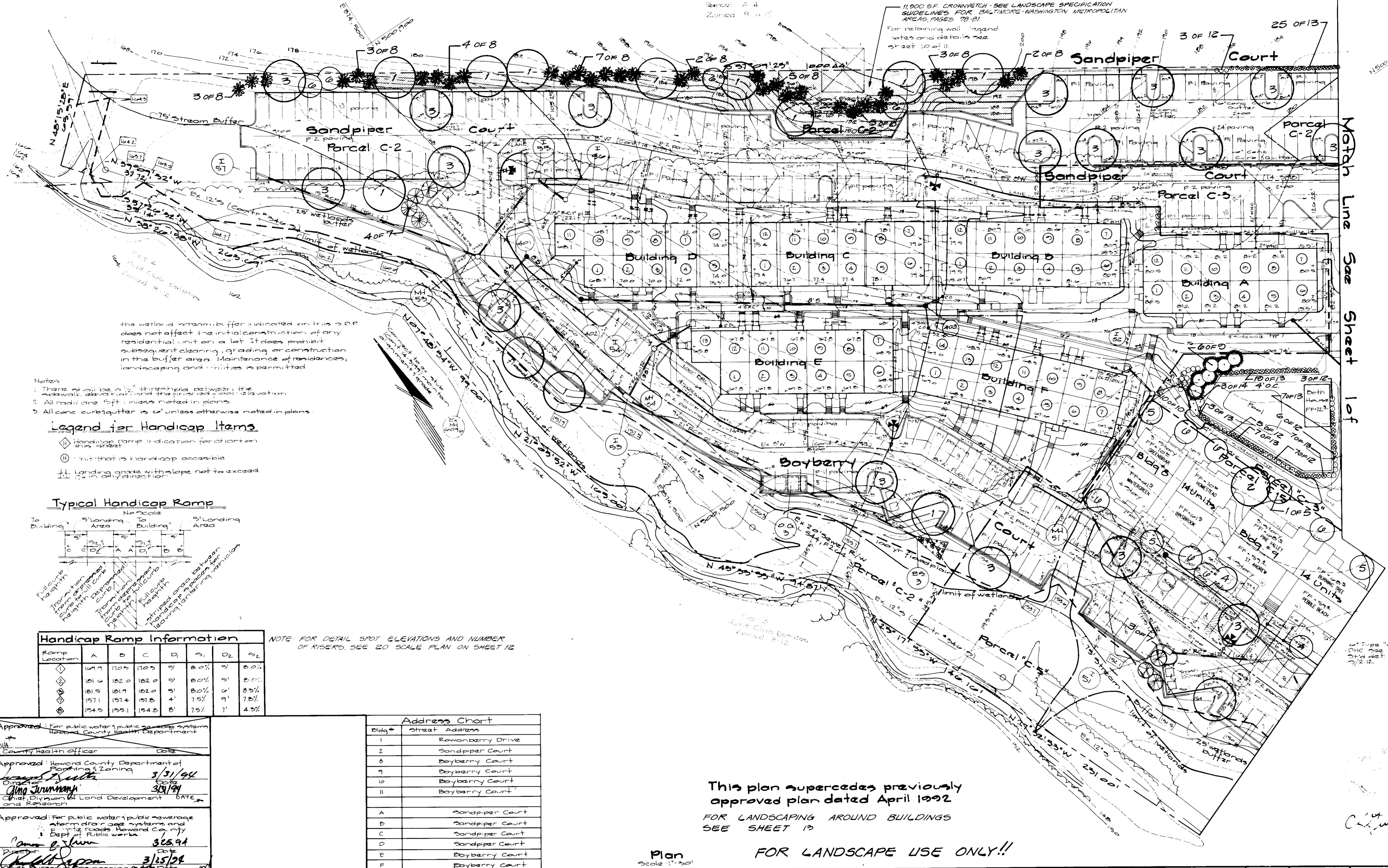
LANDSCAPE PLAN
Elkridge Town Center
Section Two
Parcel 'C-2' - 'C-5'

First Election District
Howard County, Maryland

SCALE	ZONING	GLW FILE NO.
1"=30'	RA-15	91-01
DATE	TAX MAP NO.	SHEET
APRIL 1992	98	8 OF 13

Client: Elkr Ridge Development Corp.
 Project: Elkr Ridge
 Parcel: A-4
 Zoning: RA-15

11,000 SF. CROWNVECH - SEE LANDSCAPE SPECIFICATION
 GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN
 AREAS, PAGES 78-81
 For retaining wall legend
 notes and details see
 sheet 10 of 11



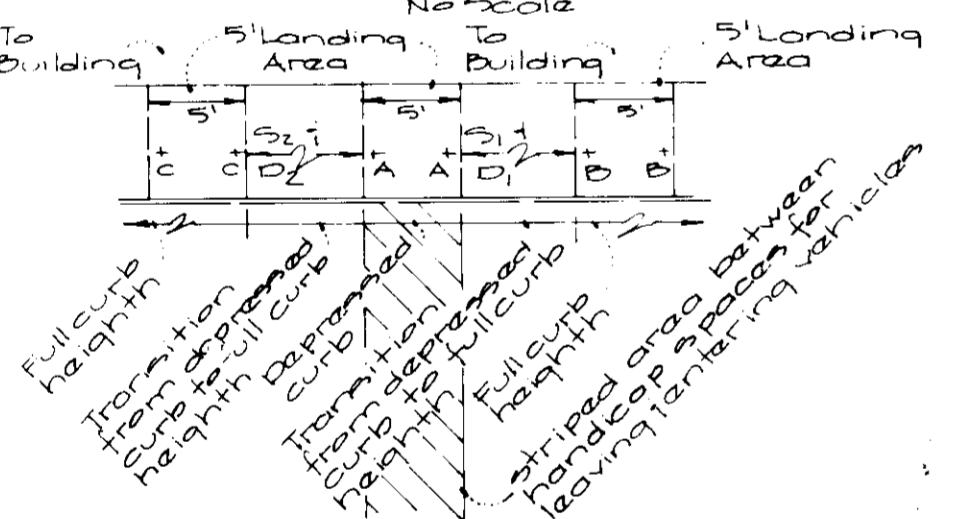
the wetland stream buffer indicated on this 30' OF
 does not affect the initial construction of any
 residential unit on a lot. It does prohibit
 subsequent clearing, grading or construction
 in the buffer area. Maintenance of residences,
 landscaping and utilities is permitted.

- Notes
- 1. There shall be a 2" threshold between the sidewalk elevation and the finished floor elevation.
 - 2. All radii are 5ft unless noted in plans.
 - 3. All curb gutter is 6" unless otherwise noted in plans.

Legend for Handicap Items

- ◊ Handicap ramp indication for short on this sheet
- ⊕ Unit that is handicap accessible
- ⊔ Landing grade with slope not to exceed 1:12 in any direction

Typical Handicap Ramp



Ramp Location	A	B	C	D	E	F	G
1	101.7	110.5	110.5	5'	8.0%	5'	8.0%
2	101.6	102.0	102.0	5'	8.0%	5'	8.0%
3	101.5	101.9	102.0	6'	8.5%	9'	7.8%
4	151.1	151.4	151.8	8'	7.5%	7'	4.5%

NOTE: FOR DETAIL SPOT ELEVATIONS AND NUMBER OF RISERS, SEE 20 SCALE PLAN ON SHEET 12

Address Chart

Bldg #	Street Address
1	Rowanberry Drive
2	Sandpiper Court
3	Bayberry Court
4	Bayberry Court
5	Bayberry Court
6	Bayberry Court
7	Bayberry Court
8	Bayberry Court
9	Bayberry Court
10	Bayberry Court
11	Bayberry Court
12	Bayberry Court
13	Bayberry Court
14	Bayberry Court
15	Bayberry Court
16	Bayberry Court
17	Bayberry Court
18	Bayberry Court
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39	Bayberry Court
40	Bayberry Court
41	Bayberry Court
42	Bayberry Court
43	Bayberry Court
44	Bayberry Court
45	Bayberry Court
46	Bayberry Court
47	Bayberry Court
48	Bayberry Court
49	Bayberry Court
50	Bayberry Court

This plan supercedes previously approved plan dated April 1992.
 FOR LANDSCAPING AROUND BUILDINGS
 SEE SHEET 13

Plan Scale 1"=30'

FOR LANDSCAPE USE ONLY!!

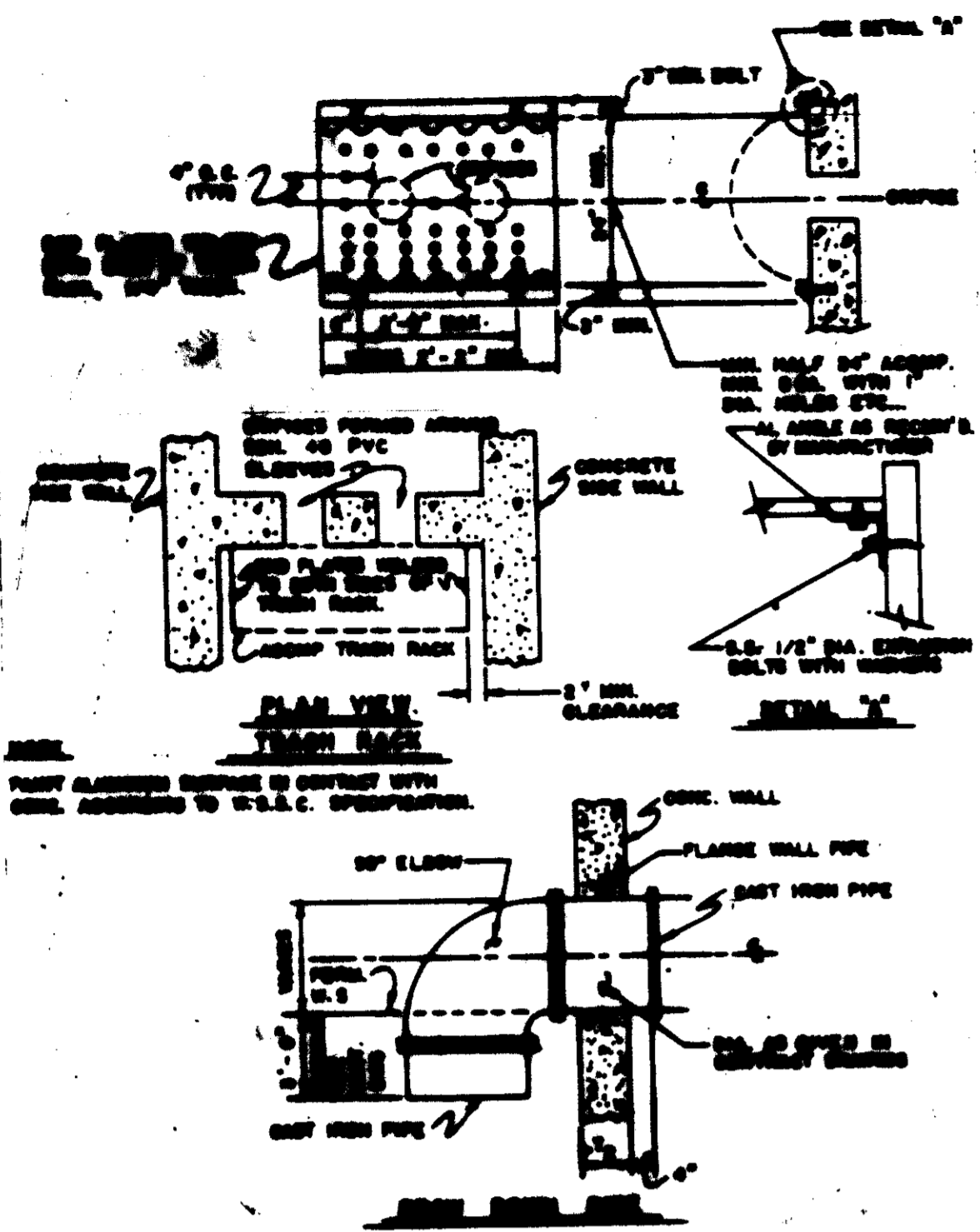
GW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20886
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX: (301)421-4186

DATE	REVISION	BY	APPR.
2/10/94	replacement of plan dated April 1992 (Landscape)	MCF	

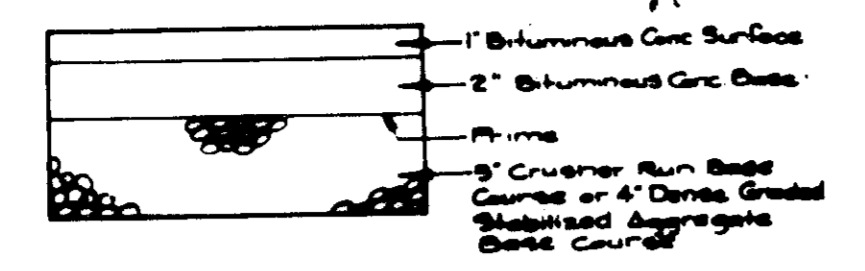
PREPARED FOR:
 Elkr Ridge Development Corp.
 3500 North Ridge Rd.
 Suite 250
 Columbia, Md 21045
 (501) 750-1800

