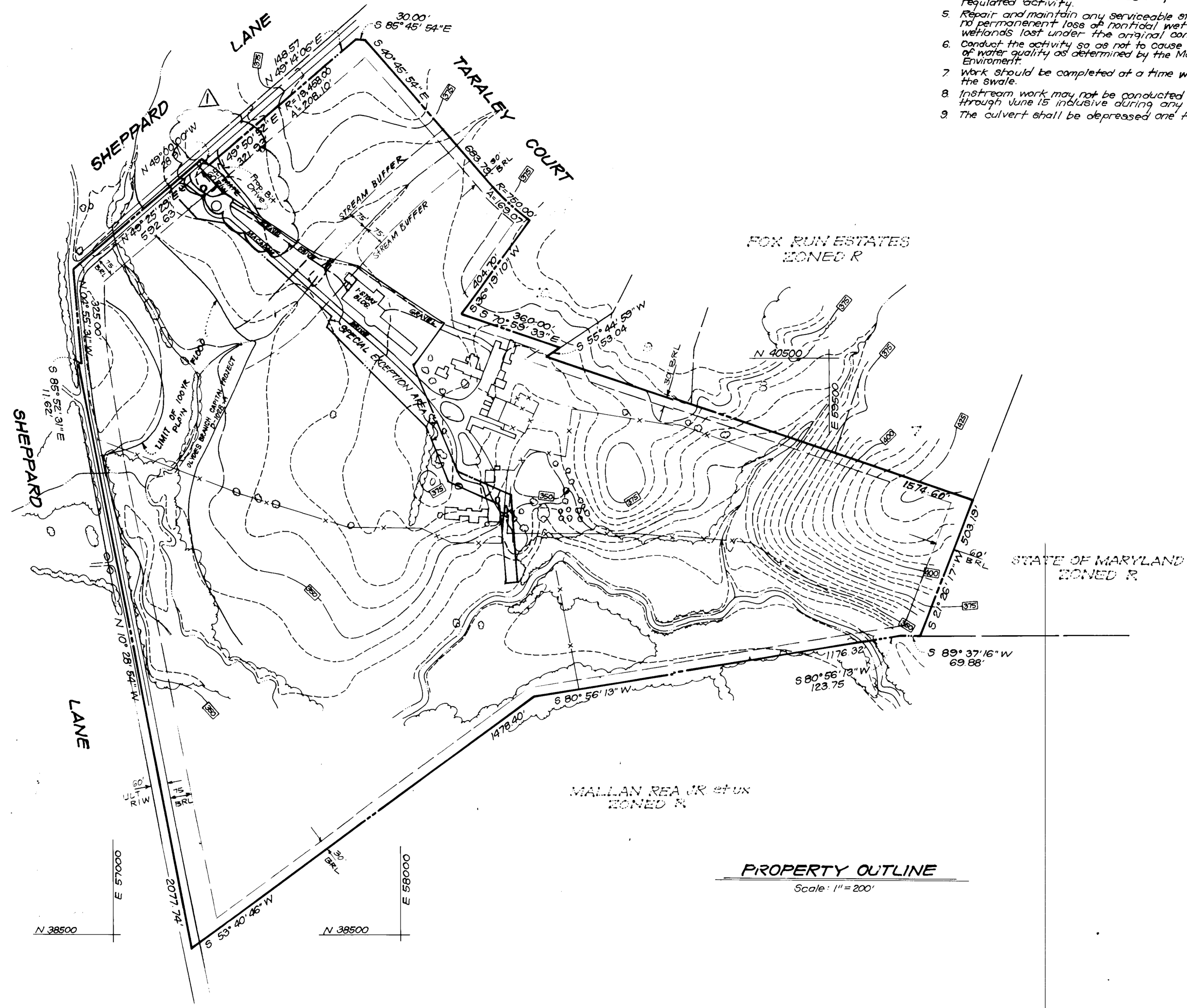
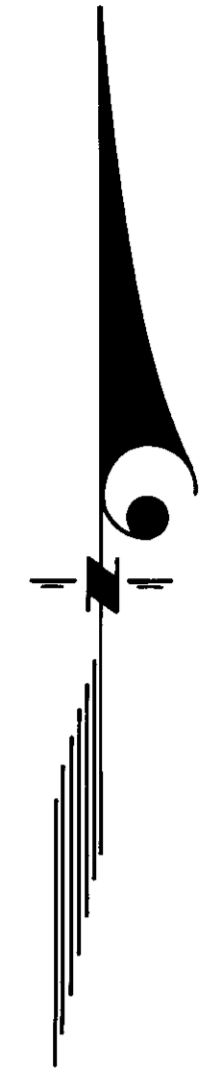
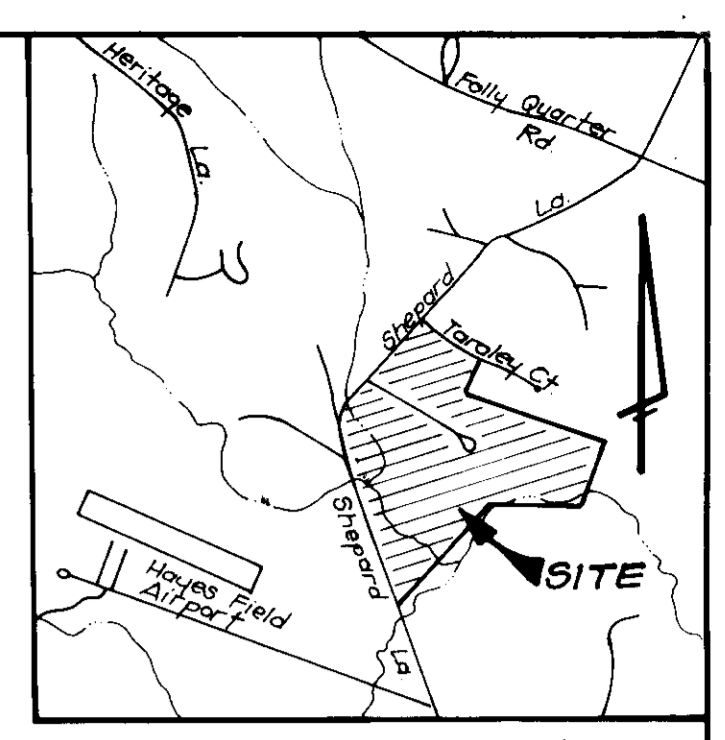


