

SITE DATA

SITE ZONING	M-1
GROSS SITE ACREAGE	8.28 AC. 360,977 S.F.
HEIGHT AND USE REQUIREMENTS	REQUIRED PROVIDED
1. STRUCTURE & USE SETBACK FROM EXTERNAL PUBLIC STREET R.O.W.	50' 50'
2. STRUCTURE AND USE SETBACK FROM INTERNAL PUBLIC STREET R.O.W.	50' 50'
3. PARKING AND FENCE SETBACK	10' 10'
4. BUILDING HEIGHT MAXIMUM	50' 30'
BUILDING USE BREAKDOWN	
1. OFFICE AREA	4,000 S.F.
2. MANUFACTURING	50,000 S.F.
3. WAREHOUSE	60,000 S.F.
TOTAL BUILDING COVERAGE	114,000 S.F. 31.88%
TOTAL OFFICE AREA (4,000 S.F.)	

NUMBER OF PARKING SPACES @ (33 SPACES/1,000 S.F.) 19.2 SPACES
 MANUFACTURING AREA (50,000 S.F.)

NUMBER OF PARKING SPACES @ (2 SPACES/1,000 S.F.) 100 SPACES
 WAREHOUSE AREA (60,000 S.F.) 45 SPACES

* **NOTE:** BASED ON PARKING NEEDS STUDY PREPARED BY MARS GROUP, INC. DECEMBER 1, 2010 121 PARKING SPACES (INCLUDING 6 HANDICAP SPACES) HAVE BEEN PROVIDED. IT IS ANTICIPATED THAT THE MAXIMUM NUMBER OF EMPLOYEES WILL TOTAL 60 OVER THE NEXT FEW YEARS. PARKING PROVIDED EXCEEDS THE ANTICIPATED NUMBER OF SPACES THAT WILL BE REQUIRED.

TOTAL PARKING SPACES OFFICE, MANUFACTURING & WAREHOUSE 150 SPACES 121 SPACES

LANDSCAPED PARKING ISLANDS

AREA OF PARKING LOT (83,565 S.F.)		
LANDSCAPED ISLANDS (4,277.75 S.F.)		(7,559 S.F.) 8.8%

* PARKING REQUIREMENTS SAME AS APPROVED SDP 89-69 MBP PARCELS A & B AND SDP 90-143 PARCEL M-1.

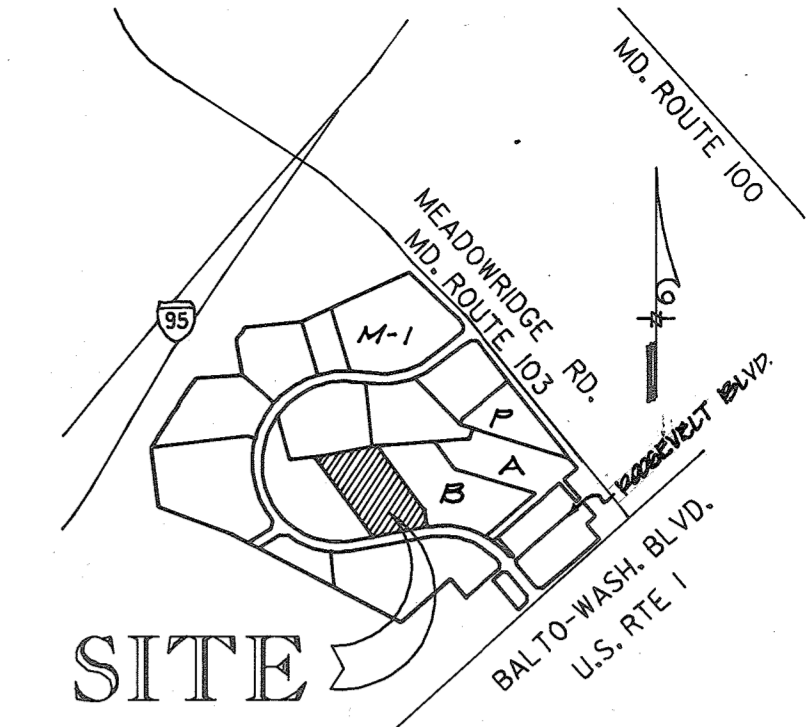
STORMWATER MANAGEMENT IS PROVIDED OFF SITE IN THE REGIONAL BASIN ON PARCEL P. SEE RECORD PLAT 3046

NOTE: ANY CHANGE-IN-USE OF THE SITE WILL NEED TO RE-ADDRESS THE REQUIRED AND PROVIDED PARKING SPACES THROUGH THE RED-LINE REVISION PROCESS PRIOR TO APPLICATION FOR ANY NEW TENANT BUILDING PERMITS.

* **NOTE:** THE ROOFTOP SOLAR COLLECTORS ARE CLASSIFIED AS AN ACCESSORY USE AND ARE APPROVED PERMITTED BY ZONING.

SHEET INDEX

SHEET 1	SITE DEVELOPMENT PLAN
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SHEET 3	GRADING & PAVING PLAN
SHEET 4	HANDICAPPED & BUILDING DETAILS
SHEET 5	SITE DETAILS
SHEET 6	PLANTING PLAN
SHEET 7	PLANTING DETAILS
SHEET 8	SEDIMENT CONTROL PLAN
SHEET 9	SEDIMENT CONTROL DETAILS
SHEET 10	SEDIMENT CONTROL DETAILS
SHEET 11	UTILITY PROFILES
SHEET 12	UTILITY PROFILES
SHEET 13	DRAINAGE AREA MAP



VICINITY MAP
SCALE: 1" = 2000'

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

John B. B... 6-19-91
 COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
 HOWARD CO. DEPT. OF PUBLIC WORKS

James P. ... 6/13/91
 DIRECTOR CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Joseph ... 6/26/91
 PLANNING DIRECTOR DATE
... 6/27/91
 CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

By the Developer:

SEDIMENT CONTROL AND POUD CONSTRUCTION

"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certification of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer Date

By the Engineer:

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion."

Signature of Engineer Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Howard Soil Conservation Service Date

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

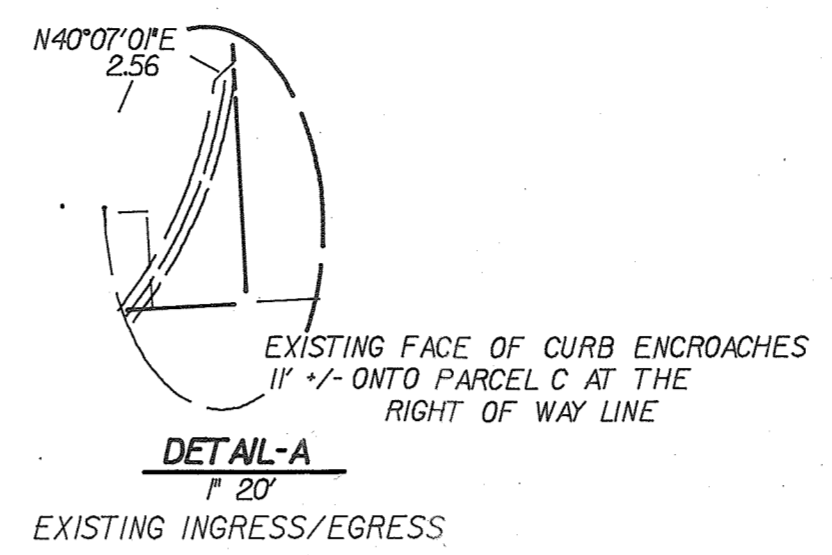
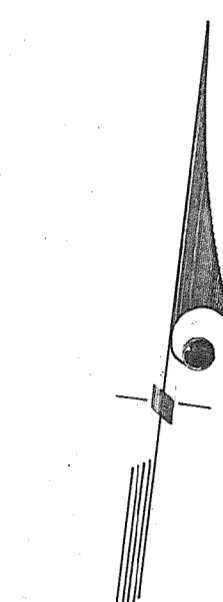
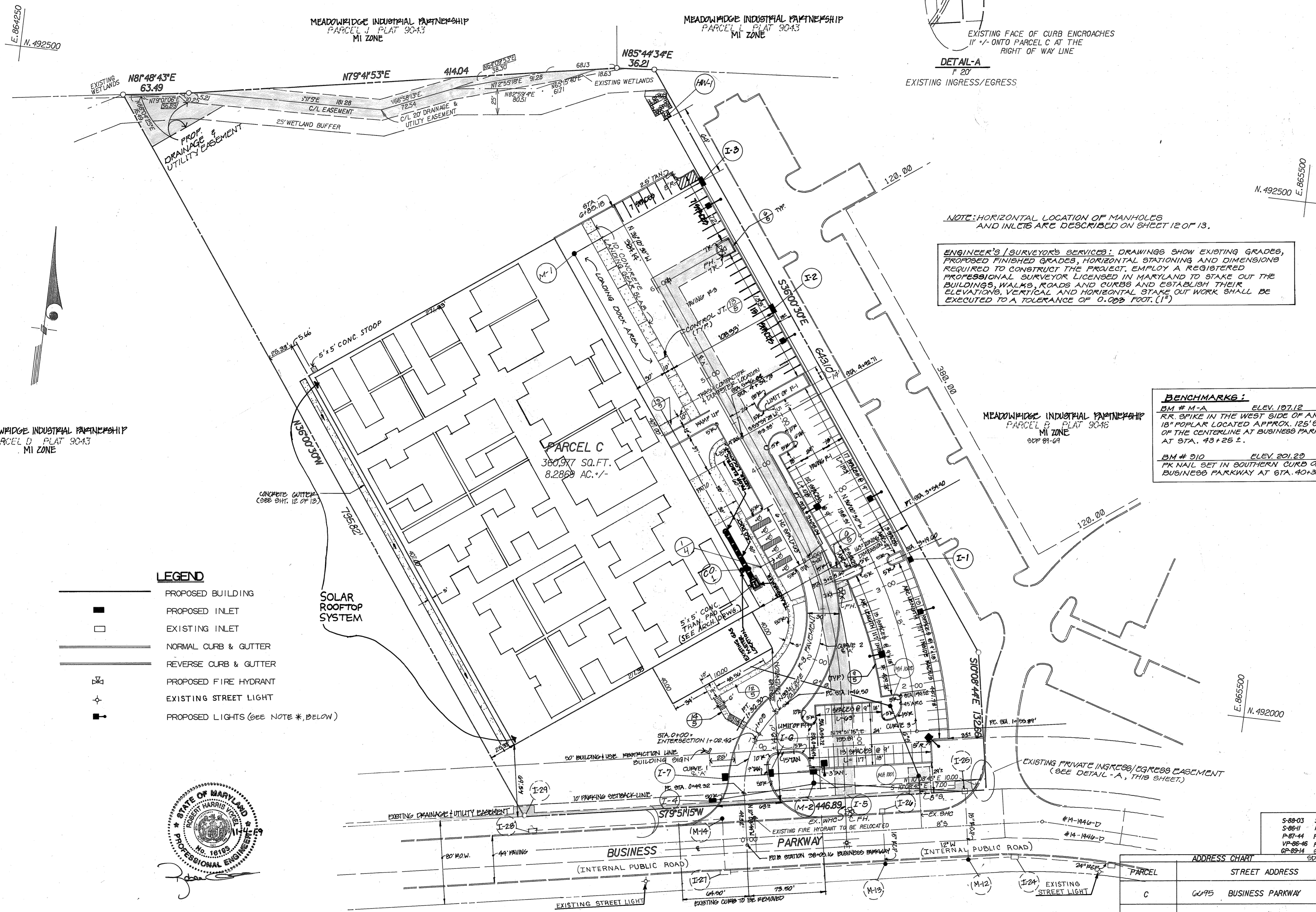


**MEADOWBRIDGE BUSINESS PARK
 PARCEL - C
 SITE DEVELOPMENT PLAN
 MOORE BUSINESS FORMS**

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PARCEL	STREET ADDRESS	MEADOWBRIDGE BUSINESS PARK		NA	PARCEL - C
C	6075 BUSINESS PARKWAY	PLAT NO. OR L/F	BLOCK NO.	ZONE	TAX/ZONE MAP
		9041-47	22-A	M-1	37-13 1st
		WATER CODE		SEWER CODE	CENSUS TR.
		BOI		2153000	6012
ENGINEERS ARCHITECTS PLANNERS SCIENTISTS SURVEYORS PHOTOGRAMMETRISTS		<p>GREENHORNE & O'MARA, INC. 113 WEST ROAD, SUITE 208 BALTIMORE, MD. 21204 (301)296-4100</p> <p>ANNAPOLIS, MD ATLANTA, GA AURORA, CO CULPEPER, VA EXPORT, PA FAIRFAX, VA GREENBELT, MD MANASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL</p>			

REVISIONS	BY
CHANGE PARKING CALCULATIONS	JCC 6/26/91
REVISE TO ADD ROOFTOP SOLAR TO THE EXISTING BUILDING	RHY 11/11/91
SITE DEVELOPMENT PLAN PARCEL C MEADOWBRIDGE BUSINESS PARK HOWARD CO., MD. ZONE M-1 TAX / ZONE MAP 37 1ST ELECTION DISTRICT	
OWNER/DEVELOPER CABOT IV-MIDIBO, L.L.C. C/O PROPERTY TAX GATEWAY INDUSTRIAL P.O. BOX A 3879 CHICAGO, ILLINOIS 60690	
Ruck, Pate & Associates, Ltd. Architecture 257 East Main Street Barrington, Illinois 60010	
Date	10/90
Scale	
Drawn	K.R.M.
Job	7739
Sheet	1
Of	13 Sheets

CURVE DATA						
CURVE	RADIUS	ARC	DELTA	TANGENT	CHORD	CHORD LENGTH
#1	100.00	86.98	49 50 06	46.46	N 14 46 20 E	84.26
#2	120.00	158.54	75 41 53	93.25	N 01 50 26 E	147.26
#3	439.78	198.51	25 51 45	100.98	N 23 04 37 W	196.83



NOTE: HORIZONTAL LOCATION OF MANHOLES AND INLETS ARE DESCRIBED ON SHEET 12 OF 13.

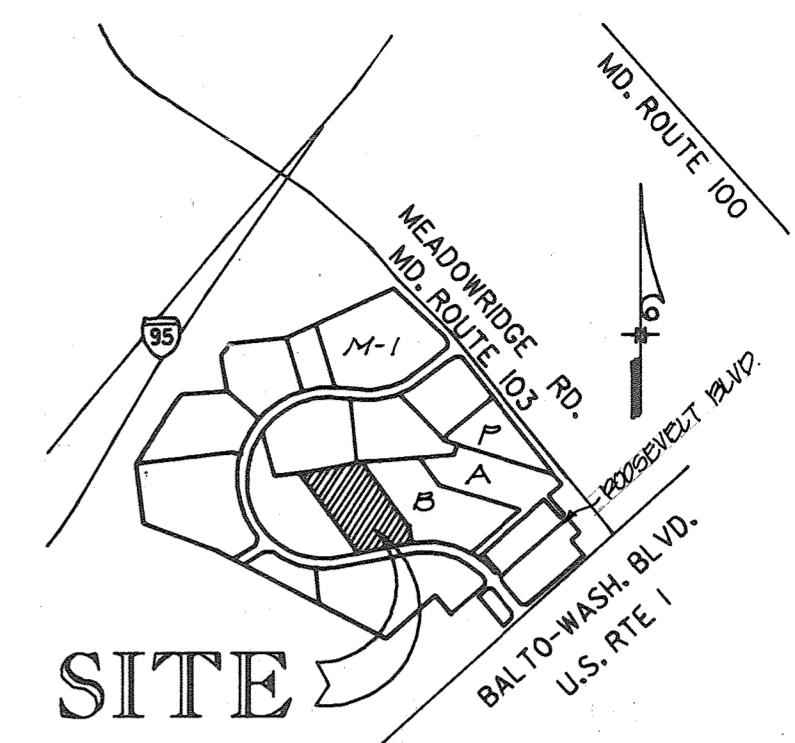
ENGINEER'S / SURVEYOR'S SERVICES: DRAWINGS SHOW EXISTING GRADES, PROPOSED FINISHED GRADES, HORIZONTAL STATIONING AND DIMENSIONS REQUIRED TO CONSTRUCT THE PROJECT. EMPLOY A REGISTERED PROFESSIONAL SURVEYOR LICENSED IN MARYLAND TO STAKE OUT THE BUILDINGS, WALKS, ROADS AND CURBS AND ESTABLISH THEIR ELEVATIONS, VERTICAL AND HORIZONTAL STAKE OUT WORK SHALL BE EXECUTED TO A TOLERANCE OF 0.025 FOOT. (1")

BENCHMARKS:
 BM # M-A ELEV. 197.12
 RR SPIKE IN THE WEST SIDE OF AN 18" POPLAR LOCATED APPROX. 125' SOUTH OF THE CENTERLINE AT BUSINESS PARKWAY AT STA. 43+25 ±.
 BM # 310 ELEV. 201.29
 PK NAIL SET IN SOUTHERN CURB OF BUSINESS PARKWAY AT STA. 40+38 ±.

- LEGEND**
- PROPOSED BUILDING
 - PROPOSED INLET
 - EXISTING INLET
 - NORMAL CURB & GUTTER
 - REVERSE CURB & GUTTER
 - ⊕ PROPOSED FIRE HYDRANT
 - ⊕ EXISTING STREET LIGHT
 - ⊕ PROPOSED LIGHTS (SEE NOTE #, BELOW)



NOTE:
 * THE EXTERIOR LIGHTING SHALL BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROAD AND RESIDENTIAL AREAS. FOR LIGHTING LOCATIONS, DETAILS & CIRCUITRY, SEE ELECTRICAL DWG.



VICINITY MAP
 SCALE: 1" = 200'

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

Joselyn Boyler 6/19/91
 COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
 HOWARD CO. DEPT. OF PUBLIC WORKS

James A. Kelly 6/13/91
 DIRECTOR DATE
Michael Anderson 3/2/91
 CHIEF, BUREAU OF ENGINEERING

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

James R. Kutt 6/26/91
 PLANNING DIRECTOR DATE
Raymond D. Mangle 6/25/91
 CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT

By the Developer:
 I/We certify that all development and/or construction will be done according to these plans and that any responsible personnel involved in the construction project will have a Certification of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

By the Engineer:
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan. Based on my personal knowledge of the site conditions, this plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Howard Soil Conservation Service Date

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

PARCEL	STREET ADDRESS	BLDG. NO.	ZONE	TAX/ZONE MAP	ELECT. DIST.	CENSUS TR.
C	6675 BUSINESS PARKWAY	244-A7	E2-4	M1	37-45	1st 6012

ENGINEERS ARCHITECTS PLANNERS SCIENTISTS SURVEYORS PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
 113 WEST ROAD, SUITE 208
 BALTIMORE, MD. 21204
 (301) 296-4100

ANNAPOLIS, MD ATLANTA, GA AURORA, CO CULPEPER, VA EXPORT, PA FAIRFAX, VA
 GREENBELT, MD MANASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL

REVISIONS BY

ADD PARCEL C, 8,286 SQ. FT. TO EXISTING PARCEL B	JLQ	6/28/91
REVISE TO ADD ROOFTOP PLANT TO THE EXISTING BUILDING	JLQ	6/28/91

HORIZONTAL LAYOUT PLAN
 PARCEL C
MEADOWRIDGE BUSINESS PARK
 HOWARD CO. MD. TAX / ZONE MAP 37
 ZONE M1 1ST ELECTION DISTRICT

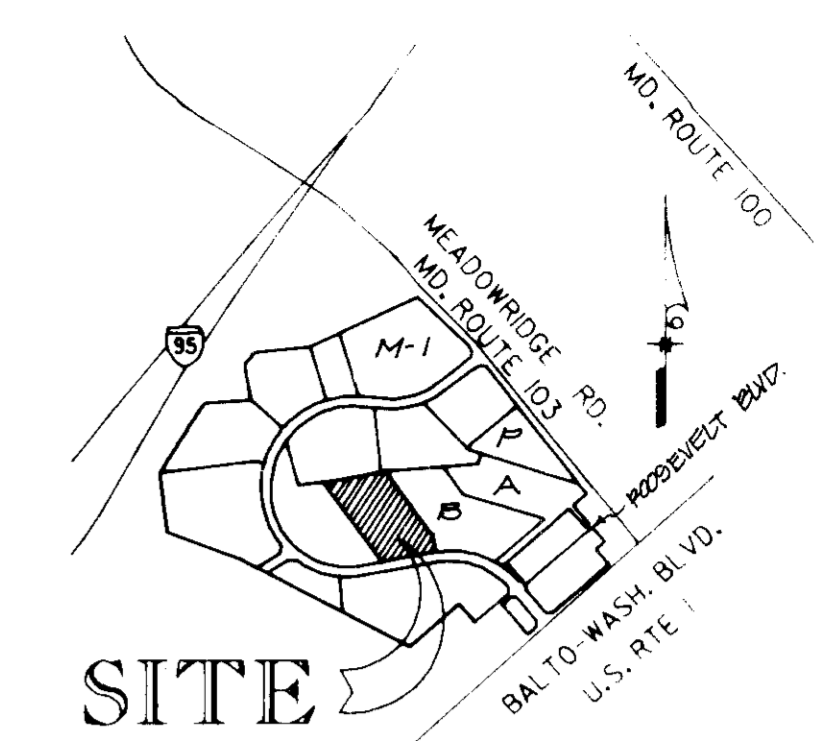
OWNER/DEVELOPER
 CABOT IV-MD18011, LLC
 610 PROPERTY TAX GATEWAY INDUSTRIAL
 P.O. BOX A 35714
 CHICAGO, ILLINOIS 60690

