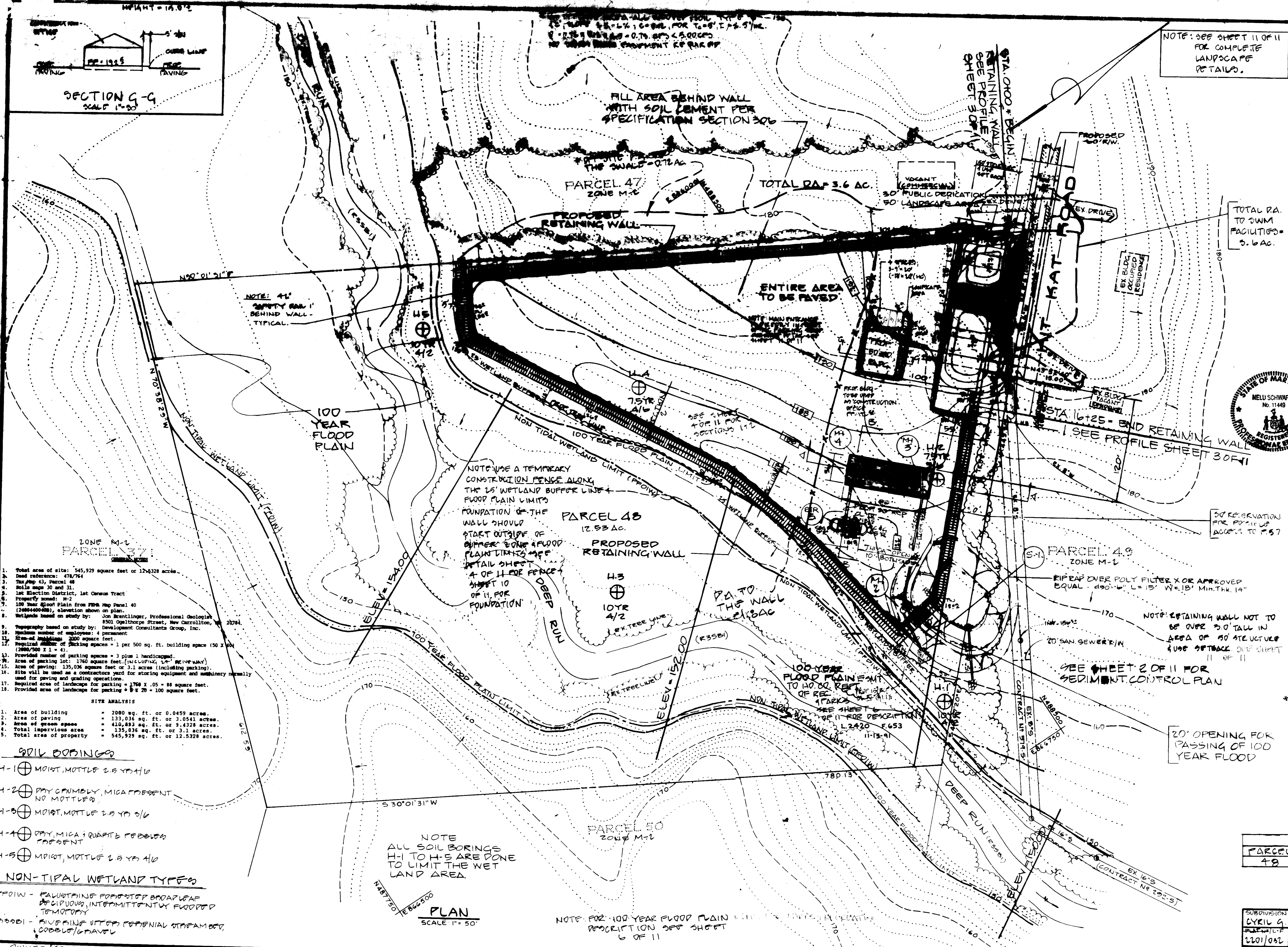
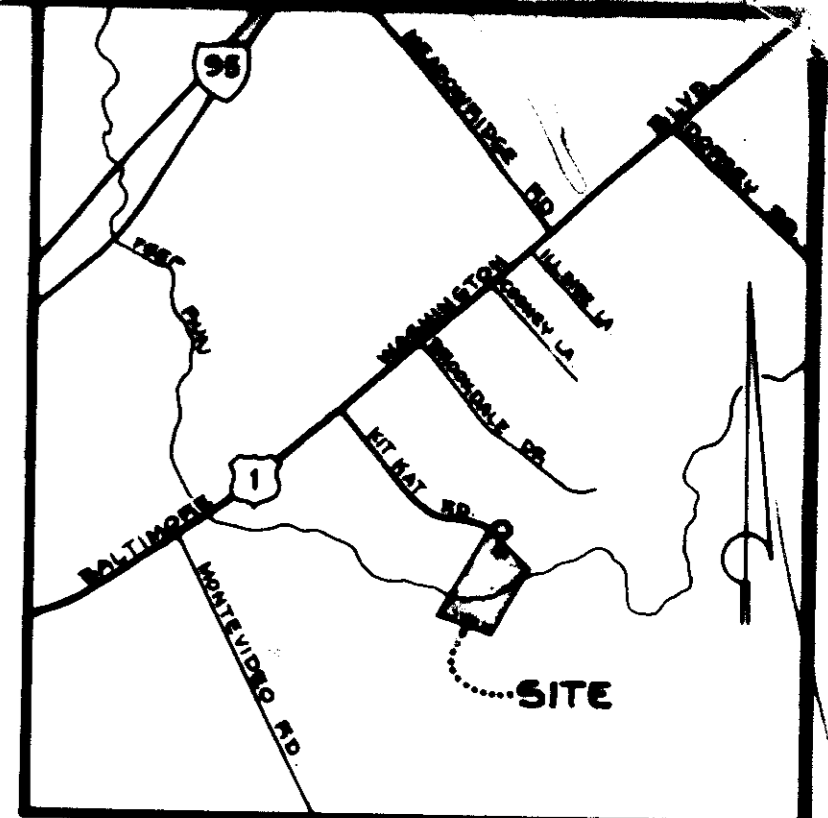


NOTE: SEE SHEET 11 OF 11 FOR COMPLETE LANDSCAPE DETAILS.



- Total area of site: 545,929 square feet or 12.5328 acres.
- Deed reference: 47,764
- Tax Map 43, Parcel 48
- Rolls maps 30 and 31
- 1st Election District, 1st Census Tract
- Property zoned: M-2
- 100 Year Flood Plain from FEMA Map Panel 40 (2000-00-00), elevation shown on plan.
- Wetlands based on study by: Jon Rentlinger, Professional Geologist, 8501 Ogilthorpe Street, New Carrollton, MD 20784
- Topography based on study by: Development Consultants Group, Inc.
- Maximum number of employees: 4 permanent
- Area of building: 2000 square feet.
- Required number of parking spaces = 1 per 500 sq. ft. building space (50 X 40) (2000/500 X 1 = 4)
- Provided number of parking spaces = 3 plus 1 handicapped.
- Area of parking lot: 1750 square feet (including 5' x 10' driveway)
- Area of paving: 135,036 square feet or 3.1 acres (including parking)
- Site will be used as a contractors yard for storing equipment and materials normally used for paving and grading operations.
- Required area of landscape for parking = 1750 X .05 = 88 square feet.
- Provided area of landscape for parking = 9 X 20 = 180 square feet.

SITE ANALYSIS

1. Area of building	= 2000 sq. ft. or 0.0459 acres.
2. Area of paving	= 135,036 sq. ft. or 3.0541 acres.
3. Area of green space	= 410,893 sq. ft. or 9.4328 acres.
4. Total impervious area	= 135,036 sq. ft. or 3.1 acres.
5. Total area of property	= 545,929 sq. ft. or 12.5328 acres.

- SOIL BORINGS**
- H-1 ⊕ MOIST, MOTTLE 2.5 YD AH
  - H-2 ⊕ DRY, CRUMBLY, MICA PRESENT NO MOTTLES
  - H-3 ⊕ MOIST, MOTTLE 2.5 YD OH
  - H-4 ⊕ DRY, MICA & QUARTZ PEBBLES PRESENT
  - H-5 ⊕ MOIST, MOTTLE 2.5 YD AH
- NON-TIDAL WETLAND TYPES**
- PF01W - PALUSTRINE FOREST OF BROADLEAF DECIDUOUS, INTERMITTENTLY FLOODED TEMPORARY
- PF00B1 - SILVICINE UPLAND PERENNIAL STEPPED, COBBLE/GRAVEL

NOTE: ALL SOIL BORINGS H-1 TO H-5 ARE DONE TO LIMIT THE WETLAND AREA

OWNER/DEVELOPER:	NO.	REVISIONS	DATE
SOIL SAFE INC. 4600 E. FAYETTE ST. BALTIMORE, MARYLAND 21224 301-327-5753			



**DEVELOPMENT CONSULTANTS GROUP, INC.**

17904 GEORGIA AVENUE # 102  
OLNEY, MARYLAND 20832  
301-924-4570

SITE DEVELOPMENT PLAN & SWM PLAN  
CYRIL G. HARDY PROPERTY  
1<sup>ST</sup> ELECTION DISTRICT  
HOWARD COUNTY MARYLAND  
LIBER: 2101 FOLIO 036  
TAX MAP: 43 PARCEL: 48

ADDRESS CHART

PARCEL	STREET ADDRESS
48	7170 KIT KAT ROAD

SUBDIVISION NAME		AC/AREA	PAR/PAR
CYRIL G. HARDY PROPERTY		-	48
PLAT/BLK	ZONE	TAX MAP	BLK. DIST
2101/032	11	M-2	43
WATER CODE		SEWER CODE	
801		2370000	

DATE	SHEET
AUG. 01	1
DRAWN	EM/ELB
CHECKED	J.D.C.
SCALE	PROJECT NO.
1"=50'	21-786

Following initial soil disturbance or modification, post-construction erosion control measures shall be installed within 14 days for all permanent and temporary construction, including, but not limited to, silt fences, sediment traps, and other erosion control measures. The contractor shall be responsible for all other details of erosion control measures.

The contractor or developer shall contact the appropriate regulatory agency to obtain all necessary permits for the project. I also warrant that the site plan is in compliance with the local zoning ordinance.

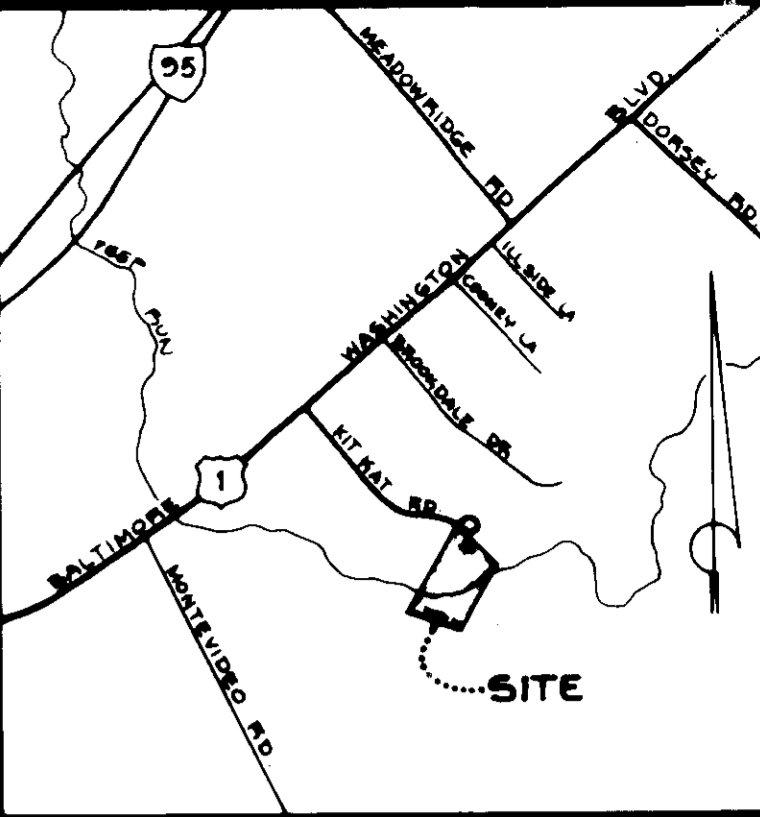
I warrant that this plan for erosion control measures complies with the requirements of the local zoning ordinance and the requirements of the Howard County Conservation District.

Approved for Howard County and mechanical requirements:  
 Approved for Public Water and Public Sewerage systems, Howard County Health Department.  
 Approved: Board County Dept. of Planning & Zoning  
 Approved: Per Public Water and Public Sewerage, Storm Drainage System and Public Road, Howard County Department of Public Works.

Professional Engineer: NEIL SCHWARTZ, No. 11449, REGISTERED PROFESSIONAL ENGINEER, STATE OF MARYLAND



NOTE: EARTH DIKE TO DIVERT OFFSITE DRAINAGE AWAY FROM SITE



VICINITY MAP  
SCALE: 1" = 2000'

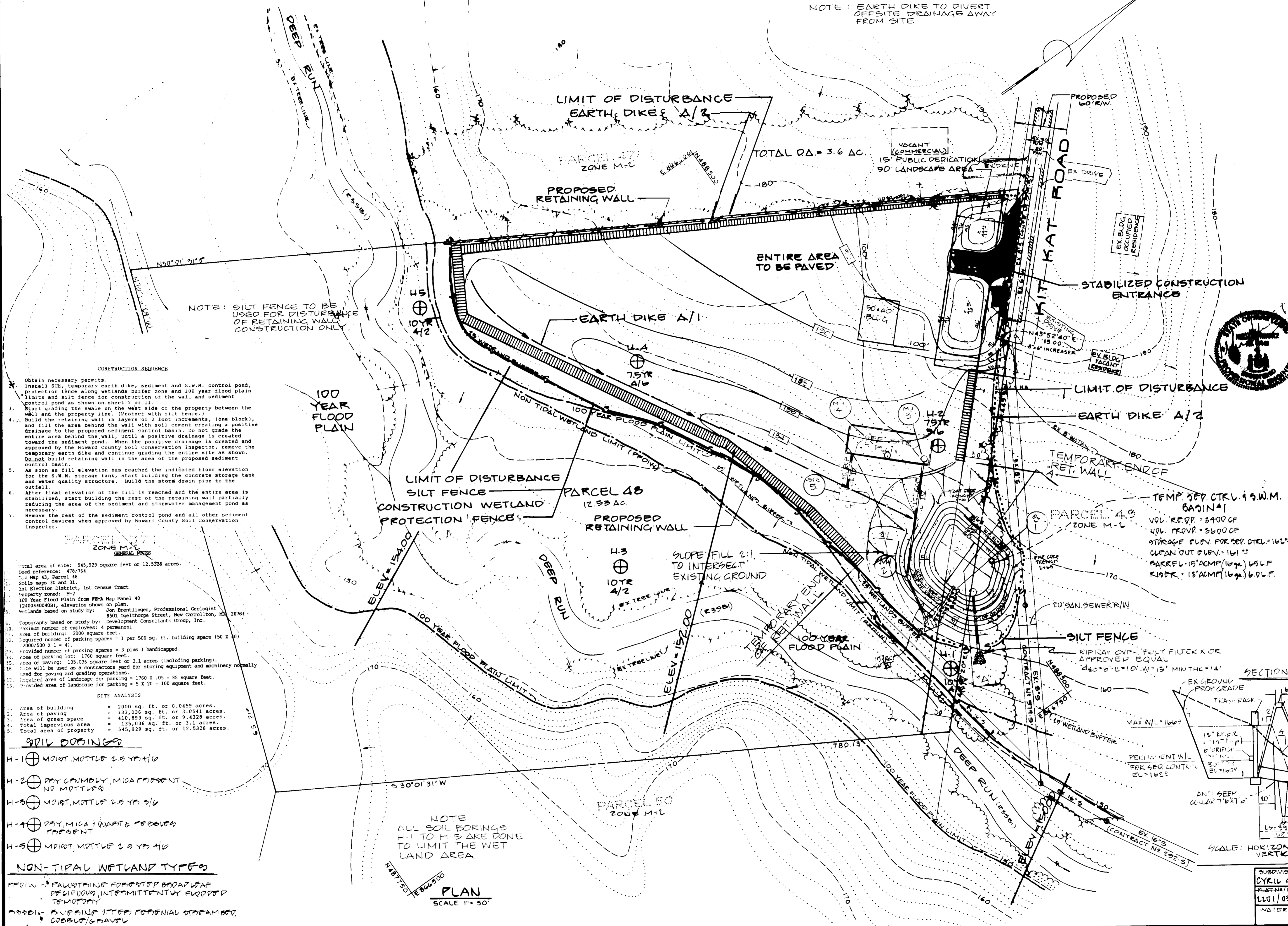
Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: 1) seven (7) calendar days for all perimeter sediment control structures, dikes, swales, ditches, perimeter slopes and all slopes greater than 3:1; 2) fourteen (14) days as to all other disturbed or graded areas on project site.  
NOTE: The contractor as developer shall contact the construction inspection/survey division 24 hours in advance of commencement of work at 191-7777.