REV. NO.	REVISIONS	DATE
7	Added Prop. Bit Driveway	7-12-92

**CONDITIONS AND MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS**

1. Equipment shall be operated from upland areas or the roadbed when possible, to avoid wetland impacts.
2. Maintain the hydrologic regime of the nontidal wetlands upstream, downstream, or adjacent to regulated activity.
3. Remove excess fill or construction material or debris to an upland disposal area.
4. Rectify any nontidal wetlands temporarily impacted by any regulated activity.
5. Repair and maintain any serviceable structure or fills so there is no permanent loss of nontidal wetlands in excess of nontidal wetlands lost under the original construction or fill.
6. Conduct the activity so as not to cause or contribute to a degradation of water quality as determined by the Maryland Department of the Environment.
7. Work should be completed at a time when there is no flow within the Swale.
8. Instream work may not be conducted during the period March 1 through June 15 inclusive during any year, and
9. The culvert shall be depressed one foot below stream invert.



**GENERAL NOTES**

1. Subject property is zoned: R (Rural) as per G-2-85 Comprehensive Zoning Plan.
2. Total Area: 107.43 Acres.
3. The coordinates shown hereon are based on the Maryland State Grid System.
4. Topography was taken from Howard County 200' scale aerial topography.
5. Howard County file No: BA-90-43E.
6. Plan showing existing structures, driveway and parking areas.
7. Location of existing buildings taken from a survey prepared by Light, Elliott and Associates.
8. Two Delivery Trucks/ Two trips per day.
9. Five employees Maximum.
10. Number of parking spaces provided: 6
11. Stormwater Management for this project has been waived per Howard County Department of Public Works letter dated May 10, 1991 (8a-90-43E).
12. As of April 3, 1991, the Planning Director granted approval to the request to waive sections 16.145(4) requiring the submission of a completed industrial wastewater survey questionnaire. Additionally the Planning Director denied a request to waive sections 16.144(2)(b)(i) and (ii) which requires information on the existing conditions to include delineation of the 100 Yr. floodplain and wetlands; Sections 16.144(3)(d), (e), and (f) which require information concerning proposed improvements including grading, drainage areas, stormwater management measures, sediment and erosion control measures and the delineation of existing topographic features.
13. The following list includes the 11 approval conditions per BA-90-43E:
  1. The Petitioner shall comply with all applicable Federal, State and County laws and regulations.
  2. The Petitioner shall comply with all procedures, regulations, and conditions of the State Water Resources Administration regarding water allocation permits and the use and extraction of water on the site.
  3. The special exception use shall not commence until all required permit approvals are obtained from State agencies. A Site Development Plan is approved by the Department of Planning and Zoning, required building permits are obtained, and all site improvements and landscaping plans are in place.
  4. The Petitioner shall submit a Site Development Plan to the Department of Planning and Zoning within sixty (60) days from the date of this Order; the Site Development Plan shall clearly indicate and delineate the boundaries of the five (5) acre special exception area.
  5. No special exception uses shall take place outside of the special exception area, as indicated on the site development plan and approved by the Department of Planning and Zoning.
  6. The Petitioner shall comply with testimony and limit the use solely to the processing and bottling of a maximum of thirty thousand (30,000) gallons of spring water per day on the subject property; the granted special exception shall apply only to the bottling and wholesale sale of spring water extracted from one (1) spring located on the subject property, and to all existing improvements, including underground pipelines and pumps, and not to any other structures, additions or uses.
  7. The hours of operation shall be from 7:00 a.m. to 5:00 p.m., Mondays through Saturdays.
  8. No more than five (5) employees, including three (3) who live on the subject property, shall work on the special exception site.
  9. No more than three (3) delivery truck pickups per day shall take place on the special exception site.
  10. No retail sales shall take place on the special exception site.
  11. The Petitioner shall not install any external lighting on the special exception site.
14. See sheets 2 and 3 respectively for the specific purpose of each existing structure.