Ruck, Pate & Associates, Ltd.
 Architecture
 257 East Main Street
 Barrington, Illinois 60010

Date 10/90
 Scale 1" = 50'
 Drawn J.L.Q.
 Job 7739
 Sheet 2
 Of 13 Sheets

SDP-91-54-B-1181-X

J. Pate
JAYKANT D. PAREKH # 10148
3.31.95
DATE



VICINITY MAP
SCALE: 1" = 200'

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

APPROVED: HOWARD COUNTY DEPT. OF
PLANNING & ZONING

By the Developer:
I, the undersigned, certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certification of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

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Howard Soil Conservation Service

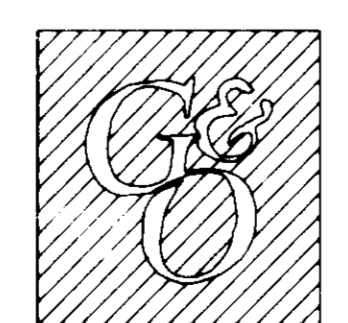
BEFORE BEGINNING CONSTRUCTION, CONTACT
MISS UTILITY AT 1-800-257-7777 AT LEAST
48 HOURS PRIOR TO CONSTRUCTION

ADDRESS CHART

PARCEL	STREET ADDRESS	SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
C	6695 BUSINESS PARKWAY	MEADOWRIDGE BUSINESS PARK	NA	PARCEL - C

FLAT NO. OR L/F: 9041-47, BLOCK NO.: 22A, ZONE: M-1, TAX/ZONE MAP: 37-48, ELECT. DIST.: 1st, CENSUS TR.: 6012
WATER CODE: B01, SEWER CODE: 2:53000

ENGINEERS ARCHITECTS PLANNERS SCIENTISTS SURVEYORS PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208
BALTIMORE, MD. 21204
(301)298-4100
ANNAPOLIS, MD ATLANTA, GA AURORA, CO CULPEPER, VA EXPORT, PA FAIRFAX, VA
GREENBELT, MD MANASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL



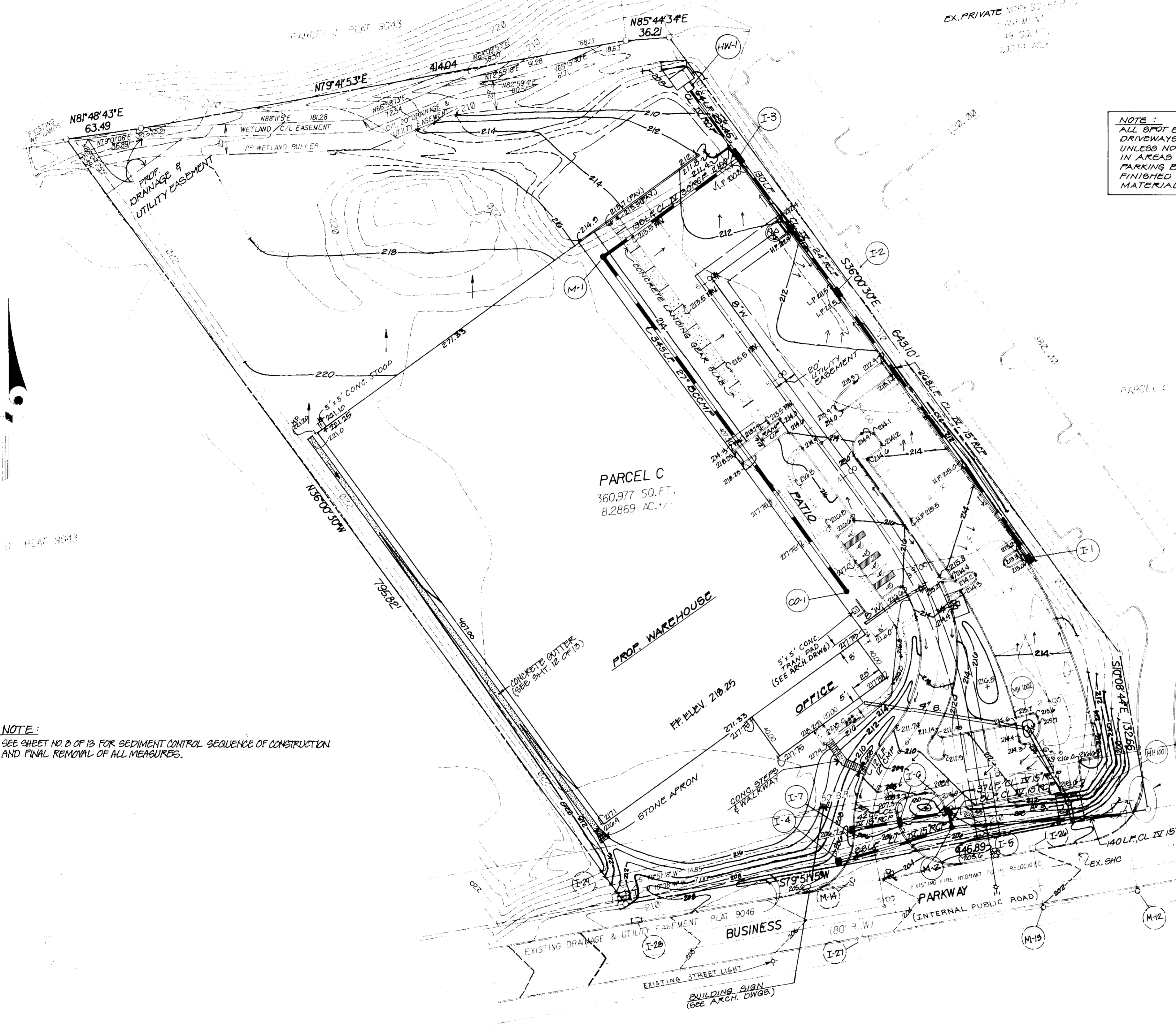
REVISIONS	BY
6"W TO 8"W	6/0
6"S TO 4"S	6/0

GRADING & PAVING PLAN
PARCEL C
MEADOWRIDGE BUSINESS PARK
HOWARD CO. MD.
ZONE M-1
TAX / ZONE MAP 37

OWNER/DEVELOPER
MOORE BUSINESS FORMS
2215 SANDERS ROAD, SUITE 400
NORTHBROOK, ILLINOIS 60062
PH. (708) 480-3000

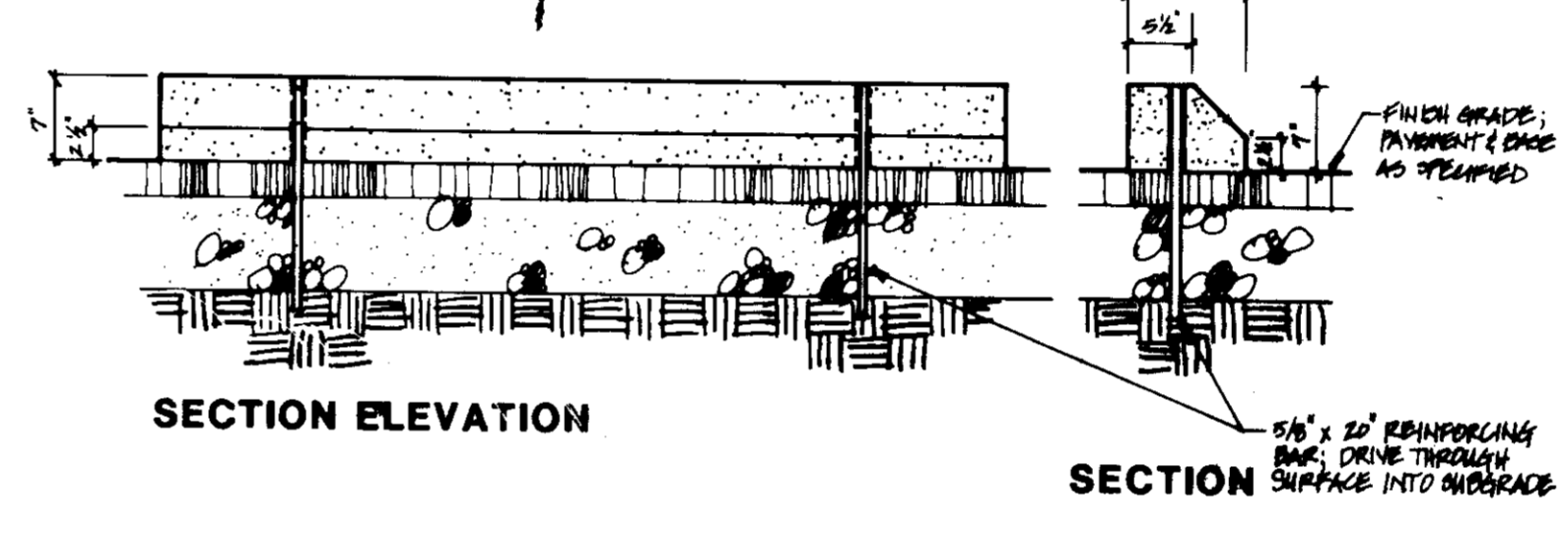
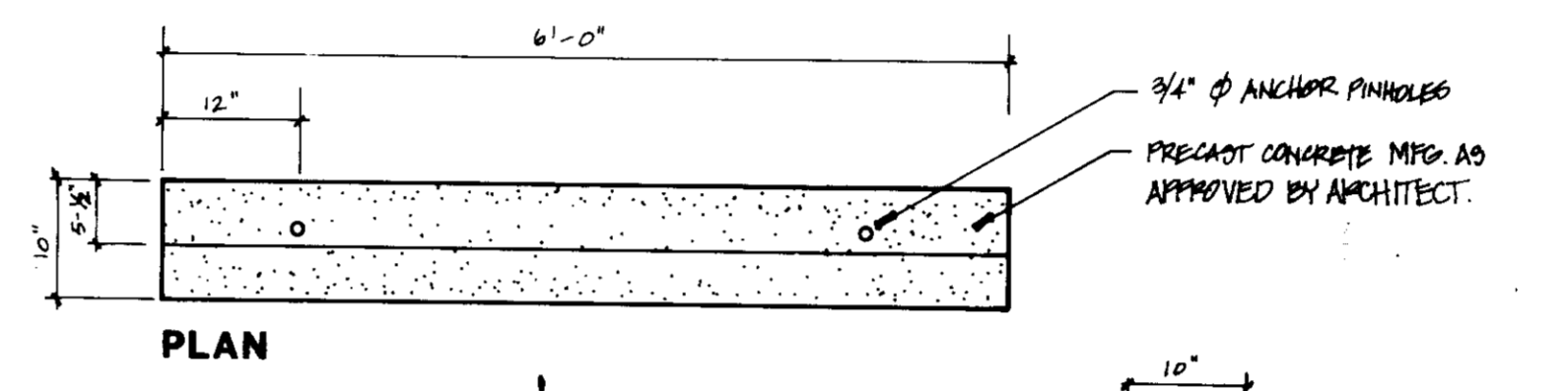
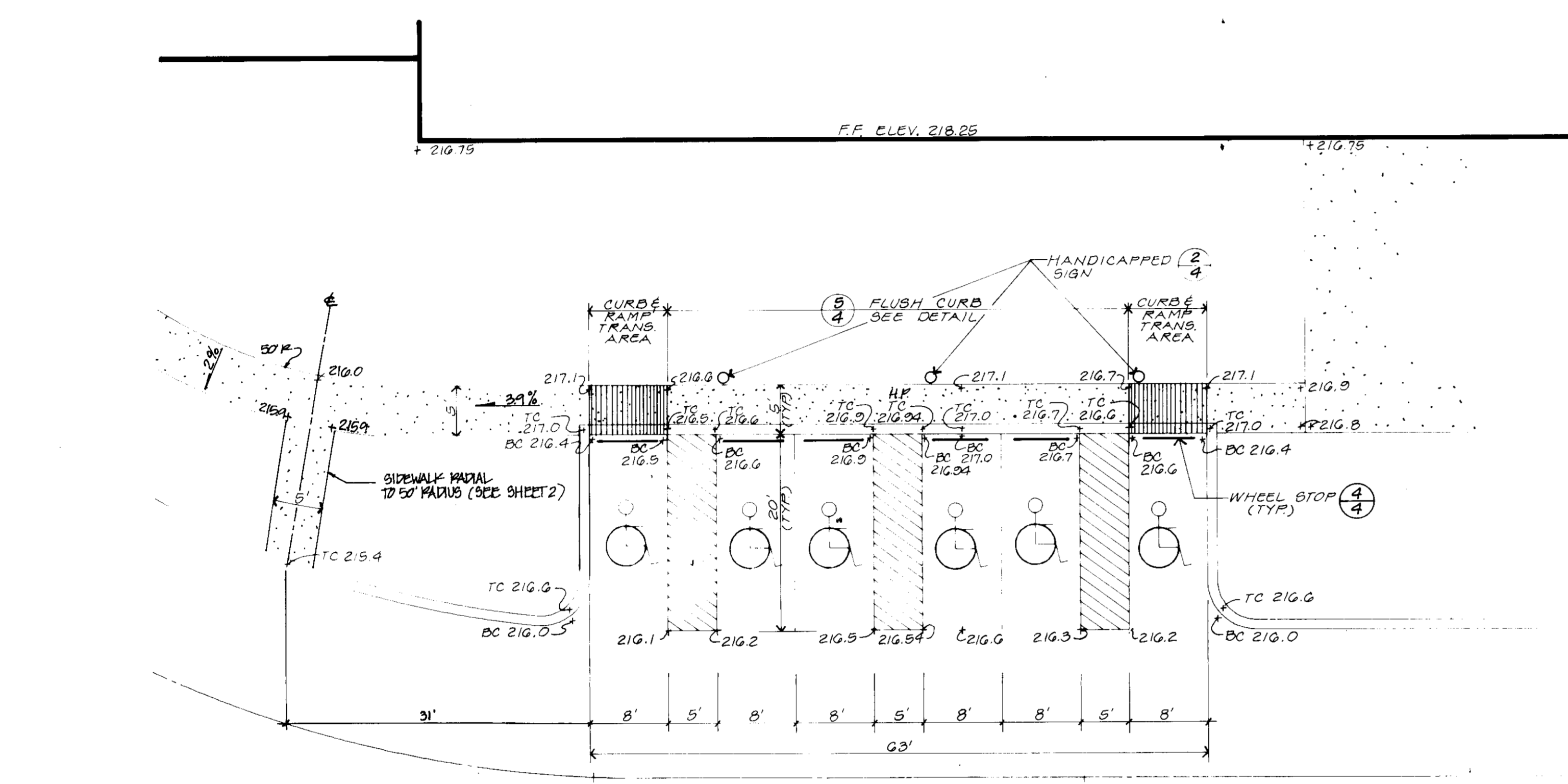
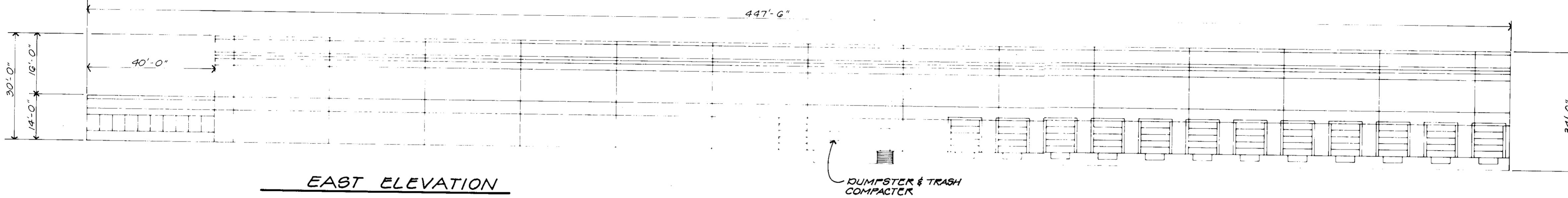
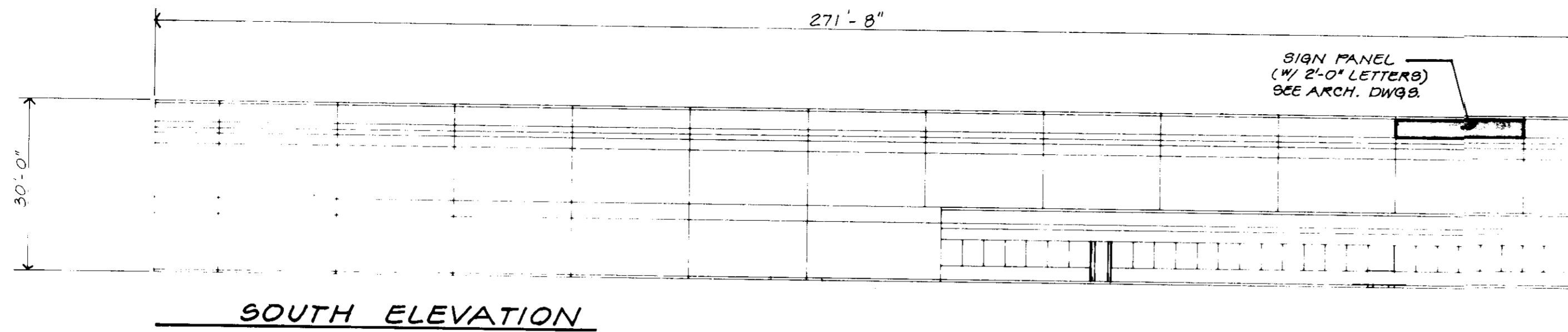
Ruck, Pate & Associates, Ltd.
Architects
257 East Main Street
Barrington, Illinois 60010

Date: 10/00
Scale: 1" = 50'
Drawn: J.L.G.
Job: 7739
Sheet: 3
Of 13 Sheets

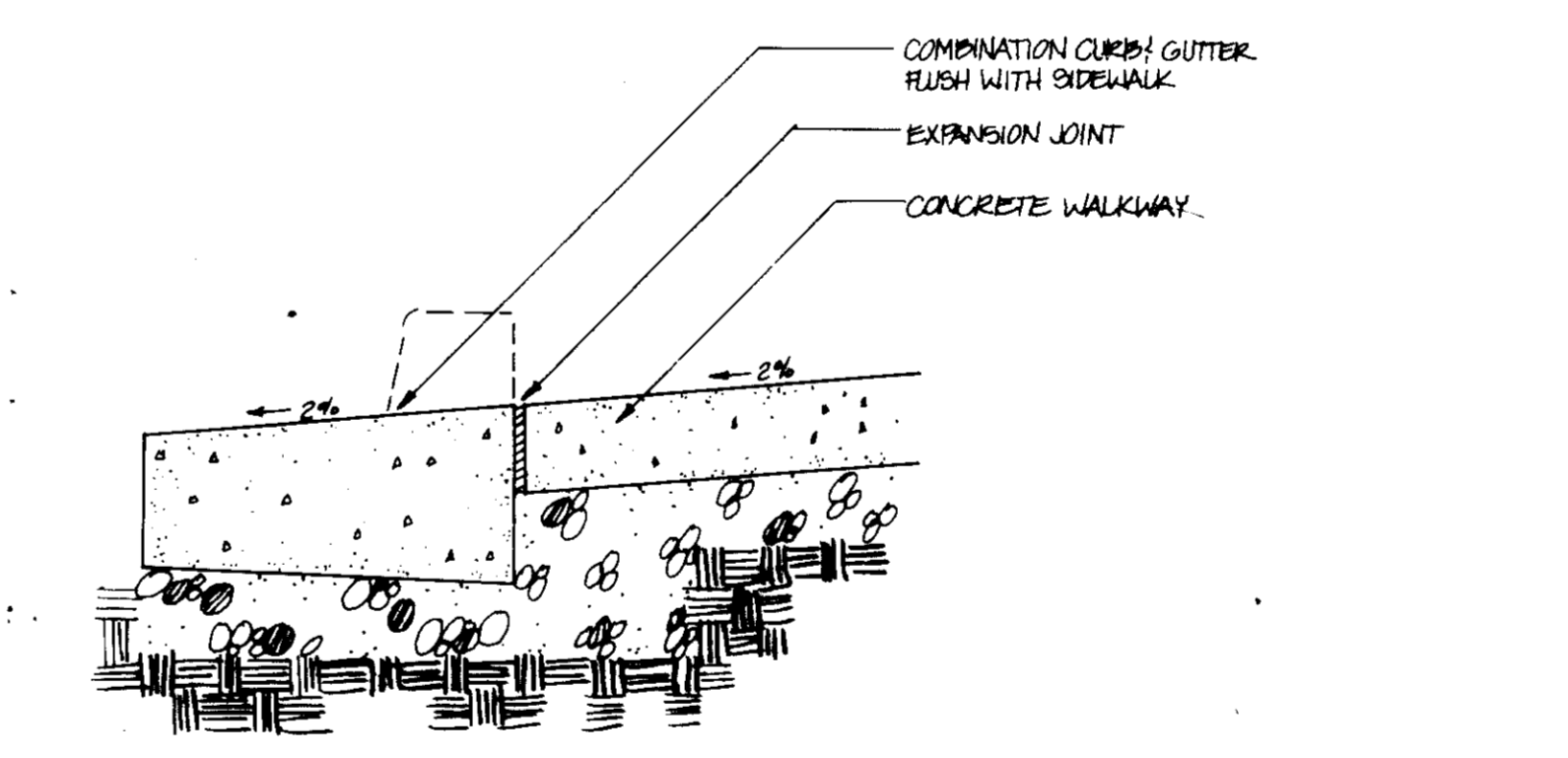


NOTE:
ALL SPOT ELEVATIONS SHOWN IN AREAS OF PARKING, DRIVEWAYS AND SERVICE BAYS ARE TOP OF CURB UNLESS NOTED OTHERWISE. SPOT ELEVATIONS SHOWN IN AREAS NOT ASSOCIATED WITH CURBED DRIVEWAYS, PARKING BAYS AND SERVICE BAYS, REPRESENT THE FINISHED ELEVATION OF THE DESIGNATED SURFACE MATERIAL.