I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a certificate of attendance at a Department of Natural Resources Approved Training Program for the control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard County Soil Conservation District.

I certify that this plan for erosion and sediment control represents a practical and suitable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Soil Conservation District.

Approved: *[Signature]* 8/21/91  
 Approved: *[Signature]* 8/21/91  
 Approved: *[Signature]* 10/10/91  
 Approved: *[Signature]* 11/22/91  
 Approved: *[Signature]* 10/11/91  
 Approved: *[Signature]* 8-26-91

Chief Bureau of Engineering



NOTE: SILT FENCE TO BE USED FOR DISTURBANCE OF RETAINING WALL CONSTRUCTION ONLY

- CONSTRUCTION SEQUENCE
- Obtain necessary permits.
  - Install S.C.B., temporary earth dike, sediment and S.W.M. control pond, protection fence along wetlands buffer zone and 100 year flood plain limits and silt fence for construction of the wall and sediment control pond as shown on sheet 2 of 11.
  - Start grading the swale on the west side of the property between the wall and the property line. (Protect with silt fence.)
  - Build the retaining wall in layers of 2 foot increments, (one block), and fill the area behind the wall with soil cement creating a positive drainage to the proposed sediment control basin. Do not grade the entire area behind the wall, until a positive drainage is created toward the sediment pond. When the positive drainage is created and approved by the Howard County Soil Conservation Inspector, remove the temporary earth dike and continue grading the entire site as shown. Do not build retaining wall in the area of the proposed sediment control basin.
  - As soon as fill elevation has reached the indicated floor elevation for the S.W.M. storage tank, start building the concrete storage tank and water quality structure. Build the storm drain pipe to the outfall.
  - After final elevation of the fill is reached and the entire area is stabilized, start building the rest of the retaining wall partially reducing the area of the sediment and stormwater management pond as necessary.
  - Remove the rest of the sediment control pond and all other sediment control devices when approved by Howard County Soil Conservation Inspector.

100 YEAR FLOOD PLAIN

- GENERAL NOTES
- Total area of site: 545,929 square feet or 12.5328 acres.
  - Deed reference: 478/764
  - Parcel 45, Parcel 48
  - Soils maps 30 and 31.
  - 1st Election District, 1st Census Tract
  - Property zones: M-2
  - 100 Year Flood Plain from FEMA Map Panel 40 (24004400408), elevation shown on plan.
  - Wetlands based on study by: Jon Brentlinger, Professional Geologist, 8501 Oglethorpe Street, New Carrollton, MD 20784
  - Topography based on study by: Development Consultants Group, Inc.
  - Maximum number of employees: 4 permanent
  - Area of building: 2000 square feet.
  - Required number of parking spaces = 1 per 500 sq. ft. building space (50 X 40) (2000/500 X 1 = 4).
  - Provided number of parking spaces = 3 plus 1 handicapped.
  - Area of parking lot: 1760 square feet.
  - Area of paving: 135,036 square feet or 3.1 acres (including parking).
  - Site will be used as a contractors yard for storing equipment and machinery normally used for paving and grading operations.
  - Required area of landscape for parking = 1760 X .05 = 88 square feet.
  - Provided area of landscape for parking = 5 X 20 = 100 square feet.

- SITE ANALYSIS
- Area of building = 2000 sq. ft. or 0.0455 acres.
  - Area of paving = 135,036 sq. ft. or 3.0541 acres.
  - Area of green space = 410,893 sq. ft. or 9.4328 acres.
  - Total impervious area = 135,036 sq. ft. or 3.1 acres.
  - Total area of property = 545,929 sq. ft. or 12.5328 acres.

SOIL BORINGS

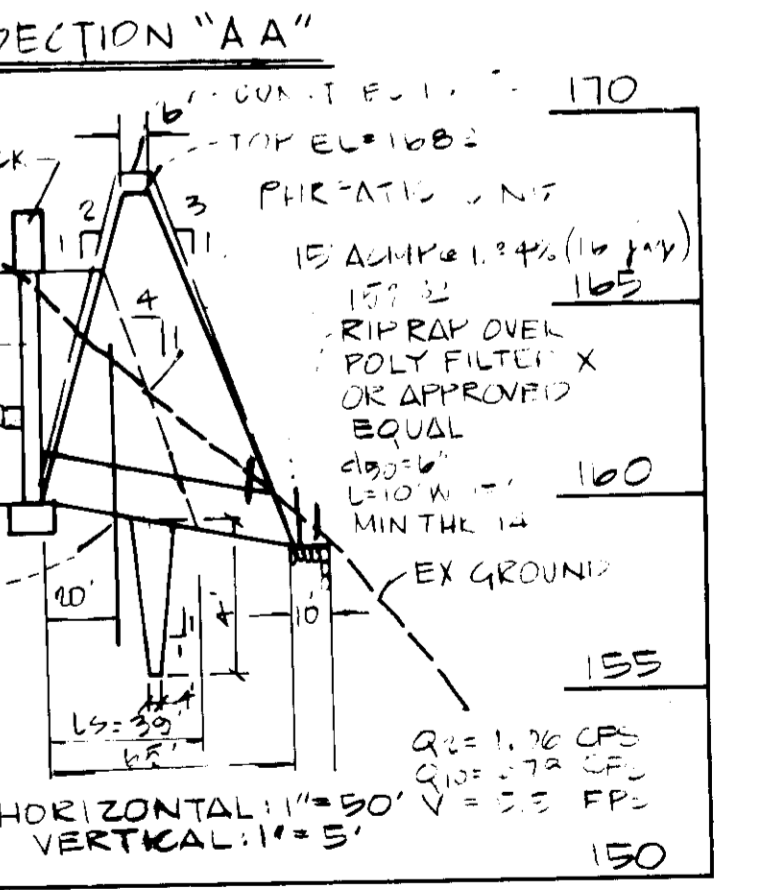
- H-1 MIST, MOTTLE 2.5 YD A/D
- H-2 RY, CRUMBLY, MICA PRESENT NO MOTTLES
- H-3 MIST, MOTTLE 2.5 YD 0/0
- H-4 RY, MICA, QUARTZ FIBROUS PRESENT
- H-5 MIST, MOTTLE 2.5 YD A/D

NON-TIDAL WETLAND TYPES

- PROW - PALUSTRINE FOREWETLAND BROADLEAF DECIDUOUS, INTERMITTENTLY FLOODED TEMPORARY
- PROB1 - BUREAU WETLAND PERENNIAL STREAMBED COBBLE/GRAVEL

NOTE: ALL SOIL BORINGS H-1 TO H-5 ARE DONE TO LIMIT THE WETLAND AREA

PLAN SCALE 1" = 50'



SUBDIVISION NAME	SEC./AREA	LOT/PAR.
CYRIL G. HARDY PROPERTY	-	48
PLAT/BLK	ZONE	TAX MAP
LLO1/032	M-2	43
WATER CODE	SEWER CODE	
801	6370000	

OWNER/DEVELOPER:  
 SOIL SAFE INC.  
 4600 E. FAYETTE ST.  
 BALTIMORE, MARYLAND  
 21224  
 301-327-5753



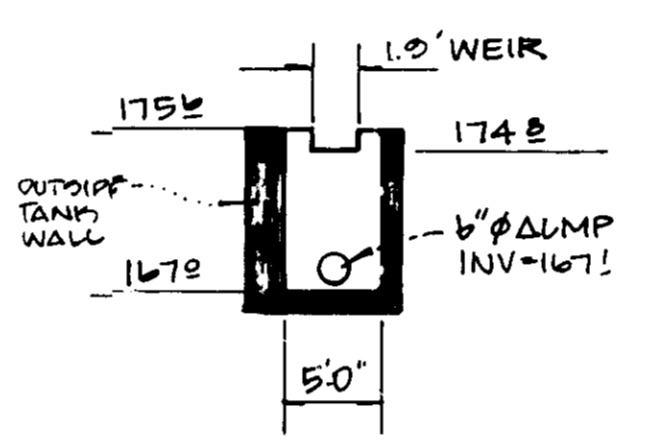
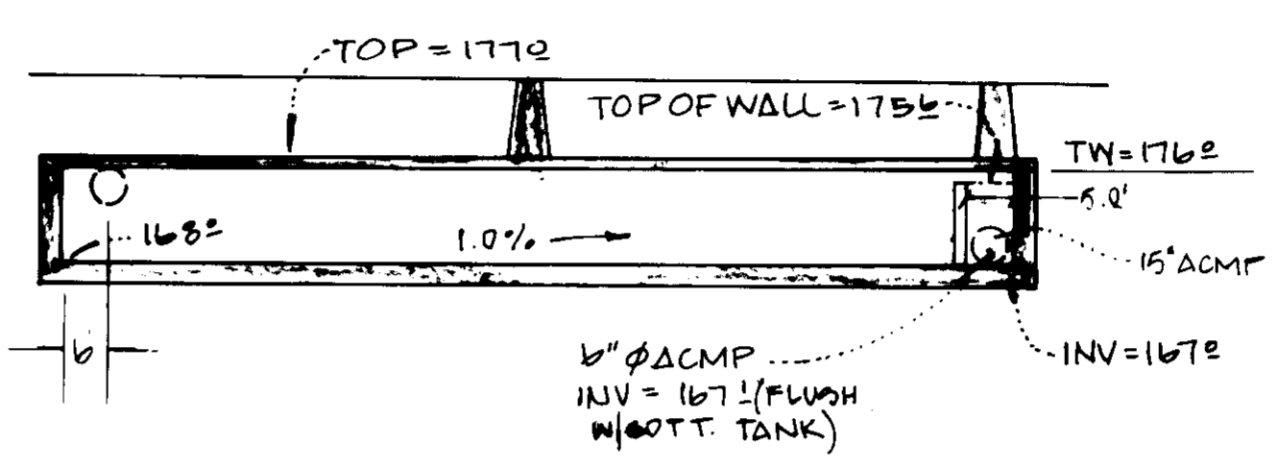
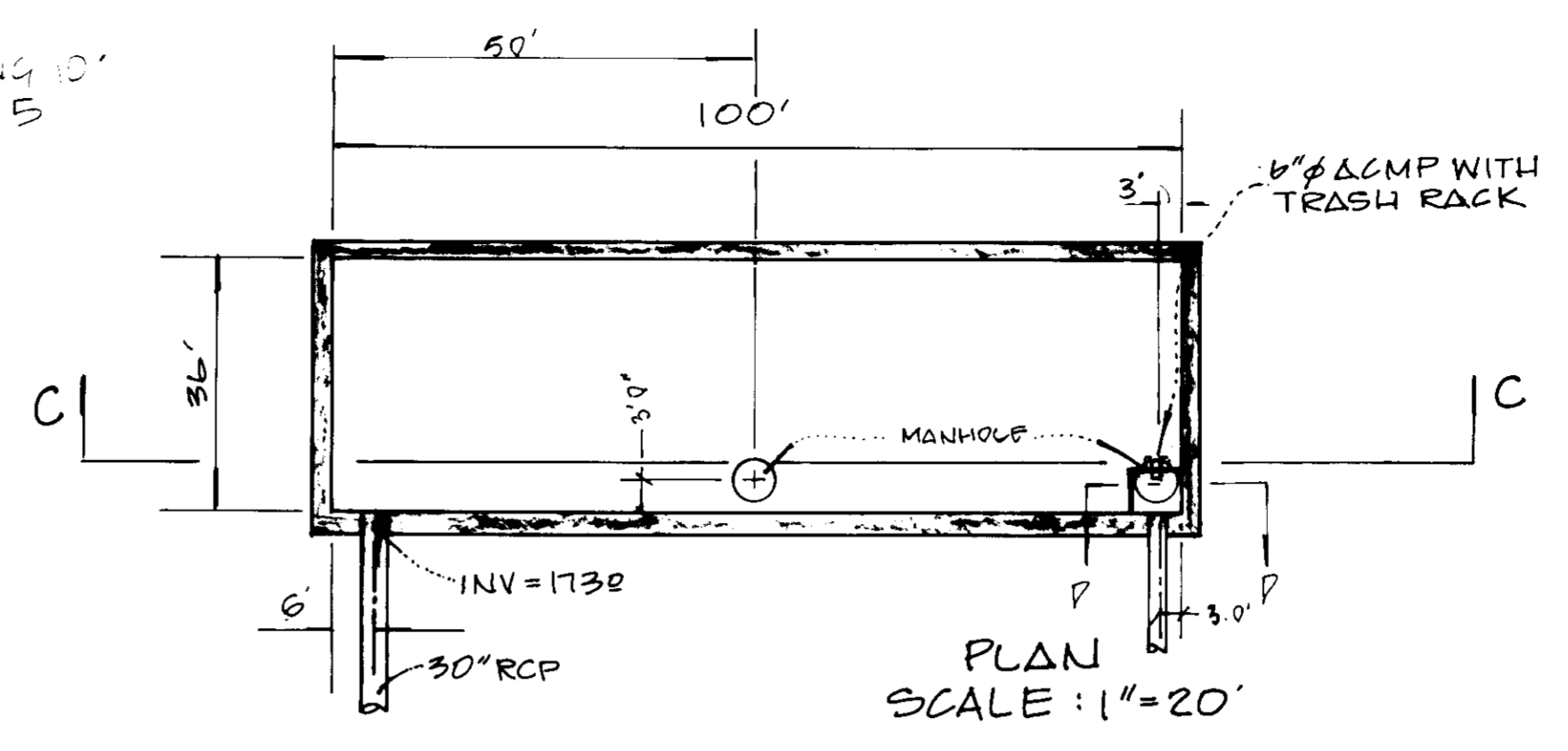
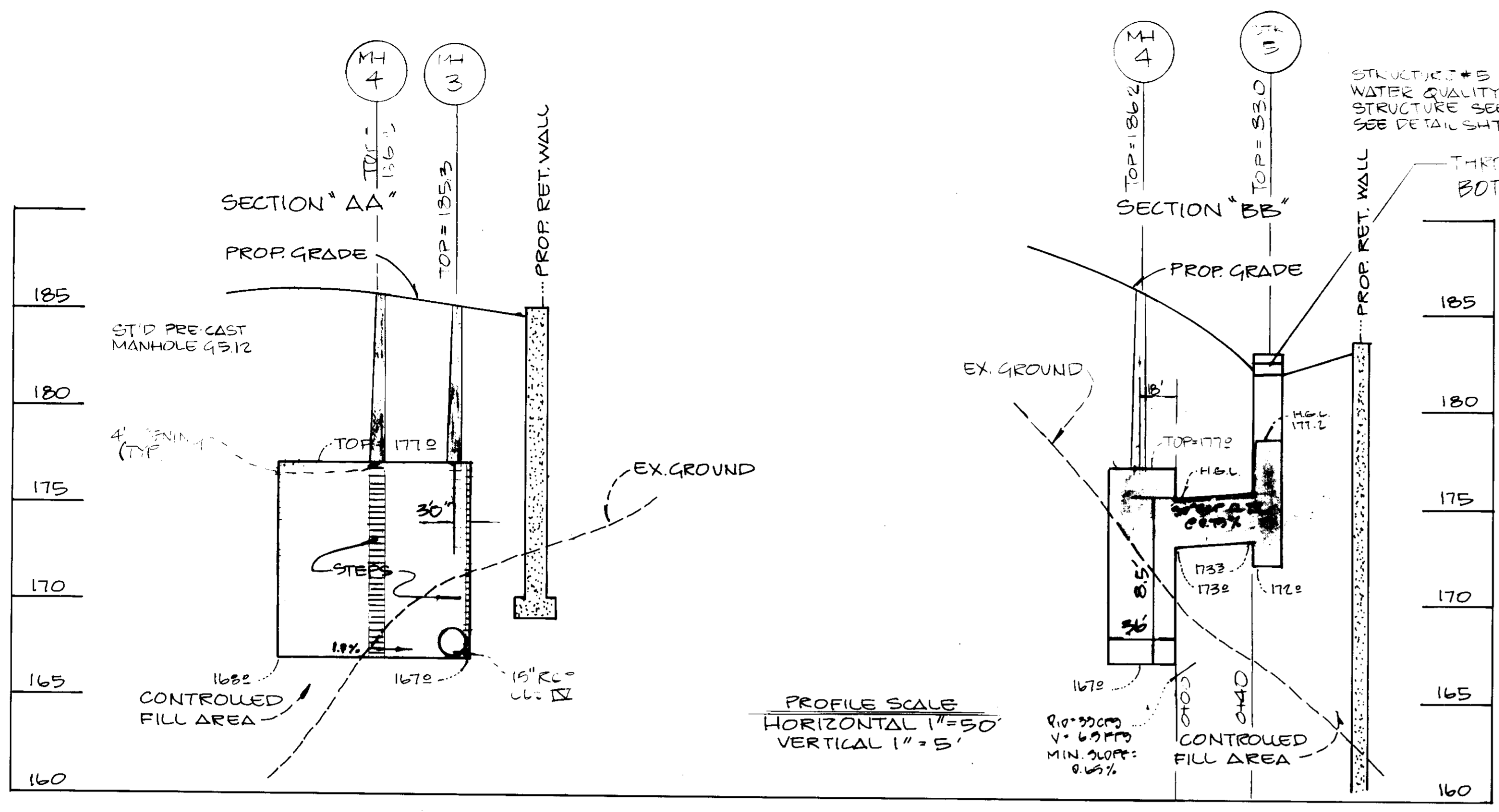
DEVELOPMENT CONSULTANTS GROUP, INC.