PAR. NUMBER	STREET ADDRESS
391 E 23	4649 SHEPPARD LANE

SUBDIVISION NAME:		SECT./AREA	PARCEL #		
BRICKHOUSE FARM			391 E 23		
LTP	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST	CENSUS TR.
971/685	12	R	2B	5TH	6051
WATER CODE		SEWER CODE			
PRIVATE		PRIVATE			

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED JME	AS-BUILT SITE DEVELOPMENT PLAN FOR EXISTING WATER BOTTLING FACILITY	SCALE 1" = 200'
DRAWN BAL	<b>BRICKHOUSE FARM</b>	DRAWING 1 OF 3
CHECKED JME	TAX MAP NO. 28 PARCELS 231-331 CLARKSVILLE (5TH) ELECTION DISTRICT	JOB NO. 91-008
DATE FEB 1991	HOWARD COUNTY, MARYLAND	FILE NO. 91-008X

FOR: TARO INVESTMENT CORP  
410 REESE DR. SUITE 200  
18718 Charter Drive, Suite 200  
Columb, Md 21044

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

*James M. Bond* 7/15/91  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY, DEPT. OF PLANNING & ZONING

*James M. Bond* 8/28/91  
PLANNING DIRECTOR DATE

*James M. Bond* 8/28/91  
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

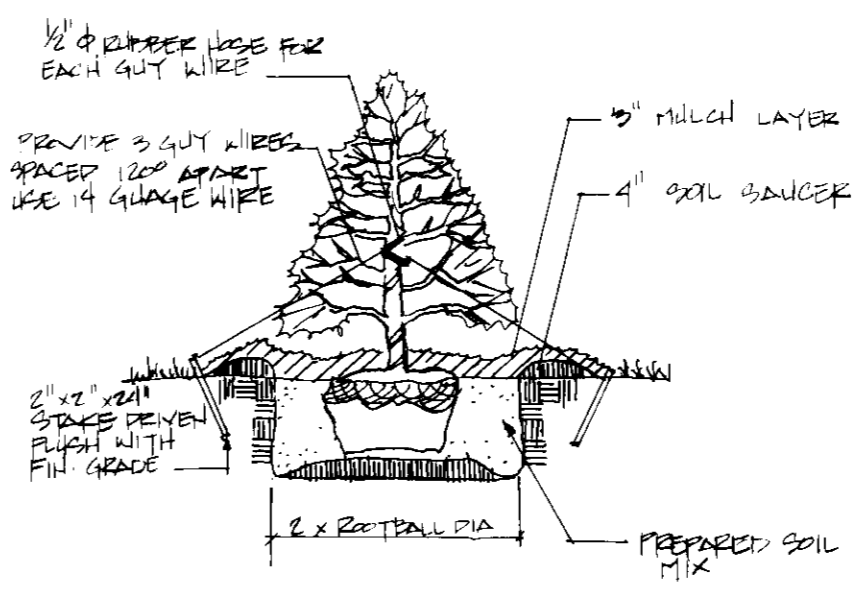
APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James M. Bond* 7/22/91  
DIRECTOR DATE