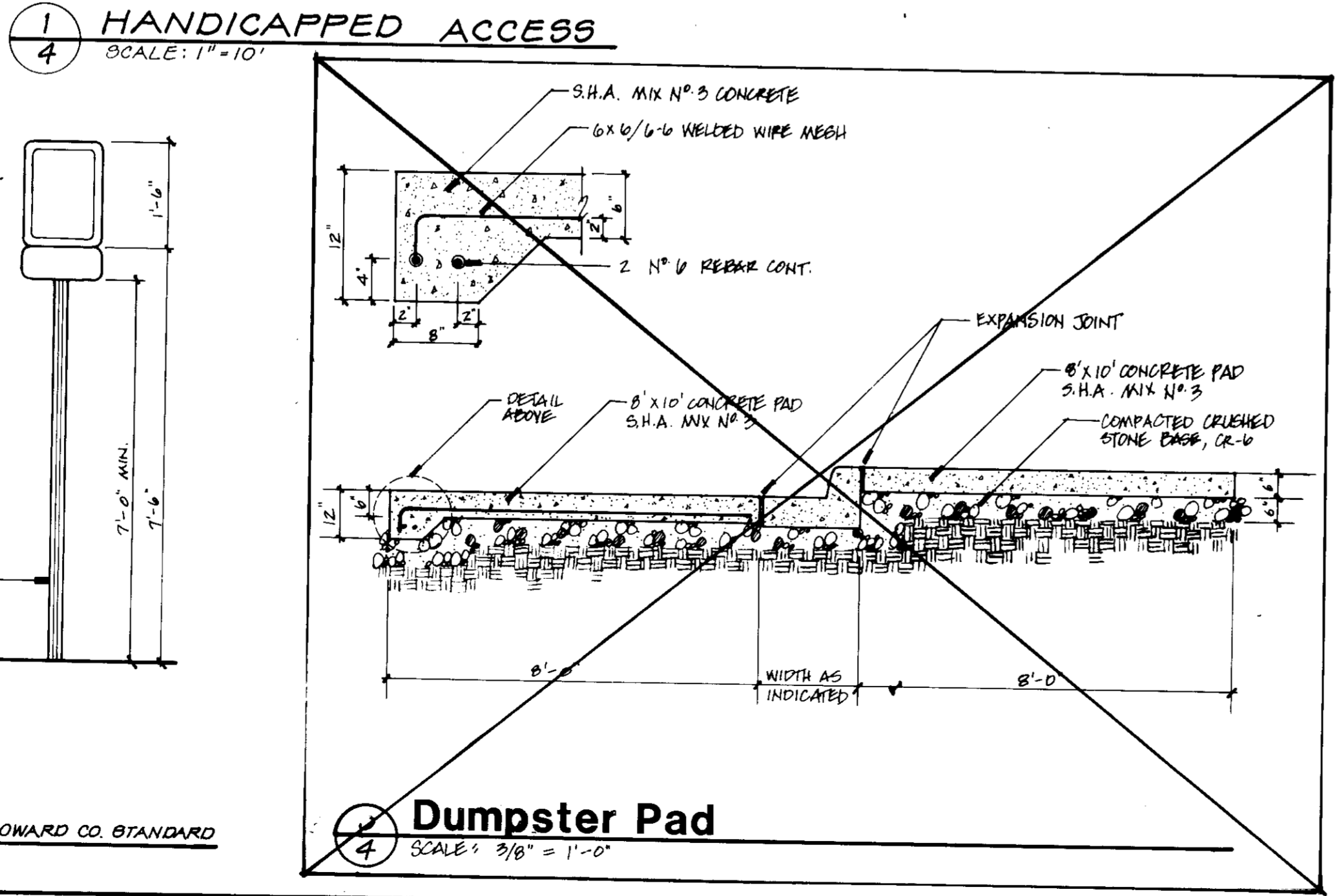
NOTE:
SEE SHEET NO. 2 OF 13 FOR SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION AND FINAL REMOVAL OF ALL MEASURES.



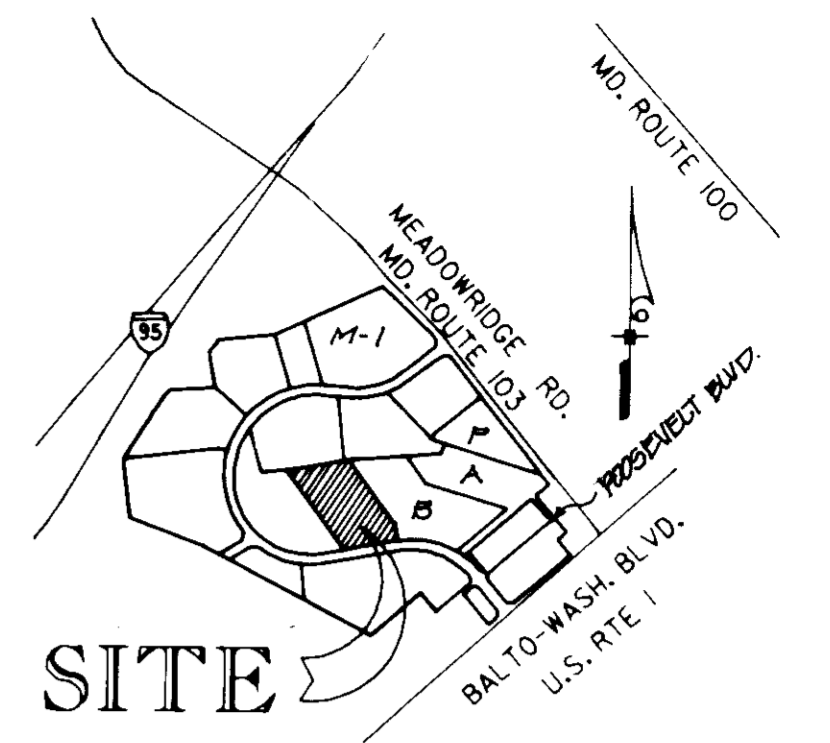
④ Precast Concrete Wheelstop
SCALE: 3/4" = 1'-0"



⑤ FLUSH CURB (HANDICAPPED ACCESS)
SCALE: 3/8" = 1'-0"



② Handicapped Parking Sign
SCALE: 1/8" = 1'-0"



APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
Joseph W. Brough 6-19-91
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS
James J. Shaw 6-13-91
DIRECTOR DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
James J. Shaw 6/13/91
PLANNING DIRECTOR DATE

SEDIMENT CONTROL AND POND CONSTRUCTION
By the Developer:
I certify that all development and/or construction will be done according to these plans and that any responsible personnel involved in the construction project will have a Certification of Attendance of a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer _____ Date _____

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Howard Soil Conservation Service _____ Date _____

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ADDRESS CHART 807-91-64

PARCEL	STREET ADDRESS	SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
C	6795 BUSINESS PARKWAY	MEADOWRIDGE BUSINESS PARK	NA	PARCEL - C
		PLAT NO. OR L/P	BLOCK NO.	ZONE
		9091-47	22.4	M-1
		TAX/ZONE MAP	ELECT. DIST.	CENSUS TR.
		37,4B	1st	6012
		WATER CODE	SEWER CODE	
		BO1	215.3000	

ENGINEERS ARCHITECTS PLANNERS SCIENTISTS SURVEYORS PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208
BALTIMORE, MD. 21204
(301)206-4100
ANNAPOLIS, MD ATLANTA, GA AURORA, CO CULPEPER, VA EXPORT, PA FAIRFAX, VA
GREENBELT, MD MANASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL

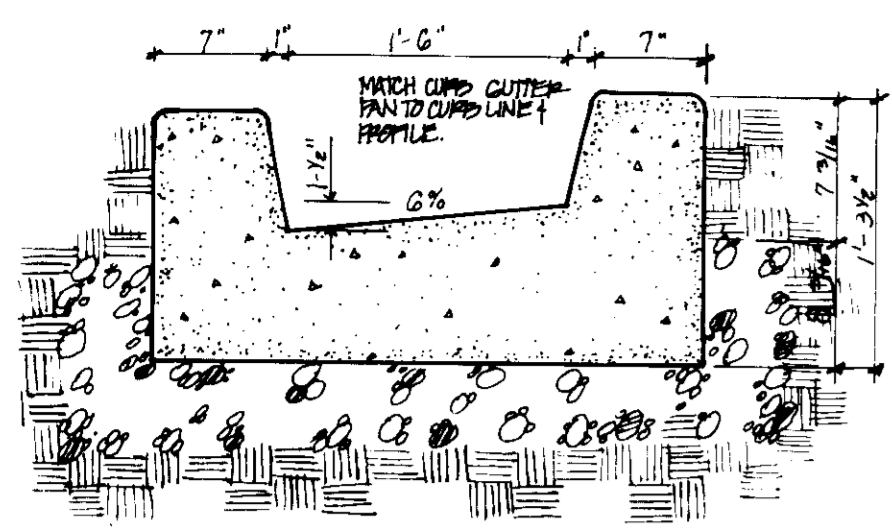
REVISIONS	BY

HANDICAPPED & BUILDING DETAILS
PARCEL C
MEADOWRIDGE BUSINESS PARK
ZONE M-1
HOWARD CO. MD.
TAX / ZONE MAP 37

OWNER/DEVELOPER
MOORE BUSINESS FORMS
2215 SANDERS ROAD, SUITE 400
NORTHBROOK, ILLINOIS 60062
PH. (708) 480-3000

Ruck, Pate & Associates, Ltd.
Architecture
257 East Main Street
Barrington, Illinois 60010

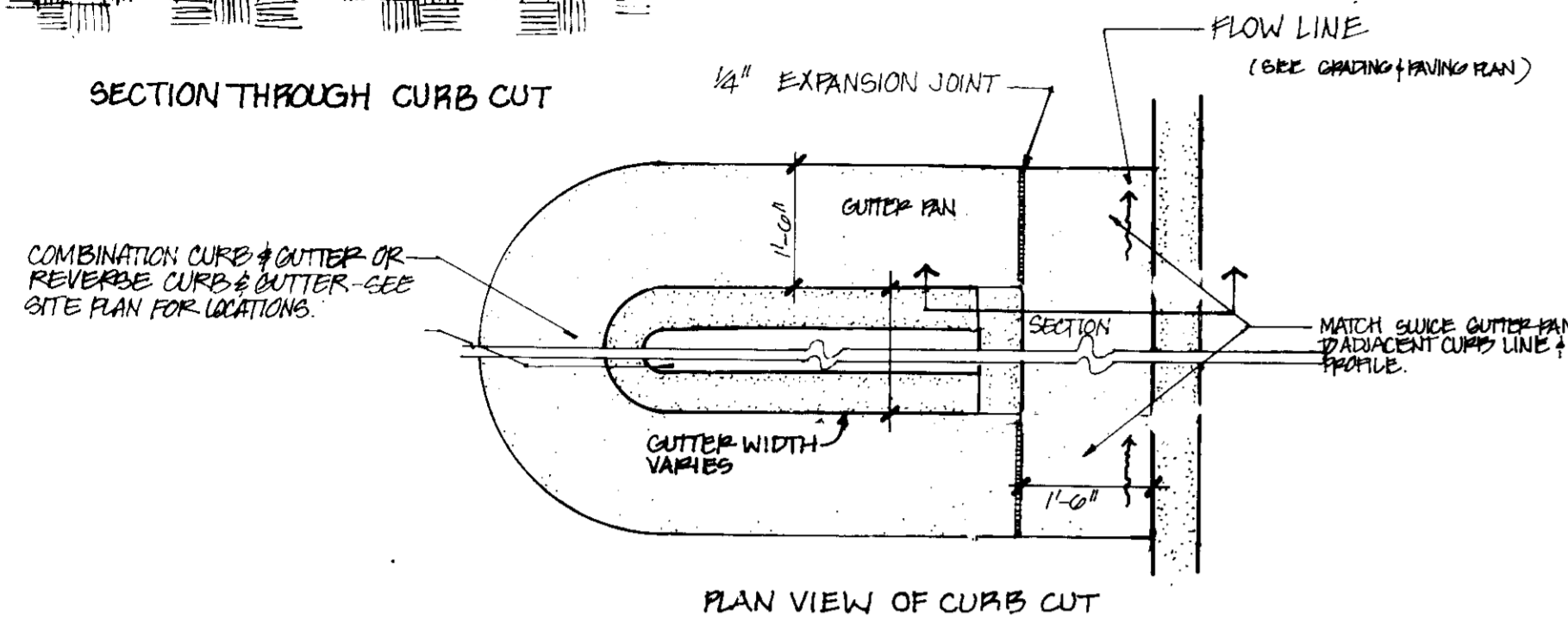
Date 10/90
Scale _____
Drawn J.L.G./R.L.P.
Job 7739
Sheet 4
Cl 13 Sheets



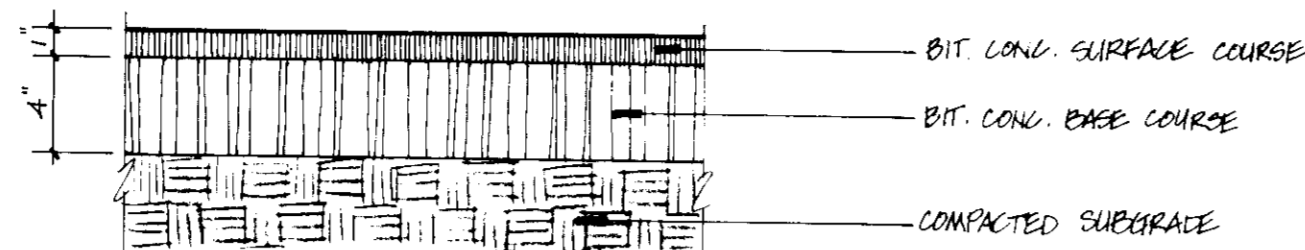
PREPARE CURB BASE IDENTICAL TO THE CURB DETAIL - COMBINATION CURB AND GUTTER.

SEE SITE PLAN FOR FLOW DIRECTION

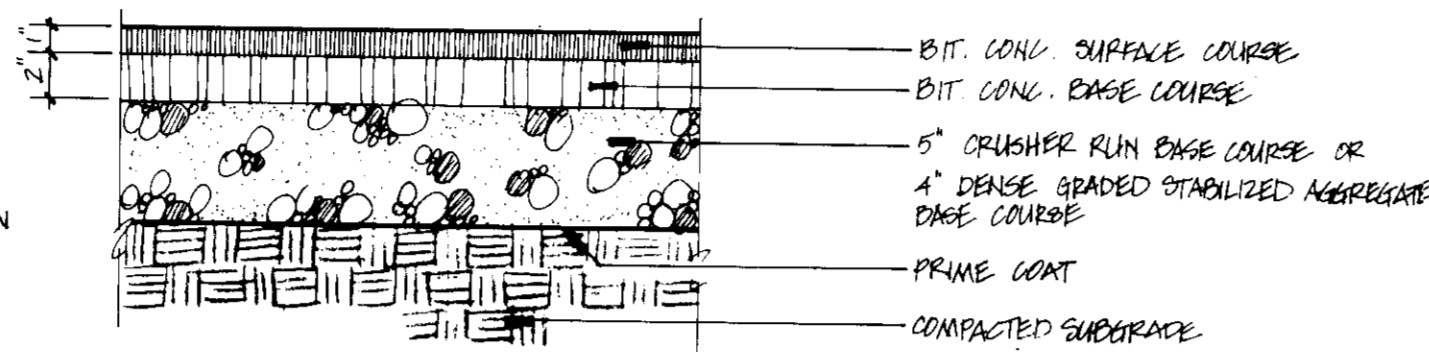
SECTION THROUGH CURB CUT



PLAN VIEW OF CURB CUT

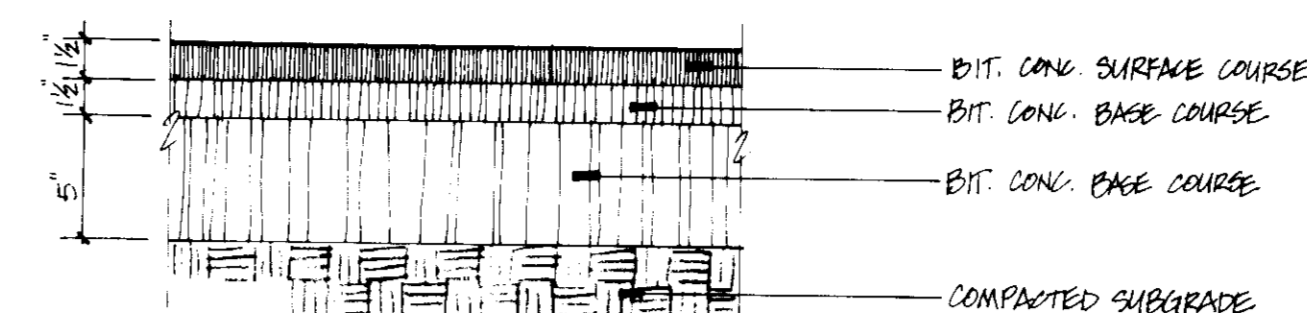


FULL DEPTH BIT. CONC. ALTERNATE

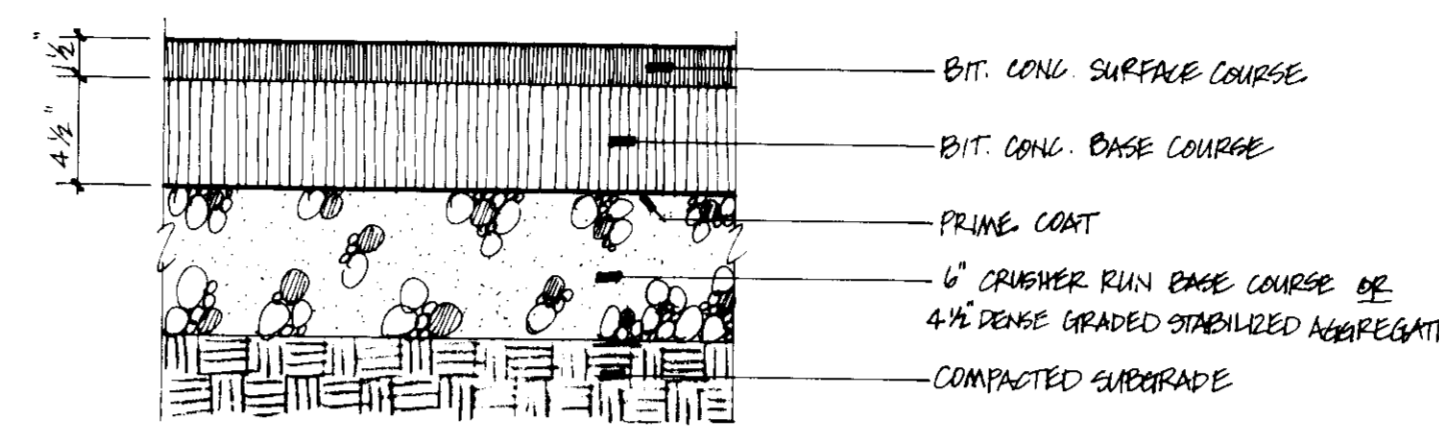


GRANULAR BASE ALTERNATE

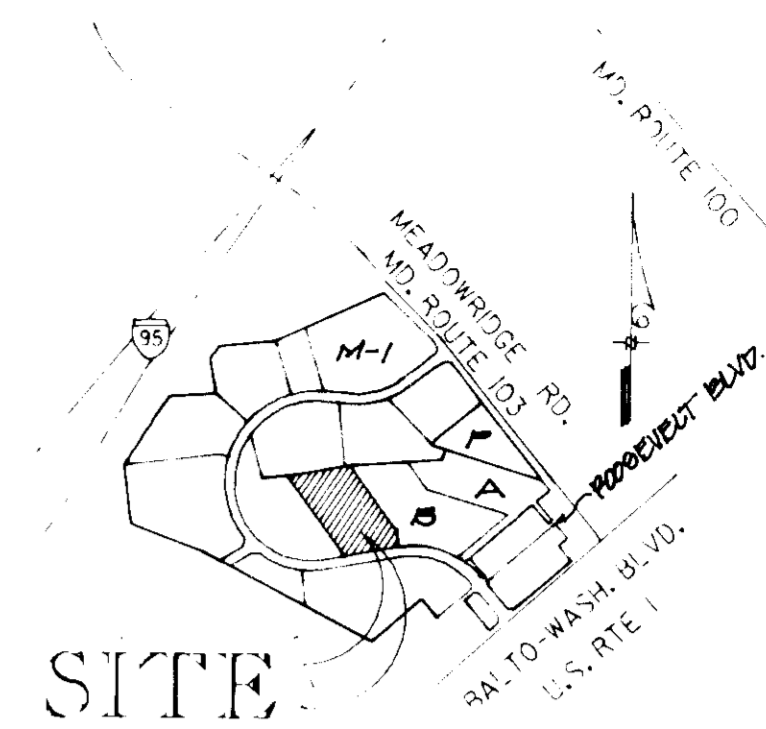
NOTE: BIT. CONCRETE MIXES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS.