17904 GEORGIA AVENUE \* 102  
 OLNEY, MARYLAND 20832  
 301-924-4570

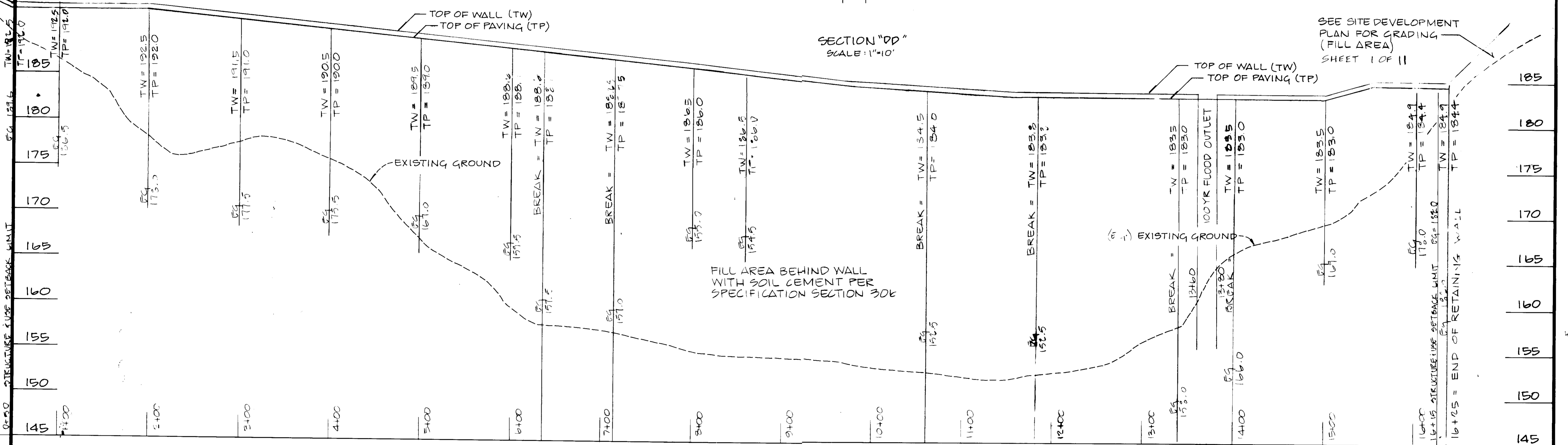
SOIL EROSION & SEDIMENT CONTROL PLAN  
 CYRIL G. HARDY PROPERTY

1<sup>ST</sup> ELECTION DISTRICT  
 HOWARD COUNTY MARYLAND  
 LIBER: LLO1 FOLIO 032  
 TAX MAP: 43 PARCEL: 48

DATE: AUG 1991  
 DRAWN: CM/ELP  
 CHECKED: J.D.L.  
 SCALE: 1" = 50'  
 SHEET: 2 of 11  
 PROJECT NO.: 21-786



SECTION "CC"  
SCALE: 1"=20'  
STORM WATER MANAGEMENT  
STORAGE TANK  
SCALE: AS SHOWN



PROFILE SCALE  
HORIZONTAL: 1"=50'  
VERTICAL: 1"=5'

Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: 1) seven (7) calendar days for all perimeter sediment control structures, dikes, swales, ditches, perimeter slopes and all slopes greater than 3:1, 2) fourteen (14) days as to all other disturbed or graded areas on project site.

NOTE: The contractor or developer shall contact the construction inspection/survey division 24 hours in advance of commencement of work at 792-7272.

**Developer's Certificate**  
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a certificate of attendance at a Department of Natural Resources Approved Training Program for the control of sediment and erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*[Signature]* 8/9/91  
Date

**Engineer's Certificate**  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*[Signature]* 8/21/91  
Date

**REGISTERED PROFESSIONAL ENGINEER**  
NELLY SCHWARTZ  
No. 19  
Approved for Howard County and meets technical requirements.  
Soil Conservation Service  
Date

*[Signature]* 8/21/91  
Date

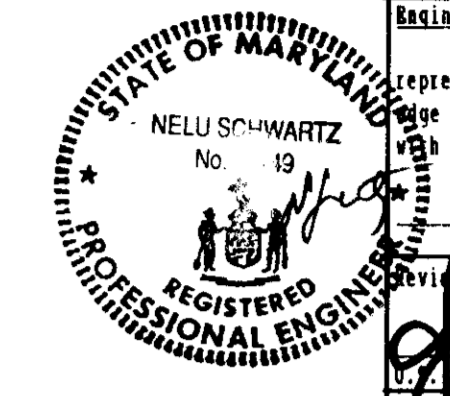
Approved for Public Water and Public Sewage systems, Howard County Health Department.  
*[Signature]* 10/10/91  
Date

Approved: Howard County Dept. of Planning & zoning  
*[Signature]* 11/22/91  
Date

*[Signature]* 11/22/91  
Date

Approved: For Public Water and Public Sewage, Storm Drainage System and Public Road. Howard County Department of Public Works.  
*[Signature]* 10/10/91  
Date

*[Signature]* 8-26-91  
Date



SEE SITE DEVELOPMENT  
PLAN FOR GRADING  
(FILL AREA)  
SHEET 1 OF 11

OWNER/DEVELOPER:  
SOIL SAFE INC.  
1800 F. FAYETTE STREET  
BALTIMORE MD 21224  
(301) 327-5753

NO.	REVISIONS	DATE



**DEVELOPMENT CONSULTANTS GROUP, INC.**  
17904 GEORGIA AVENUE # 102  
OLNEY, MARYLAND 20832  
301-924-4570

STORM WATER MANAGEMENT & RETAINING WALL DETAILS  
CYRIL G. HARDY PROPERTY  
1ST ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
LIBER: 1401 FOLIO: 032  
TAX MAP: 43 PARCEL: 43

DATE AUG 21	Sheet 3
DRAWN WKA	of 11
CHECKED N.D.L.	PROJECT NO. 21-726
SCALE AS SHOWN	SDP-91-72

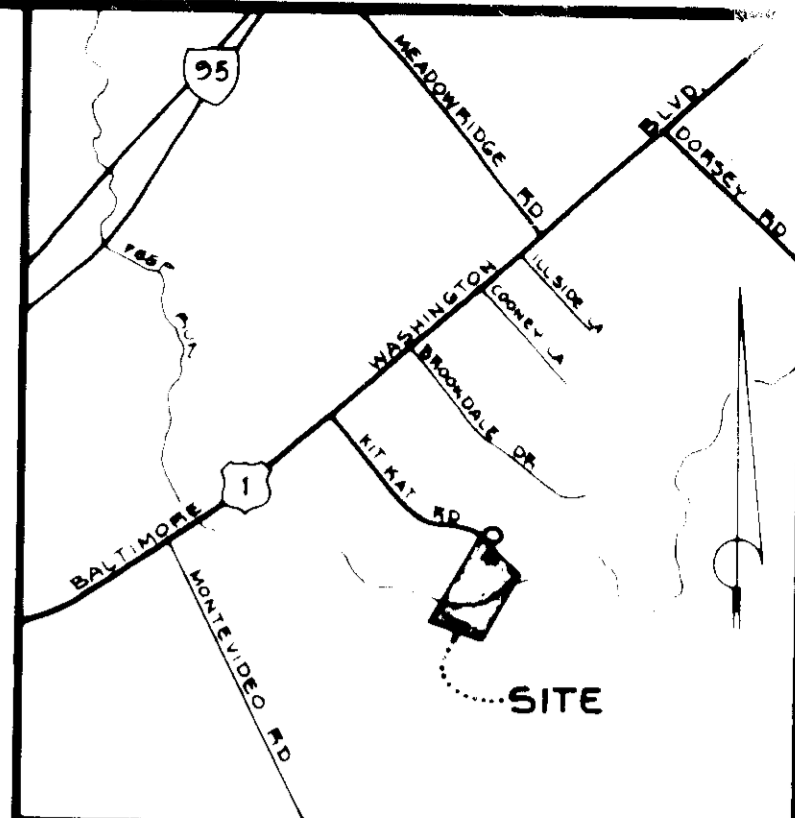
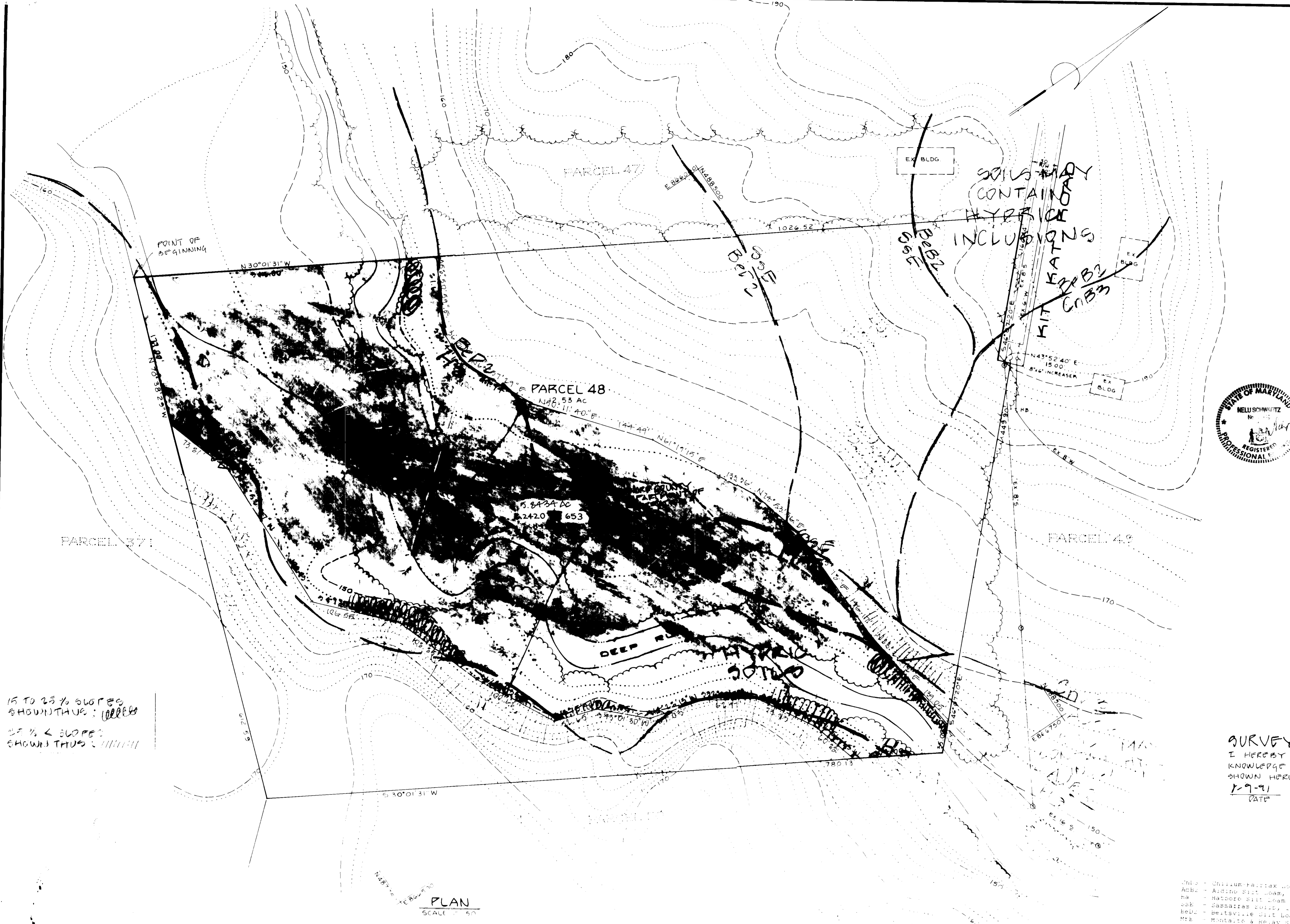












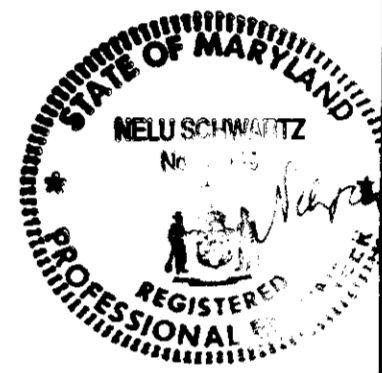
VICINITY MAP  
SCALE 1"=2000'

Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: (1) seven (7) calendar days for all perimeter sediment control structures, dikes, swales, ditches, perimeter slopes and all slopes greater than 3:1; (2) fourteen (14) days for all other disturbed or graded areas on project site.