LANDSCAPE PLAN
Elkr Ridge Town Center
 Section Two
 Parcels C-2 thru C-5
 First Election District
 Howard County, Maryland

DES.:	SCALE	ZONING	G.L.W. FILE NO.
DEV	1"=30'	RA/15	91-019
DRN.:	DATE	TAX MAP NO.	SHEET
MCF	March 10, 1994	38	9 of 13
CHK.:	DATE	TAX MAP NO.	SHEET
CKG	March 10, 1994	38	9 of 13

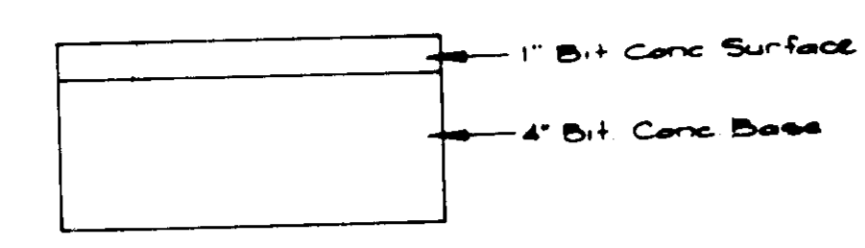


Alternate Paving Section P-1



BITUMINOUS CONC. SURFACE	1 1/2"
BITUMINOUS CONC. BASE	2 1/2"
PRIME	1"
4\"/>	

ALTERNATE PAVING SECTION (P-2)



Paving Section P-1

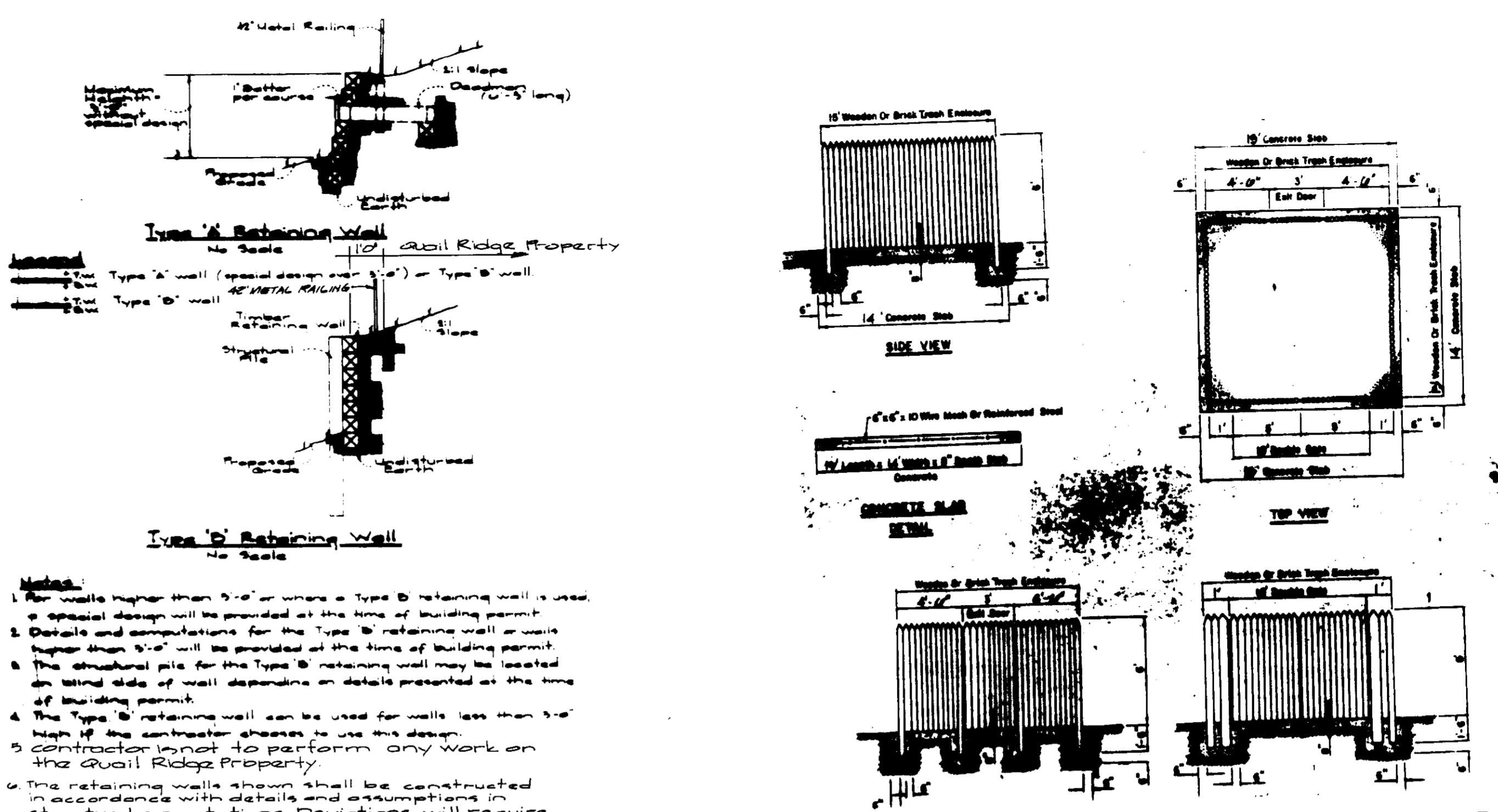
P-1 SECTIONS MAY BE USED FOR PARKING SPACES ONLY

BITUMINOUS CONCRETE	1 1/2"
BITUMINOUS CONCRETE BASE	5"

P-2 PAVING SECTION

P-2 SECTIONS MUST BE USED FOR TRAVELWAYS

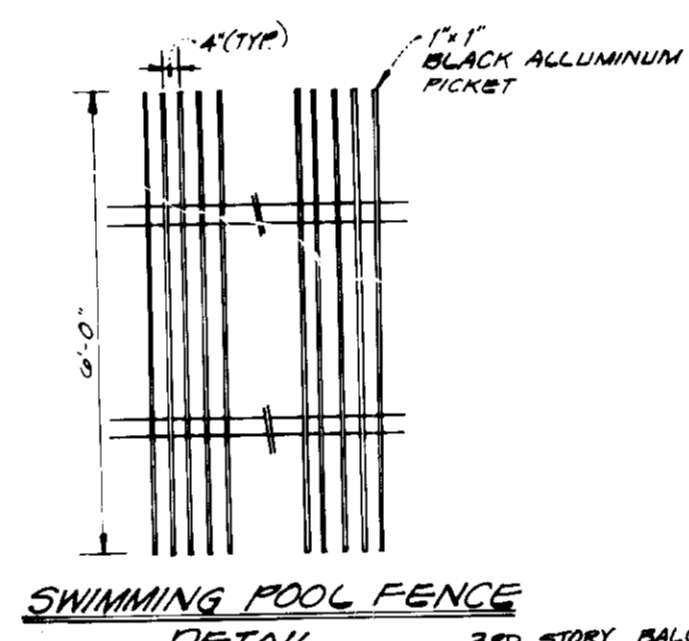
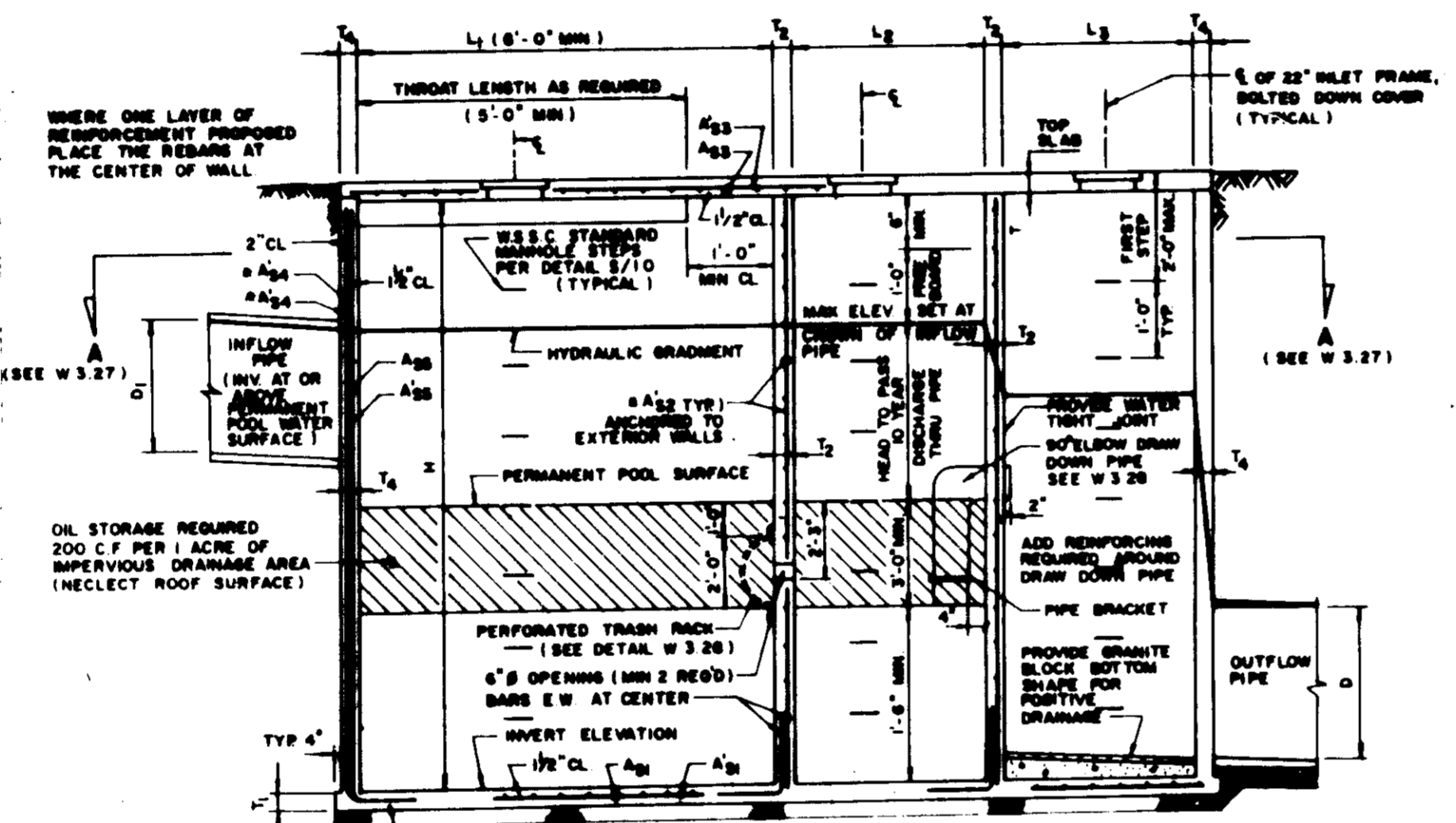
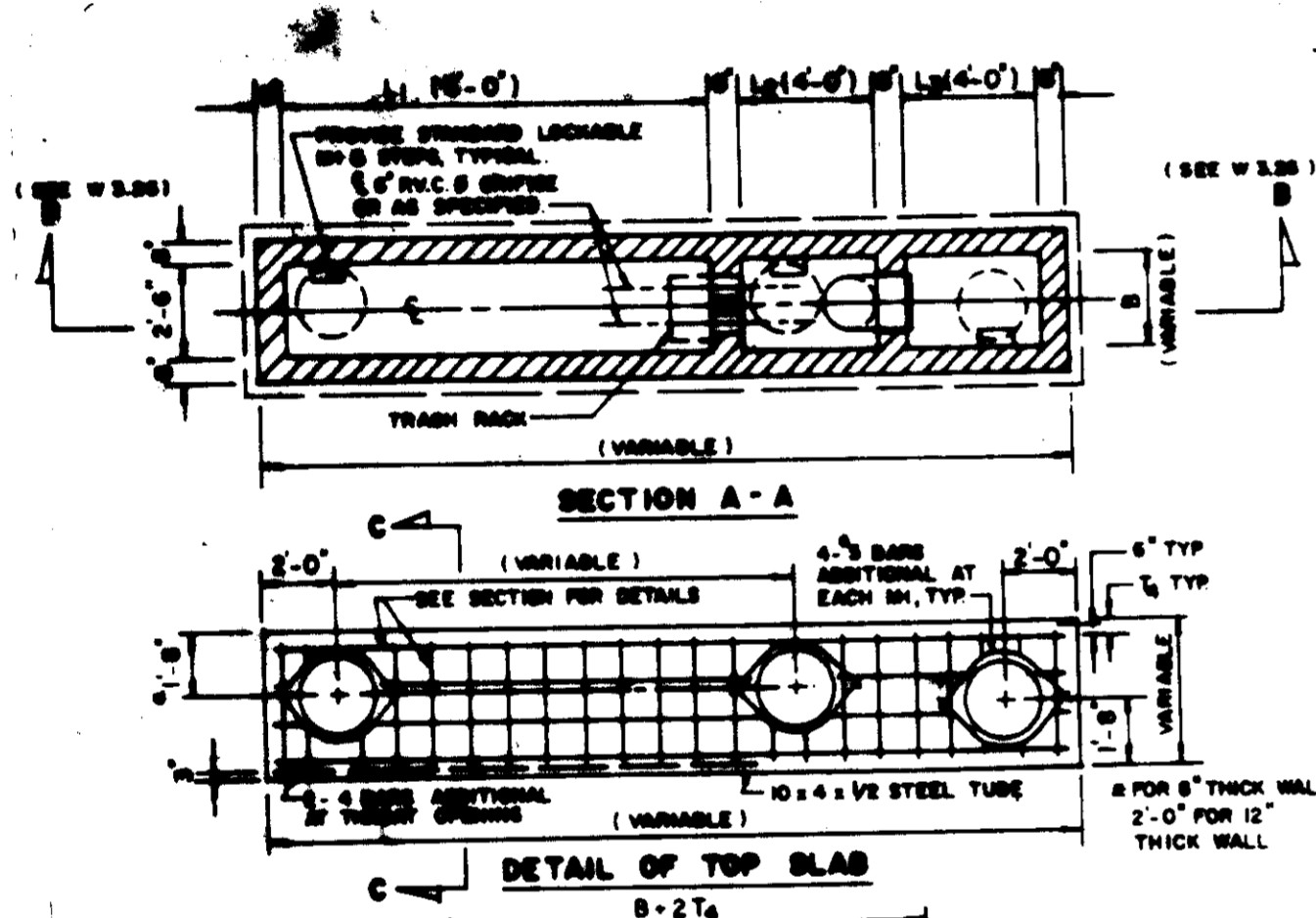
Note: Shop drawings for pre-cast structures must be approved by engineer and inspector.