FULL DEPTH BIT. CONC. ALTERNATE

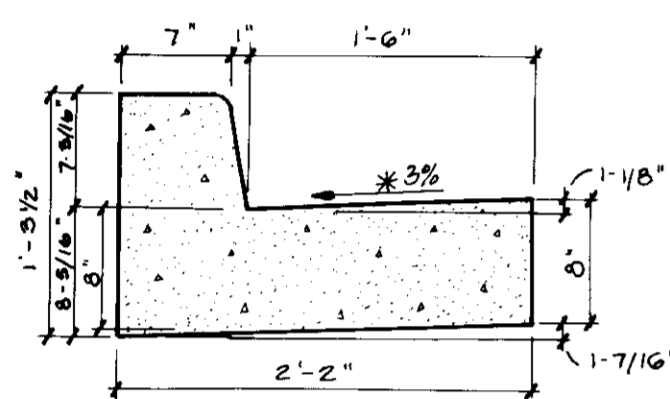


GRANULAR BASE ALTERNATE

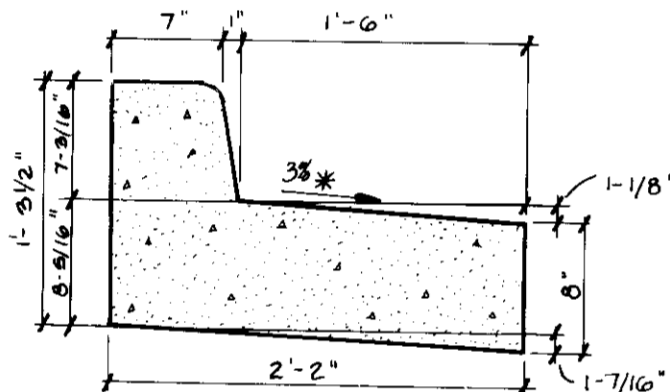


VICINITY MAP
SCALE: 1" = 2000'

6 CURBED ISLAND DRAINAGE SLUICE

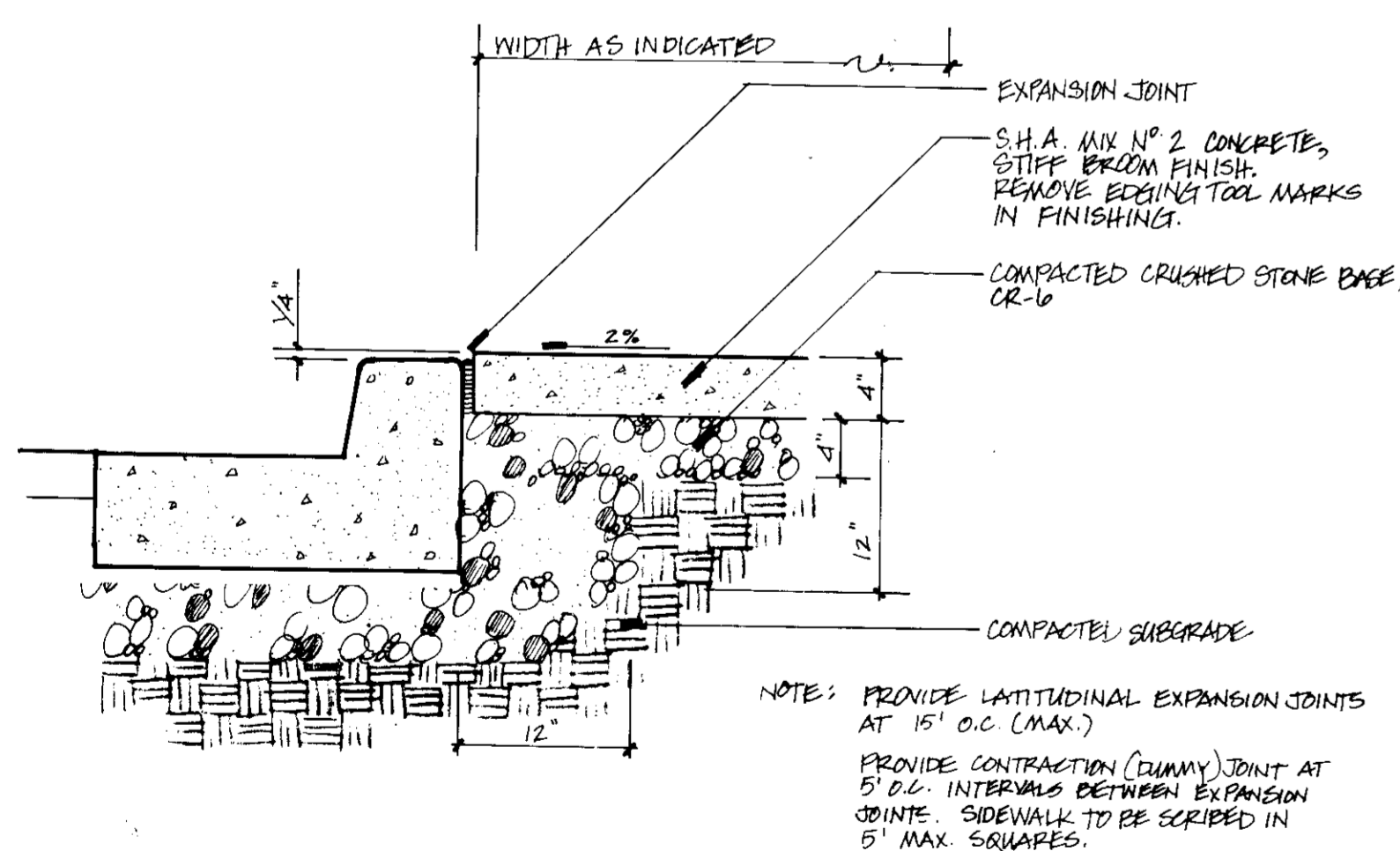


Standard Curb and Gutter



Reverse Curb and Gutter

9 7" Combination Curb and Gutter
No scale

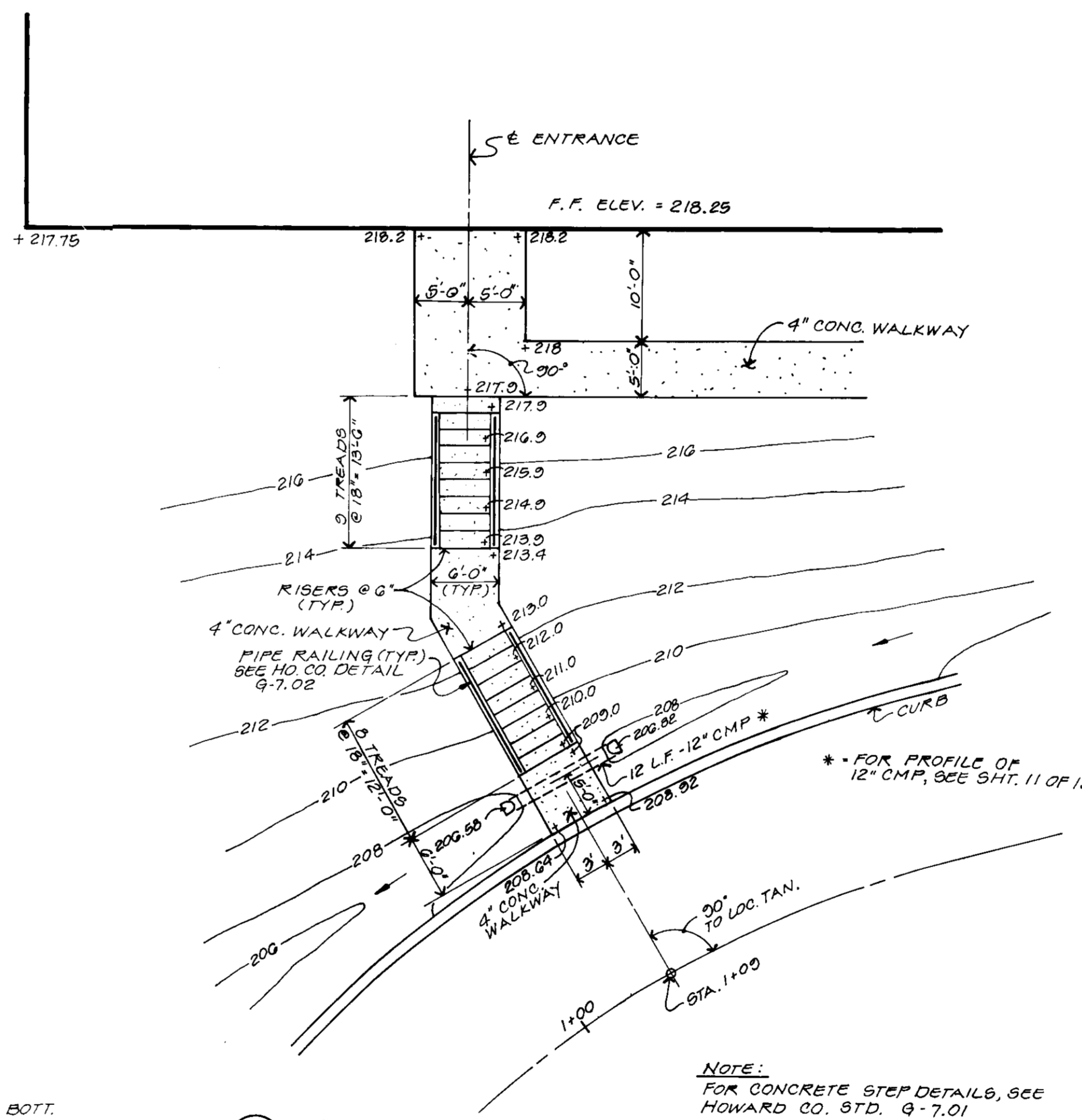


12 Concrete Walkway

SCALE: 1" = 1'-0"

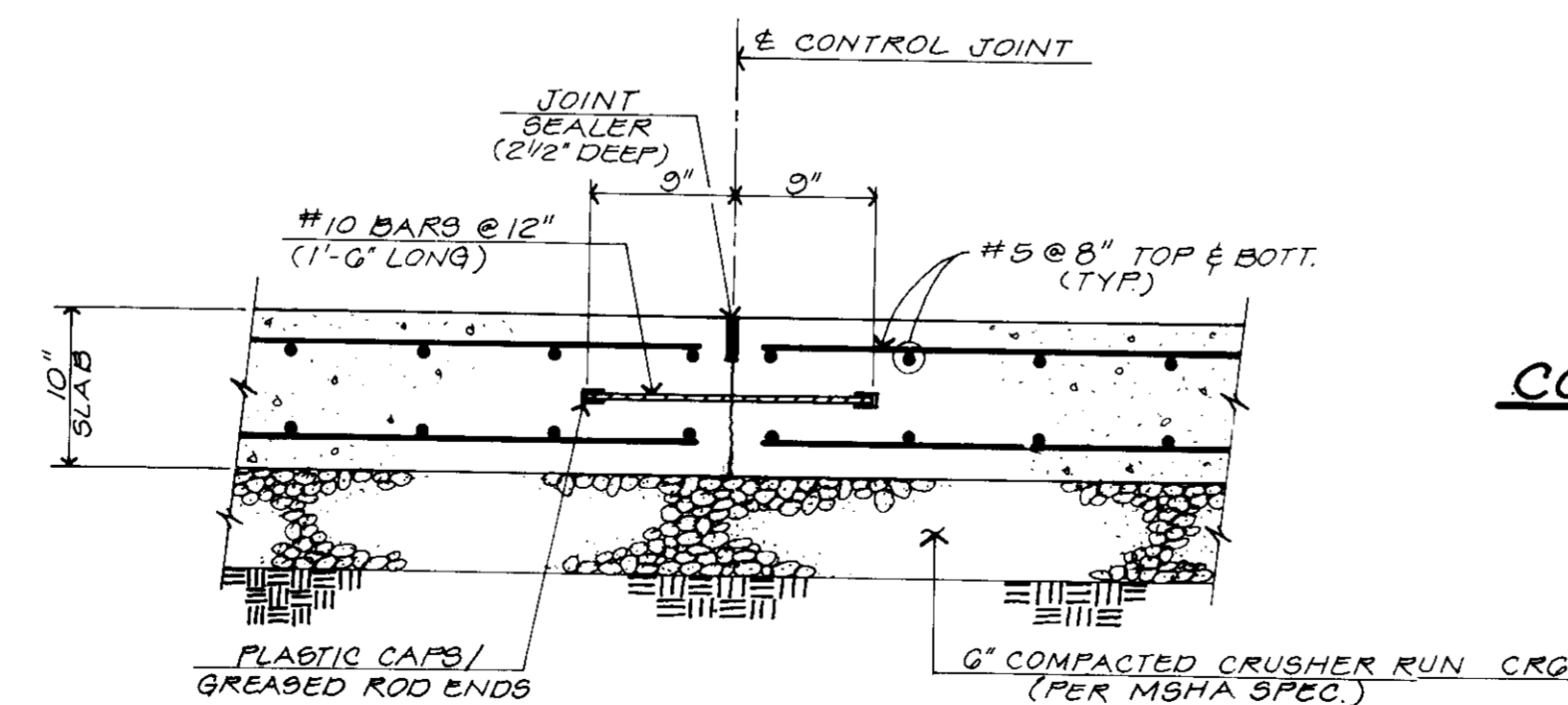
7 Paving Sections: P-1 - HOWARD CO. DETAIL R-2.01
PARKING AREAS
SCALE: 1 1/2" = 1'-0"

8 Paving Sections: P-3 - HOWARD CO. DETAIL R-2.01
LOADING, ACCESS DRIVES
SCALE: 1 1/2" = 1'-0"



14 PART PLAN
CONCRETE WALKWAY & STEPS

13 LANDING GEAR SLAB ~
CONTROL JOINT DETAIL
SCALE: 1" = 1'-0"



NOTE: MAXIMUM CONTROL JOINT SPACING = 20'-0"

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
Joseph Boylan 6-7-91
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS
James P. Slon 6/13/91
DIRECTOR
Elizabeth Anderson Lucia 3/22/91
ENGINEER BUREAU OF ENGINEERING

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & DEVELOPMENT
James R. Smith 6/26/91
MANAGER
Frank C. Young 6/25/91
CHIEF, DIV. OF COMMUNITY PLANNING AND DEVELOPMENT

SEDMENT CONTROL AND POND CONSTRUCTION

By the Developer:

By the Engineer:

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

U.S. Soil Conservation Service Date

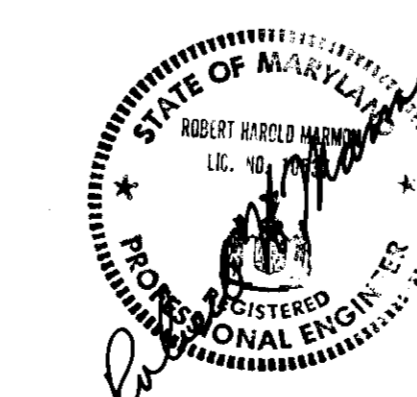
These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Howard Soil Conservation Service Date

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

SUBMISSION NAME	SECT./AREA	LOT/PARCEL
MEADOWRIDGE BUSINESS PARK	VA	PARCEL - C
PLAT NO. OR L/F	BLOCK NO.	ZONE
4091-47	22,4	M-1
TAX/ZONE MAP	ELECT. DIST.	CENSUS TR.
37,45	1st	6012
WATER CODE	SEWER CODE	
B01		053000

ENGINEERS	ARCHITECTS	PLANNERS	SURVEYORS	PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.				
113 WEST ROAD, SUITE 208				
BALTIMORE, MD. 21204				
(301)286-4100				
ANNAPOLIS, MD	ATLANTA, GA	ALBANY, CO	CHARLOTTE, NC	FAYETTE, VA
FREEDRICK, MD	MANASSAS, VA	ROCKVILLE, MD	RALEIGH, NC	TAMPA, FL



REVISIONS BY

SITE DETAILS
PARCEL C
MEADOWRIDGE BUSINESS PARK
ZONE M-1
1st ELECTION DISTRICT

OWNER/DEVELOPER
MOORE BUSINESS CENTER
2215 SANDERS ROAD, SUITE 400
NORTHBROOK, ILLINOIS 60062
PH. (708) 485-3000

Ruck, Pate & Associates, Ltd.
Architecture
257 East Main Street
Barrington, Illinois 60010

Date: 10/90
Scale: _____
Drawn: J.L.G./R.L.P.
Sheet: 7739
5
Of 13 Sheets

15-1181-X

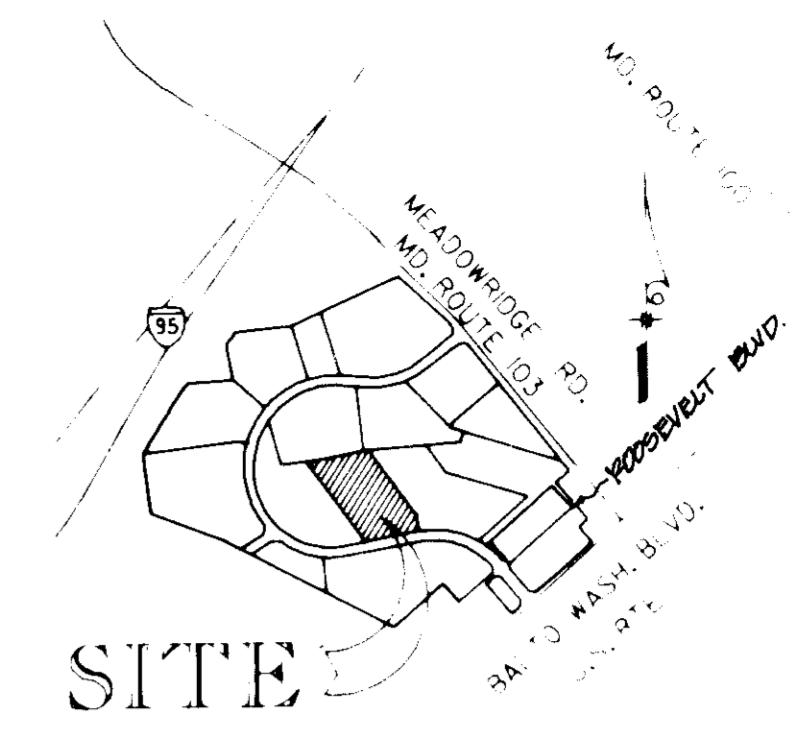
SDA 91-54

REVISIONS	BY

PLANTING PLAN
 MEADOWRIDGE BUSINESS PARK
 2215 SANDERS ROAD, SUITE 310
 FORT-BROOK, ILLINOIS 60067
 PH. (708) 480-3000

Ruck, Pate & Associates, Ltd.
 Architecture
 257 East Main Street
 Barrington, Illinois 60010

10/30
1"=50'
J.L.G.
7739
6
13
B-1181-X



VICINITY MAP
SCALE: 1"=2000'

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Joseph Buglia 6/19/91
DIRECTOR

James G. Lavin 6/18/91
DIRECTOR
HARRIS ENGINEERS

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Frank Sautter 6/26/91
DEVELOPER

Frank Sautter 6/25/91
DEVELOPER

By the Developer:
I certify that all development and/or construction will be done according to these plans and that any responsible personnel involved in the construction of this project will have a Certification of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion. I also authorize periodic onsite inspection by the Howard Soil Conservation District.