NOTE: The contractor or developer shall contact the construction inspection/survey division 24 hours in advance of commencement of work at 302-332-3322.

Developer's Certification  
I hereby certify that all development and construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a certificate of attendance at a Department of Water, Maryland Approved Training Program for the control of sediment and erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Professional Engineer  
Date



Engineer's Certification  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Professional Engineer  
Date

Review for compliance with and meets technical requirements  
Soil Conservation Service  
Date

Development plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.  
Date

Approved for Public Water and Public Sewer systems, Howard County Health Department.  
Date

Approved for Public Water and Public Sewer, Storm Drainage Systems and Public Road, Howard County Department of Public Works.  
Date

Director  
Date

Chief Bureau of Engineering  
Date

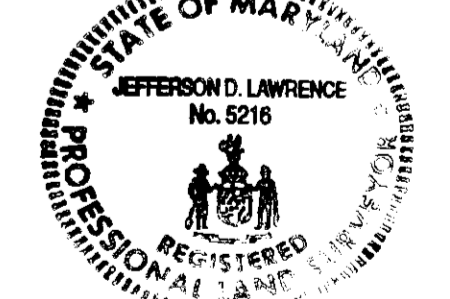
15 TO 25% SLOPES SHOWN THUS: [Symbol]

25% < SLOPES SHOWN THUS: [Symbol]

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT.

DATE: 1-9-91  
JEFFERSON D. LAWRENCE  
REG. PROF. L.S. 5216



- Chillum: Fat clay loams, 2-3% slopes, moderately erodible
- ABB2: Amino Silt loam, 2-3% slopes, moderately erodible
- cah: Calverton Silt loam
- cah: Calverton Silt loam
- BEU: Beltsville Silt loam, 2-4% slopes
- ME: Monticello Silt loam, 2-4% slopes, moderately erodible
- BEU: Beltsville Silt loam, 2-4% slopes

SOILS SURFER  
SOIL DATA INC.  
4000 DIXON STREET  
BALTIMORE, MD 21224  
(301) 327-5113

NO.	REVISIONS	DATE



**DEVELOPMENT CONSULTANTS GROUP, INC.**

17904 GEORGIA AVENUE # 102  
OLNEY, MARYLAND 20832  
301-924-4570

3000 MAP AND 20 YEAR FLOOD PLAIN EXAMINATION  
**CYRIL G. HARDY PROPERTY**  
1ST ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
LIBERTY 21  
TAX MAP 42 PARCELS 37-49

DATE	91	Sheet	6
DRAWN	ASJ	of 11	
CHECKED		PROJECT NO	21 786
SCALE			

Owner/Developer:  
SOIL SAFE INC  
4600 E. FAYETTE STREET  
BALTIMORE, MD 21224  
301-327-6029

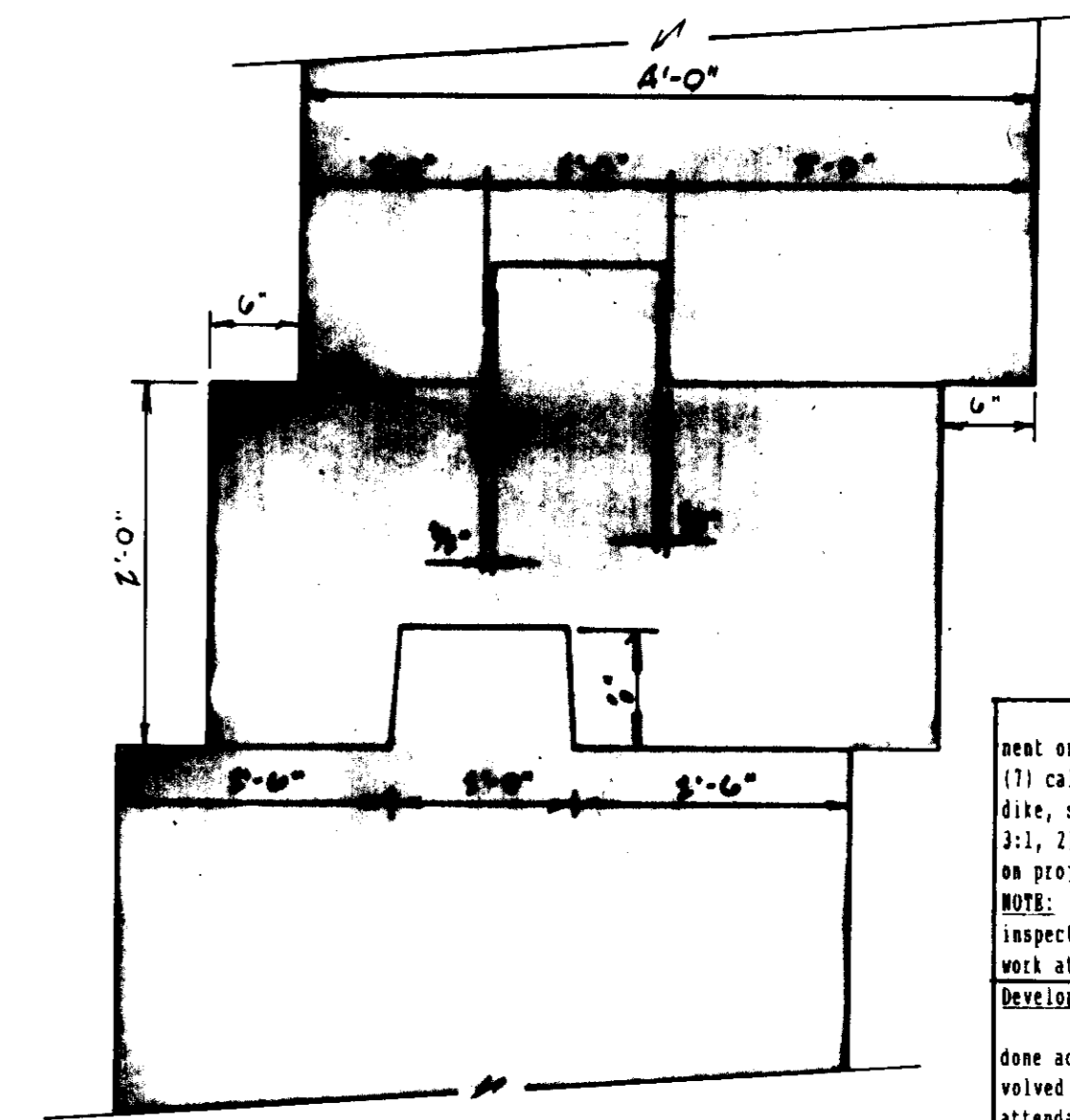
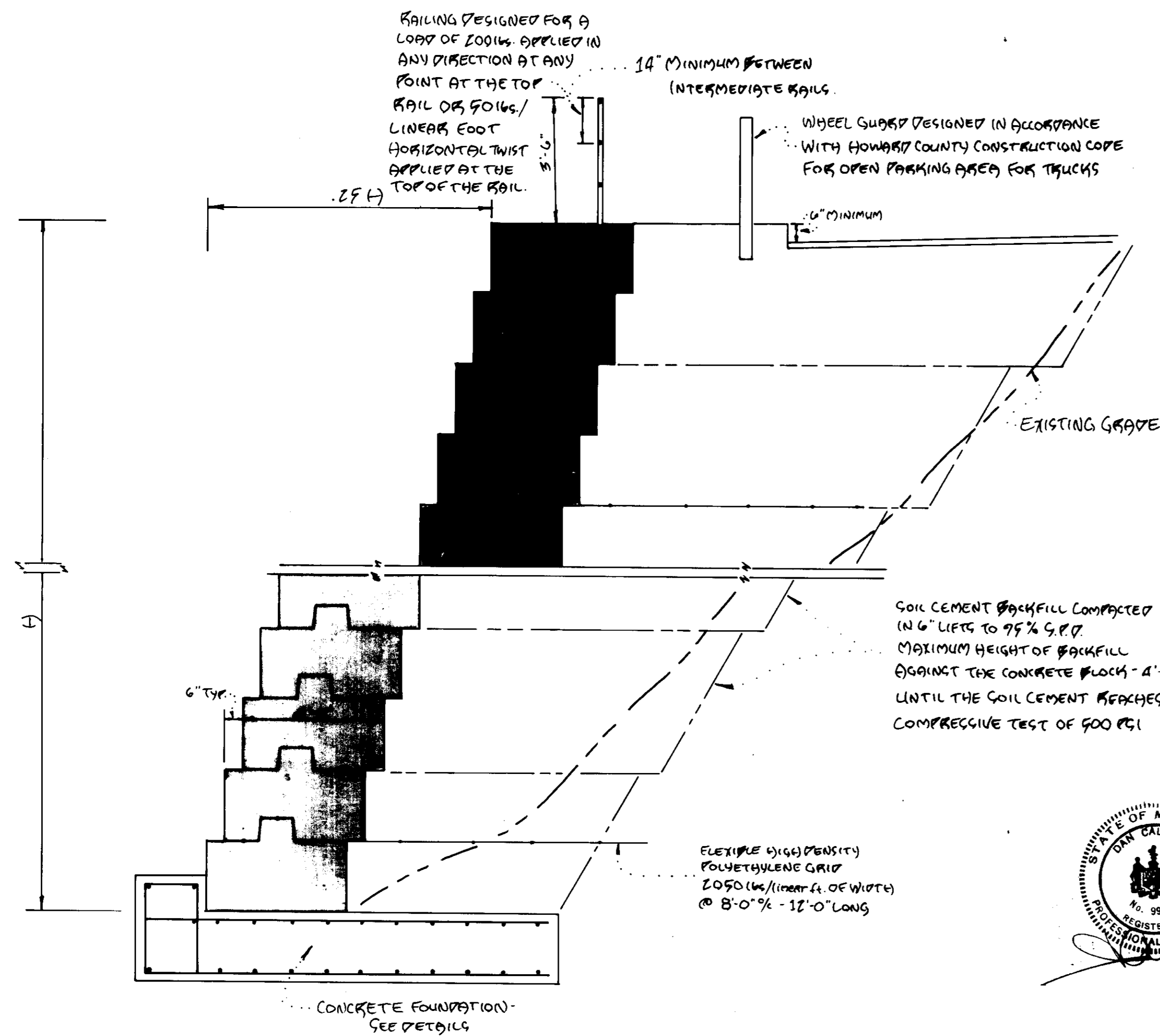


DEVELOPMENT  
CONSULTANTS  
GROUP, INC.

17904 GEORGIA AVENUE \* 102  
OLNEY, MARYLAND 20832  
301-924-4570

WALL DETAILS  
CYRIL G. HARDY PROPERTY  
127 ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
L 2201 E 932  
TAX MAP 43 PARCEL 45

TYPICAL WALL CROSS SECTION  
SCALE: 3/8" = 1'-0"



TYPICAL BLOCK JOINT  
SCALE: 1" = 1'-0"

NOTE: COUNTY STRUCTURAL REVIEW  
WILL BE PERFORMED IN TANDEM  
WITH THE BUILDING PERMIT  
APPLICATION.



Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: 1) seven (7) calendar days for all perimeter sediment control structures, dikes, swales, ditches, perimeter slopes and all slopes greater than 3:1, 2) fourteen (14) days as to all other disturbed or graded areas on project site.

NOTE: The contractor or developer shall contact the construction inspection/survey division 24 hours in advance of commencement of work at 391-7272.

Developer's Certificate  
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a certificate of attendance at a Department of Natural Resources Approved Training Program for the control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*[Signature]* 8-9-91  
Date

Engineer's Certificate  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*[Signature]* 08/09/91  
Date

Approved for Howard S.C.D. and meets technical requirements.

Soil Conservation Service  
Development plan is approved for Soil Erosion and Sediment Control of the Howard Soil Conservation District.

Approved S.C.D. Date

Approved for Public Water and Public Sewer systems, Howard County Health Department.

*[Signature]* 10/09/91  
Date

Approved: Howard County Dept. of Planning & Zoning

*[Signature]* 11/22/91  
Date

Chief, Division of Community Planning and Land Development

Approved: For Public Water and Public Sewer, Storm Drainage Systems and Public Road. Howard County Department of Public Works.

*[Signature]* 10/22/91  
Date

Chief Bureau of Engineering

**SS** Soil Safe Incorporated

Recycling of Construction Material/Asphalt/Soil

4600 E Fayette St  
Baltimore, MD 21224  
(301) 327-6753

DATE: JUNE, 1991 SCALE: AS SHOWN DRAWN: G.M.L.  
FILE NO: 91-012 No: 7 OF 11

SDP-91-72

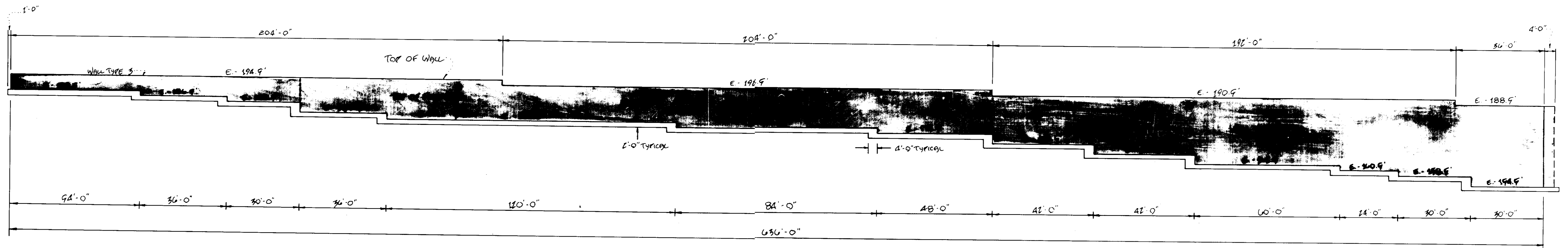
Owner/Developer:  
 9014 SAFF INC  
 4600 E. FAYETTE STREET  
 BALTIMORE, MD 21224  
 301-327-6029



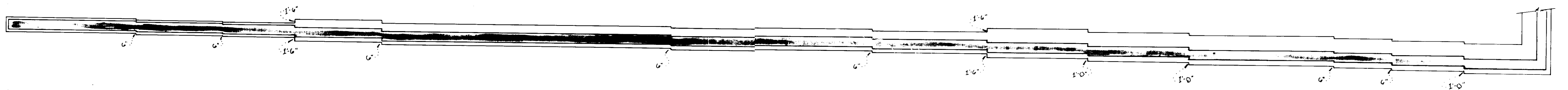
DEVELOPMENT CONSULTANTS GROUP, INC.  
 17904 GEORGIA AVENUE # 102  
 OLNEY, MARYLAND 20832  
 301-924-4570