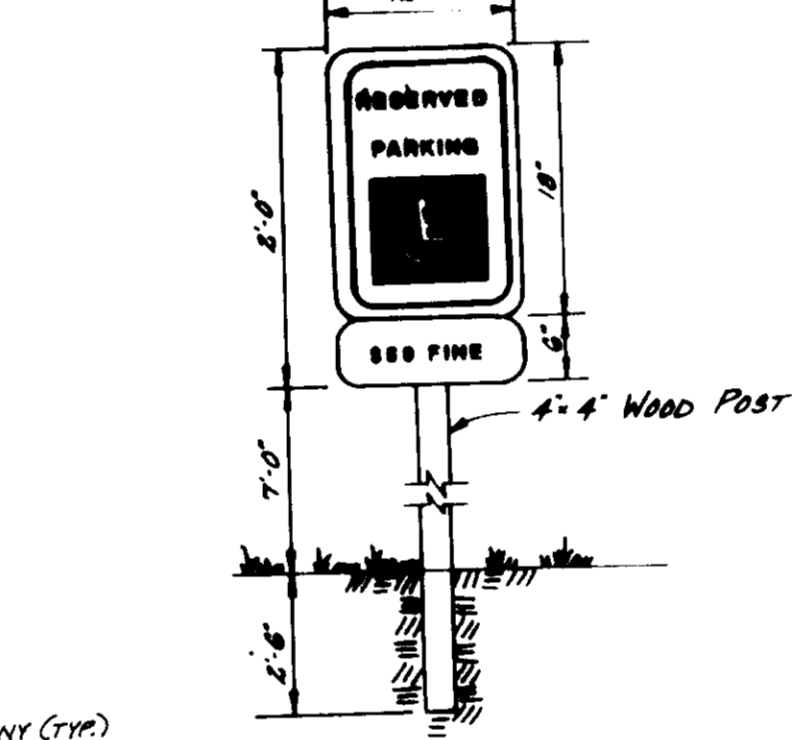
- Notes:**
1. For walls higher than 3'-0" or where a Type B retaining wall is used, a special design will be provided at the time of building permit.
 2. Details and computations for the Type B retaining wall are available upon request.
 3. The structural pile for the Type B retaining wall may be located on either side of wall depending on details presented at the time of building permit.
 4. The Type B retaining wall can be used for walls less than 3'-0" high if the contractor chooses to use this design.
 5. Contractor is not to perform any work on the Quail Ridge Property.
 6. The retaining walls shown shall be constructed in accordance with details and assumptions in structural computations. Deviations will require approval from the Department of Public Works, Howard County, Maryland.

TRASH DUMPSTER ENCLOSURE N.T.S.

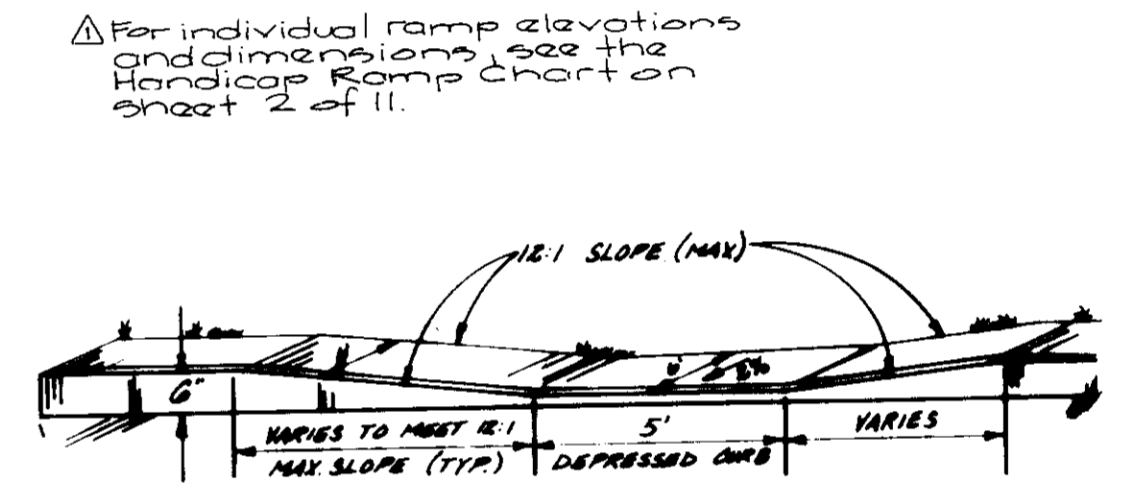
ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED.



SWIMMING POOL FENCE DETAIL NO SCALE



HANDICAP PARKING SIGN DETAIL NO SCALE

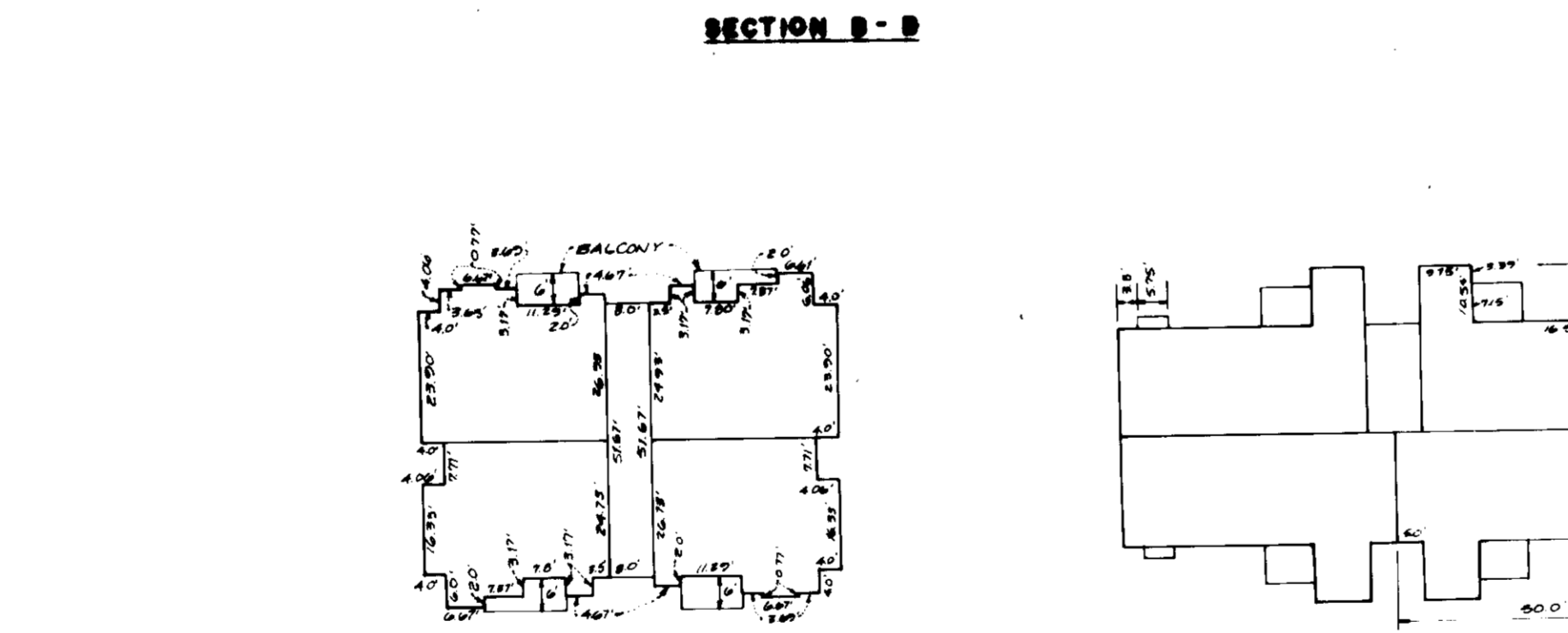


HANDICAP RAMP DETAILS NO SCALE

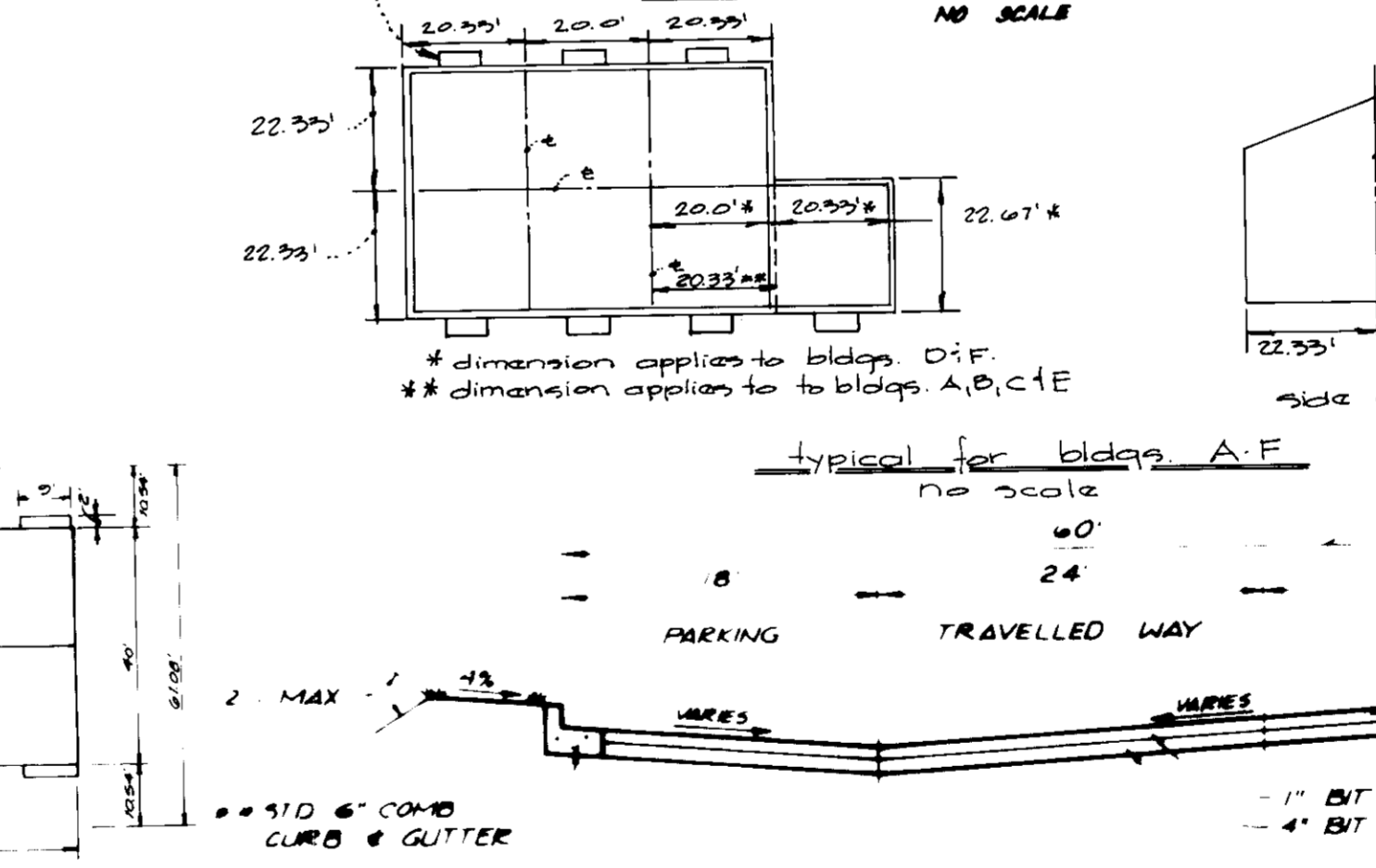
LIMITS		BASE SLAB		PARTITION WALLS		TOP SLAB		OUTER WALLS	
B	H	L	T	A ₁	A ₂	A ₃	A ₄	A ₅	A ₆
FT	IN	FT	IN	FT	IN	FT	IN	FT	IN
5	8	10	6"	8"	8"	8"	8"	8"	8"
8	12	15	6"	12"	8"	8"	8"	8"	8"