Signature of Developer: _____ Date: _____

By the Engineer:
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District and that the developer that he must provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion.

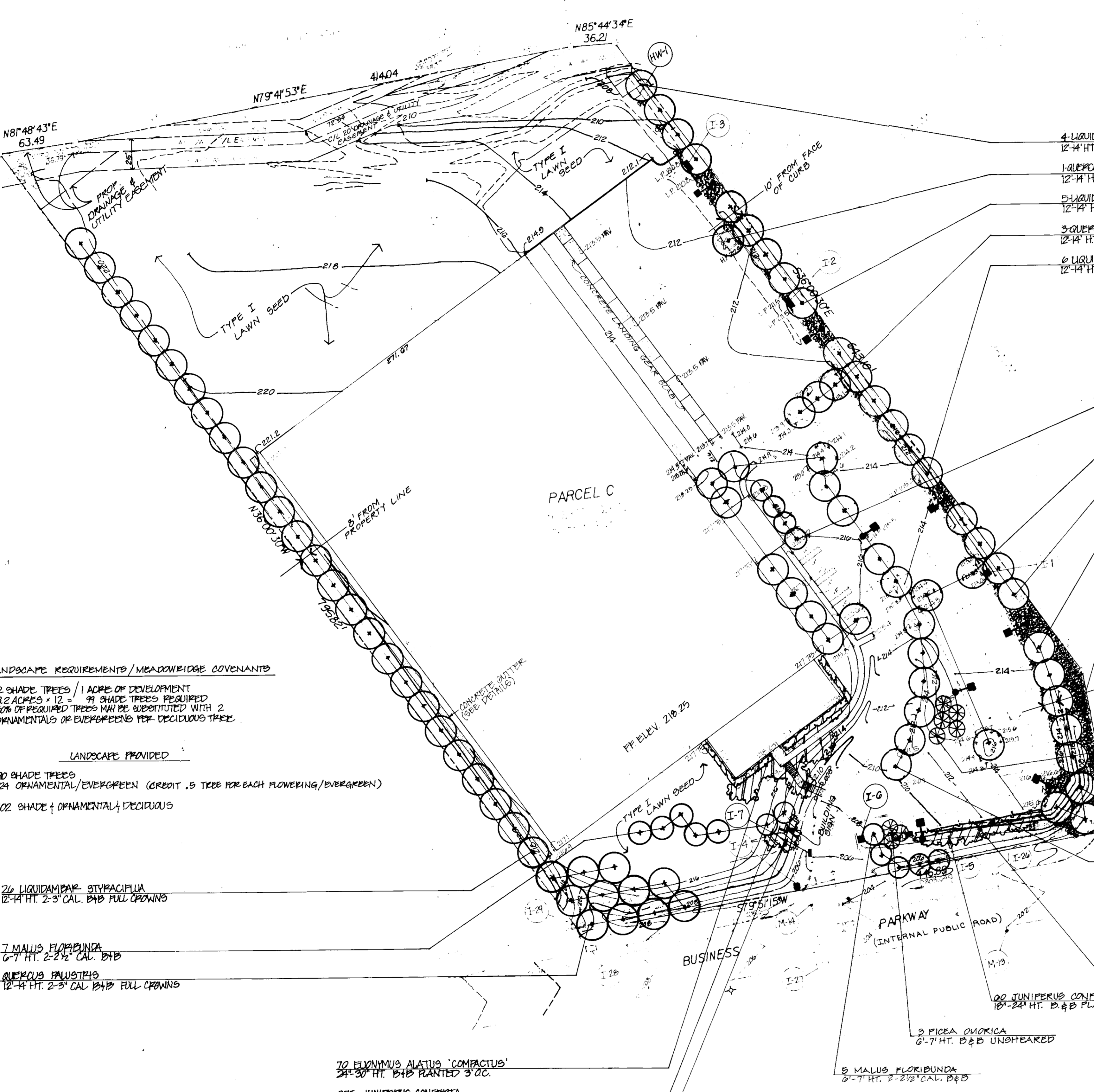
Signature of Engineer: _____ Date: _____

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, erosion and sediment control.

Howard Soil Conservation Service: _____ Date: _____

These plans for small pond construction, erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Howard Soil Conservation Service: _____ Date: _____



4 LIQUIDAMBAR STYRACIFLUA
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

1 QUERCUS PALUSTRIS
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

5 LIQUIDAMBAR STYRACIFLUA
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

3 QUERCUS PALUSTRIS
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

6 LIQUIDAMBAR STYRACIFLUA
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

4 MALUS FLORIBUNDA
6'-7" HT. 2'-2 1/2" CAL. D&B

3 QUERCUS PALUSTRIS
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

4 LIQUIDAMBAR STYRACIFLUA
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

5 LIQUIDAMBAR STYRACIFLUA
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

1 CORNUS VARIA CROWN VETCH
M.S.H.A. SEED MIX & SPEC.

8 PICEA OMORICA
6'-7" HT. D&B UNSHEARED

3 QUERCUS PALUSTRIS
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

11 ZELKOVIA SEBRATA
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

40 PINUS MURRAYANA
24'-30' HT. D&B PLANTED @ 0.0.

20 JUNIPERUS CONFERTA
18'-24' HT. D&B PLANTED @ 0.0.

3 PICEA OMORICA
6'-7" HT. D&B UNSHEARED

5 MALUS FLORIBUNDA
6'-7" HT. 2'-2 1/2" CAL. D&B

LANDSCAPE REQUIREMENTS/MEADOWRIDGE COVENANTS

12 SHADE TREES / 1 ACRE OF DEVELOPMENT
 8.2 ACRES x 12 = 99 SHADE TREES REQUIRED
 50% OF REQUIRED TREES MAY BE SUBSTITUTED WITH 2
 ORNAMENTALS OR EVERGREENS PER DECIDUOUS TREE.

LANDSCAPE PROVIDED

30 SHADE TREES
 24 ORNAMENTAL/EVERGREEN (CREDIT .5 TREE FOR EACH FLOWERING/EVERGREEN)

102 SHADE & ORNAMENTAL/DECIDUOUS

26 LIQUIDAMBAR STYRACIFLUA
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

7 MALUS FLORIBUNDA
6'-7" HT. 2'-2 1/2" CAL. D&B

11 QUERCUS PALUSTRIS
12'-14" HT. 2'-3" CAL. D&B FULL CROWNS

70 PINUS MURRAYANA 'COMPACTUS'
24'-30' HT. D&B PLANTED @ 0.0.

27 JUNIPERUS CONFERTA
18'-24' HT. D&B PLANTED @ 0.0.

28 JUNIPERUS CONFERTA
18'-24' HT. D&B PLANTED @ 0.0.

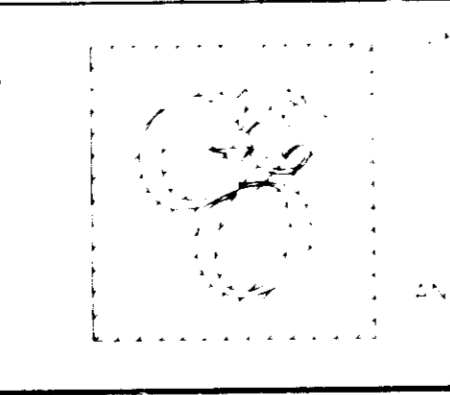
NOTE:
ALL AREAS NOT SHOWN TO RECEIVE PLANT BEES
OR CROWN VETCH SEED MIX SHALL BE SEEDED
WITH TYPE I SEED FOR GRASSED LAWNS.



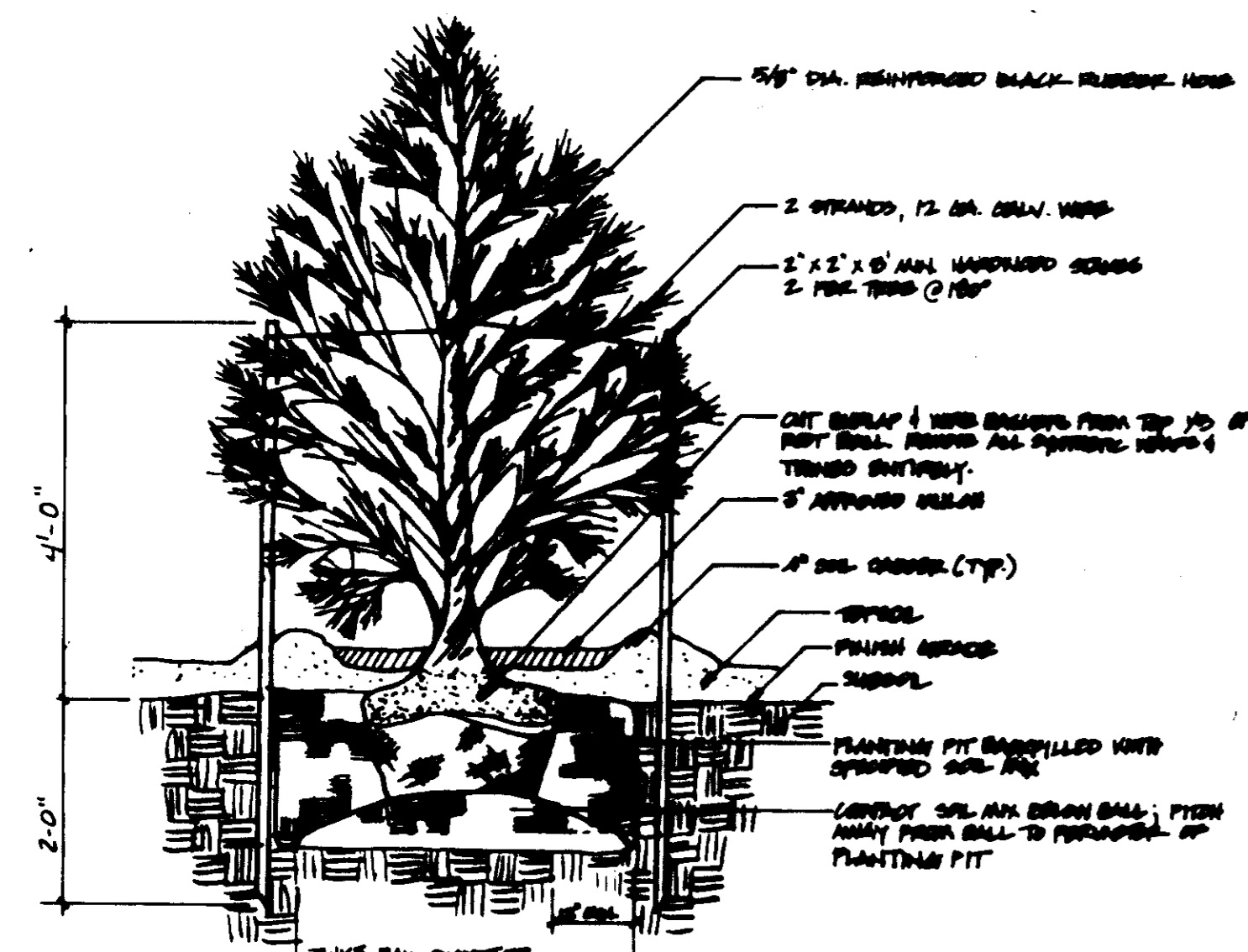
ADDRESS CHART

SUBDIVISION NAME	LOT NO.	TRACED BY	DATE
MEADOWRIDGE BUSINESS PARK	NA	NA	NA
PLAT NO. OR LOT	BLOCK NO.	ZONE	TAX CODE
9041-47	204	M	1948
WATER CODE			

BEFORE BEG. CONSTRUCTION CONTACT
 MISS. (708) 480-3000 (EXT. 44) AT LEAST
 14 DAYS BEFORE BEG. CONSTRUCTION



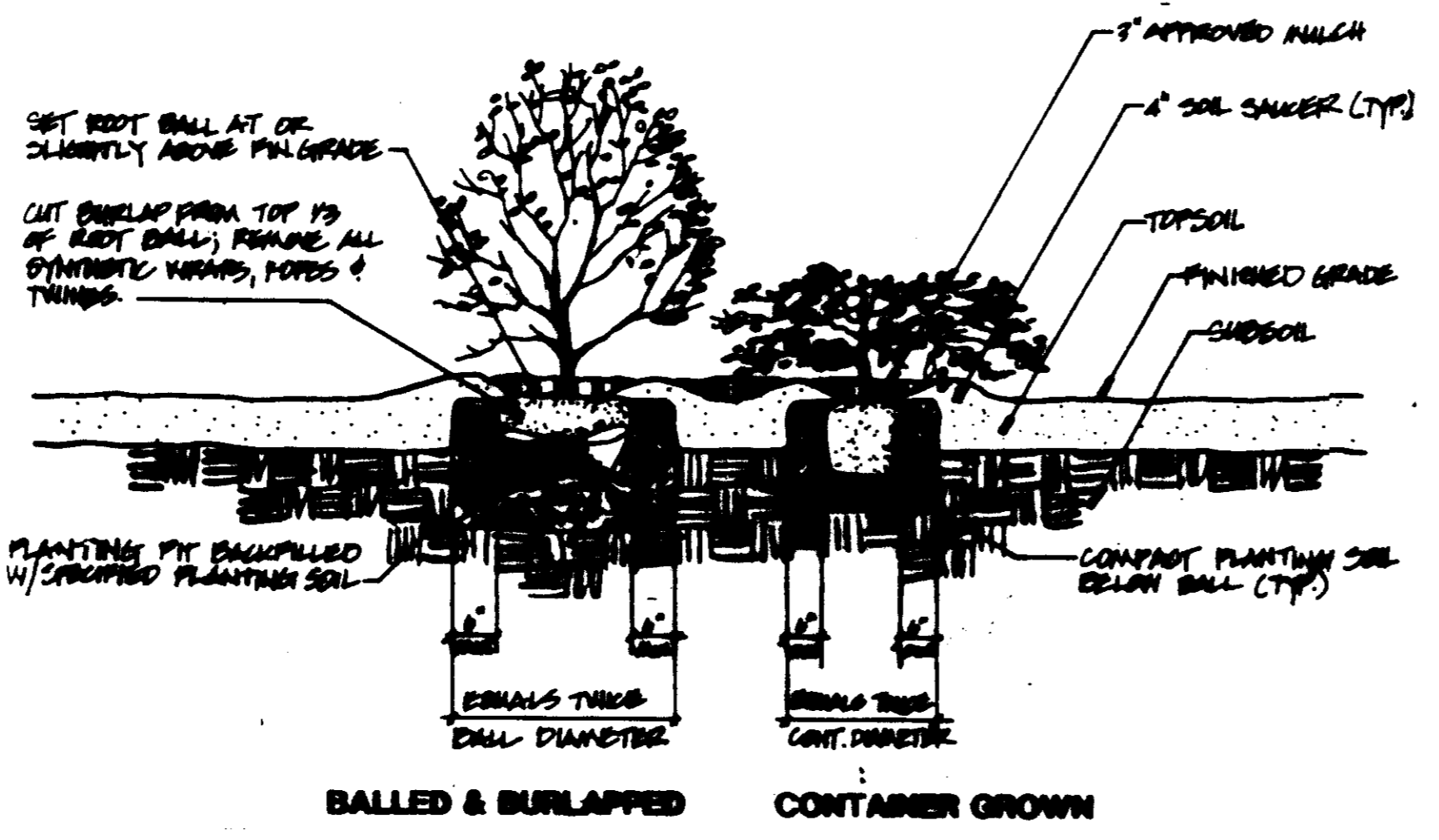
SDR 91-54



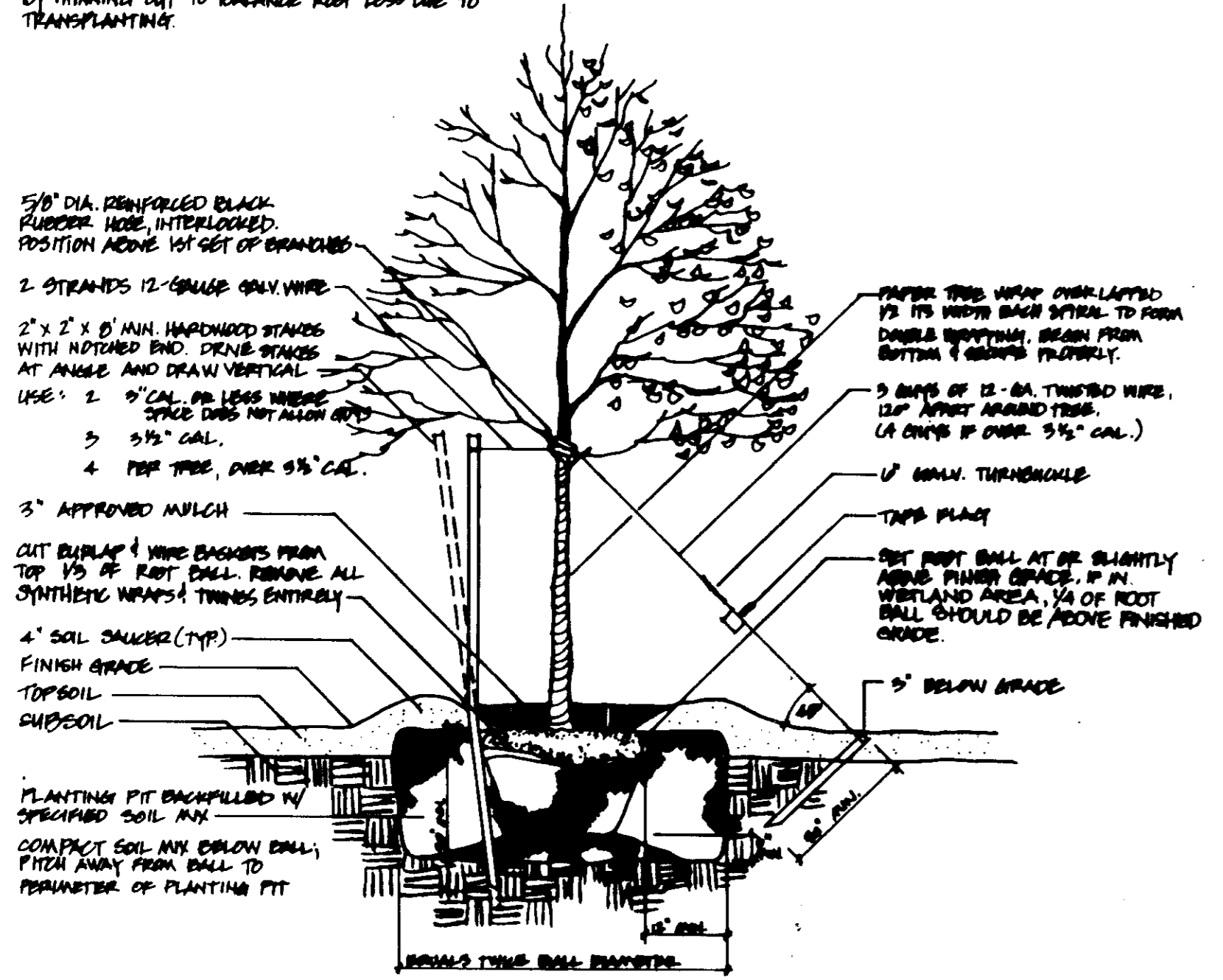
Evergreen Tree Detail
NO SCALE

FINISH SHALL BE IN ACCORDANCE WITH APPROVED HORTICULTURAL STANDARDS IN ORDER TO PRESERVE THE NATURAL FORM OF THE SPECIFIC PLANT. IF APPLICABLE AND APPROVED BY THE LANDSCAPE ARCHITECT, ONE FOURTH TO ONE THIRD OF THE ROOT BALL SHALL BE REMOVED BY THINNING CUT TO BALANCE ROOT LOSS DUE TO TRANSPANTING.