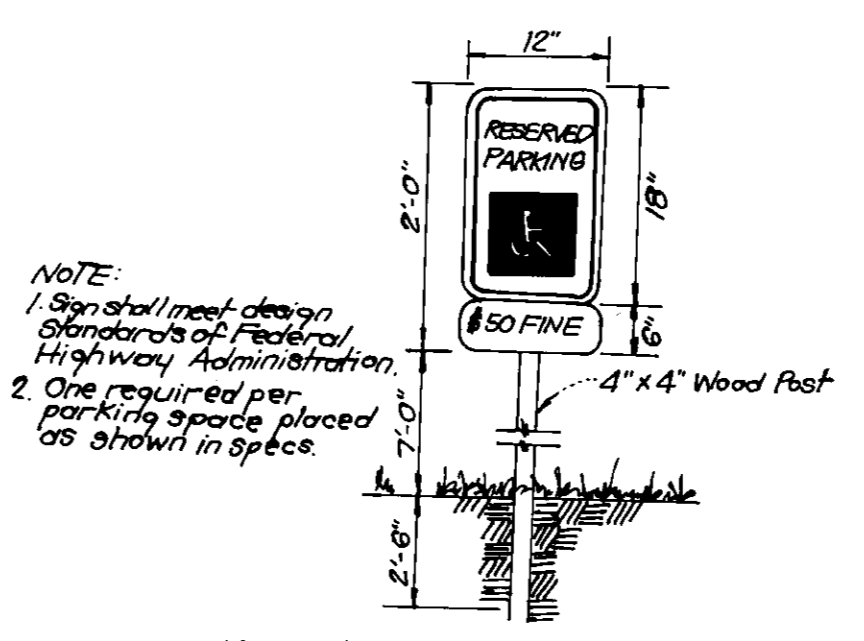
*James M. Bond* 7-19-91  
CHIEF BUREAU OF ENGINEERING DATE



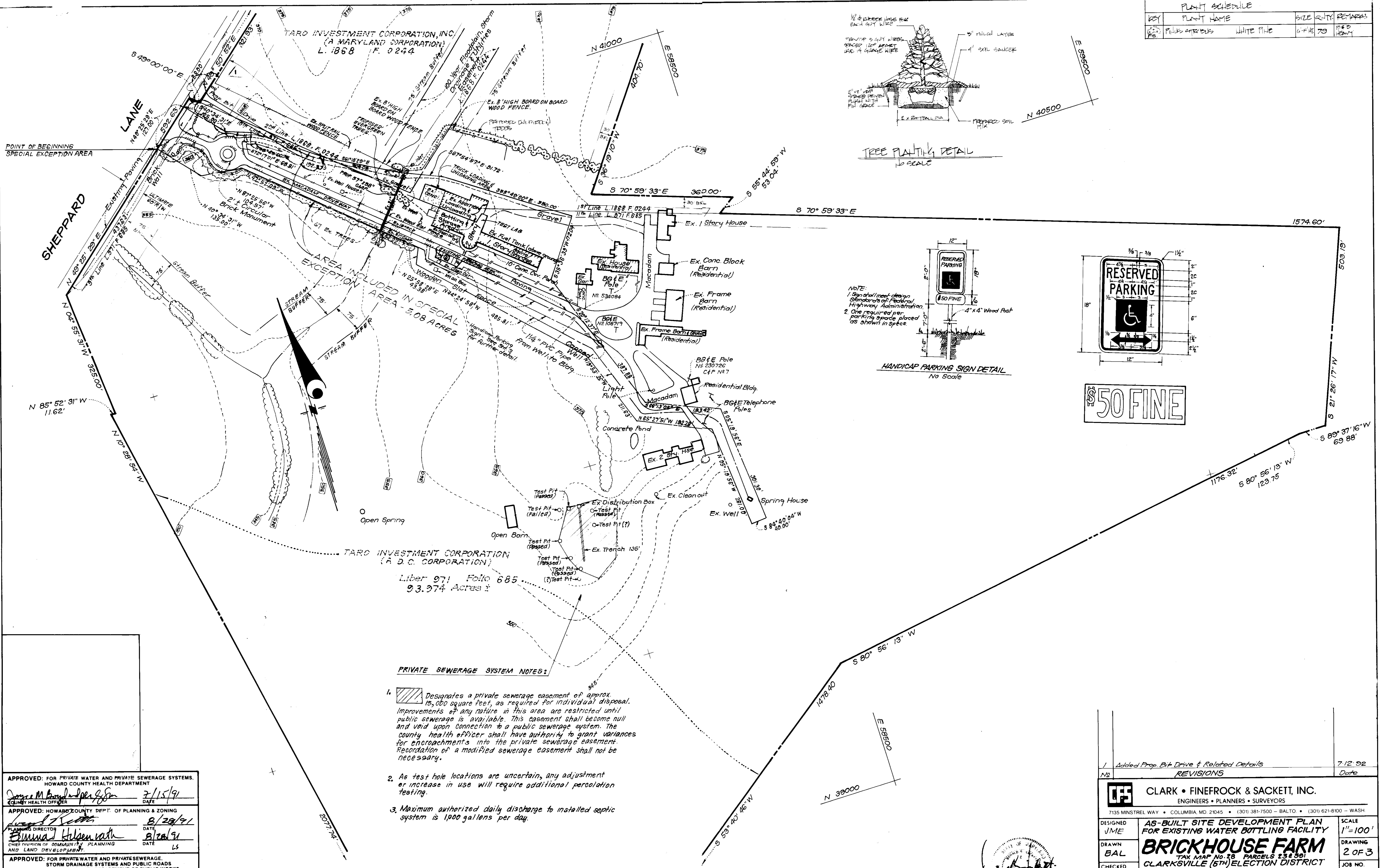
PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QTY	REMARKS
PS	PLUMS SPECIES	WHITE PINE	6" x 4"	79