CAST IN PLACE CONCRETE f'c = 4000 psi @ 28 DAYS. REINFORCING STEEL IN ACCORDANCE WITH ASTM A 615 GRADE 60

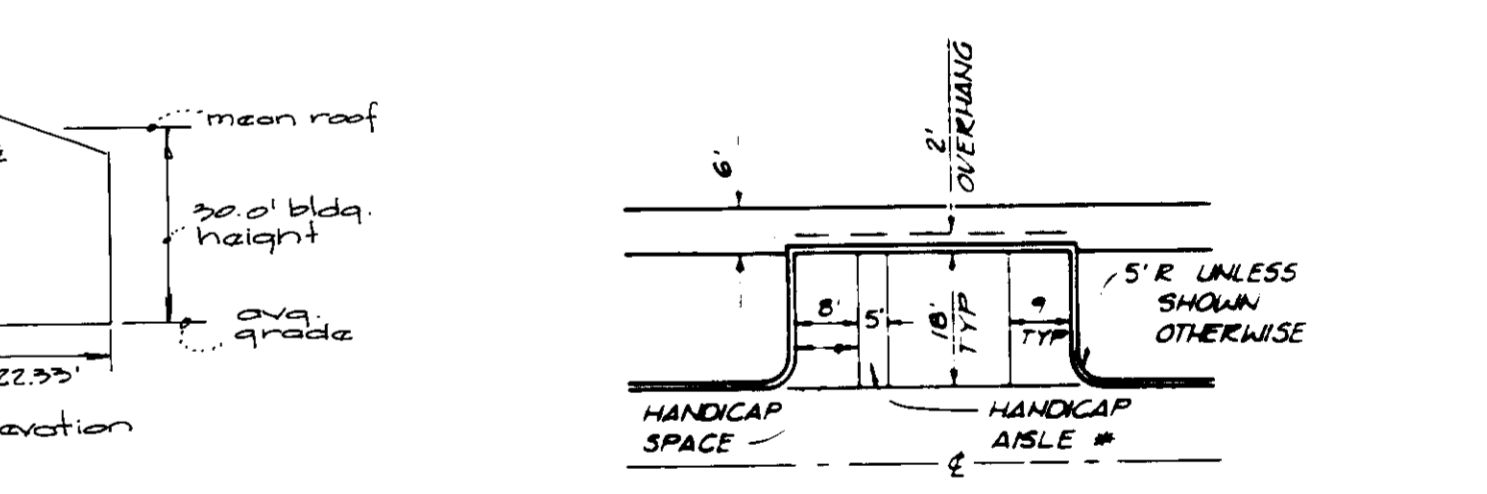
NOTE: FOR SECTION AND DETAILS REFER TO SD/706 AND SD/705



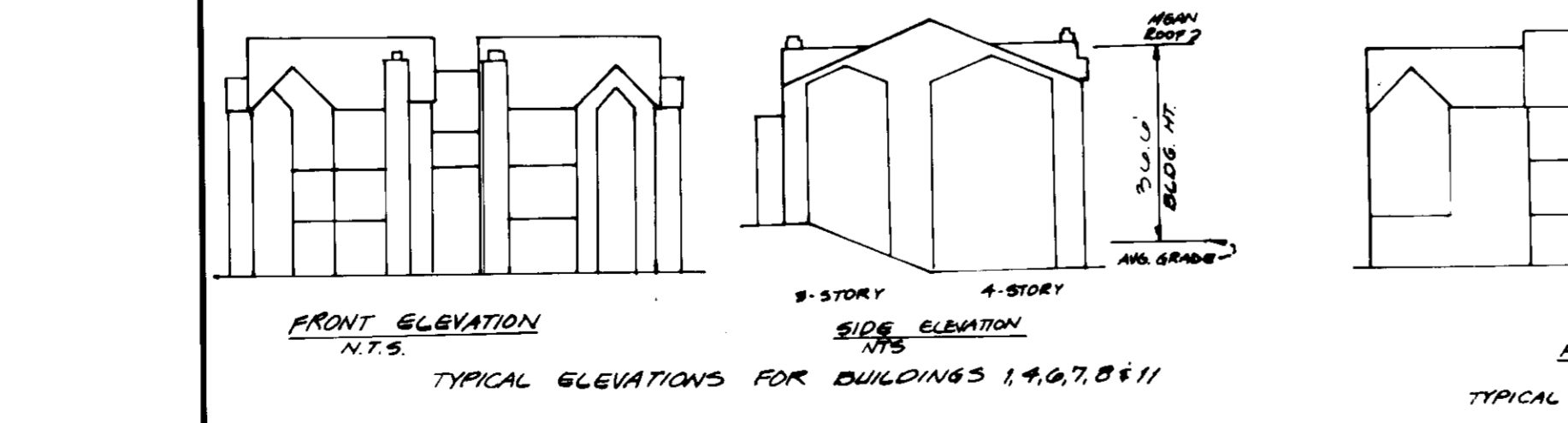
TYPICAL BLDG TYPE FOR BLDGS 1, 4, 6, 7, 8, 11 N.T.S.



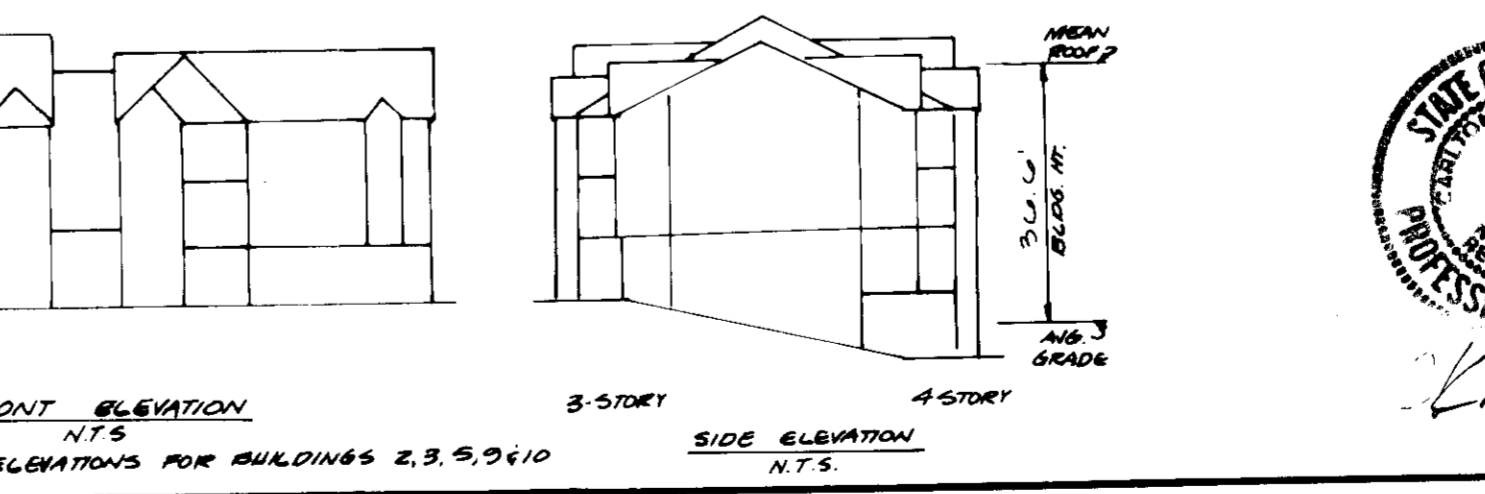
TYPICAL SECTION PRIVATE DRIVE & PARKING NO SCALE



TYPICAL PARKING NO SCALE



TYPICAL ELEVATIONS FOR BUILDINGS 1, 4, 6, 7, 8, 11 N.T.S.



TYPICAL ELEVATIONS FOR BUILDINGS 2, 3, 5, 9, 10 N.T.S.

Approved for public water & public sewerage systems
Howard County Health Department
Joyce M. Boyd per JSM 8/26/92
County Health Officer

Approved for public water & public sewerage systems
Howard County Department of Planning
Blomas Holman 8/21/92
Chief Division of Community Planning and Land Development

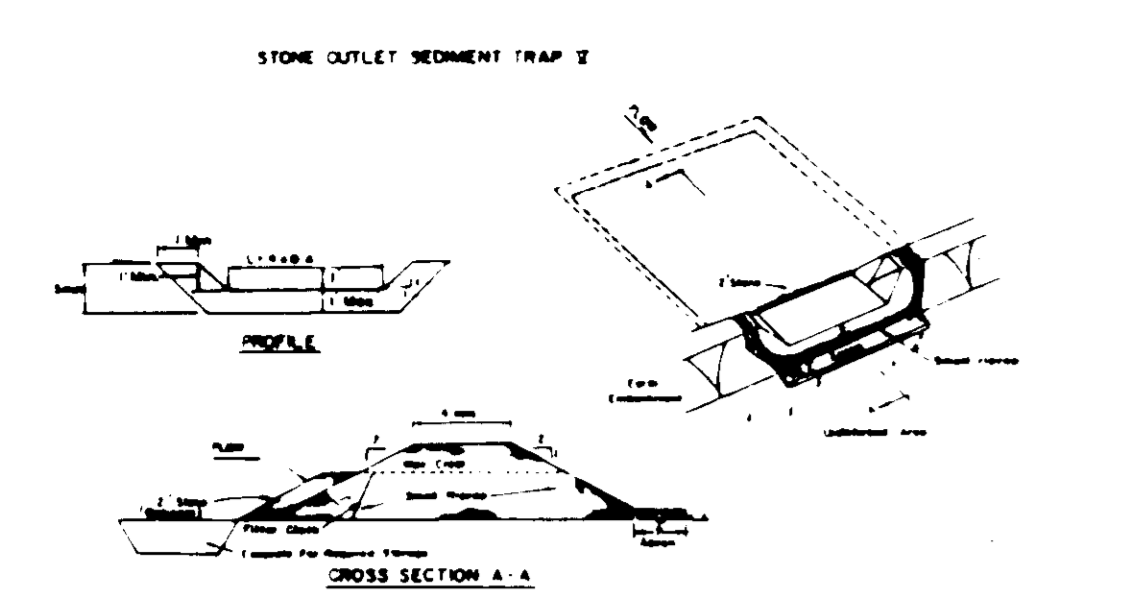
Approved for public water & public sewerage, storm drainage systems and private roads
Howard County Dept. of Public Works
C. J. ... 8/24/92
Director

GW GUTSCHICK LITTLE & WEBER, P.A.
ENGINEERS, PLANNERS, SURVEYORS
3908 NATIONAL DRIVE - SUITE 280 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20886
TELEPHONE: (301) 421-4024