WALL DETAILS  
 CYRIL G. HARDY PROPERTY  
 123 ELECTION DISTRICT  
 HOWARD COUNTY MARYLAND  
 21201 # 032  
 TAX MAP 43 PARCEL 43

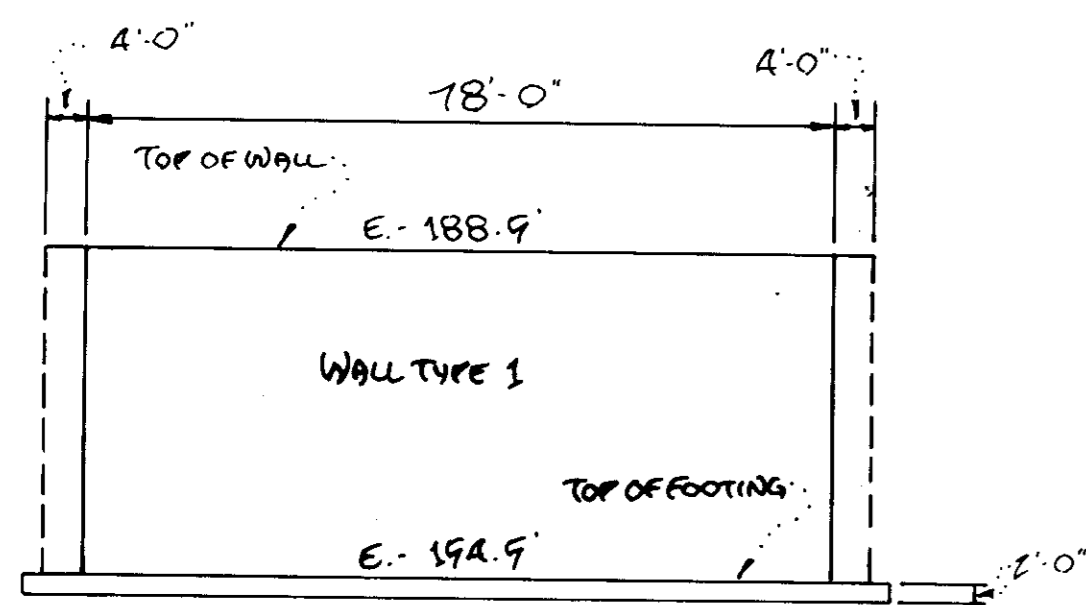
WALL "A" ELEVATION  
 SCALE: 1"=20'



WALL "A" FOUNDATION PLAN  
 SCALE: 1"=20'



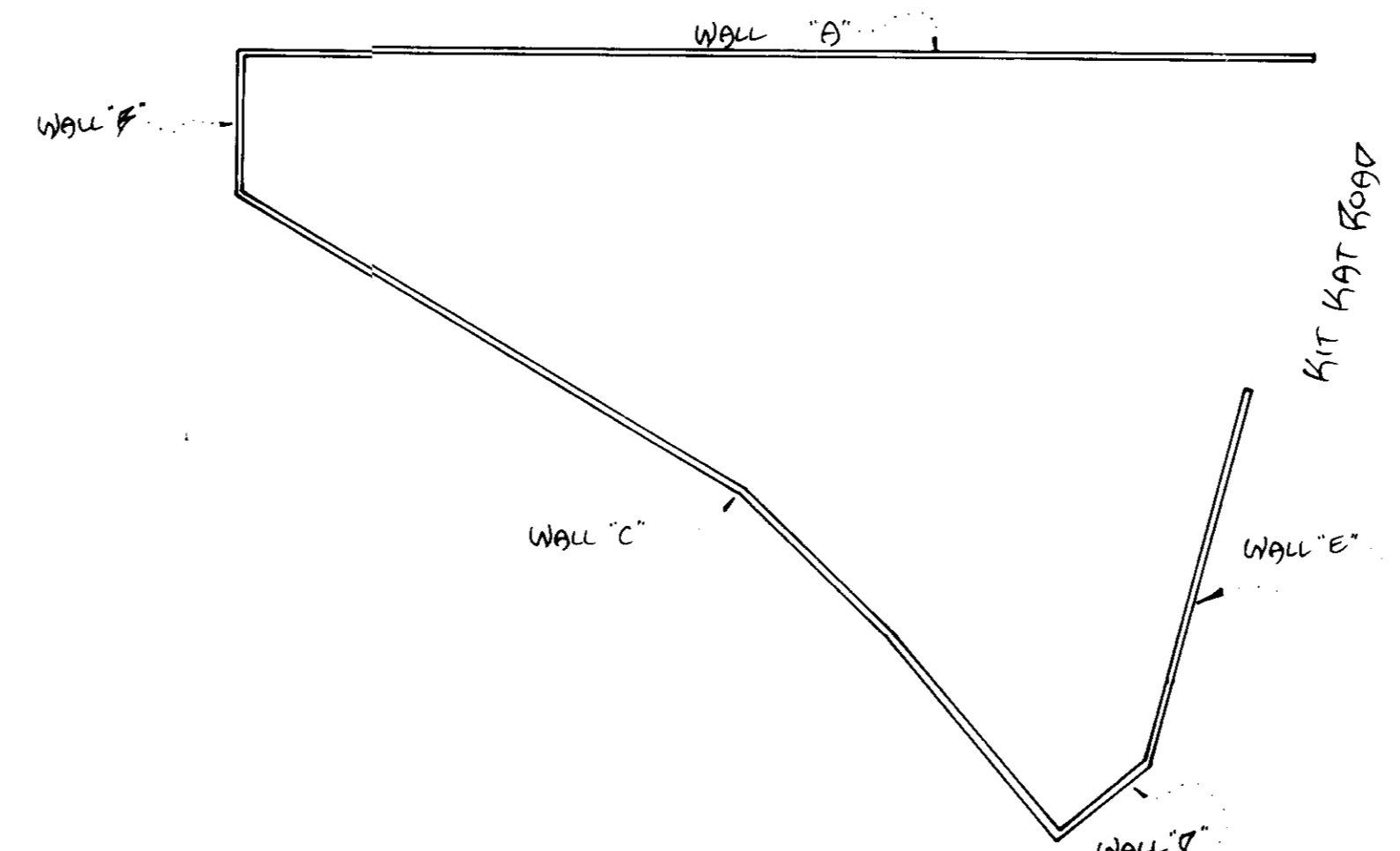
WALL "B" ELEVATION  
 SCALE: 1"=20'



WALL "B" FOUNDATION PLAN  
 SCALE: 1"=20'



LEGEND  
 E - ELEVATION  
 [Symbol] - WALL

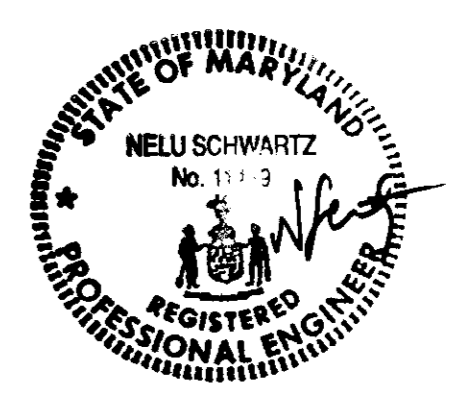


OVERALL PLAN  
 NOT TO SCALE

Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: 1) seven (7) calendar days for all perimeter sediment control structures, ditches, swales, ditches, perimeter slopes and all slopes greater than 3:1; 2) fourteen (14) days as to all other disturbed or graded areas on project site.  
 NOTE: The contractor or developer shall contact the construction inspection/survey division 24 hours in advance of commencement of work at 19-1272.

Developer's Certificate  
 I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a certificate of attendance at a Department of Natural Resources Approved Training Program for the control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.  
 [Signature] 8-9-91  
 Date

Engineer's Certificate  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 [Signature] 10/10/91  
 Date



Approved for Howard S.C.D. and meets technical requirements.  
 Approved for Post Conservation Service.  
 Approved for Public Water and Public Sewage Systems, Howard County Health Department.  
 Approved: [Signature] 10/10/91  
 County Health Officer  
 Approved: [Signature] 11/22/91  
 Director, Howard County Dept. of Planning & Zoning  
 Approved: [Signature] 11/22/91  
 Chief, Division of Community Planning and Land Development  
 Approved: For Public Water and Public Sewage, Storm Drainage Systems and Public Road, Howard County Department of Public Works.  
 Approved: [Signature] 10/21/91  
 Director  
 Chief Bureau of Engineering

NOTE: THIS DRAWING HAS BEEN REVIEWED BY PFW FOR LOCATION AND ADJOINING GRADES ONLY.  
 COUNTY STRUCTURAL REVIEW WILL BE PERFORMED IN TANDEM WITH THE BUILDING PERMIT APPLICATION.



**SS Soil Safe Incorporated**  
 Recycling of Construction Material/Asphalt/Soil  
 4600 E. Fayette St.  
 Baltimore, MD 21224  
 (301) 327-5753

DATE: JUNE 1991 SCALE: AS SHOWN DRAWN: S.M.L.  
 FILE NO.: 91-011 No.: 2 OF 11  
 SDP-91-72



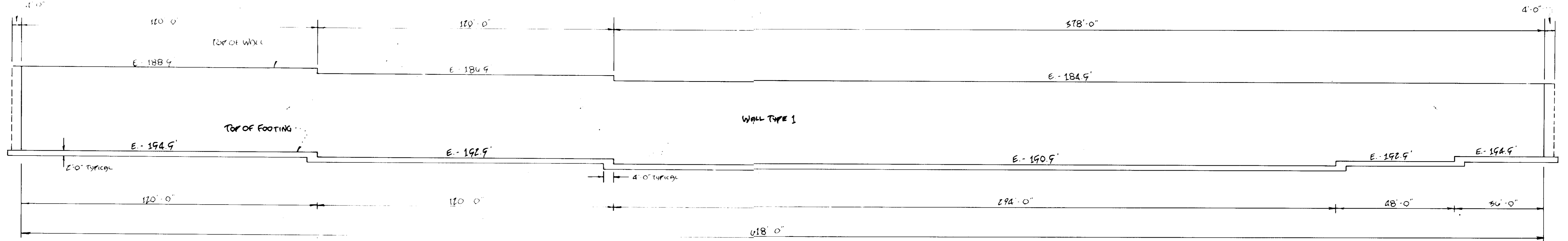
Owner/Developer  
 17904 GEORGIA AVENUE # 102  
 OLNEY, MARYLAND 20832  
 301-924-4570



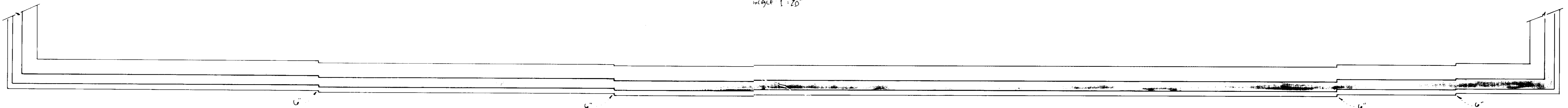
**DEVELOPMENT CONSULTANTS GROUP, INC.**  
 17904 GEORGIA AVENUE # 102  
 OLNEY, MARYLAND 20832  
 301-924-4570

WALL DETAILS  
**CYRIL G. HARDY PROPERT**  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY MARYLAND  
 U. 2201 P. 032  
 TAX MAP 43 PARCEL 43

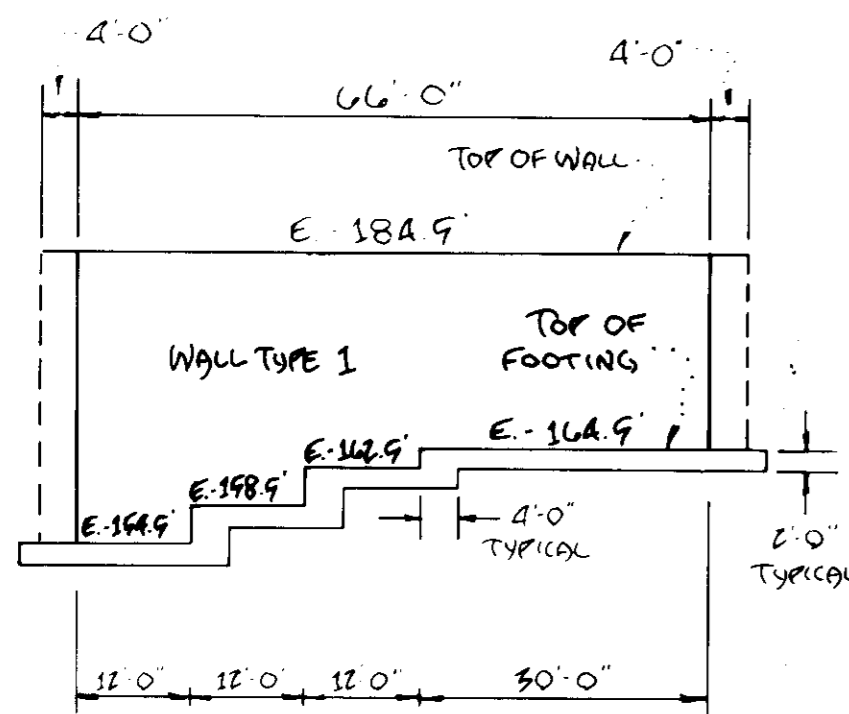
WALL "C" ELEVATION  
 SCALE 1"=60'



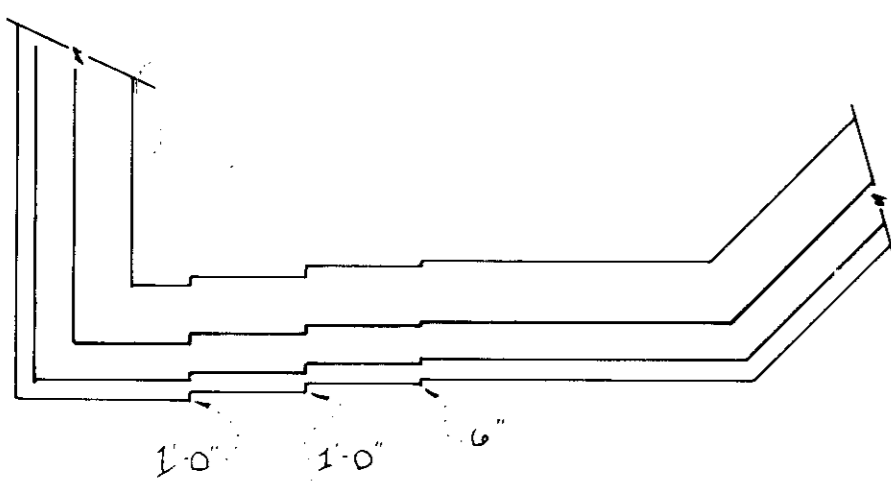
Wall "C" FOUNDATION PLAN  
 SCALE 1"=20'