TREE PLANTING DETAIL  
NO SCALE



HANDICAP PARKING SIGN DETAIL  
NO SCALE



- PRIVATE SEWERAGE SYSTEM NOTES:**
- Designates a private sewerage easement of approx. 15,000 square feet, as required for individual disposal. Improvements of any nature in this area are restricted until public sewerage is available. This easement shall become null and void upon connection to a public sewerage system. The county health officer shall have authority to grant variances for encroachments into the private sewerage easement. Recordation of a modified sewerage easement shall not be necessary.
  - As test hole locations are uncertain, any adjustment or increase in use will require additional percolation testing.
  - Maximum authorized daily discharge to installed septic system is 1,000 gallons per day.

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

*James M. [Signature]* 7/15/91  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 8/28/91  
PLANNING DIRECTOR DATE

*Elmina [Signature]* 8/28/91  
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

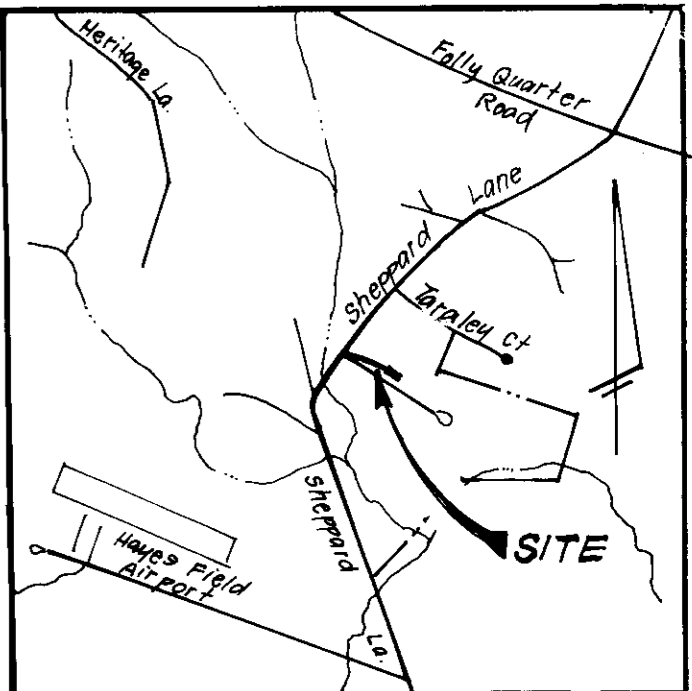
*James [Signature]* 7/22/91  
DIRECTOR DATE