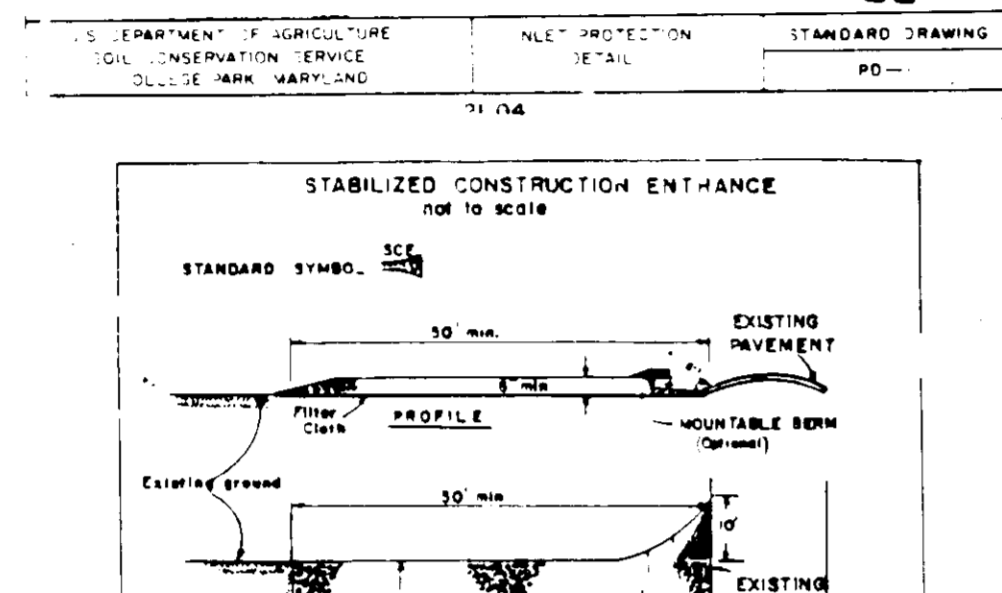
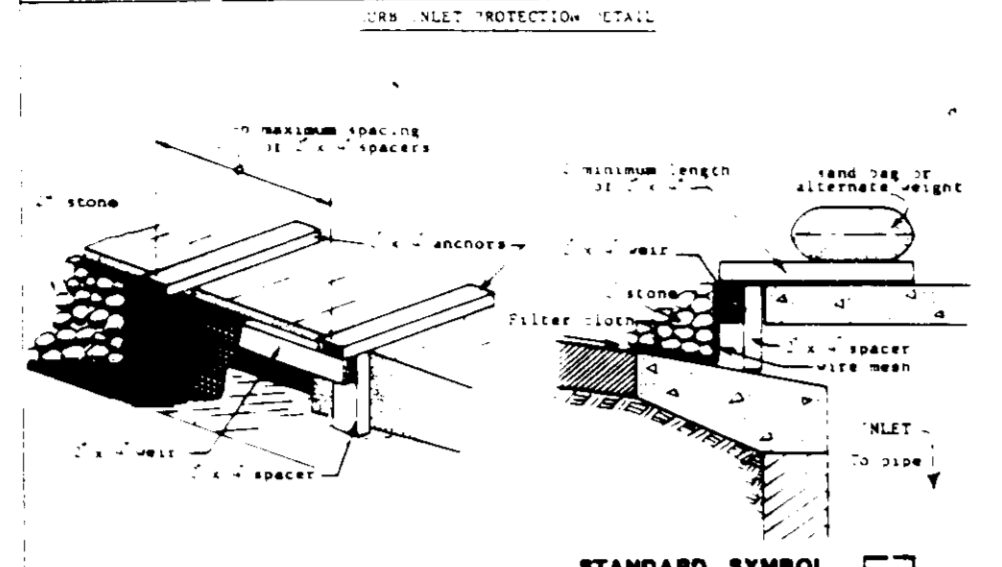
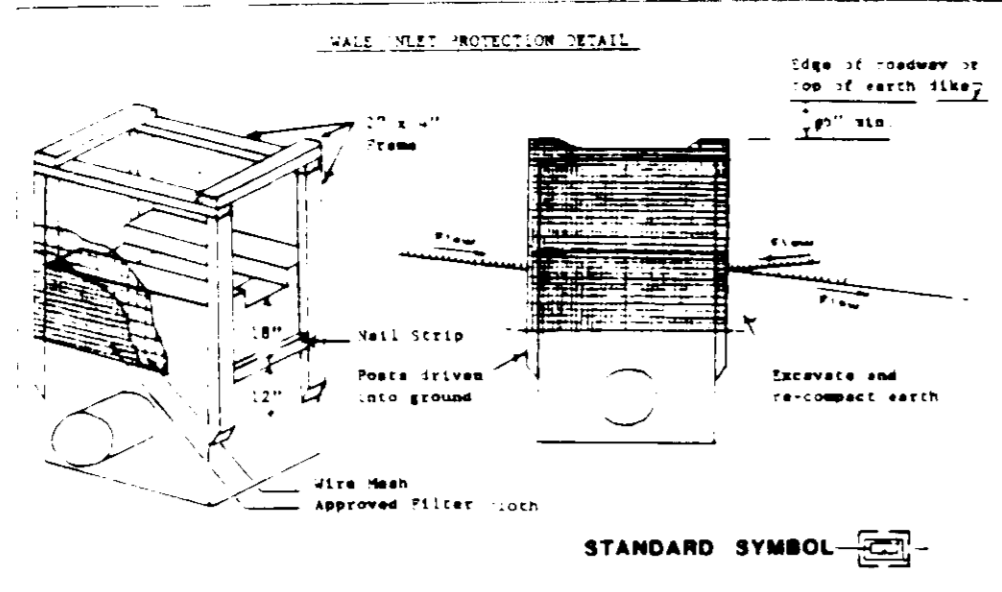
PREPARED FOR:
ODG CLUB II, INC.
56 ORCHARD DEVELOPMENT CORP.
3900 North Ridge Road
Suite 230
Columbia, Maryland 21045
(301) 750-1800

notes & details
Elkridge Town Center
Section Two
Parcel C-2-C-5
Howard County, Maryland

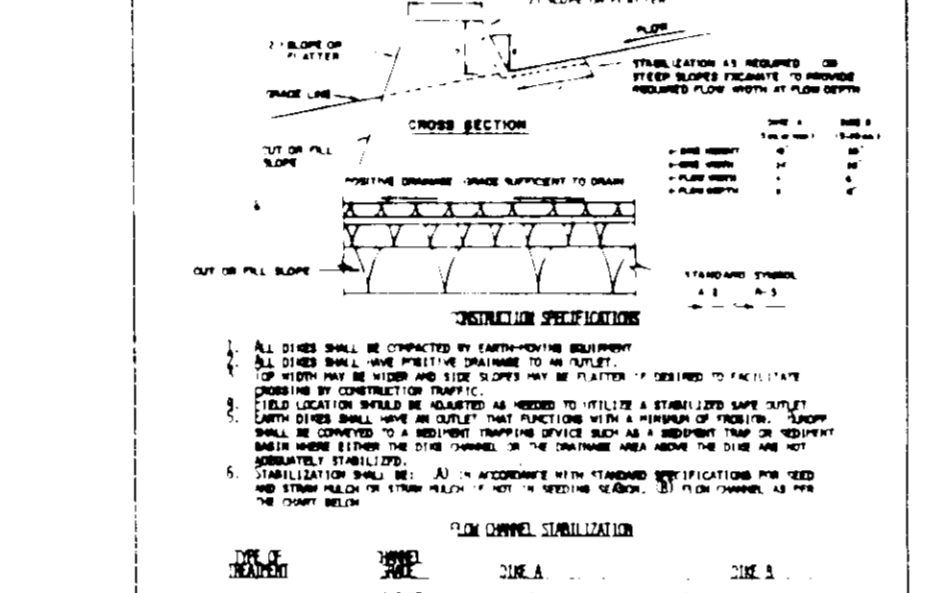
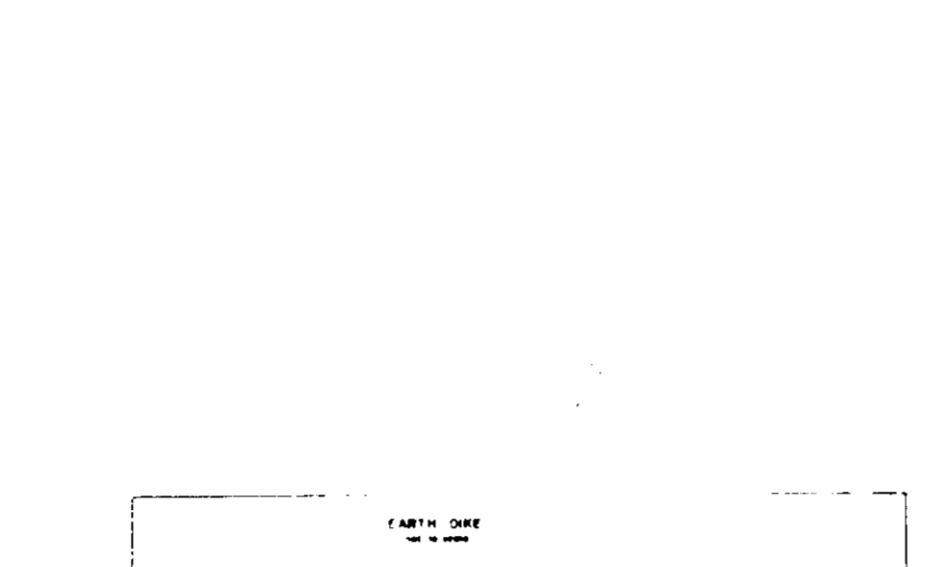
Subdivision name: Elkridge Town Center	Block/lot: Block 7	Parcel/lot: Parcel 25	Sheet/total: 1 of 12
Plot #: 10364	Block #: 7	Parcel #: 25	Sheet #: 1 of 12
Visitor code: D00	Parcel code: 2150542	Scale: 1"=30'	Zoning: RA-15
Date: APRIL 1992	Tax Map No.: 38	G.L.W. File No.: 91-019	Sheet: 10 of 13



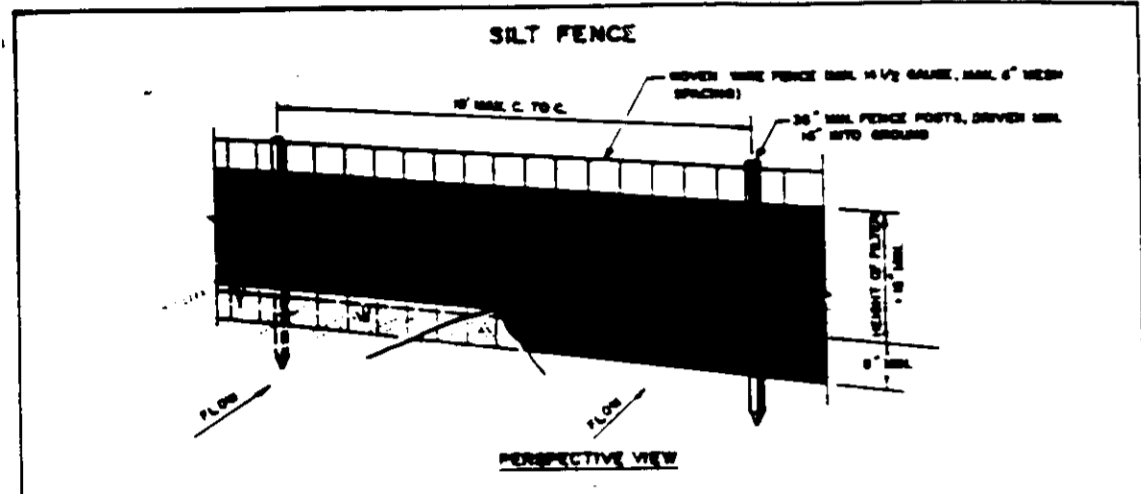
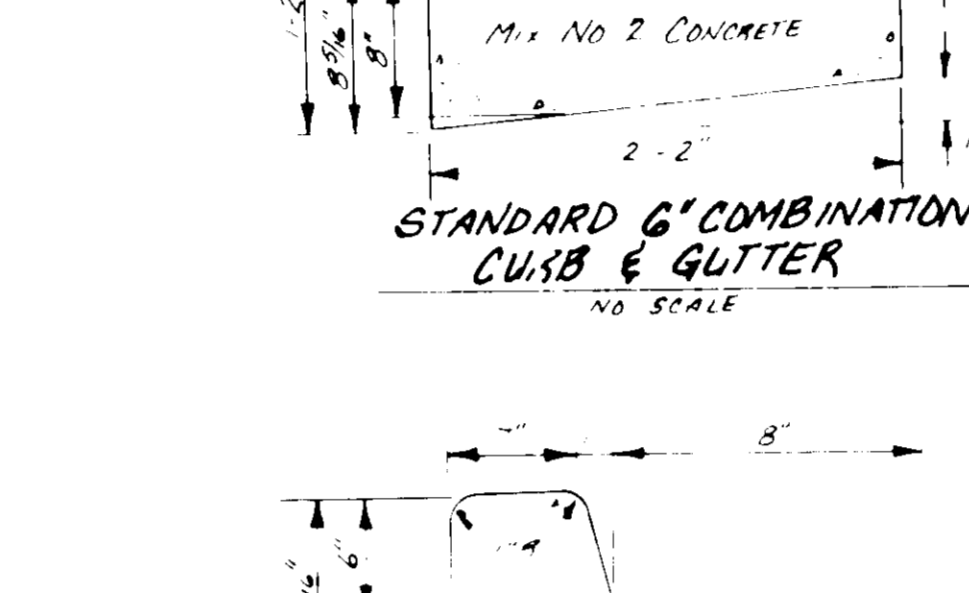
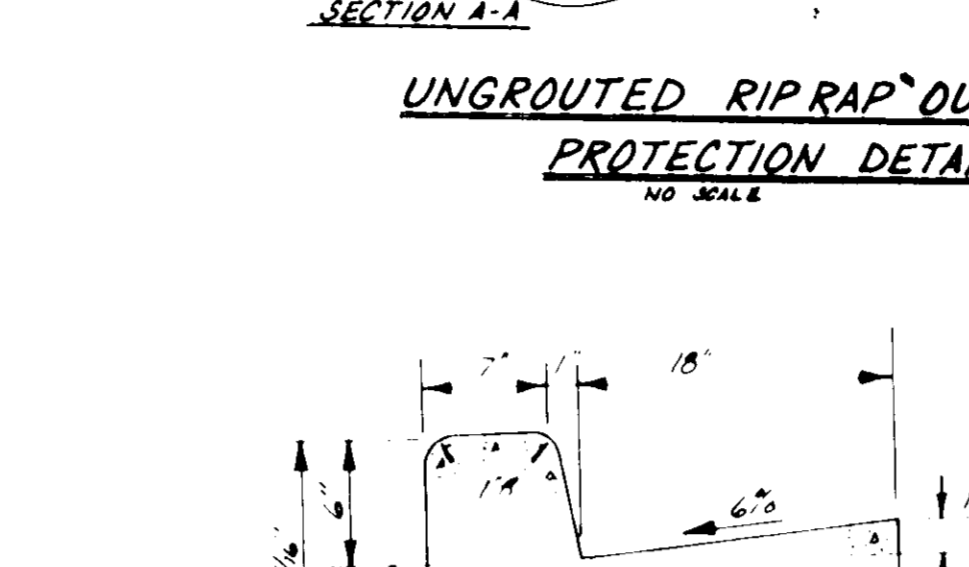
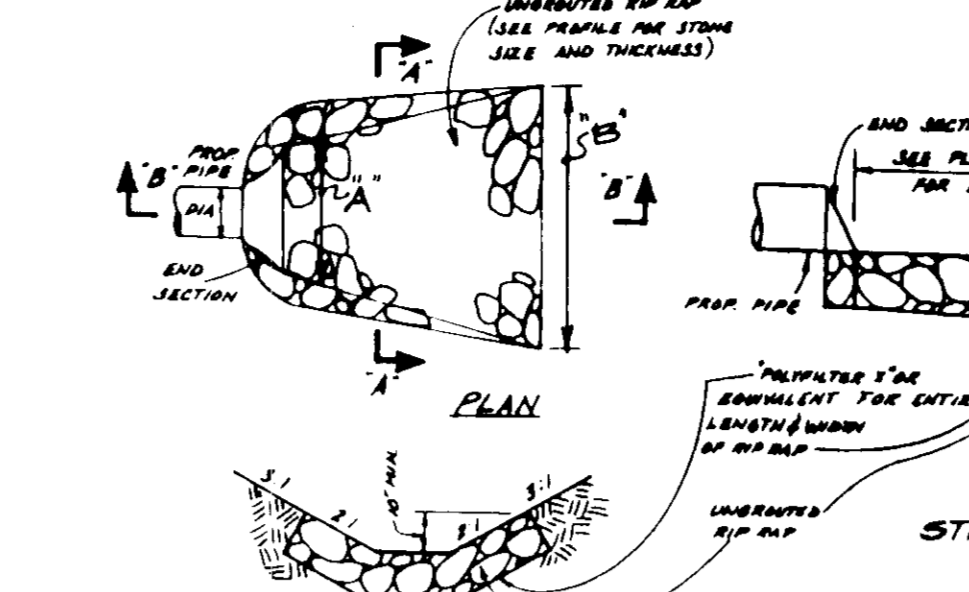
- CONSTRUCTION SPECIFICATIONS FOR SILENT**
1. The trap shall be constructed of cast iron or other material of equal strength and shall be installed in a trench 18" deep and 18" wide.
 2. The grate shall be of cast iron or other material of equal strength and shall be installed in a trench 18" deep and 18" wide.
 3. The outlet pipe shall be of cast iron or other material of equal strength and shall be installed in a trench 18" deep and 18" wide.
 4. The trap shall be installed in a trench 18" deep and 18" wide.
 5. The trap shall be installed in a trench 18" deep and 18" wide.
 6. The trap shall be installed in a trench 18" deep and 18" wide.