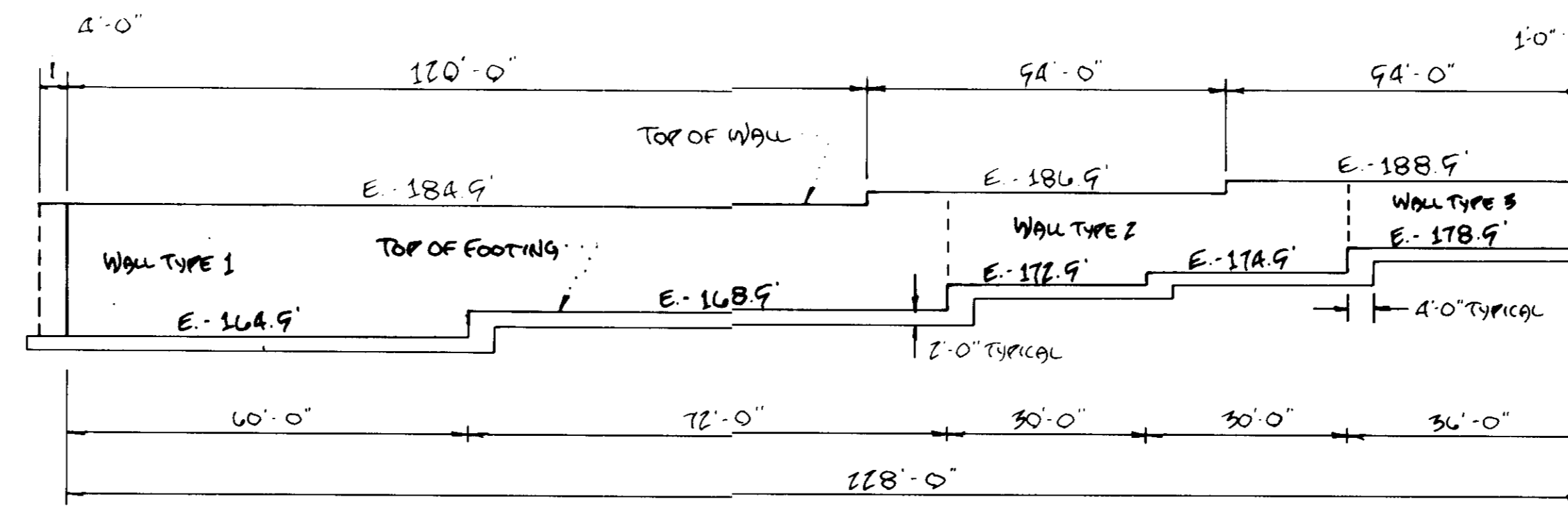
WALL "D" ELEVATION  
 SCALE 1"=20'



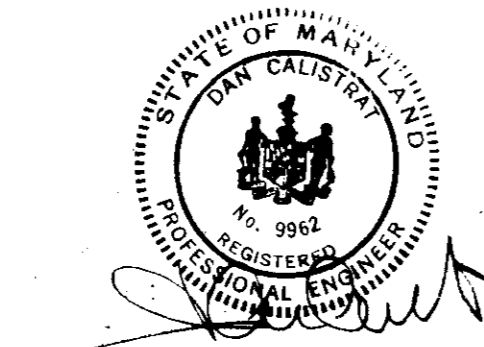
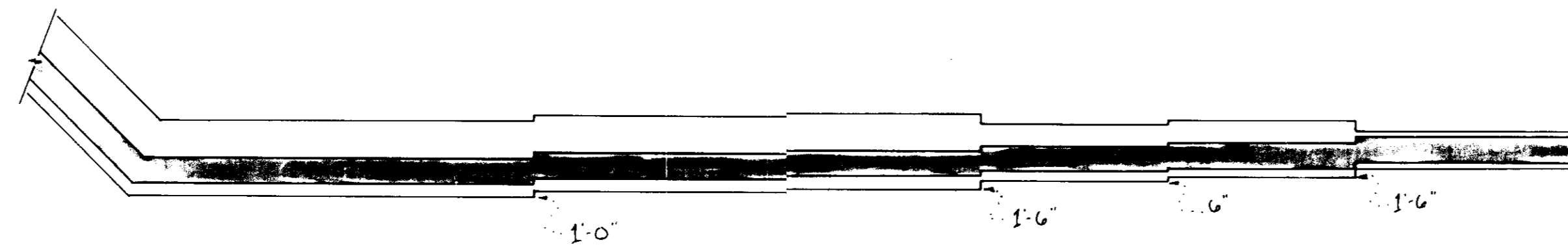
WALL "D" FOUNDATION PLAN  
 SCALE 1"=20'



WALL "E" ELEVATION  
 SCALE 1"=20'



WALL "E" FOUNDATION PLAN  
 SCALE 1"=20'



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Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: 1) seven (7) calendar days for all perimeter sediment control structures, dikes, swales, ditches, perimeter slopes and all slopes greater than 3:1; 2) fourteen (14) days as to all other disturbed or graded areas on project site.

NOTE: The contractor or developer shall contact the construction inspection/survey division 24 hours in advance of commencement of work at 792-7272.

Developer's Certificate  
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a certificate of attendance at a Department of Natural Resources Approved Training Program for the control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*[Signature]* 9.9.91  
 Date

Engineer's Certificate  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*[Signature]* 08/09/91  
 Date

Approved for Howard S.C.D. and meets technical requirements

Soil Conservation Service  
 This development plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Approved for Public Water and Public Sewage systems, Howard County Health Department.

*[Signature]* 10/10/91  
 County Health Officer Date

Approved: Howard County Dept. of Planning & Zoning

*[Signature]* 11/22/91  
 Director Date

*[Signature]* 4/22/91  
 Chief, Division of Community Planning and Land Development Date

Approved: For Public Water and Public Sewage, Storm Drainage Systems and Public Road. Howard County Department of Public Works.

*[Signature]* 10/26/91  
 Director Date

*[Signature]* 10-21-91  
 Chief Bureau of Engineering Date

**SS Soil Safe Incorporated**  
 Recycling of Construction Material/Asphalt/Soil  
 4800 E. Fayette St.  
 Baltimore, MD 21224  
 (301) 327-5783

DATE: JUNE, 1993  
 FILE No: 91-011

SCALE: AS SHOWN  
 DRAWN: S.M.L.  
 No: 9 OF 11  
 SDF-91-72

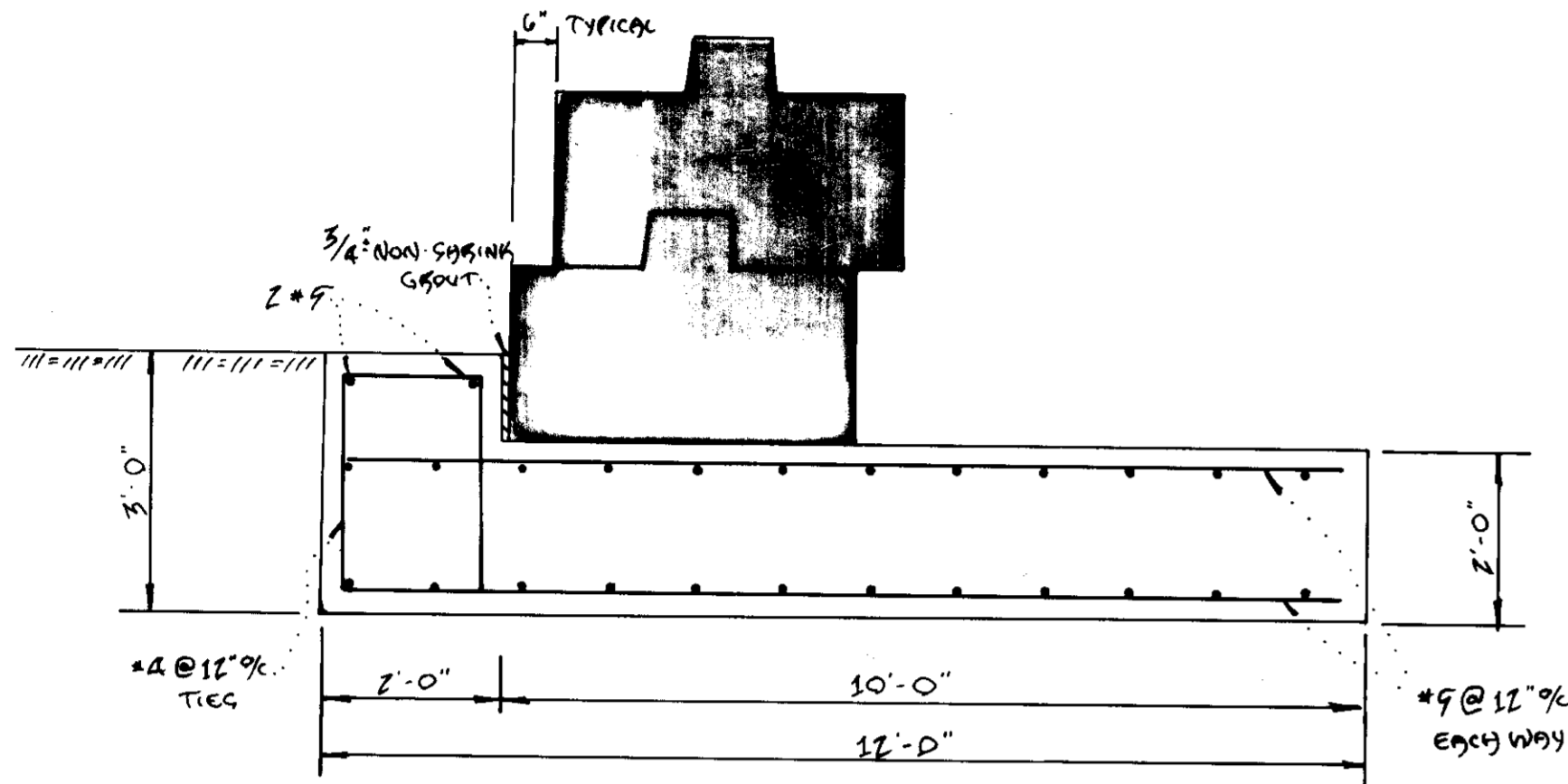
Owner/Developer:  
 3011 DAFF INC  
 4600 E FAYETTE STREET  
 BALTIMORE, MD 21224  
 301-327-6029



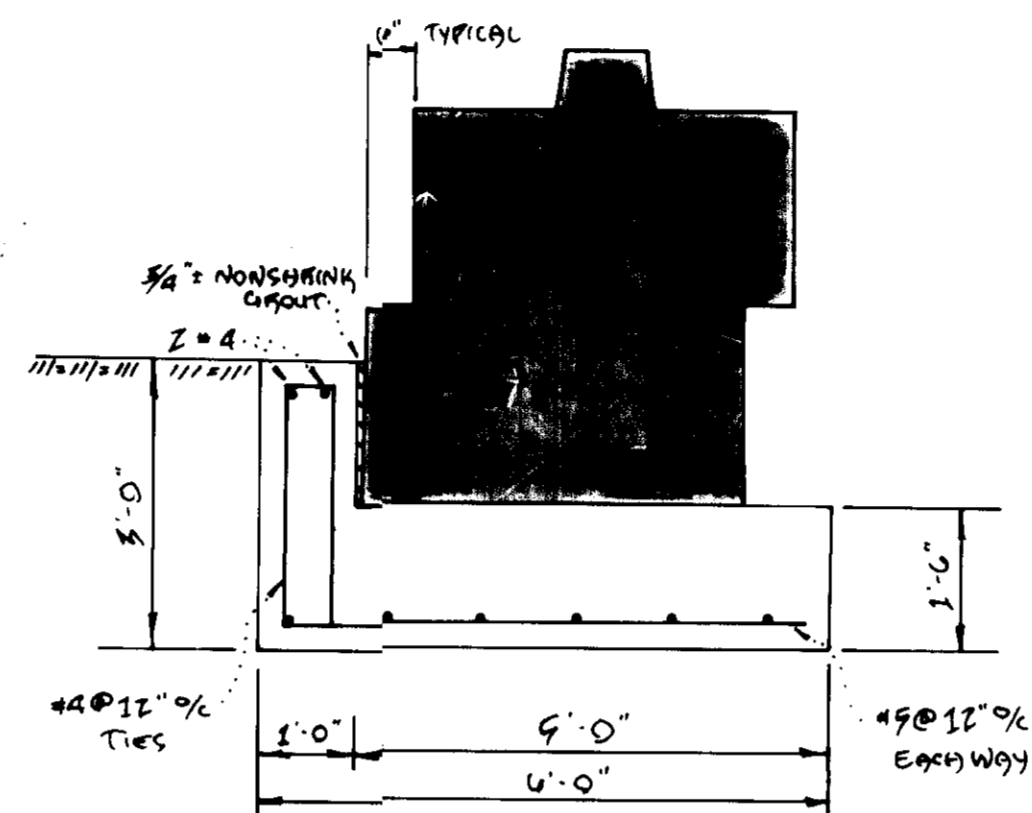
DEVELOPMENT  
 CONSULTANTS  
 GROUP, INC.

17904 GEORGIA AVENUE # 102  
 OLNEY, MARYLAND 20832  
 301-924-4570

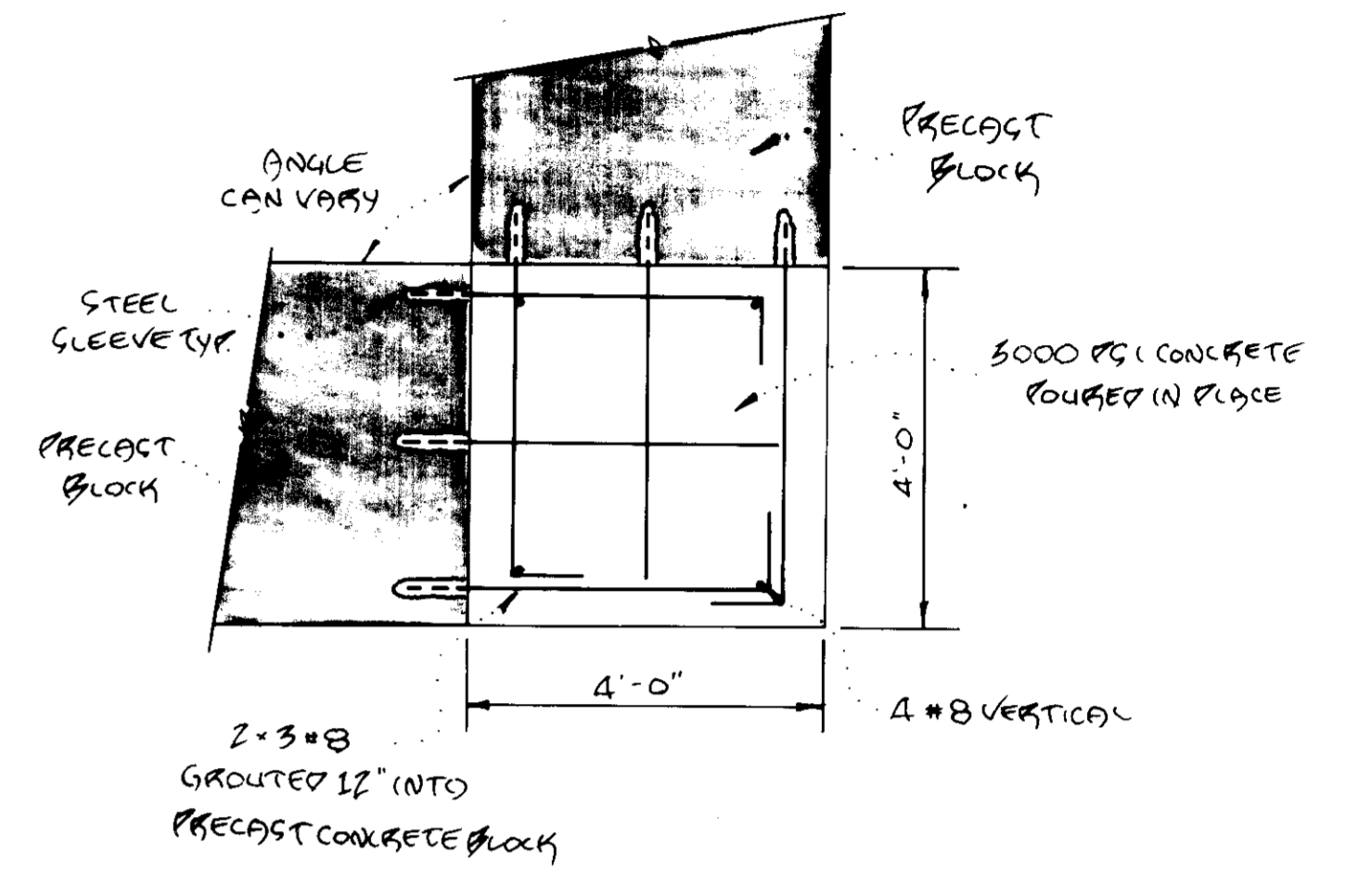
WALL DETAILS  
 CYRIL G. HARDY PROPERTY  
 125 ELECTION DISTRICT  
 HOWARD COUNTY MARYLAND  
 C. 2201 # 032  
 TAX MAP 43 PARCEL 43