*[Signature]* 7-19-91  
CHIEF BUREAU OF ENGINEERING DATE

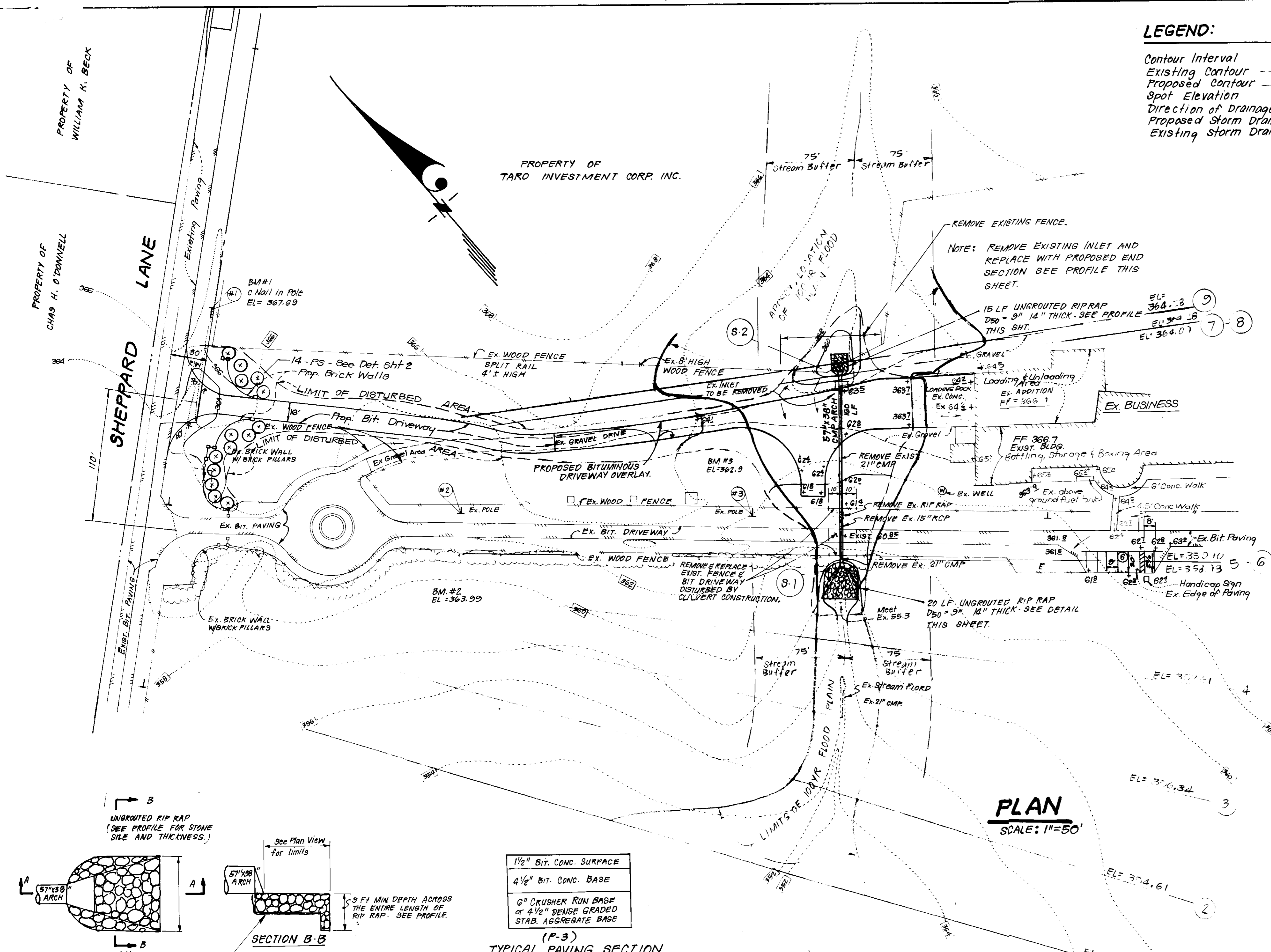
Added Prop. Bit Drive & Related Details		7/12/92
REVISIONS		
<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO. • (301) 621-8100 - WASH.		
DESIGNED JME	AS-BUILT SITE DEVELOPMENT PLAN FOR EXISTING WATER BOTTLING FACILITY	SCALE 1"=100'
DRAWN BAL	<b>BRICKHOUSE FARM</b>	DRAWING 2 OF 3
CHECKED JME	TAX MAP NO. 28 PARCELS 23 & 301 CLARKSVILLE (6TH) ELECTION DISTRICT HOWARD COUNTY MARYLAND	JOB NO. 91-008
DATE Feb 1991	FOR: TARO INVESTMENT CORP c/o REESE and Carney 10715 Charter Dr., Suite 200 Columbia, Md. 21044	FILE NO. 91-008x

**LEGEND:**

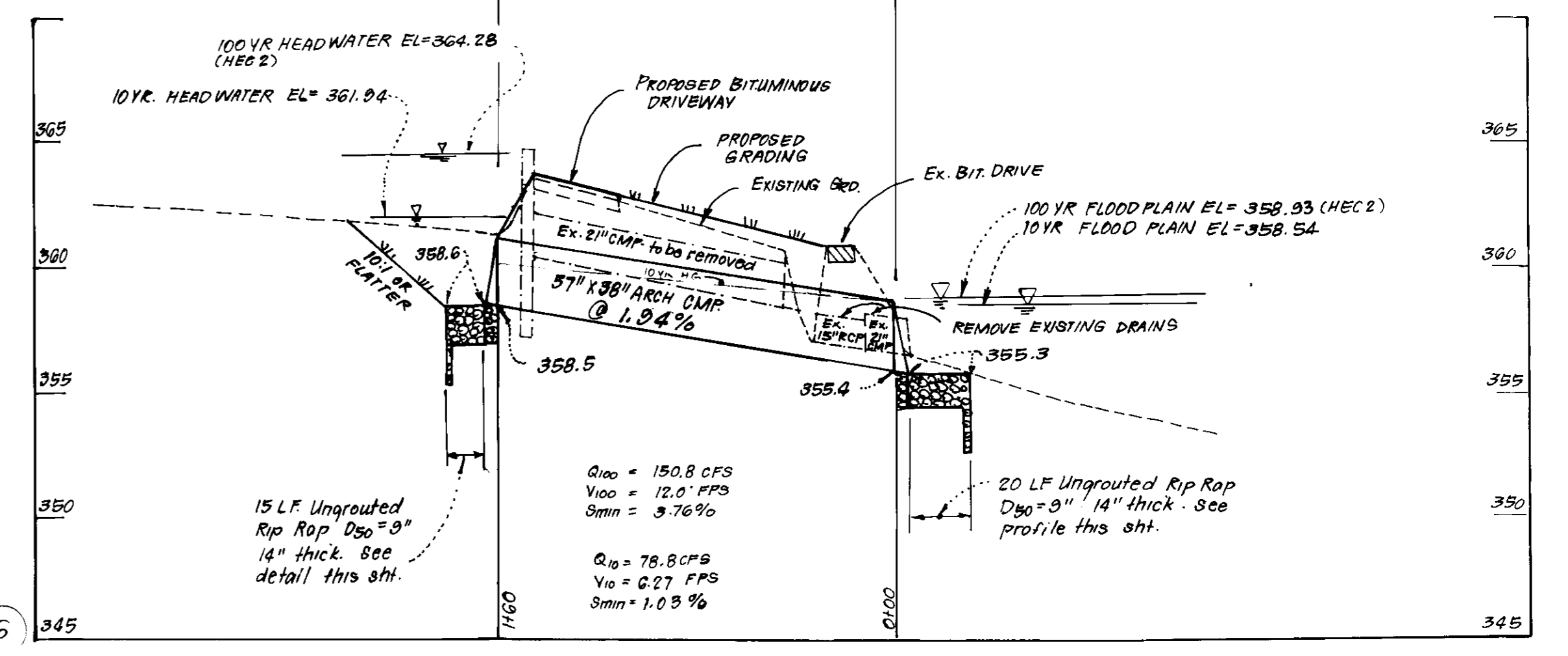
- Contour Interval 2 Ft.
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Proposed Storm Drain
- Existing Storm Drain