- CONSTRUCTION SPECIFICATIONS**
1. The entrance shall be constructed of concrete or other material of equal strength and shall be installed in a trench 18" deep and 18" wide.
 2. The entrance shall be constructed of concrete or other material of equal strength and shall be installed in a trench 18" deep and 18" wide.
 3. The entrance shall be constructed of concrete or other material of equal strength and shall be installed in a trench 18" deep and 18" wide.
 4. The entrance shall be constructed of concrete or other material of equal strength and shall be installed in a trench 18" deep and 18" wide.
 5. The entrance shall be constructed of concrete or other material of equal strength and shall be installed in a trench 18" deep and 18" wide.
 6. The entrance shall be constructed of concrete or other material of equal strength and shall be installed in a trench 18" deep and 18" wide.



- SEEDING NOTES**
1. Seeding shall be done in accordance with the following specifications:
 2. Seeding shall be done in accordance with the following specifications:
 3. Seeding shall be done in accordance with the following specifications:
 4. Seeding shall be done in accordance with the following specifications:
 5. Seeding shall be done in accordance with the following specifications:
 6. Seeding shall be done in accordance with the following specifications:

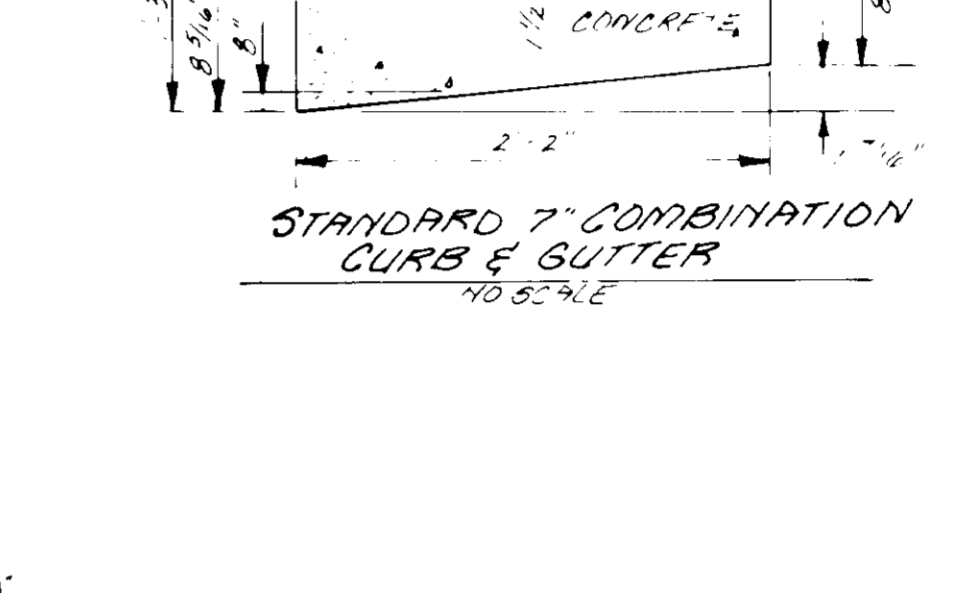
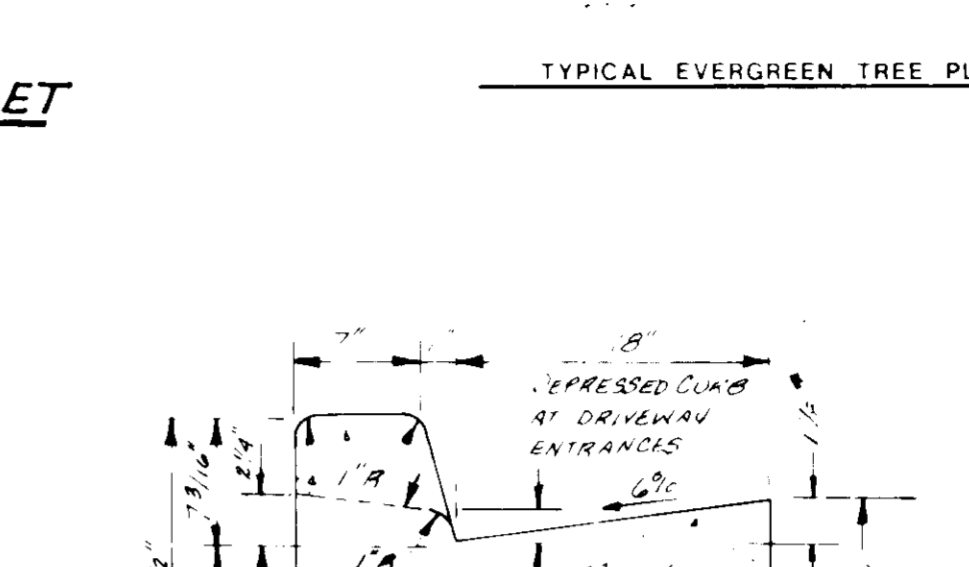
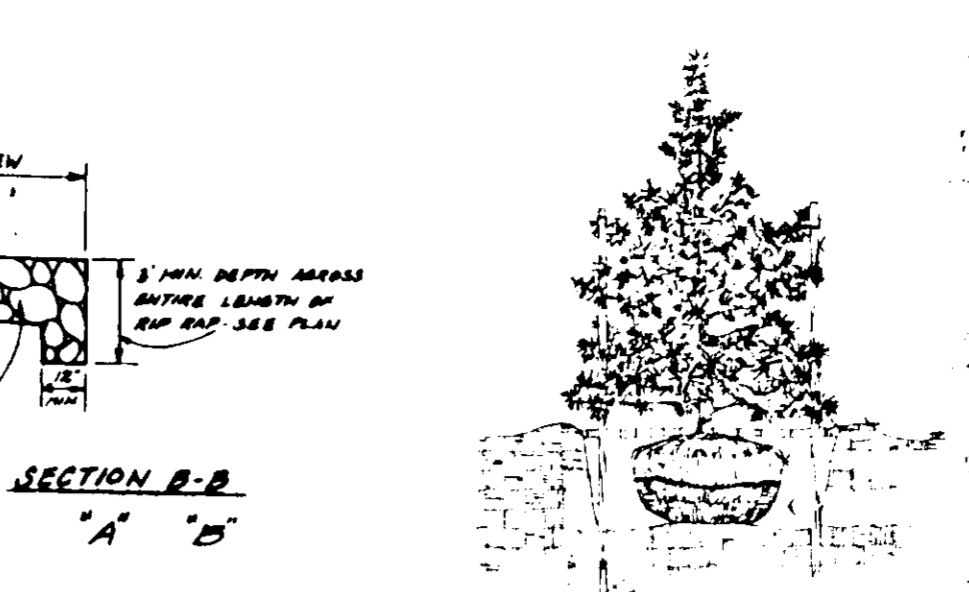
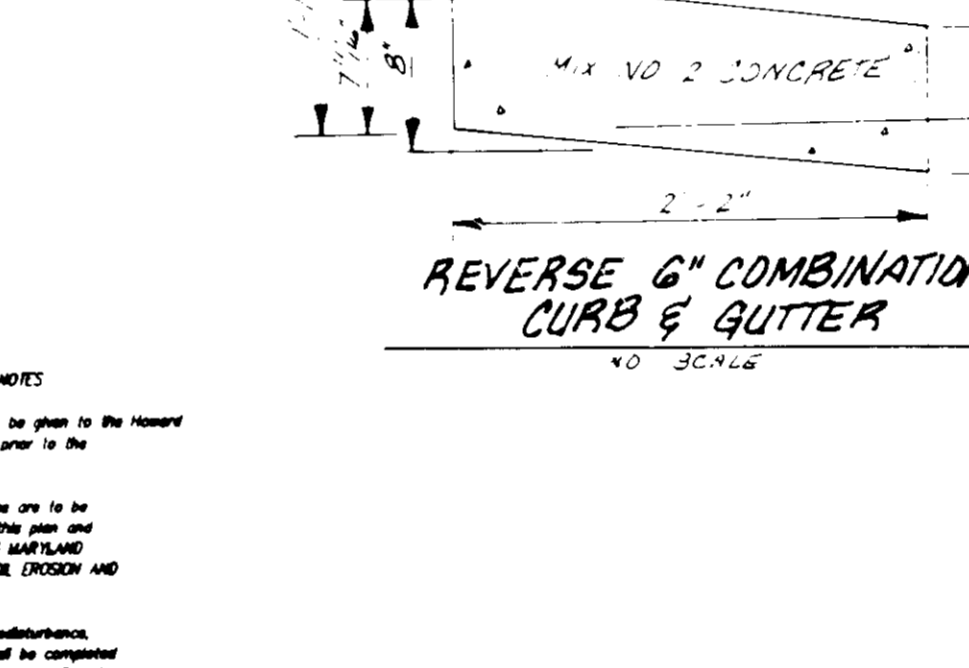
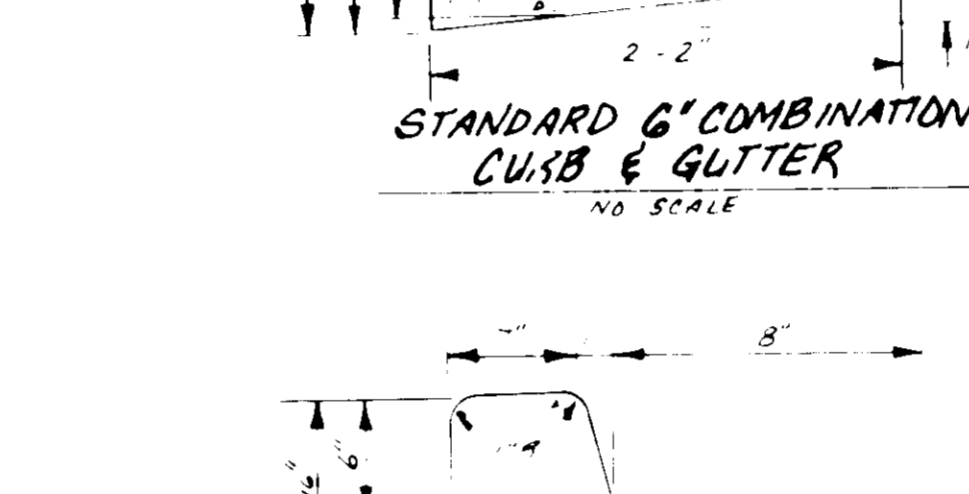