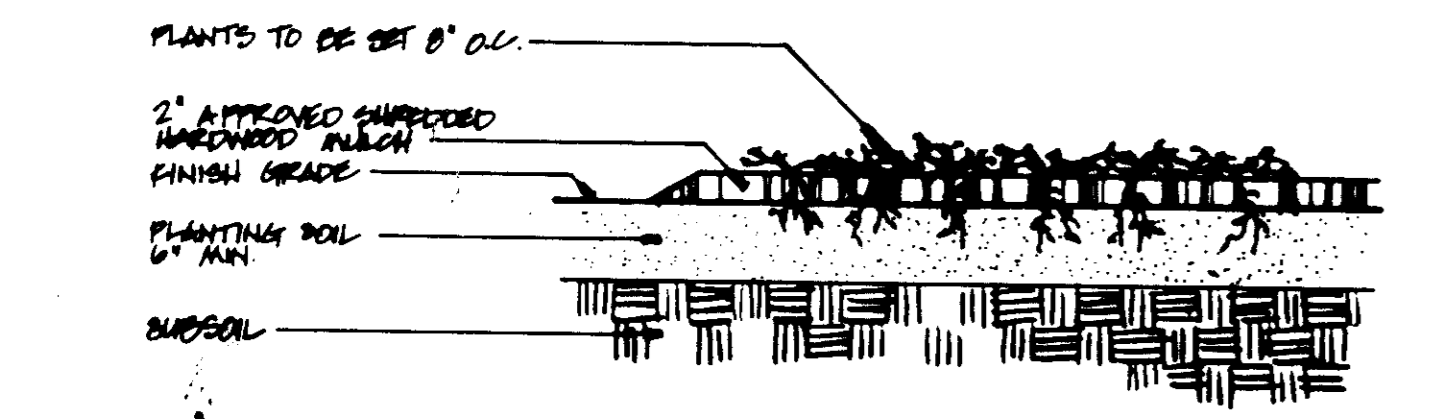
NOTE: WHERE PLANT FITS ARE DAM WITH HARDENED SURFACES, GLAZED SEEDS OR HARDENED SURFACES SHALL BE SCANNED FROM TOP PLANTING.



Shrub Planting
NO SCALE



Tree Planting
NO SCALE



Groundcover Planting
NO SCALE

PLANT LIST

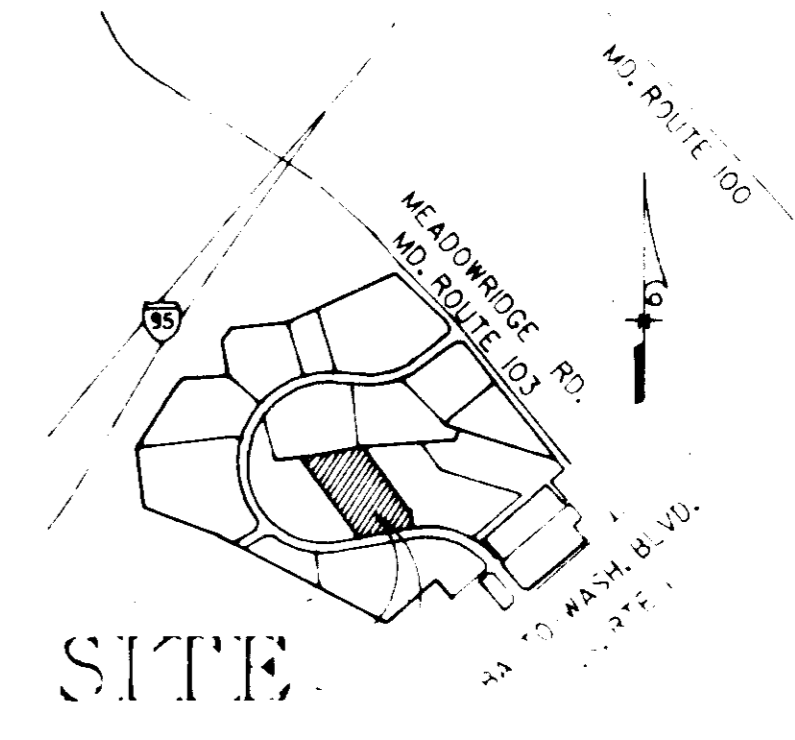
QUANTITY	BOTANICAL NAME/COMMON NAME	HEIGHT	SPREAD	MINIMUM CALIPER	REMARKS
DECIDUOUS TREES					
21	Quercus palustris/Pin Oak	12'-14'	N/A	2"-3"	B&B Full Crowns
50	Liquidambar styraciflua/Sweetgum	12'-14'	N/A	2"-3"	B&B Full Crowns
19	Zelkova serrata/Japanese Zelkova	12'-14'	N/A	2"-3"	B&B Full Crowns
ORNAMENTAL TREES					
16	Malus floribunda/Flowering Crabapple	6'-7'	N/A	2"-2 1/2"	B&B
EVERGREEN TREES					
8	Picea omorika/Serbian Spruce	6'-7'	N/A		B&B One-sided
SHRUBS					
10	Euonymus alatus 'compactus'/ Burning Bush	24"-30"	N/A		B&B Planted 3' O.C.
400	Juniperus conferta/Shore Juniper	18"-24"	N/A		B&B Planted 3' O.C.
	CORNUS VAPIDA	150lb/1000 ft ²			LEGUMINOUS SEED TO BE USED MOHA SEED MIX NO SPEC 920 04 02

NOTE: QUANTITIES SHOWN ON PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE, HOWEVER, THE PLAN QUANTITIES SHALL TAKE PRECEDENCE OVER THE PLANT LIST.

PLANTING NOTES

- Botanical names shall prevail over common names.
- No plant substitutions shall be made without prior written approval of the Landscape Architect.
- All plant material shall be nursery grown, no collected materials shall be accepted, unless specifically indicated.
- Plants shall conform with the American Association of Nurserymen standards in all ways including dimensions.
- All plants are to be approved and/or tagged by the Landscape Architect. The Landscape Architect has the right to reject any plant materials upon delivery to the project. Selection by the Landscape Architect AT THE NURSERY DOES NOT waive the right of rejection.
- All replacements shall be plants of the same kind and size as specified in the plant list, or as is necessary to match surviving plants of the same planting group. All costs shall be borne by the Landscape Contractor except for replacements resulting from loss or damage due to vandalism or acts of neglect on the part of others, physical damage by animals, vehicles, fire, etc., as may be determined by the Landscape Architect.
- Quantities shown on the Contract Drawings take precedence over plant materials list. Plant materials shall be furnished and planted as specified. Any deviation from these specifications will be rejected.
- All plant materials shall be placed, or locations staked, on the site as shown on the planting plan prior to commencement of plant excavation for the Landscape Architect's approval. The Contractor must notify the Landscape Architect of all planting operations a minimum of 48 hours in advance.
- All plant materials shall be balled and burlapped or container grown or as otherwise specified. No constructed balls shall be accepted. Remove synthetic 'burlap' and synthetic twines and ropes. Remove top 1/3 of metal baskets from root balls when the root ball has been positioned in the planting pit; provide support as necessary to protect the root ball from injury during this operation.
- All plant materials are to be set with the top of root ball even with or slightly above the finished grade.
- Planting soil shall consist of 3 parts topsoil (or excavated soil if approved by the Landscape Architect), one part sphagnum moss, one part dehydrated cow manure.
- All plant beds except as specifically noted, are to be topped with a 3" layer of pine bark mulch. Sample to be approved.
- Seed all disturbed areas. Grass seed shall be fresh, clean, new crop seed composed of the following varieties mixed in the proportions by weight shown and testing the minimum percentages of purity and germination:

TYPE I	BY WT.	TYPE II	BY WT.
Perennial Ryegrass	25%	F-31 Tall Fescue	80%
Kentucky Bluegrass	50%	Annual Ryegrass	20%
(approved hybrid varieties)			
Creeping Red or Pennlawn Fescue	25%		
- Seeding of lawn areas shall be at the rate of at least 5 lbs. per 1000 square feet. All lawn areas shall be Type I seed mix unless otherwise designated.
- All lawn areas shall be fertilized with a complete fertilizer, at least half of the nitrogen of which is derived from a natural organic source. It shall be of a 1:1:1 ratio in the spring using a minimum analysis of 10:10:10 and a 1:2:1 ratio in the fall using a minimum analysis of 5:10:5.
- All lawn areas shall be mulched with salt hay or equal as approved by the Landscape Architect. Straw hay is not permitted.
- Report any discrepancies to the Landscape Architect immediately for decision.
- Maintenance shall begin immediately after each plant is planted, and shall continue until acceptance. Plants shall be watered, mulched, weeded, pruned, sprayed, fertilized, cultivated, and otherwise maintained and protected until acceptance of work. Settled plants shall be reset to a proper grade and position, planting saucers restored, and dead material removed. Guys shall be tightened and repaired. Defective work shall be corrected as soon as possible after it becomes apparent, when weather and season permit. Upon completion of planting and prior to acceptance the Landscape Contractor shall remove from the site excess soil and debris and repair disturbed lawn areas and any other damage resulting from planting operations. Dangerous conditions shall be repaired immediately.
- Upon completion of all landscaping operations, an inspection will be made to determine the acceptability of the job. At this time, a one year guarantee period shall begin, to be culminated by a final inspection. Immediately prior to final inspection, unless otherwise directed, the Contractor shall remove soil saucers, hose, guy wires, wrapping material and stakes. Only those materials found to be alive and in a vigorous, healthy condition at that time will be granted final acceptance. All other material shall be replaced at the Contractor's expense. A sum to cover potential replacements may be withheld if so desired by the owner. The Landscape Architect will be the sole judge of plant material acceptability.
- Planting after Nov. 21 to be guaranteed thru 2nd spring's leafing.



VICINITY MAP
SCALE: 1" = 200'

FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC WORKS
 HOWARD CO. DEPT. OF PUBLIC WORKS

APPROVED: *[Signature]* 3/22/91
 DIRECTOR
 ROBERT ANDERSON
 CHIEF ENGINEER

APPROVED: *[Signature]* 6/29/91
 CHIEF OF COMMUNITY PLANNING & LAND DEVELOPMENT

BY THE DEVELOPER:

I hereby certify that all development and/or construction will be done according to these plans and that any responsible personnel involved in the construction project will have a Certification of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an approved plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

REVISIONS BY

PLANTING DETAILS

MEADOWRIDGE BUSINESS PARK

OWNER: DEWLOVER
 MOORE BUSINESS FORMS
 2215 SAIDERS ROAD, SUITE 400
 NORTHBROOK, ILLINOIS 60062
 PH. (708) 480-3000

Ruck, Pate & Associates, Ltd.
 Architecture
 257 East Main Street
 Barrington, Illinois 60010

\$ 8958.00

Sheet 7 of 13



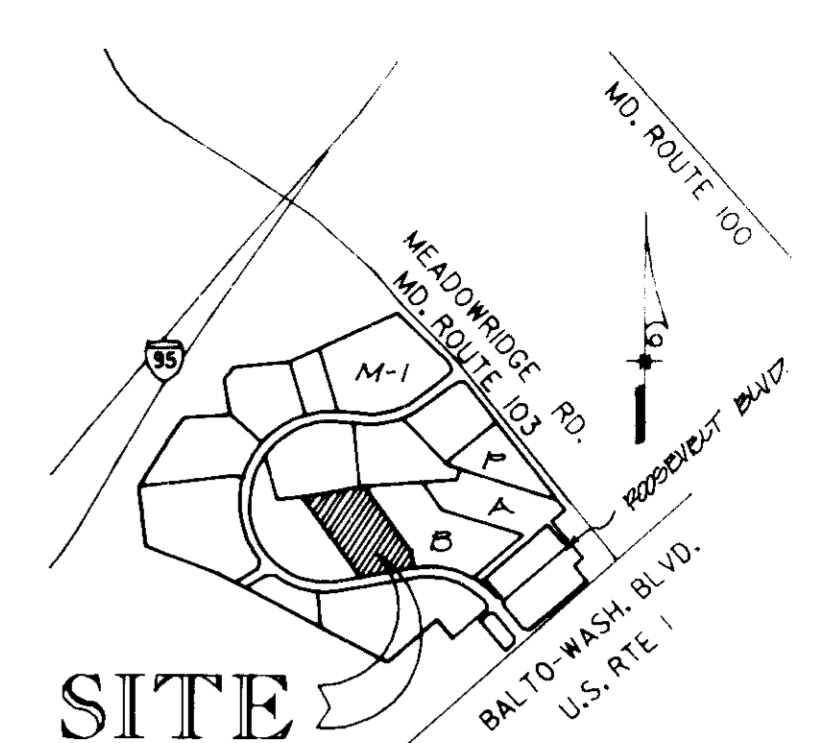
GREENHOUSE & O'NEILL, INC.
 113 WEST ROAD, SUITE 206
 BETHMORE, MD. 21204
 (301) 286-4100

ANNAPOLIS, MD ATLANTA, GA AURORA, CO CHARPEPER, VA EXPORT, VA FAIRFAX, VA GREENBELT, MD MARIASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL

LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- EARTH DIKE
- TEMPORARY SWALE
- INLET PLUG
- INLET PROTECTION
- MOUNTABLE BERM
- LIMIT OF DISTURBANCE
- EXISTING DRAINAGE DIVIDE
- PROPOSED DRAINAGE DIVIDE

AS-BUILT CERTIFICATION
 J. Karch
 JAYKANT D'PREKHE # 19148
 3.3.92
 DATE



VICINITY MAP
 SCALE: 1" = 2000'

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

John Boyle 6-19-91
 COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE,
 STORM DRAINAGE SYSTEMS & PUBLIC ROADS
 HOWARD CO. DEPT. OF PUBLIC WORKS

James G. Sullivan 6-19-91
 DIRECTOR DATE
 CHIEF, BUREAU OF ENGINEERING

APPROVED: HOWARD COUNTY DEPT. OF
 PLANNING & ZONING

James R. Smith 6/26/91
 PLANNING DIRECTOR DATE
 CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT

By the Developer:
Keith N. Jansen 9/26/90
 Signature of Developer Date
 Operations Mgr.

By the Engineer:
Robert H. Manner 10/26/90
 Signature of Engineer Date

Reviewed for Howard Soil Conservation District
 and meet technical requirements
James M. Hahn 3/12/91
 Soil Conservation Service Date

This development plan is approved for soil erosion
 and sediment control by the Howard County Soil Conservation District
John A. Robinson 3/12/91
 Soil Conservation Service Date

BEFORE BEGINNING CONSTRUCTION, CONTACT
 MISS UTILITY AT 1-800-257-7777 AT LEAST
 48 HOURS PRIOR TO CONSTRUCTION

PARCEL	STREET ADDRESS	SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
C	6645 BUSINESS PARKWAY	MEADOWRIDGE BUSINESS PARK	NA	PARCEL - C

PLAT NO. OR L/F	BLOCK NO.	ZONE	TAX/ZONE MAP	ELECT. DIST.	CENSUS TR.
9241-97	22-A	M-1	37-43	1st	6012

WATER CODE	SEWER CODE
801	2153000

ENGINEERS ARCHITECTS PLANNERS SCIENTISTS SURVEYORS PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
 113 WEST ROAD, SUITE 208
 BALTIMORE, MD. 21204
 (301) 296-4100
 ANNAPOLIS, MD ATLANTA, GA AURORA, CO CULPEPER, VA EXPORT, PA FAIRFAX, VA
 GREENBELT, MD MANASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL

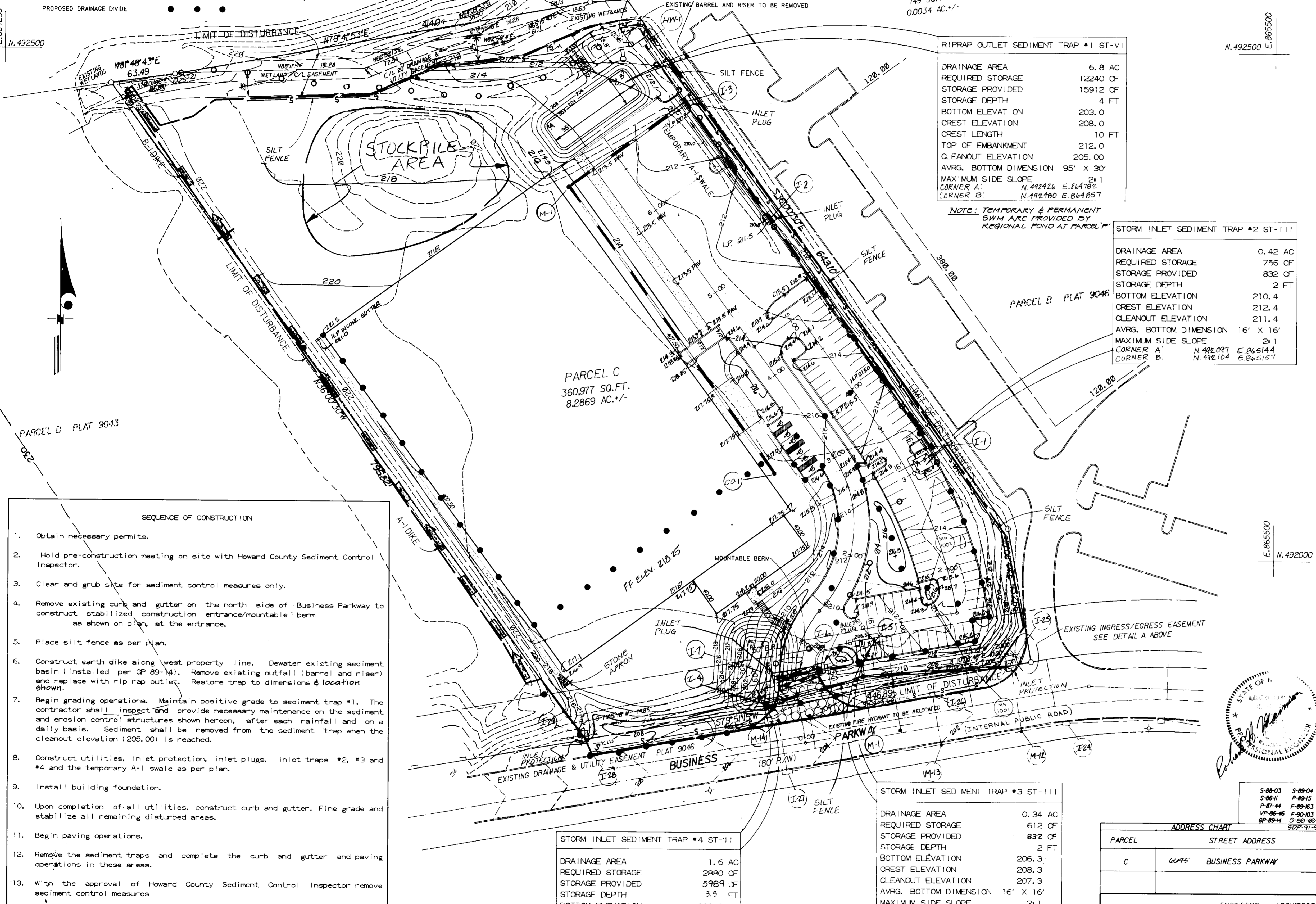
REVISIONS	BY

SEDIMENT CONTROL PLAN
 PARCEL C
MEADOWRIDGE BUSINESS PARK
 HOWARD CO. MD.
 ZONE M-1
 TAX / ZONE MAP 37

OWNER/DEVELOPER
 MOORE BUSINESS FORMS
 2215 SANDERS ROAD, SUITE 400
 NORTHBROOK, ILLINOIS 60062
 PH. (708) 480-3000

Ruck, Pate & Associates, Ltd.
 Architecture
 257 East Main Street
 Barrington, Illinois 60010

Date: 1/10
 Scale: 1" = 50'
 Drawn: T.J.W.
 Job: 7739
 Sheet: 8
 of 13 Sheets



- SEQUENCE OF CONSTRUCTION**
- Obtain necessary permits.
 - Hold pre-construction meeting on site with Howard County Sediment Control Inspector.
 - Clear and grub site for sediment control measures only.
 - Remove existing curb and gutter on the north side of Business Parkway to construct stabilized construction entrance/mountable berm as shown on plan, at the entrance.
 - Place silt fence as per plan.
 - Construct earth dike along west property line. Dewater existing sediment basin (installed per GP 89-14). Remove existing outfall (barrel and riser) and replace with rip rap outlet. Restore trap to dimensions & location shown.
 - Begin grading operations. Maintain positive grade to sediment trap #1. The contractor shall inspect and provide necessary maintenance on the sediment and erosion control structures shown hereon, after each rainfall and on a daily basis. Sediment shall be removed from the sediment trap when the cleanout elevation (205.00) is reached.
 - Construct utilities, inlet protection, inlet plugs, inlet traps #2, #3 and #4 and the temporary A-1 swale as per plan.
 - Install building foundation.
 - Upon completion of all utilities, construct curb and gutter. Fine grade and stabilize all remaining disturbed areas.
 - Begin paving operations.
 - Remove the sediment traps and complete the curb and gutter and paving operations in these areas.
 - With the approval of Howard County Sediment Control Inspector remove sediment control measures.