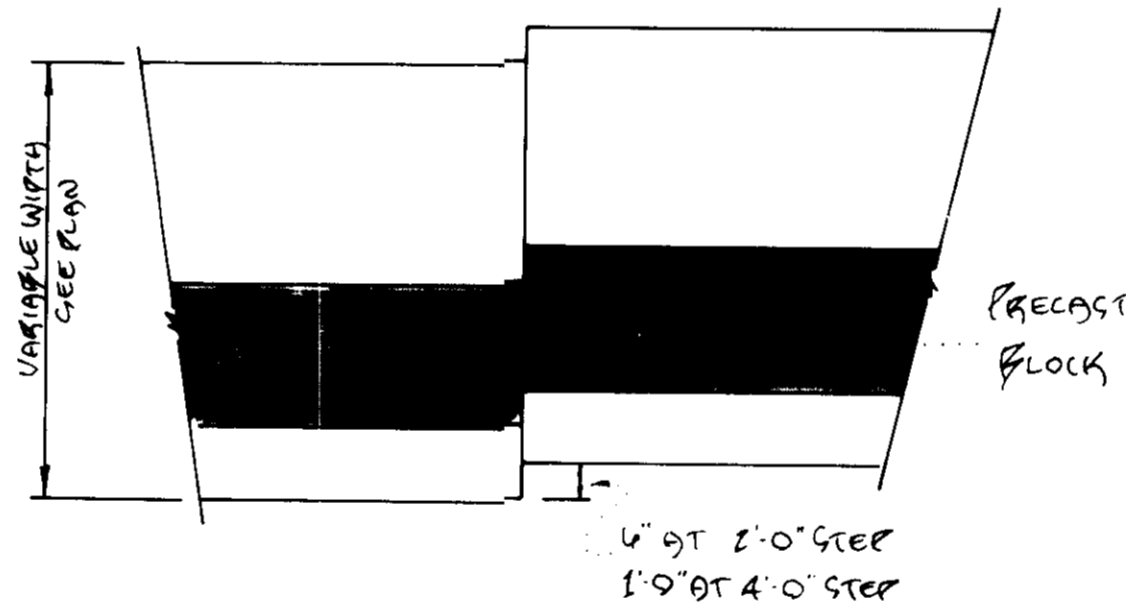
FOUNDATION WALL TYPE 1  
 SCALE: 1/4" = 1'-0"



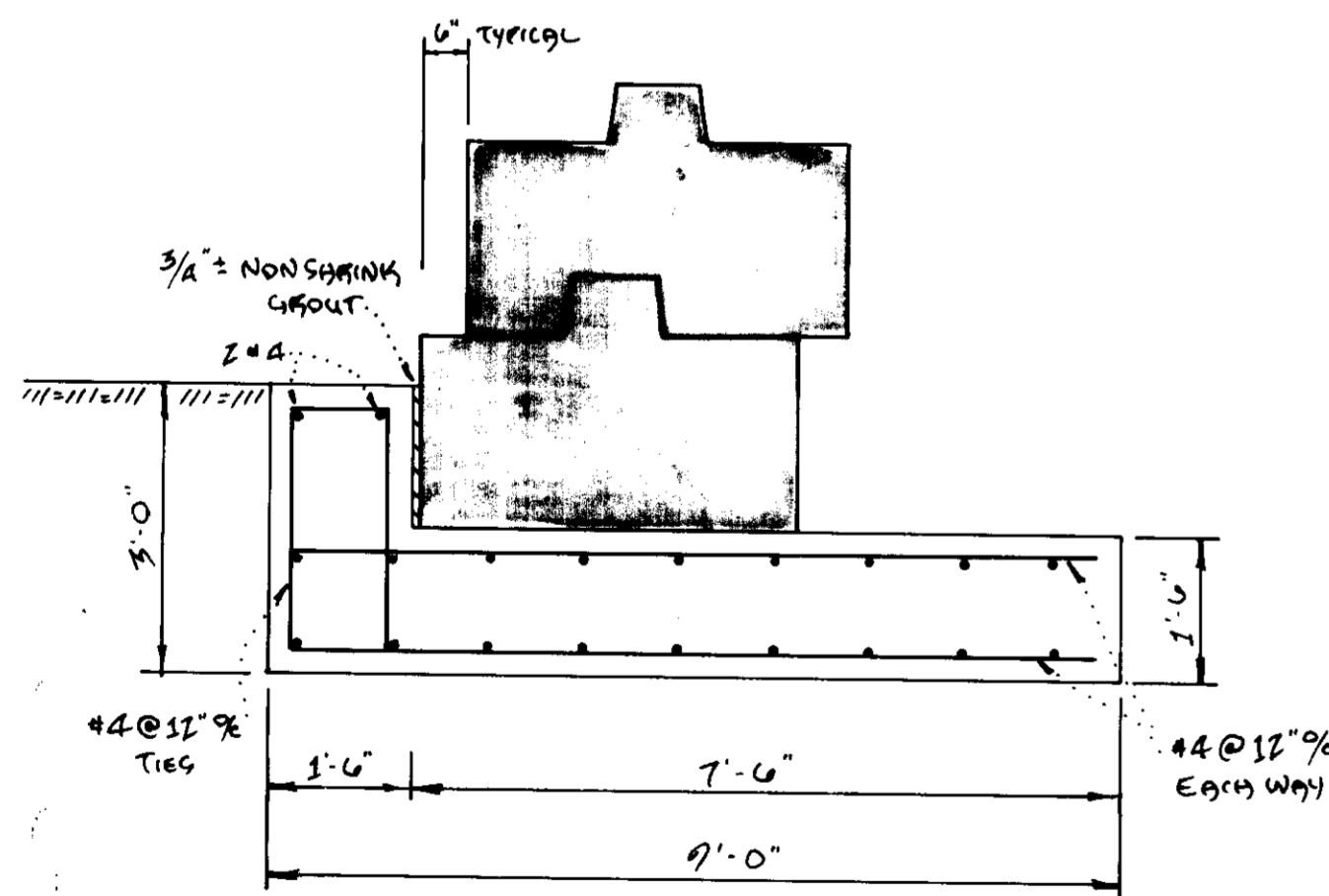
FOUNDATION WALL TYPE 3  
 SCALE: 1/4" = 1'-0"



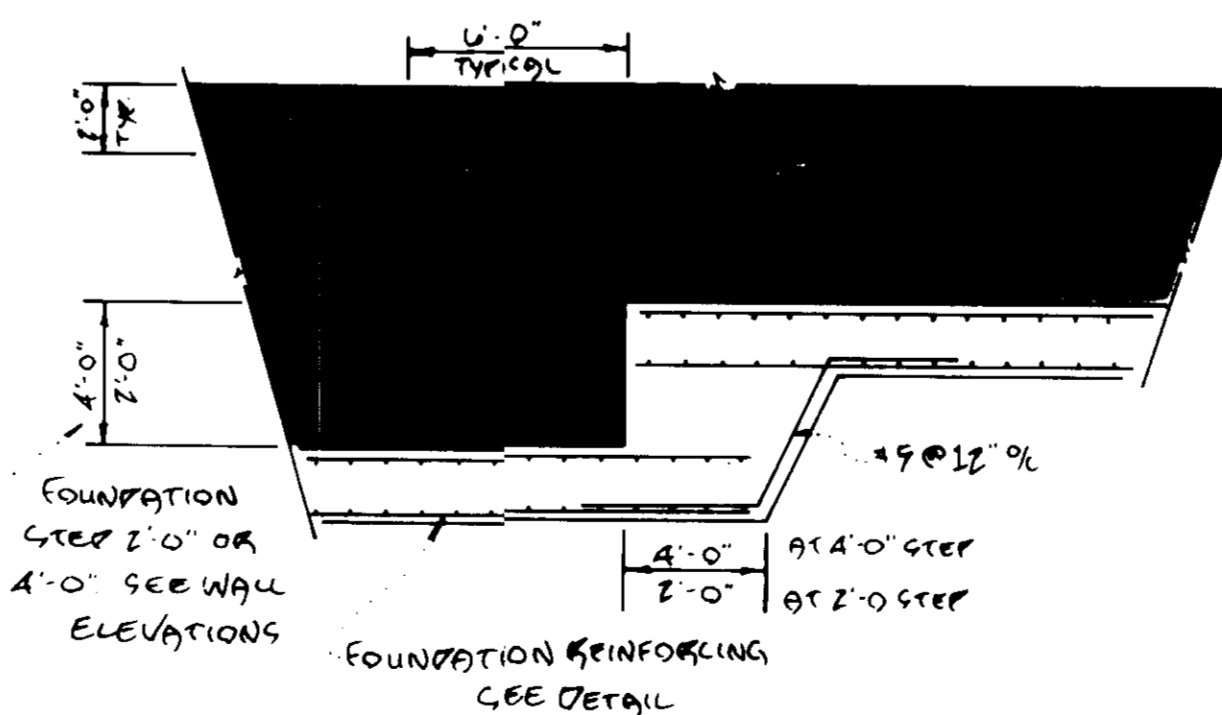
TYPICAL WALL CORNER DETAIL  
 SCALE: 1/4" = 1'-0"



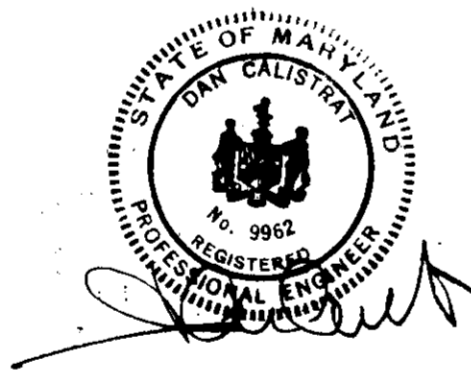
TYPICAL DETAIL AT STEP -  
 FOUNDATION PLAN  
 SCALE: 3/16" = 1'-0"



FOUNDATION WALL TYPE 2  
 SCALE: 1/4" = 1'-0"



TYPICAL DETAIL AT STEP -  
 FOUNDATION ELEVATION  
 SCALE: 3/16" = 1'-0"



NOTE: COUNTY STRUCTURAL REVIEW  
 WILL BE PERFORMED IN  
 TANDEM WITH THE BUILDING  
 PERMIT APPLICATION.

Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: 1) seven (7) calendar days for all perimeter sediment control structures, dikes, swales, ditches, perimeter slopes and all slopes greater than 3:1, 2) fourteen (14) days as to all other disturbed or graded areas on project site.	
NOTE: The contractor or developer shall contact the construction inspection/survey division 24 hours in advance of commencement of work at 792-2272.	
Developer's Certification I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in this construction project will have a certificate of attendance at a Department of Natural Resources Approved Training Program for the control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District. <i>Peter J. Park</i> 8-5-99 Date	
Engineer's Certification I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District. <i>Neli Schwartz</i> 8-5-99 Date Registered Professional Engineer No. 11449	
Approved for Howard S.C.D. and meets technical requirements. Date	
Approved for Conservation Service This plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District. Date	
Approved for Public Water and Public Sewerage systems, Howard County Health Department. Approved: <i>Joseph M. ...</i> 10/10/99 Date County Health Officer	
Approved: Howard County Dept. of Planning & Zoning Director: <i>Joseph ...</i> 11/22/99 Date Christy Division of Community Planning and Land Development	
Approved: For Public Water and Public Sewerage, Storm Drainage Systems and Public Road, Howard County Department of Public Works. Director: <i>James ...</i> 10/21/99 Date Chief Bureau of Engineering	

**SS Soil Safe Incorporated**  
 Recycling of Construction Material/Asphalt/Soil  
 4600 E Fayette St  
 Baltimore, MD 21224  
 (301) 327-5753

DATE: June, 1999  
 SCALE: AS SHOWN  
 DRAWN: G.M.L.  
 FILE NO: 91-031  
 NO. OF SHEETS: 11  
 SDP-91-72



Owner/Developer  
 4600 E. FAYETTE STREET  
 BALTIMORE, MD 21224  
 301-327-5753



**DEVELOPMENT CONSULTANTS GROUP, INC.**  
 17904 GEORGIA AVENUE # 102  
 OLNEY, MARYLAND 20832  
 301-924-4570

WALL AND LANDSCAPE DETAILS  
**CYRIL G. HARDY PROPERTY**  
 13<sup>1/2</sup> ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 L 2201 # 232 PARCEL 43  
 TAX MAP 43

**GENERAL NOTES**

**FOUNDATION - SPREAD FOOTING.** BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW THE ORIGINAL GRADE. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE. A SOIL BEARING CAPACITY OF 4500 PSF WAS USED IN THE FOUNDATION DESIGN. IF INDICATED, FOOTINGS SHALL BE LOWERED AS DIRECTED BY THE ENGINEER. ELEVATIONS SHOWN ON PLAN ARE TO THE BOTTOM OF FOOTINGS. THE BEARING CAPACITY USED IN DESIGN IS FOR DEAD LOAD ONLY. LIVE LOAD AT TOP OF RETAINING WALL WILL INCREASE PRESSURE ON WALL FOUNDATION.

**CONCRETE.** ALL STRUCTURAL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI INCLUDING FOUNDATIONS AND THE PREFABRICATED CONCRETE BLOCK. CONCRETE TEST SHALL BE TAKEN FOR EACH DAY OF POUR AND FOR EACH TYPE OF CONCRETE. TEST TWO CYLINDERS AT 7 DAYS AND TWO AT 28 DAYS.

**REINFORCED STEEL.** REINFORCING STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH A.S.T.M. A-615 - GRADE 60. BENDS ARE TO BE MADE AS PER DETAILS. PLACE MAIN REINFORCING STEEL SO AS TO PROVIDE A 3" MINIMUM COVER FOR WALLS. PROVIDE ACCESSORIES AND BAR SUPPORTS IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315.1).