- CONSTRUCTION NOTES FOR STABILIZED SILT FENCE**
1. Move wire fence to be fastened securely to fence posts with wire ties or staples.
 2. Filter cloth to be fastened securely to wooden wire fence with ties spaced every 2' at top and mid section.
 3. Make two sections of filter cloth. Make each strip 12" wide and overlap by six inches and folded.
 4. Maintenance shall be performed as needed and material removed when "bald" patches appear in the silt fence.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MARYLAND	SILT FENCE	STANDARD DRAWING SF-1
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U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MD	STABILIZED CONSTRUCTION ENTRANCE	STANDARD DRAWING SE-1
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U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MD	UNGRADED RIP RAP OUTLET PROTECTION DETAILS	STANDARD DRAWING UR-1
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- COMBINATION SPECIFICATION**
1. The pipe shall be of flexible material and shall be installed in a trench 18" deep and 18" wide.
 2. The pipe shall be of flexible material and shall be installed in a trench 18" deep and 18" wide.
 3. The pipe shall be of flexible material and shall be installed in a trench 18" deep and 18" wide.
 4. The pipe shall be of flexible material and shall be installed in a trench 18" deep and 18" wide.
 5. The pipe shall be of flexible material and shall be installed in a trench 18" deep and 18" wide.
 6. The pipe shall be of flexible material and shall be installed in a trench 18" deep and 18" wide.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MD	PIPE SLOPE MAIN (FLEXIBLE)	STANDARD DRAWING PS-1
---	----------------------------	--------------------------

Approved: For Public Water & Public Sewerage Systems
Howard County Health Department
Joyce M. Borden 8/26/92
County Health Officer

Approved: Howard County Dept. of Planning & Zoning
James M. Smith 9/1/92
Director

Approved: For Public Water & Public Sewerage, Storm Drainage Systems and Private Roads
Howard County Dept. of Public Works
James A. Felt 8/24/92
Director

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel employed in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSD.

James M. Smith 4-21-92
Signature of Developer/Builder

ENGINEER'S CERTIFICATE

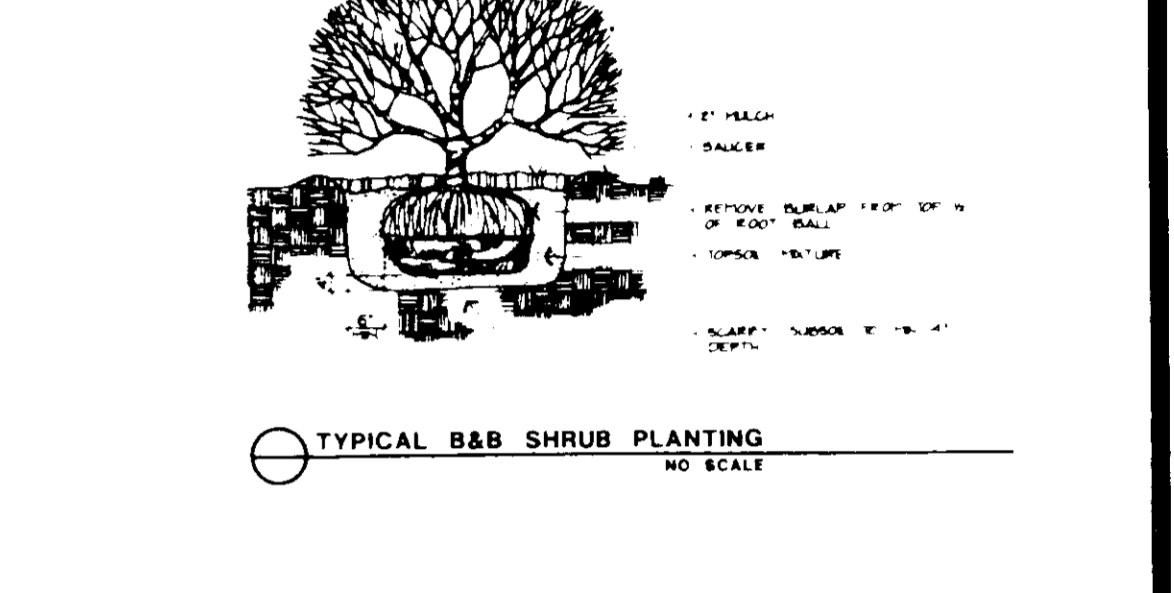
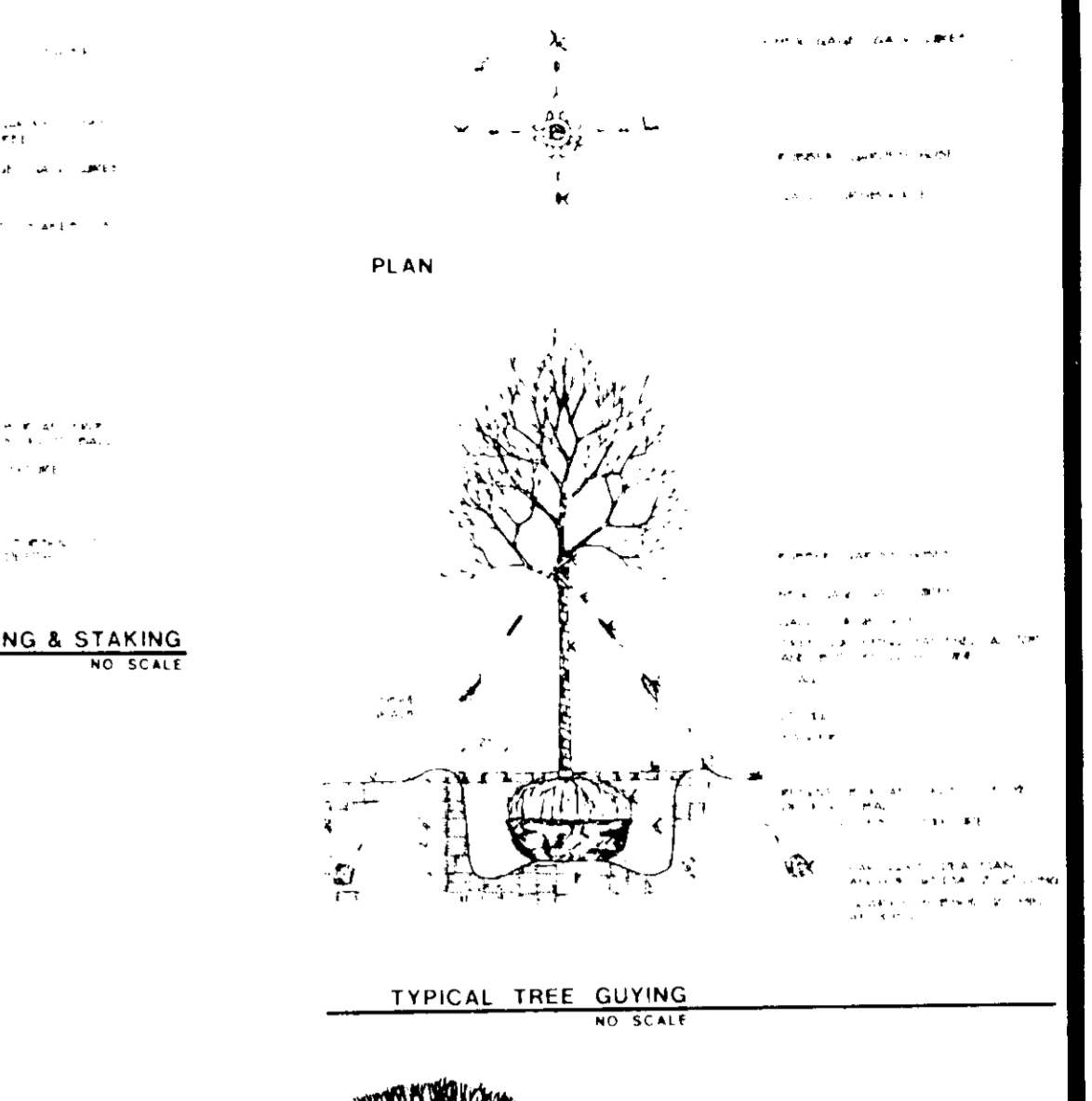
I certify that this plan for erosion and sediment control represents a practical and suitable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

James M. Smith 7/1/92
Signature of Engineer

Reviewed for HOWARD County and meets Technical Requirements

James M. Smith 7/1/92
Signature of Reviewer

STATE OF MARYLAND
PROFESSIONAL ENGINEER
No. 12973
JAMES M. SMITH



GW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE, SUITE 250, BURTONSVILLE OFFICE PARK, BURTONSVILLE, MD 20866

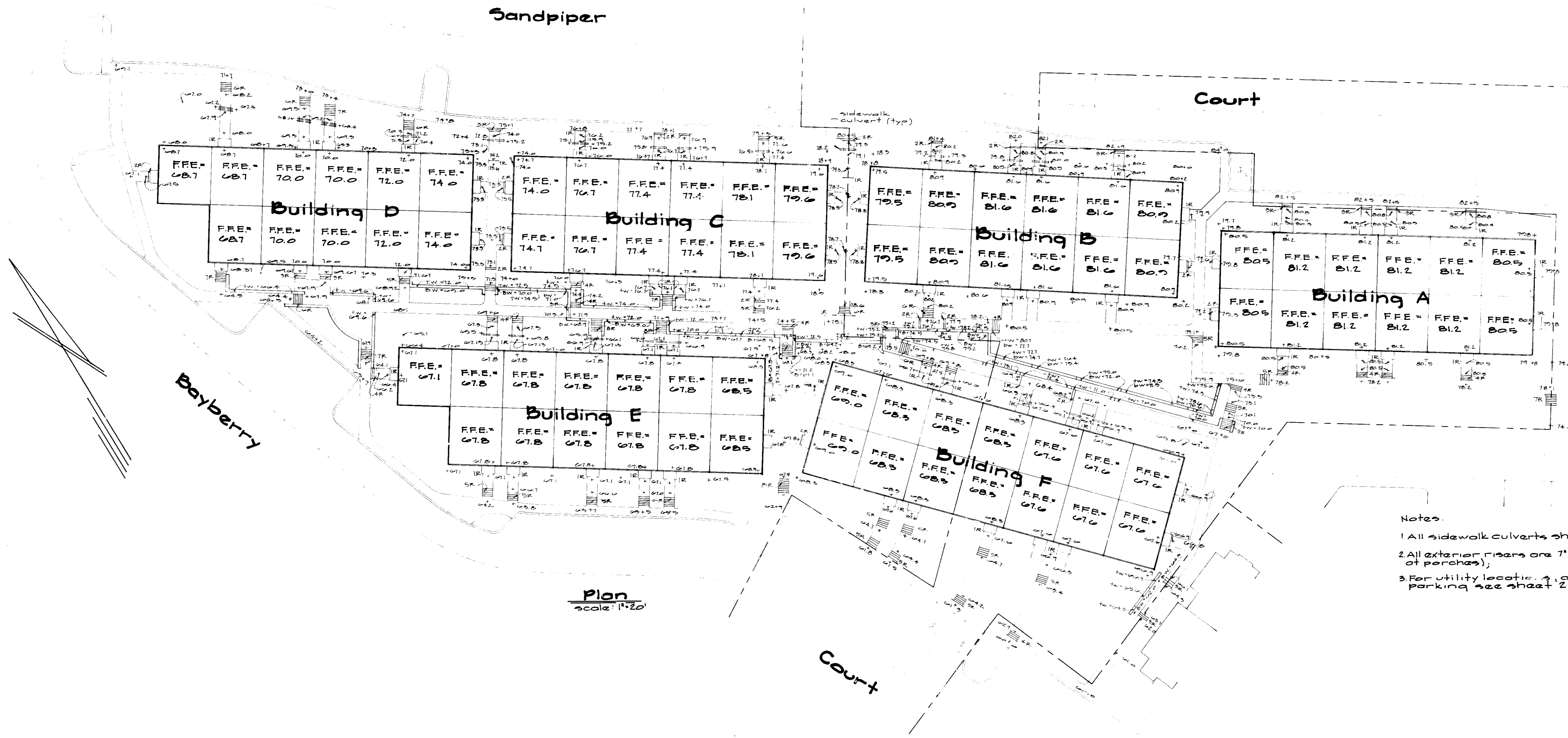
DATE	REVISION	BY	APP'R.