**VICINITY MAP**  
Scale: 1" = 2000'



**PLAN**  
SCALE: 1" = 50'



**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'

**GENERAL NOTES:**

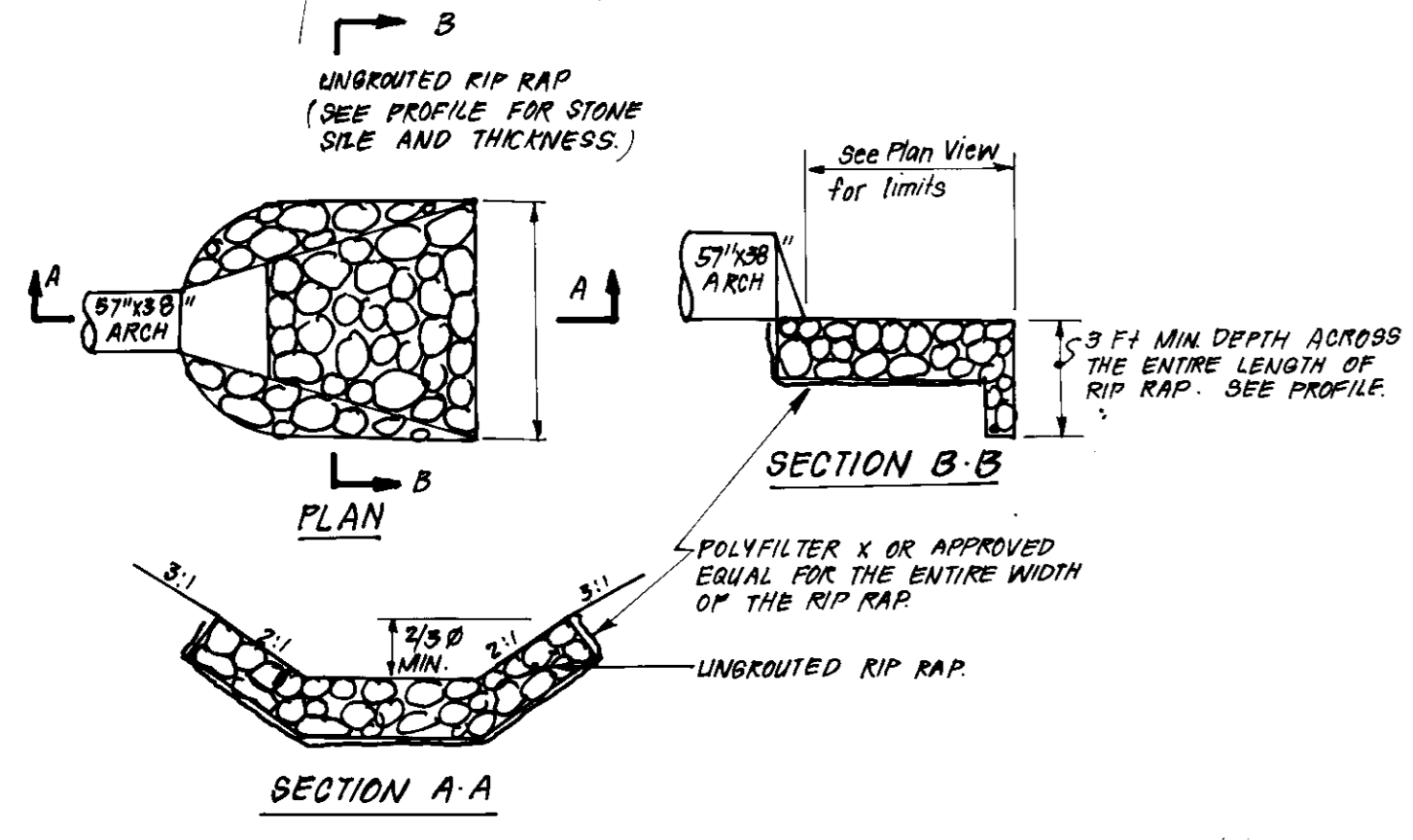
1. All materials and construction to be done in accordance with the Howard County Road Construction Code and Specs.
2. Topography was compiled from field survey.
3. Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location of mains by digging test pits by hand at all utility crossings. Well in advance of construction.
4. The contractor shall contact the construction inspection Survey Division 24 hrs before starting work Ph. 313.2420.
5. Storm Water Management for this project has been waived per Ho. Co. Dept of Public Works letter dated May 10, 1991.