STORM INLET SEDIMENT TRAP #4 ST-111

DRAINAGE AREA	1.6 AC
REQUIRED STORAGE	2990 CF
STORAGE PROVIDED	5989 CF
STORAGE DEPTH	3.3 FT
BOTTOM ELEVATION	202.0
CREST ELEVATION	205.3
CLEANOUT ELEVATION	203.6
AVRG. BOTTOM DIMENSION	20' X 60'
MAXIMUM SIDE SLOPE	2:1

CORNER A: N.491920 E.864985
 CORNER B: N.491923 E.864979

STORM INLET SEDIMENT TRAP #3 ST-111

DRAINAGE AREA	0.34 AC
REQUIRED STORAGE	612 CF
STORAGE PROVIDED	832 CF
STORAGE DEPTH	2 FT
BOTTOM ELEVATION	206.3
CREST ELEVATION	208.3
CLEANOUT ELEVATION	207.3
AVRG. BOTTOM DIMENSION	16' X 16'
MAXIMUM SIDE SLOPE	2:1

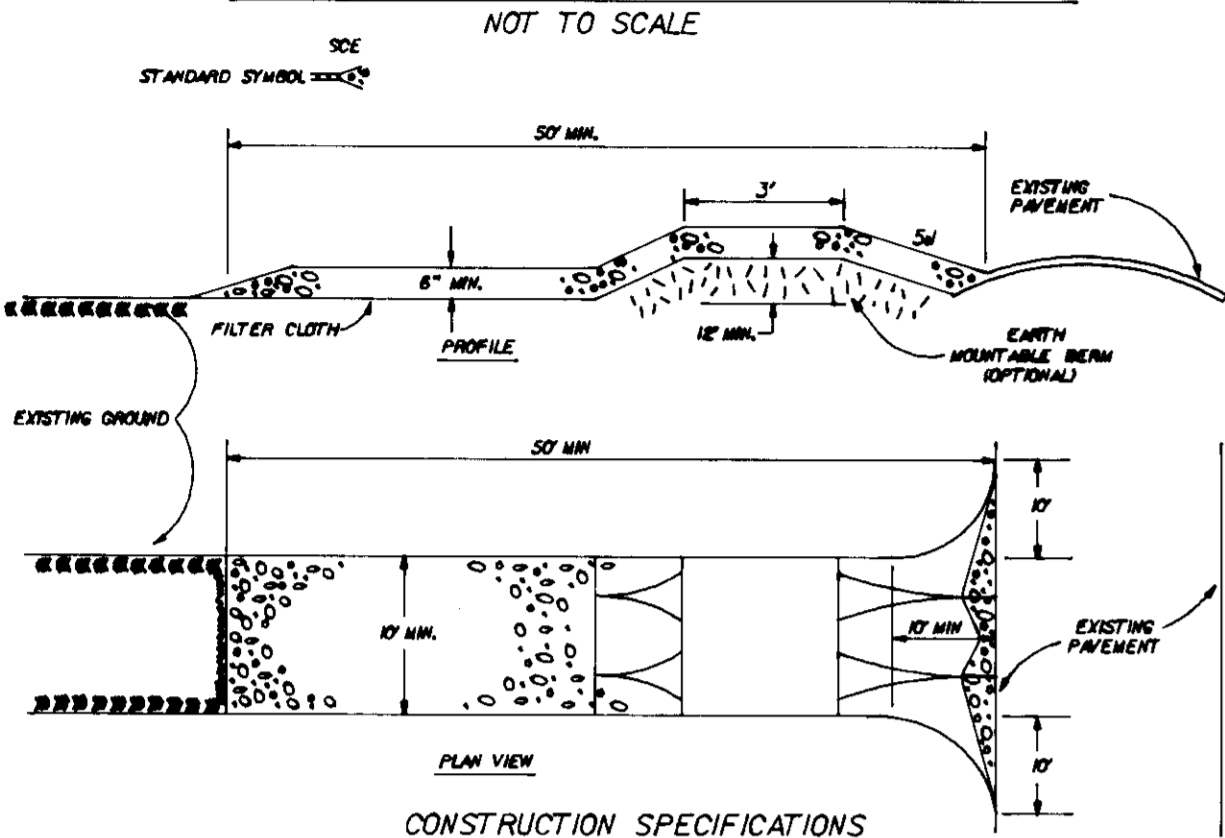
CORNER A: N.491920 E.864985
 CORNER B: N.491923 E.865106

NOTE:
 SEE SHEET NO. 3 OF 13 FOR FINAL GRADING OF SITE UPON REMOVAL
 OF ALL SEDIMENT CONTROL MEASURES.

NOTE: GRADE OF TRAP #4 WILL BE
 FLUSH WITH ACCESS ROAD
 WHEN GRADED.

AS-BUILT SDP-91-54 B-110-X

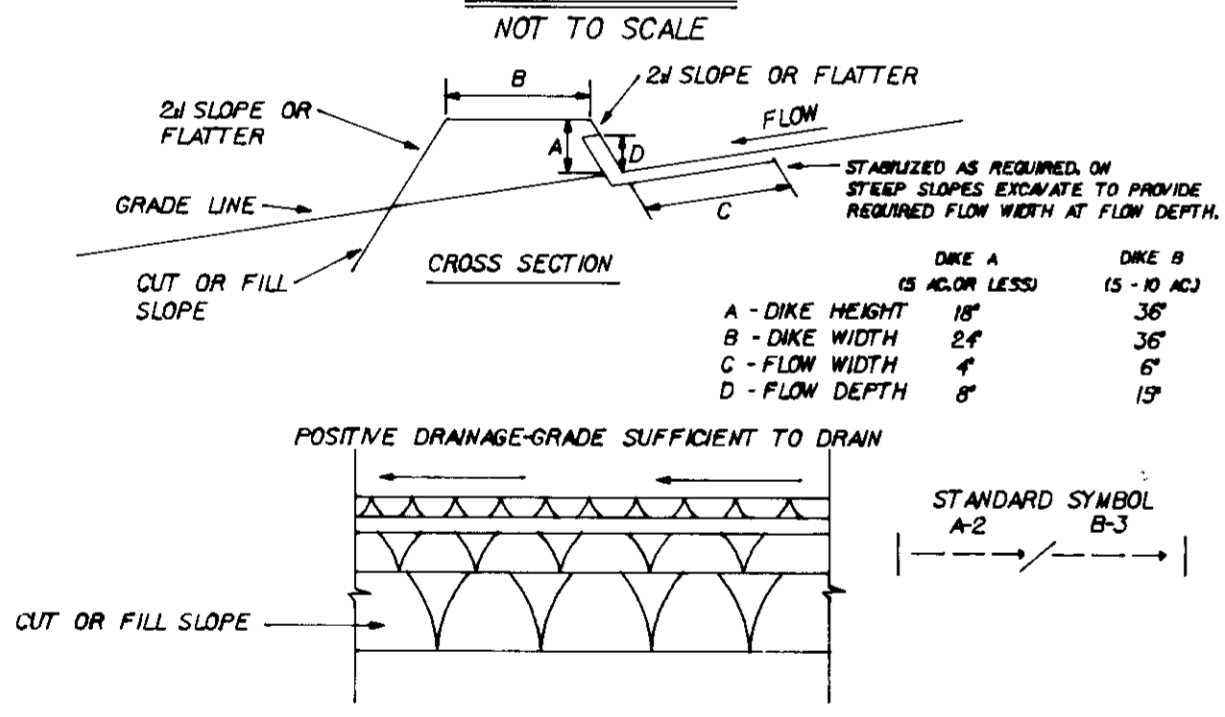
STABILIZED CONSTRUCTION ENTRANCE



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS NOT LESS THAN SIX (6) INCHES.
- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH A 5% SLOPE WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

EARTH DIKE



CONSTRUCTION SPECIFICATIONS

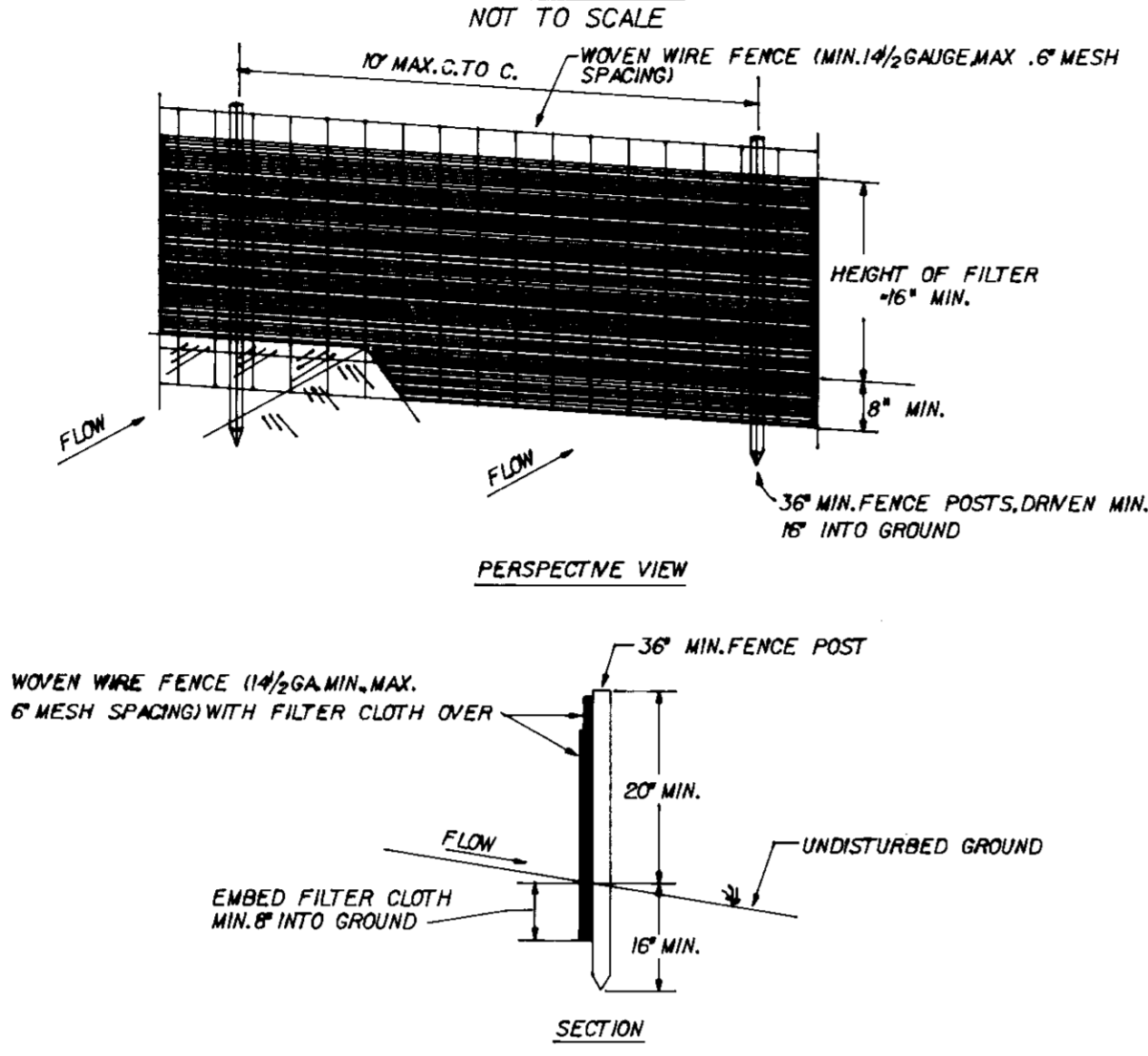
- ALL DIKES SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
- ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
- TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.
- FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
- EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT ADEQUATELY STABILIZED.
- STABILIZATION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON. (B) FLOW CHANNEL AS PER THE CHART BELOW.

FLOW CHANNEL STABILIZATION

TYPE OF TREATMENT	CHANNEL GRADE	DIKE A	DIKE B
1	5-30%	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3-50%	SEED AND STRAW MULCH	SEED USING JUTE, OR 2" STONE
3	5-80%	SEED WITH JUTE, OR 2" STONE	UNED RIP-RAP 4" #
4	8-20%	UNED RIP-RAP 4" #	ENGINEERING DESIGN

- A STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.
- RIP-RAP TO BE 4-8 INCHES IN A LAYER AT LEAST 8 INCHES THICKNESS AND PRESSED INTO THE SOIL.
- APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

SILT FENCE



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 2' AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

- Preferred** - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/100 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/100 sq ft) before seeding. Harrow or disc into upper three inches of soil.
- Acceptable** - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
- Seeding** - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (1 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- Mulching** - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/100 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool of 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
- Maintenance** - Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

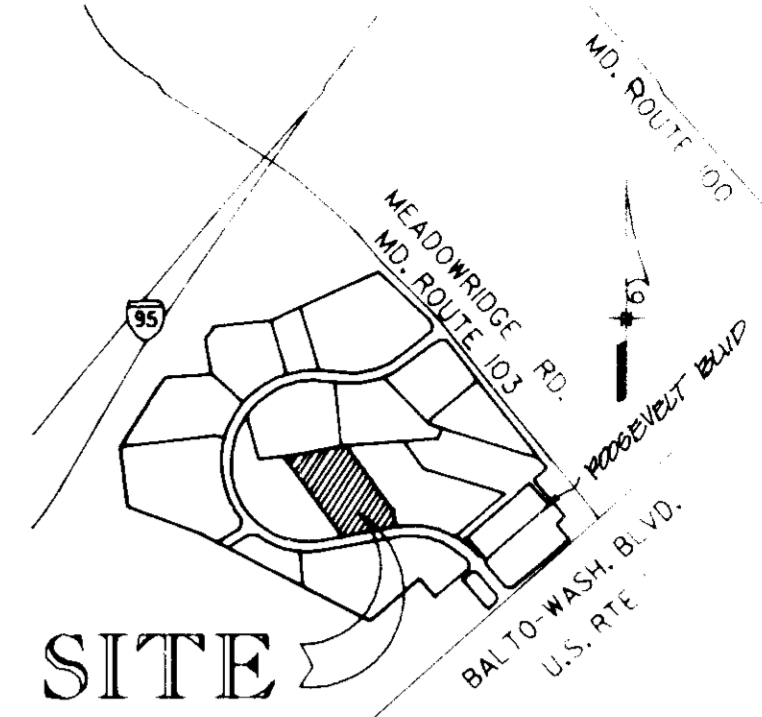
- Seeded Preparation** - Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.
- Soil Amendments** - Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
- Seeding** - For period March 1 thru April 30 and from August 1 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (1.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

- Mulching** - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A) 7 CALENDAR DAYS FOR ALL PERMANENT SEDIMENT CONTROL STRUCTURES, DIKES, PERMANENT SLOPES AND ALL SLOPES GREATER THAN 3:1 B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 - TOTAL AREA OF SITE: 2.29 ACRES
 - AREAS DISTURBED: 2.20 ACRES
 - AREA TO BE ROOFED OR PAVED: 5.91 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED: 2.29 ACRES
 - TOTAL CUT: 14,000 CU. YDS.
 - TOTAL FILL: 15,000 CU. YDS.
 - OFFSITE WASTE/ AREA LOCATION: LOCATION ON MEADOWRIDGE SUBDIVISION PARK
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPM SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.



VICINITY MAP

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

APPROVED: SEDIMENT CONTROL

By the Developer:
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certification of Attendance at a Department of Environment Approval Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

By the Engineer:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District.

Reviewed for Howard Soil Conservation District and meet technical requirements

Development plan is approved for soil erosion and sediment control by the Howard County Soil Conservation District

Address Chart

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

PARCEL	STREET ADDRESS	SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
C	6095 BUSINESS PARKWAY	MEADOWRIDGE BUSINESS PARK	NA	PARCEL
		PLAT NO. OR L/F	BLOCK NO.	ZONE
		2241-47	22-A	M-1
		TAX/ZONE MAP	ELECT. DIST.	CENSUS TR.
		37-43	1st	6012
		WATER CODE	SEWER CODE	
		801		2153000

ENGINEERS ARCHITECTS PLANNERS SCIENTISTS SURVEYORS PHOTOGRAMMETRISTS

GREENHORNE & O'MARA, INC.

113 WEST ROAD, SUITE 208
BALTIMORE, MD. 21204
(301)298-4100

ANNAPOLIS, MD ATLANTA, GA AURORA, CO CULPEPER, VA EXPORT, PA FAIRFAX, VA GREENBELT, MD MANASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL

REVISIONS BY

SEDIMENT CONTROL DETAILS

PARCEL C

MEADOWRIDGE BUSINESS PARK

HOWARD CO. MD.

ZONE M-1

TAX / ZONE MAP 37

OWNER/DEVELOPER

MOORE BUSINESS FORMS

2215 SANDERS ROAD, SUITE 400

NORTHBROOK, ILLINOIS 60062

PH. (708) 480-3000

Ruck, Pate & Associates, Ltd.

Architecture

257 East Main Street

Barrington, Illinois 60010

Date 10/90

Scale NONE

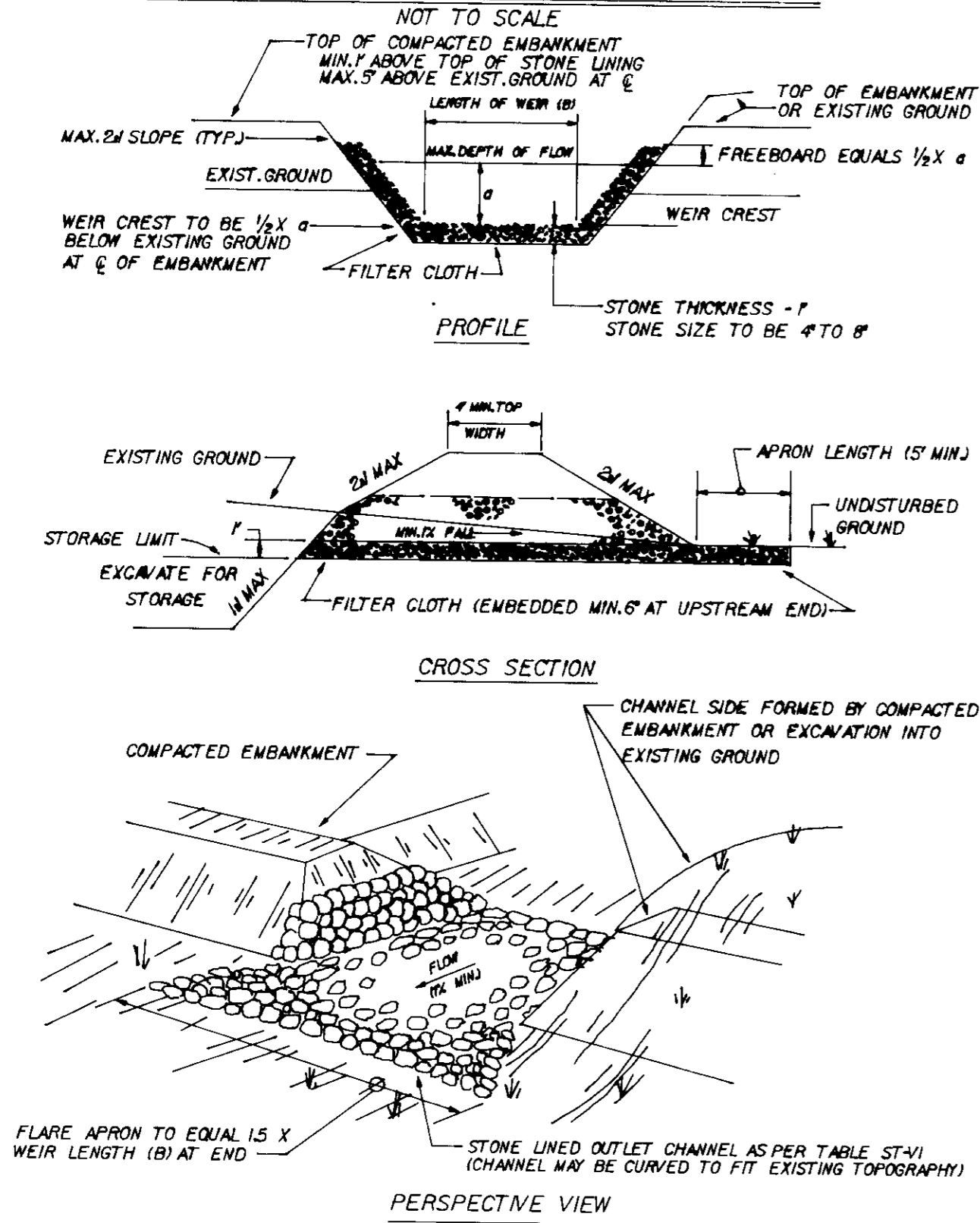
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Job 7739