PREPARED FOR
ORC CLUB II, INC.
46 ORCHARD DEVELOPMENT CORP
3300 North Ridge Road
Suite 230
Columbia, Maryland 21043
(301) 750-1800

Notes & Details
Elkridge Town Center
Section Two
Parcel 'C-2' - C-5
First Election District
Howard County, Maryland

DES: d.a.v.	SCALE: 1"=30'	ZONING: RA-15	GL.W. FILE NO.: 91-019
DRN: d.a.v.	DATE: APRIL 1998	TAX MAP NO.: 38	SHEET: 11 of 11
CHK: c.k.g.			

subdivision name: Elkridge Town Center	sect./area: Sect. 2	lot/parcel: Par. C-2-C-5
plat #: 10364	block/zoning: 7 RA-15	tax map: 38
water code: 009		



Plan
scale: 1"=20'

- Notes:
- 1 All sidewalk culverts shown are 6" p.v.c.
 - 2 All exterior risers are 7" (plus threshold at porches);
 - 3 For utility location, grading, and parking see sheet 2.

CKG

Approved for public water & sewerage systems
Howard County Health Department.
N/A
County Health Officer Date

Approved Howard County Dept. of Planning
and Zoning.
3/31/94
Director: *[Signature]* Date
Jim Summers 3/31/94
Chief, Division of Land Development, Data &
and Research

Approved for public water & sewerage, storm
drainage systems & public roads.
Howard County Dept. of Public Works.
3/26/94
Director: *[Signature]* Date
3/25/94
Chief, Bureau of Engineering *[Signature]* Date

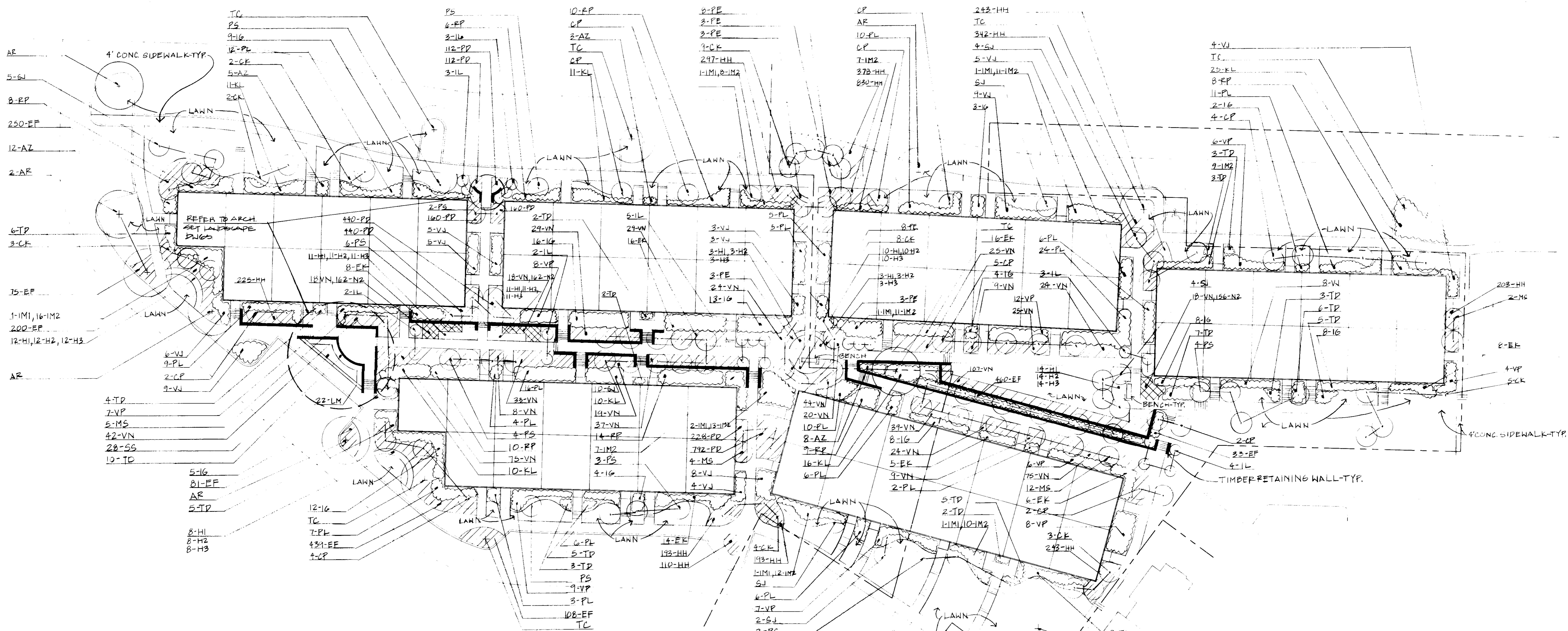
GLW GUTSCHICK LITTLE & WEBER, P.A.	
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS	
3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20886	
DATE	REVISION
3/10/94	New sheet
	BY: MCF
	APP'R:

PREPARED FOR
SDC Club II, Inc.
1/4 Orchard Development Corp.
9500 North Ridge Road
Suite 200
Ellicott City, Md 21043
(410) 750-1800

Detail Site Plan for Riser and Timber Wall Elevations

Elkridge Town Center
Section Two
Parcels C-2 Thru C-5
1st Election District
Howard County, Maryland

DES: DEV	SCALE: As Shown	ZONING: RA-15	GLW FILE NO: 71019
DRN: MCF	DATE: March 10, 1994	TAX MAP NO: 3B	SHEET: 12 of 13
CHK: CKG			



KEY QUANT.	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
AR 7	ACER RUBRUM 'RED SUNSET'/ RED SUNSET RED MAPLE	2 1/2" - 3" CAL.	BB	FULL CROWN, CENTRAL LEADER
OP 23	ORNYALIS PHAENOPHYLLUM/ WASHINGTON HANDSHIRME	1-1/2" - 2 CAL.	BB	TREE FORM, FULL CROWN, CENTRAL LEADER
OK 36	CORNUS KOUSA/POUSA DOGWOOD	6"-10" HT.	BB	MATCHED SPECIMENS
MS 23	MAGNOLIA STELLATA/STAR MAGNOLIA	6"-8" HT.	BB	MATCHED SPECIMENS
PS 25	PRUNUS SUBHIRTILLA 'PINK CLOUD'/PINK CLOUD WEeping HOUGH CHERRY	1-1/2" - 1 3/4" CAL.	BB	SPECIMEN
SJ 71	STYRAX JAPONICUS/JAPANESE SNOWBELL	8"-10" HT.	BB	MATCHED
TC 8	TILIA CORDATA 'GREENSPIRE'/ GREENSPIRE LITTLELEAF LINDEN	2-1/2" - 3" CAL.	BB	FULL CROWN
AZ 28	AZALEA 'DUMPIO WHITE'/DUMPIO WHITE AZALEA	18"-24" SP.	BB/CC	24"-30" O.C.
EK 82	EURYNOMIS KALITSOCHYLIS 'MAMMATA'/MAMMATTAN EUCOMMIS	2-1/2" - 3" HT.	BB/CC	36"-42" O.C.
L 27	LEX CHENATA 'GREEN LUSTRE'/ 2" SPREAD @ BASE GREEN LUSTRE HOLLY	2"-2-1/2" HT.	BB/CC	36"-42" O.C.
IG 92	ILEX GLABRA 'COMPACTA'/ COMPACT HOBBERLY	2"-2-1/2" HT.	BB/CC	36"-42" O.C.
MI 8	ILEX X MESSEASAE 'BLUE PRINCESS'/BLUE PRINCESS HOLLY	3-1/2"-4" HT.	BB	36"-42" O.C.
MO 104	ILEX X MESSEASAE 'BLUE PRINCESS'/BLUE PRINCESS HOLLY	3-1/2"-4" HT.	BB	36"-42" O.C.
KI 83	KALMIA LATIFOLIA/MOUNTAIN LAUREL	2-1/2" - 3" HT.	BB/CC	36" O.C.
PL 142	PRUNUS LAUROSTYACUS 'DITO LITREX'/DITO LITREX CHERRY LAUREL	2"-2-1/2" SP.	BB/CC	36"-42" O.C.

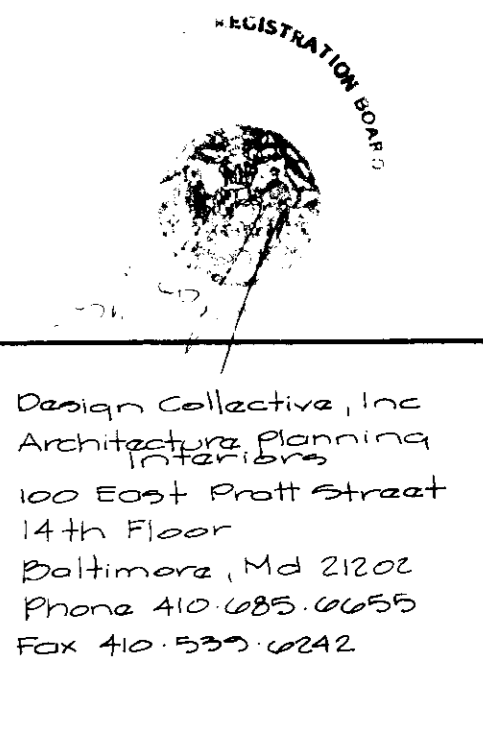
NOTE:
REFER TO ARCH. SET LANDSCAPE DIGGS FOR PLANTING DETAILS.

KEY QUANT.	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
RP 65	RHOODODENDRON 'P. LAM./P. LAM. 2'-2-1/2" HT.	BB/CC	42" O.C.	
TD 71	TAXUS MEDIA 'DENSIFORMIS'/ DENSIFORMIS YEW	2'-2-1/2" SP.	BB/CC	30"-36" O.C.
VU 69	VIBURNUM X JUDOU/JUDOU VIBURNUM	2-1/2" - 3" HT.	BB/CC	36"-48" O.C.
VP 67	VIBURNUM PLICATUM 'WARREN'S'/WARREN'S DOUBLE FILE VIBURNUM	2-1/2" - 3" HT.	BB/CC	48" O.C.
ET 1645	EUONYMUS 'EVINGTONE'/ 'EVINGTONE' WINTERKEEPEE	3" POT		12" O.C.
HH 3257	HEBEERA HELIX/ENGLISH IVY	3" POT		8" O.C.
LM 27	LIRIODIE MESCARI 'BIG BLUE'/ BIG BLUE LIRIOPE	1 GAL		18" O.C.
PD 2444	PACHYSANDRA TERMINALIS/ PACHYSANDRA	3" POT		6" O.C.
WN 747	WINDY WINDY/COMMON PERIWINKLE	1 CAL.	CC	24" O.C.
N2 480	NARCISSUS 'KING ALFRED'/KING TOP SIZE ALFRED DAFFODIL	BULB		8" O.C. LARG. YELLOW TRUMPET
HI 72	HIMENOCALLIS 'TINEST HOUSE'/ 1 GAL. HOOP DARELY	1 GAL.	CC	18" O.C.
HI 72	HIMENOCALLIS 'THERESA HALL'/ 1 GAL. THERESA HALL DARELY	1 GAL.	CC	18" O.C.
HI 72	HIMENOCALLIS 'MARY TODD'/ 1 GAL. MARY TODD DARELY	1 GAL.	CC	18" O.C.
SS 28	SEEDUM TELEPHUM 'AUTUMN JOY'/ 1 CAL. AUTUMN JOY SEEDUM	1 CAL.	CC	18" O.C.
FE 28	FERNISETUM ALPELOIDES/ 1 GAL. FOUNTAIN GRASS	1 GAL.	CC	3'-4" HT. SILVERY ROSE BLOSSOMS 3" O.C.

Approved: For public water & public sewerage systems
Howard County Health Department
N/A County Health Officer Date

Approved: Howard County Department of Planning
& Zoning
Director Date 3/3/95
Chief, Division of Land Development & Research Date 3/3/95

Approved: For public water & public sewerage
storm drainage systems and private
roads, Howard County Dept. of
Public Works
Director Date 3/25/94
Chief, Bureau of Engineering Date 3/25/94



GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
TELEPHONE (301)421-4024 NO VA (301)989-2524 BALTO (301)880-1870 FAX (301)421-4386

DATE	REVISION	BY	APP'R.
3/12/94	new sheet	MEF	

PREPARED FOR
ODC Club II, Inc.
% Orchard Development Corp.
5500 North Ridge Rd.
Suite 230
Columbia, Md 21043

Planting Plan
Elkridge Town Center
Section Two
Parcels C-2 thru C-5
First Election District
Howard County, Maryland

DES.	SCALE	ZONING	GLW FILE NO.
UB	1" = 20'	RA-15	
DRN.	DATE	TAX MAP NO.	SHEET
	March 10, 1994		13 OF 12
CHK.	DATE	TAX MAP NO.	SHEET
	March 10, 1994		13 OF 12