**SEDIMENT AND EROSION CONTROL NOTES**

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (892-2437).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, (b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time periods specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 51) and (Sec. 54), temporary seeding (Sec. 52) and mulching (Sec. 53). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. **SITE ANALYSIS:**  
Total Area of Site: 107.43 Ac.  
Area Disturbed: 8.34 Ac.  
Area to be roofed or paved: 0.52 Ac.  
Area to be vegetatively stabilized: 0.52 Ac.  
Total Fill: 100 CY
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County DWS Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is received.
11. If houses are to be constructed on an "as sold" basis, at random, single family sediment control, as shown below shall be implemented. N/A
12. All pipes to be placed at the end of each day (see detail this sheet). N/A
13. The total amount of silt fence: 0

\*It is the responsibility of the contractor to identify the spoil/borrow site and notify HCSO of the site and its grading permit number at the time of construction.

- NOTE:**
1. NO TRENCH SHALL BE OPENED MORE THAN THE AMOUNT OF PIPE TO BE LAYED THAT DAY.
  2. AREA DISTURBED BY STORM DRAIN INSTALLATION AND ANY PAVEMENT OVERLAY SHALL BE STABILIZED AT THE END OF EACH DAY.
  3. SILT FENCE OR OTHER APPLICABLE METHODS TO CONTROL RUNOFF SHALL BE IMPLEMENTED AS REQUIRED BY SITE CONDITIONS AND THE INSPECTOR IN THE FIELD.



**UNGRAINED RIP RAP PAVING DETAILS**

- 1/2" BIT. CONC. SURFACE
- 4 1/2" BIT. CONC. BASE
- 6" CRUSHER RUN BASE or 4 1/2" DENSE GRADED STAB. AGGREGATE BASE

**TYPICAL PAVING SECTION FOR PROPOSED DRIVEWAY**  
NO SCALE

- DOUBLE BIT. SURFACE TREATMENT
- 6" CRUSHER RUN BASE

**TYPICAL PAVING SECTION FOR PROPOSED DRIVEWAY IMPROVEMENTS**  
NO SCALE

**APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.**  
HOWARD COUNTY HEALTH DEPARTMENT  
7/15/91

**APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING**  
8/29/91

**APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE.**  
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
7/19/91

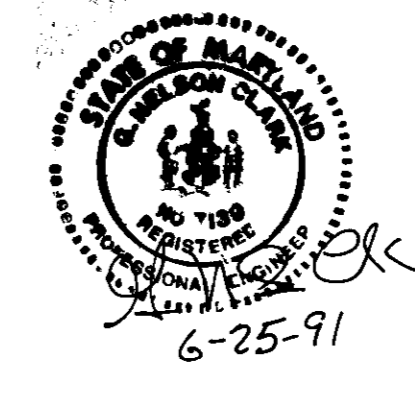
**DEVELOPER'S/BUILDER'S CERTIFICATE**

Viewed for HOWARD S.C.D. on 7/11/91  
US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
John R. Roberts 7/1/91

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
6/25/91



**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (301) 381-7500 - BALTO. • (301) 621-8100 - WASH.

**DESIGNED KIWM**  
**DRAWN LAI**  
**CHECKED JLS**  
**DATE 5-17-91**

**100 YR FLOOD PLAIN & STORM DRAIN AND PAVING IMPROVEMENT PLAN**

**BRICKHOUSE FARM**  
CLARKSVILLE 15TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

**SCALE As Shown**  
**DRAWING 30F-3**  
**JOB NO. 91-008**  
**FILE NO. 91-008-D**

FOR: TARO INVESTMENT CORP.  
c/o REESE and COFFEY  
10715 Quarter Lane Suite 200  
Columbia Md 21044