**CENTRAL FILL.** ALL THE AREA AROUND THE RETAINING WALL FOR A WIDTH OF MINIMUM 30 FEET SHALL BE FILLED WITH MIXTURE OF SOIL CEMENT. THE SOIL CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 500 PSI. THE SUB-GRADE SHALL BE CLEANED WITH ALL TOP SOIL AND FILL REMOVED. THE SUB-GRADE SHALL BE COMPACTED AND VERIFIED FOR A DEAD LOAD SOIL PRESSURE OF MINIMUM 4500 PSI. THE SUB-GRADE SHALL BE CUT LEVEL WITH MINIMUM SHIP WIDTH OF 8 FEET. THE SOIL CEMENT SHALL BE PLACED AGAINST THE RETAINING WALL FOR A MAXIMUM HEIGHT OF 1 FEET AND LEFT TO CURE FOR A MINIMUM OF 7 DAYS. ALL COMPACTED FILL SHALL HAVE A DENSITY OF AT LEAST 95% OF MAXIMUM DENSITY AS DETERMINED BY THE ASTM C 134 COMPACTION TEST. FILL MATERIAL SHALL BE PLACED IN LOOSE LIFT NOT EXCEEDING 6" IN THICKNESS SHALL BE MIXED, SPREAD AND PLACED IN SUCH A WAY AS TO PRODUCE A UNIFORM THICKNESS OF MATERIAL. THE SOIL ENGINEER ADDITIONAL ROLLING TO PRODUCE THE SPECIFIED DENSITIES SHALL BE REQUIRED. PLACING IN A FROZEN CONDITION OR ON TOP OF FROZEN MATTER SHALL NOT BE PERMITTED. THE SOILS ENGINEER SHALL SUPERVISE THE PLACING OF THE COMPACTED FILL AND ALL THE MATERIAL AND EQUIPMENT USED FOR THIS PURPOSE AND SHALL MAKE SUCH SOIL TESTS AS MAY BE REQUIRED FOR THE COMPLETION OF THE WORK. IN-PLACE DENSITY TESTS WILL BE MADE BY THE SOIL ENGINEER AT LEAST SIX TIMES DURING EACH EIGHT HOUR SHIFT.

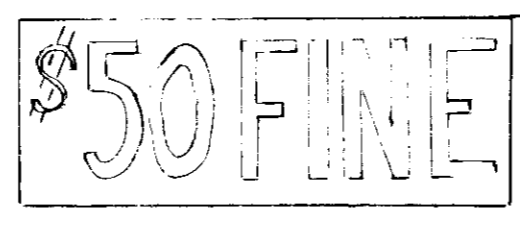
**POLYETHYLENE GRID.** POLYETHYLENE GRID SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

DESIGN DATA: CONCRETE f'c = 3000 PSI

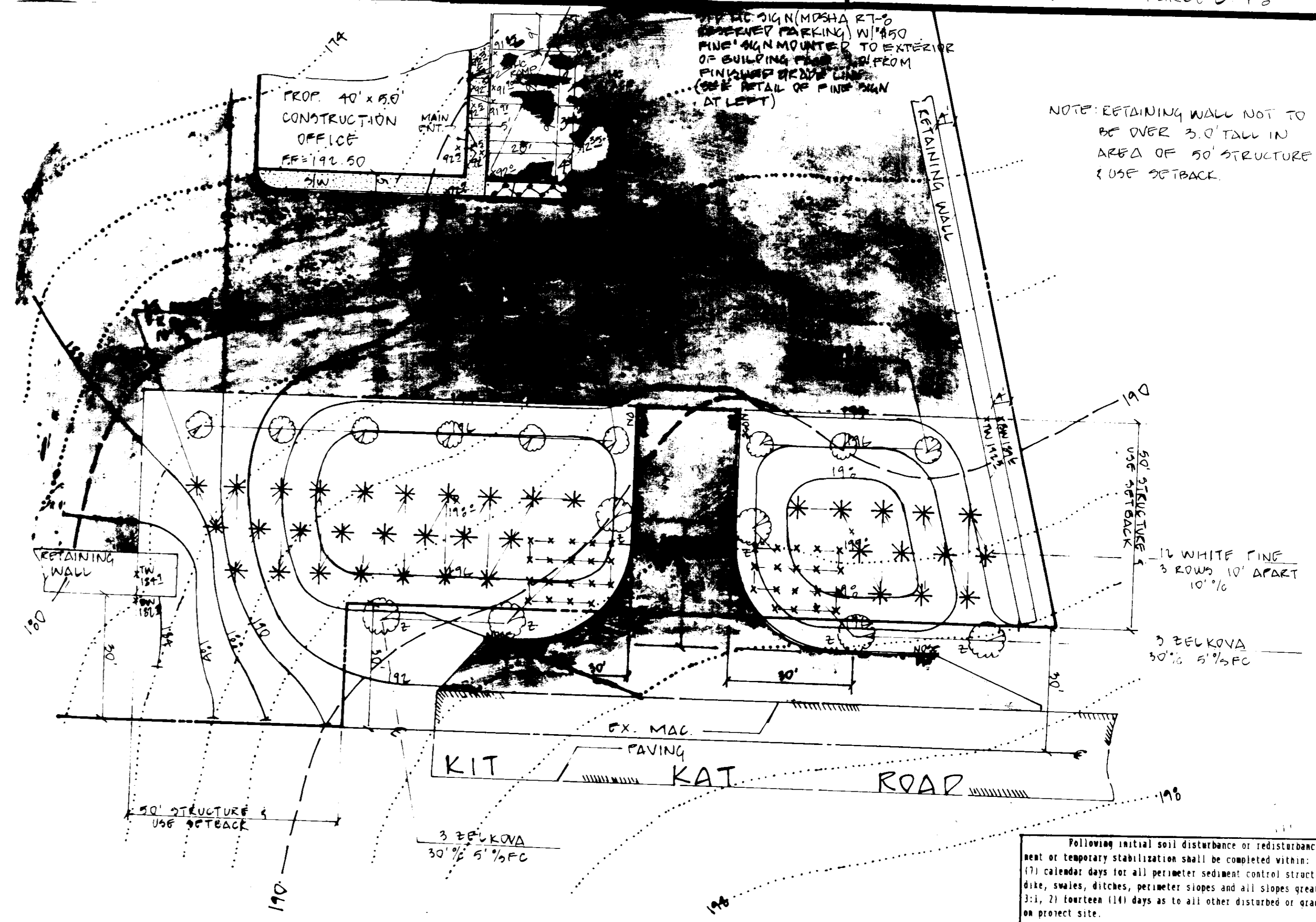
REINFORCING fy = 60,000 PSI  
 SOIL CEMENT = 500 PSI

LIVE LOAD 250 PSF - UPPER PAVING AREA.

**DETAIL - 'FINE SIGN'**  
 NO SCALE

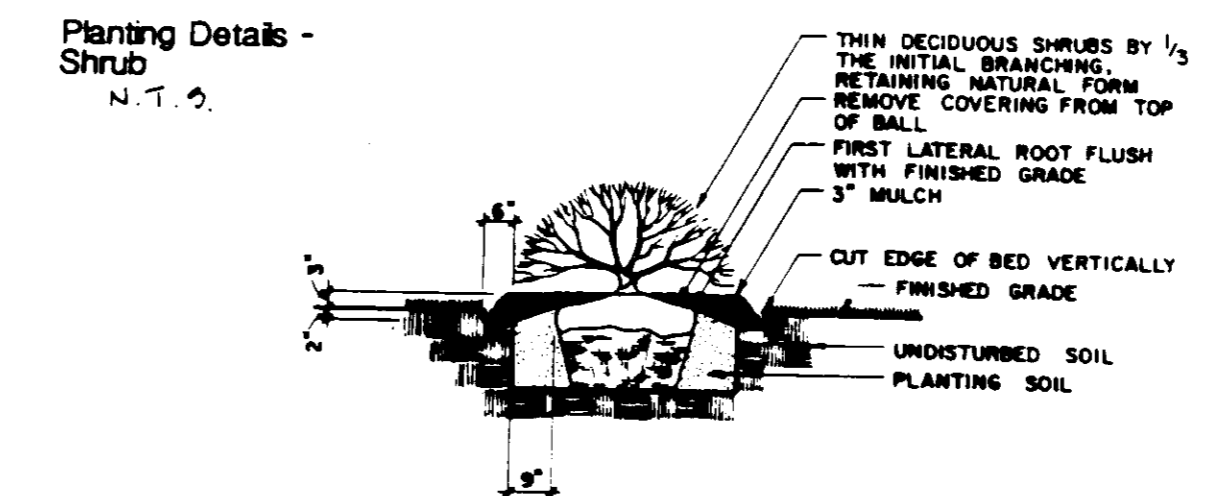
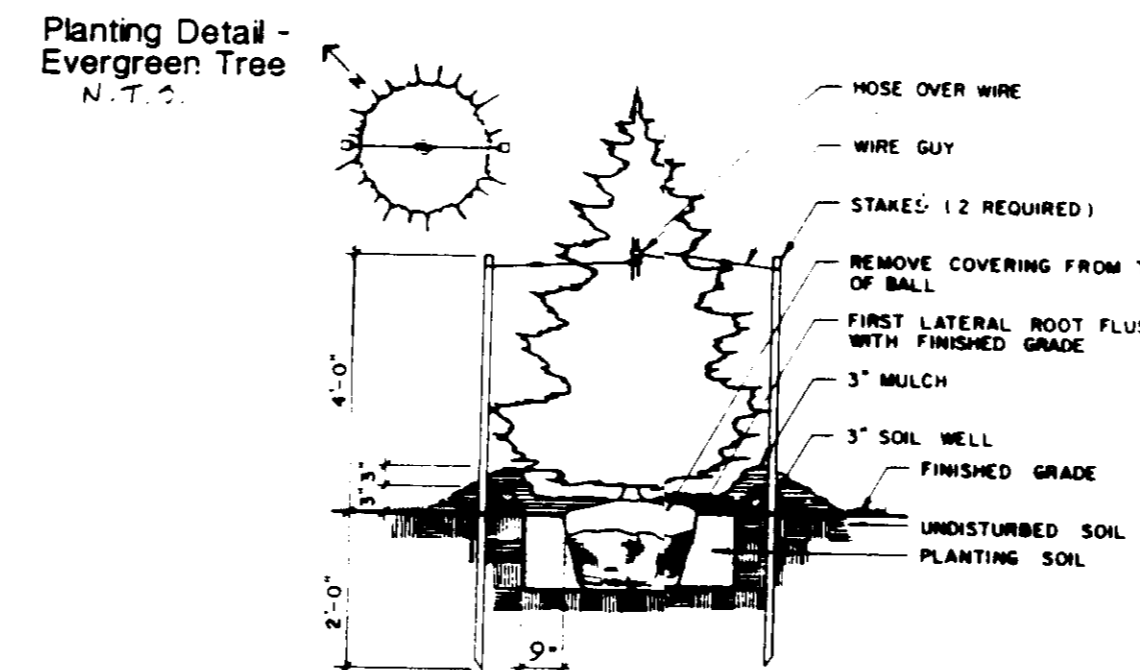
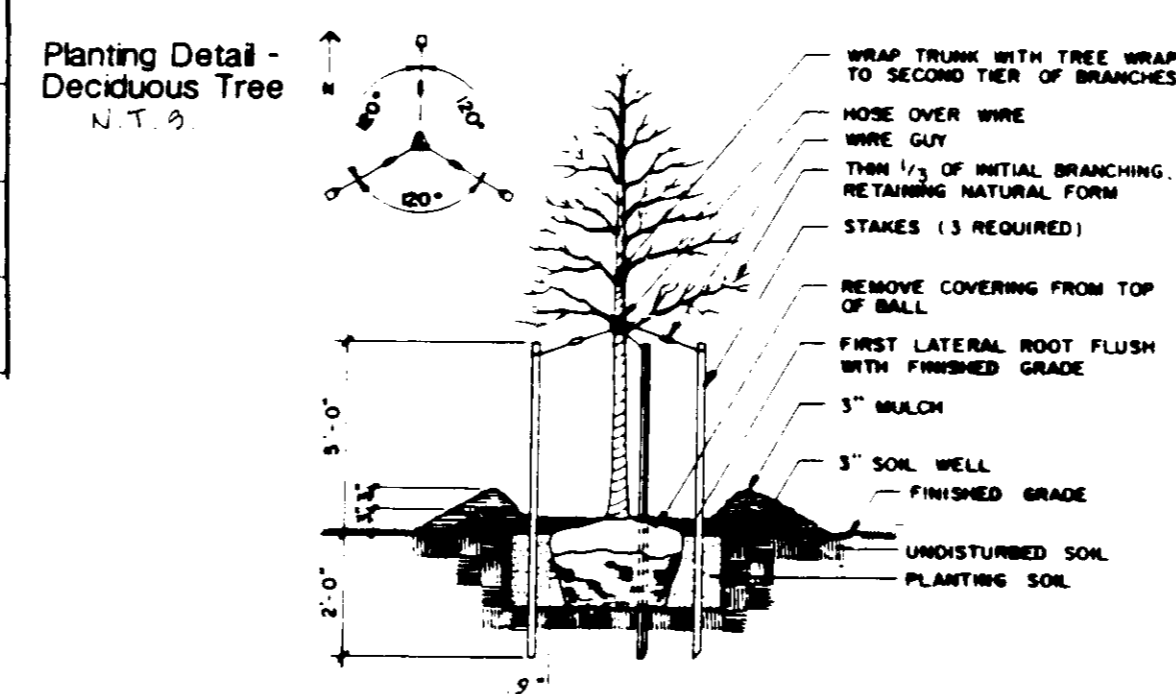


SIGN TO UTILIZE AN ALUMINUM BLANK 6"x12" x 0.080" THICK WITH 2 SINGLE POST MOUNTING HOLES. THE TEXT AND BORDER SHALL BE 9/16" GREEN TO MATCH THE RT-3 REVERSE PARKING SIGN AND THE BACKGROUND SHALL BE REFLECTIVE WHITE. THE TEXT SHALL BE 3" CHARACTERS.  
 THE ABOVE SIGN SHALL BE MOUNTED BELOW THE RT-3 REVERSE PARKING SIGN. THE BOTTOM EDGE SHALL BE NO LESS THAN 6 FEET BUT NO MORE THAN 10 FEET ABOVE FINISHED GRADE.



**ENTRANCE & LANDSCAPE DETAILS**  
 PLAN 1" = 20'

SPECIES	SYMBOL	NO.	REMARKS
LEUKOVA SPERATA 'VILLAGI GREEN' LEUKOVA	⊙	6	2 1/2" CAL B+B
LOENIX FLOICIDA FLOWERING DOGWOOD	⊙	9	2 1/2" CAL B+B
(PINUS STROBUS) WHITE PINE	*	37	4" CAL B+B
(ILIX COENUTIA 'EOTUNPA') PINE CHINESE HOLLY	•	7	15" - 16" CONT.
(JUNIPERUS HORIZONTALIS 'PLUMOSA') ANPOZA JUNIPER	X	30	15" - 16" CONT.



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 Date: 8/2/91  
 Engineer's Certificate: I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 Date: 08/02/91  
 Approved S.C.D. and meets technical requirements.  
 Approved for: Public Water and Public Sewage systems, Howard County Health Department.  
 Approved: Howard County Dept. of Planning & Zoning.  
 Approved: For Public Water and Public Sewage, Storm Drainage Systems and Public Road, Howard County Department of Public Works.

**SS Soil Safe Incorporated**  
 Recycling of Construction Material/Asphalt/Soil  
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 Baltimore, MD 21224  
 (301) 327-5753

DATE: JUNE, 1991  
 FILE NO: 91-031  
 SCALE:  
 SHEET NO: 11 OF 11  
 SDP 91-72