Sheet 3

Of 13 Sheets

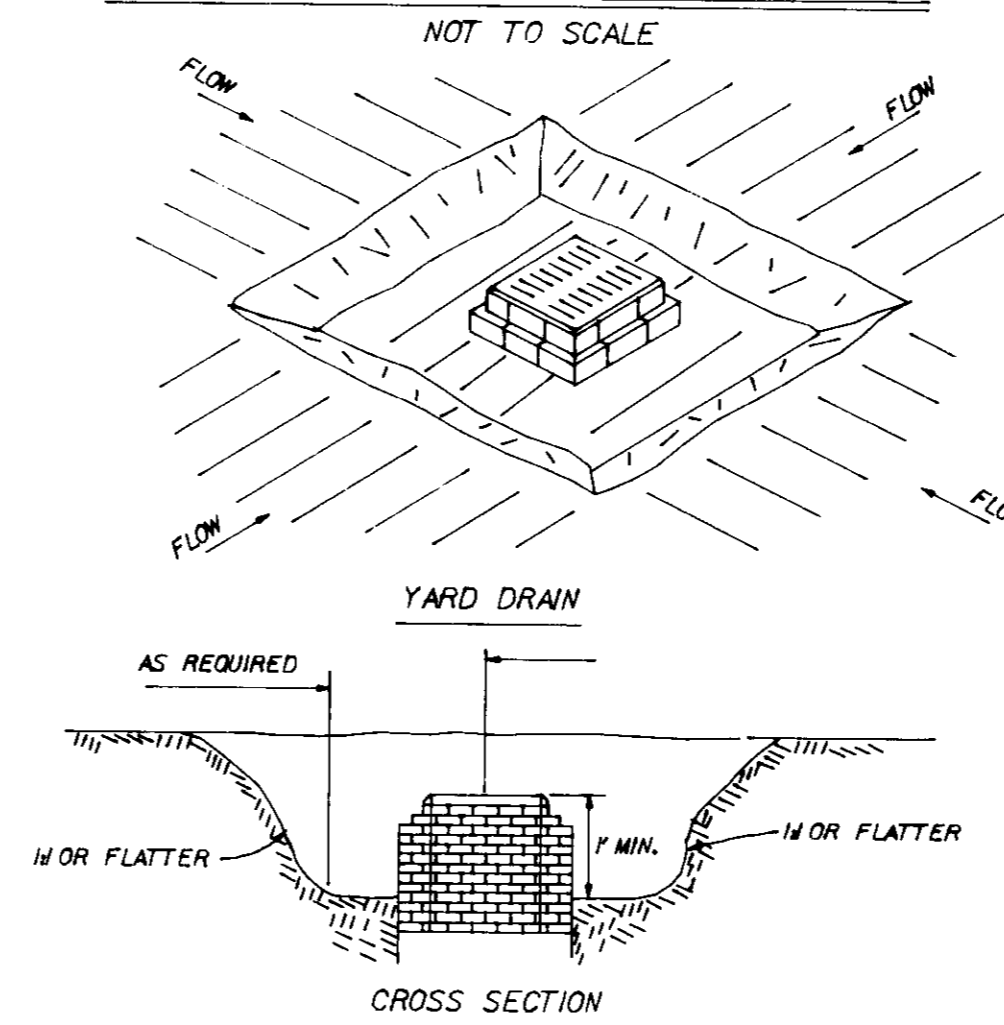
RIPRAP OUTLET SEDIMENT TRAP ST-VI



CONSTRUCTION SPECIFICATIONS FOR ST-VI

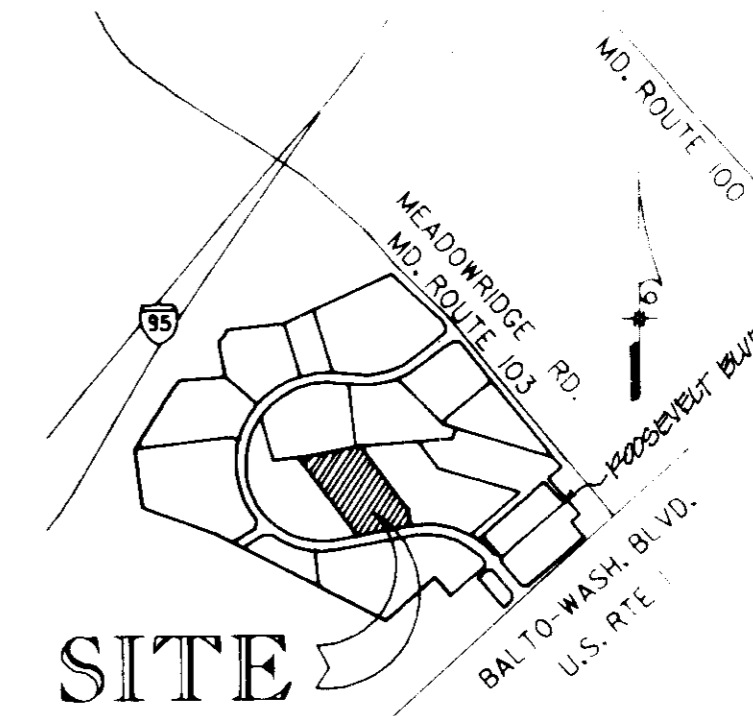
1. THE AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIALS OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED. MAXIMUM HEIGHT OF EMBANKMENT SHALL BE FIVE (5) FEET, MEASURED AT CENTERLINE OF EMBANKMENT.
3. ALL FILL SLOPES SHALL BE 2:1 OR FLATTER; CUT SLOPES 1:1 OR FLATTER.
4. ELEVATION OF THE TOP OF ANY DIKE DIRECTING WATER INTO TRAP MUST EQUAL OR EXCEED THE HEIGHT OF EMBANKMENT.
5. STORAGE AREA PROVIDED SHALL BE FIGURED BY COMPUTING THE VOLUME AVAILABLE BEHIND THE OUTLET CHANNEL UP TO AN ELEVATION OF ONE (1) FOOT BELOW THE LEVEL WEIR CREST.
6. FILTER CLOTH SHALL BE PLACED OVER THE BOTTOM AND SIDES OF THE OUTLET CHANNEL PRIOR TO PLACEMENT OF STONE. SECTIONS OF FABRIC MUST OVERLAP AT LEAST ONE (1) FOOT WITH SECTION NEAREST THE ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
7. STONE USED IN THE OUTLET CHANNEL SHALL BE FOUR (4) TO EIGHT (8) INCHES (RIPRAP) TO PROVIDE A FILTERING EFFECT. A LAYER OF FILTER CLOTH SHALL BE EMBEDDED ONE (1) FOOT BACK INTO THE UPSTREAM FACE OF THE OUTLET STONE OR A ONE (1) FOOT THICK LAYER OF TWO (2) INCH OR FINER AGGREGATE SHALL BE PLACED ON THE UPSTREAM FACE OF THE OUTLET.
8. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
9. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRED AS NEEDED.
10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
11. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
12. DRAINAGE AREA FOR THIS PRACTICE IS LIMITED TO 15 ACRES OR LESS.

STORM INLET SEDIMENT TRAP ST-III



CONSTRUCTION SPECIFICATIONS FOR ST-III

1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
2. THE VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
6. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER. MAXIMUM DRAINAGE AREA: 3 ACRES.



VICINITY MAP
SCALE: 1" = 200'

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Agnes Bogdan 6-19-91
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

James J. Slone 6/13/91
DIRECTOR DATE
CHIEF, BUREAU OF ENGINEERING

APPROVED: HOWARD COUNTY DEPT. OF
PLANNING & ZONING

James R. Keith 6/26/91
PLANNING DIRECTOR DATE
Paul J. DeWitt 6/27/91
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

By the Developer:
I certify that all development and/or construction will be done according to these plans and that any responsible personnel involved in the construction project will have a Certification of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Leif V. Jensen 9/26/90
Signature of Developer DATE
Kath N. Janssen Operator Agr.

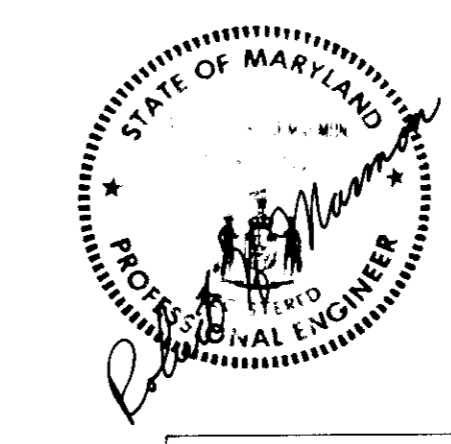
By the Engineer:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District.

Robert A. Mann 10/26/90
Signature of Engineer DATE

Reviewed for Howard Soil Conservation District and meets technical requirements
Jonathan H. Adam 3/12/91
U.S. Soil Conservation Service DATE

This development plan is approved for soil erosion and sediment control by the Howard County Soil Conservation District
John R. Rhoton 3/12/91
Howard Soil Conservation Service DATE

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

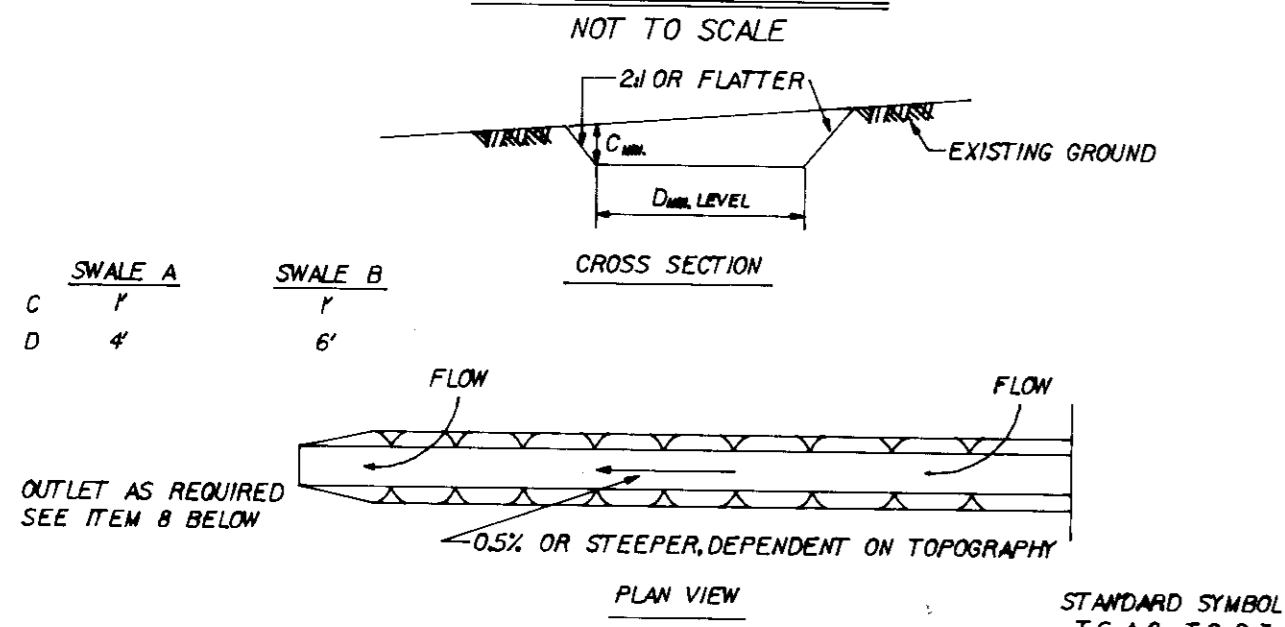


S-88-03	S-89-04
S-88-11	P-89-15
P-87-44	F-89-63
VP-86-46	F-90-03
GP-89-14	

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PARCEL	STREET ADDRESS	MEADOWRIDGE BUSINESS PARK		NA	PARCEL
C	6095 BUSINESS PARKWAY	PLAT NO. OR L/F	BLOCK NO.	TAX/ZONE MAP	ELECT. DIST.
		9241-97	22, 4	M-1	37-46
		WATER CODE	SEWER CODE		
		BO1			215.3000

ENGINEERS ARCHITECTS PLANNERS SCIENTISTS SURVEYORS PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208
BALTIMORE, MD. 21204
(301) 298-4100
ANNAPOLIS, MD ATLANTA, GA AURORA, CO CULPEPER, VA FAIRFAX, VA
GREENBELT, MD MANASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL

TEMPORARY SWALE



CONSTRUCTION SPECIFICATIONS

1. ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPED EROSION.
6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
7. ALL EARTH REMOVED AND NOT NEEDED ON CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
8. STABILIZATION SHALL BE AS PER THE CHART BELOW:

FLOW CHANNEL STABILIZATION

TYPE OF TREATMENT	CHANNEL GRADE	A (5 AC OR LESS)		B (5 AC - 10 AC)	
		SEED AND STRAW MULCH	SEED AND STRAW MULCH	SEED USING JUTE OR EXCELSIOR	LINED RIP-RAP 4"8" RECYCLED CONCRETE EQUIVALENT
1	0.5-3.0%				
2	3.1-5.0%				
3	5.1-8.0%				
4	8.1-20%				

PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

REVISIONS BY

SEDIMENT CONTROL DETAILS
PARCEL C
MEADOWRIDGE BUSINESS PARK
HOWARD CO. MD.
ZONE M-1
TAX / ZONE MAP 37

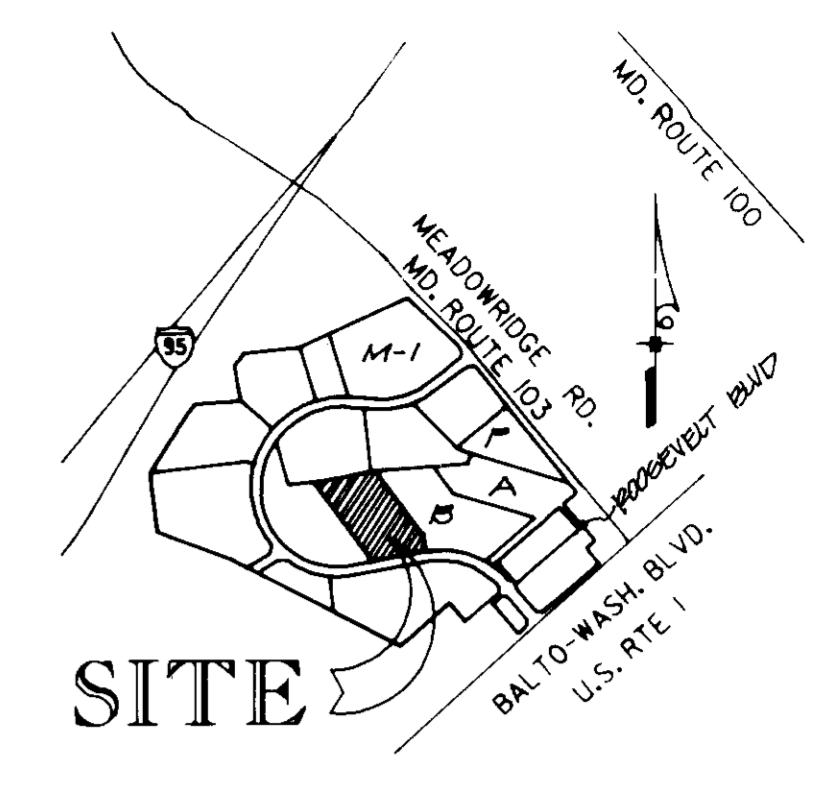
OWNER/DEVELOPER
MOORE BUSINESS FORMS
2215 SANDERS ROAD, SUITE 400
NORTHBROOK, ILLINOIS 60062
PH. (708) 480-3000

Ruck, Pate & Associates, Ltd.
Architecture
257 East Main Street
Barrington, Illinois 60010

Date 10/90
Scale NONE
Drawn CADD
Job 7739
Sheet 10
Of 13 Sheets

AS-BUILT CERTIFICATION
 J. Sarkis
 JAYKANT D. PAREKH #10148 DATE 3.3.93

- DESIGN AND GENERAL NOTES
- Use poured-in place concrete for the entire structure. Refer to Maryland State Highway Administration for materials and methods of construction.
 - Wall thickness shall be as follows:
 Minimum 8 inches thick for the first 8'-0" and 12'-0" of depth and 16 inch thick walls for depth greater than 12'-0". Depth to be measured from top to top slab to crown of outgoing pipe.
 - 1" c = 3,500 psi at 28 days.
 - All reinforcing steel to be ASTM A615, GR. 60.
 - For details concerning throat openings, refer to MCOOT Standard No. 55.
- | Throat Length | No. of Pipe Supports |
|---------------|----------------------|
| 5' | 0 |
| 10' | 1 |
| 15' | 2 |
| 20' | 3 |
- pipe supports to be spaced at 5'-0" O.C.
- For details not noted in this standard, refer to MCOOT Standard No. 55.
 - The top 4 inches of walls may be brick masonry for leveling, if required. Brick masonry shall comply with the latest SHA Specification.
 - When grate opening is used, refer to the appropriate SHA Standard for details. Details shall be shown on the plans.
 - When inside width of structure is greater than 4'-0", reinforcing shall be revised as needed.
 - When structure is subject to traffic loading, reinforcing shall be designed for the appropriate traffic loads. Design loads shall be indicated on the plan.
 - All inlets and incoming pipes shall be checked for possible backwater or tailwater problems.



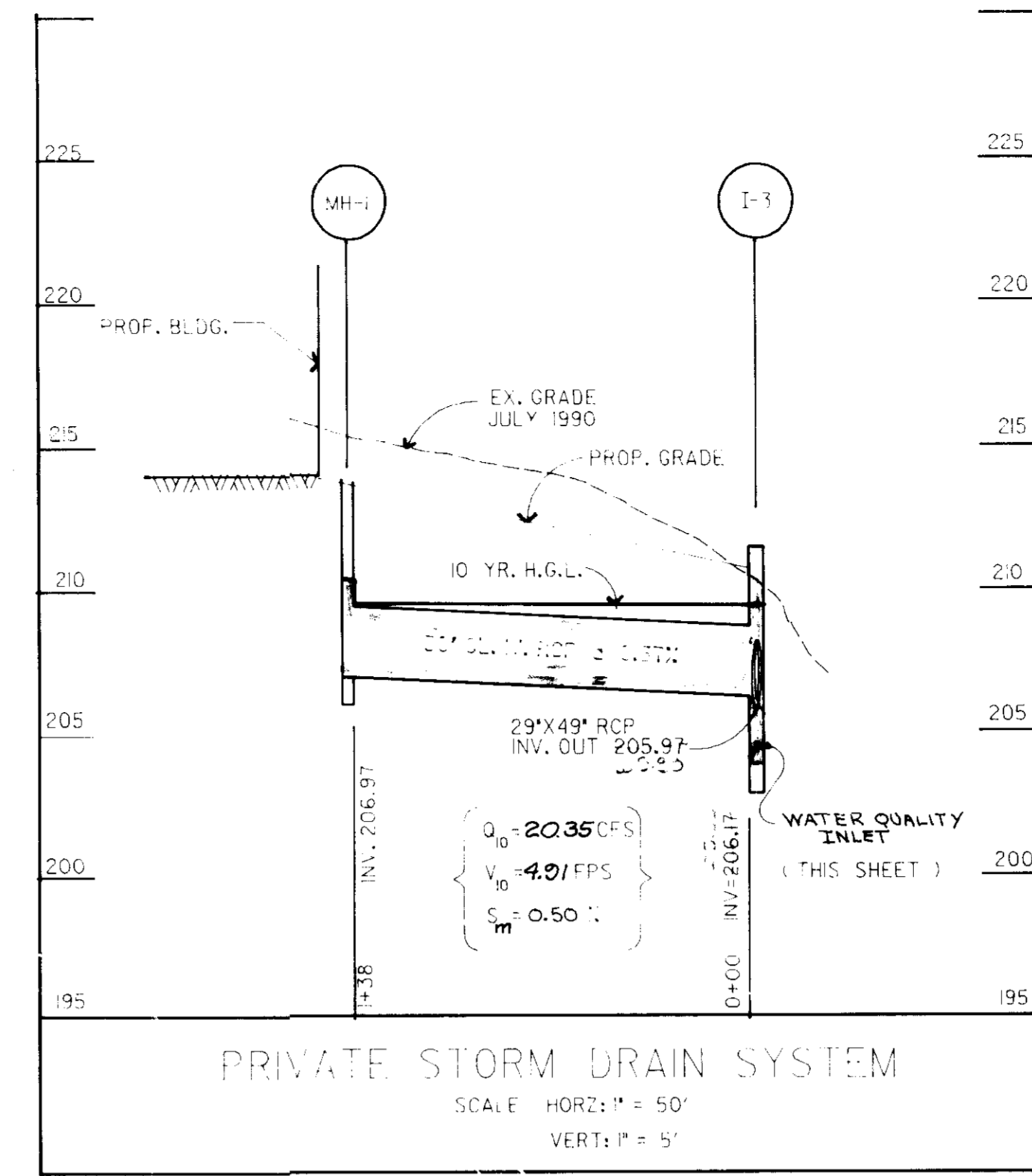
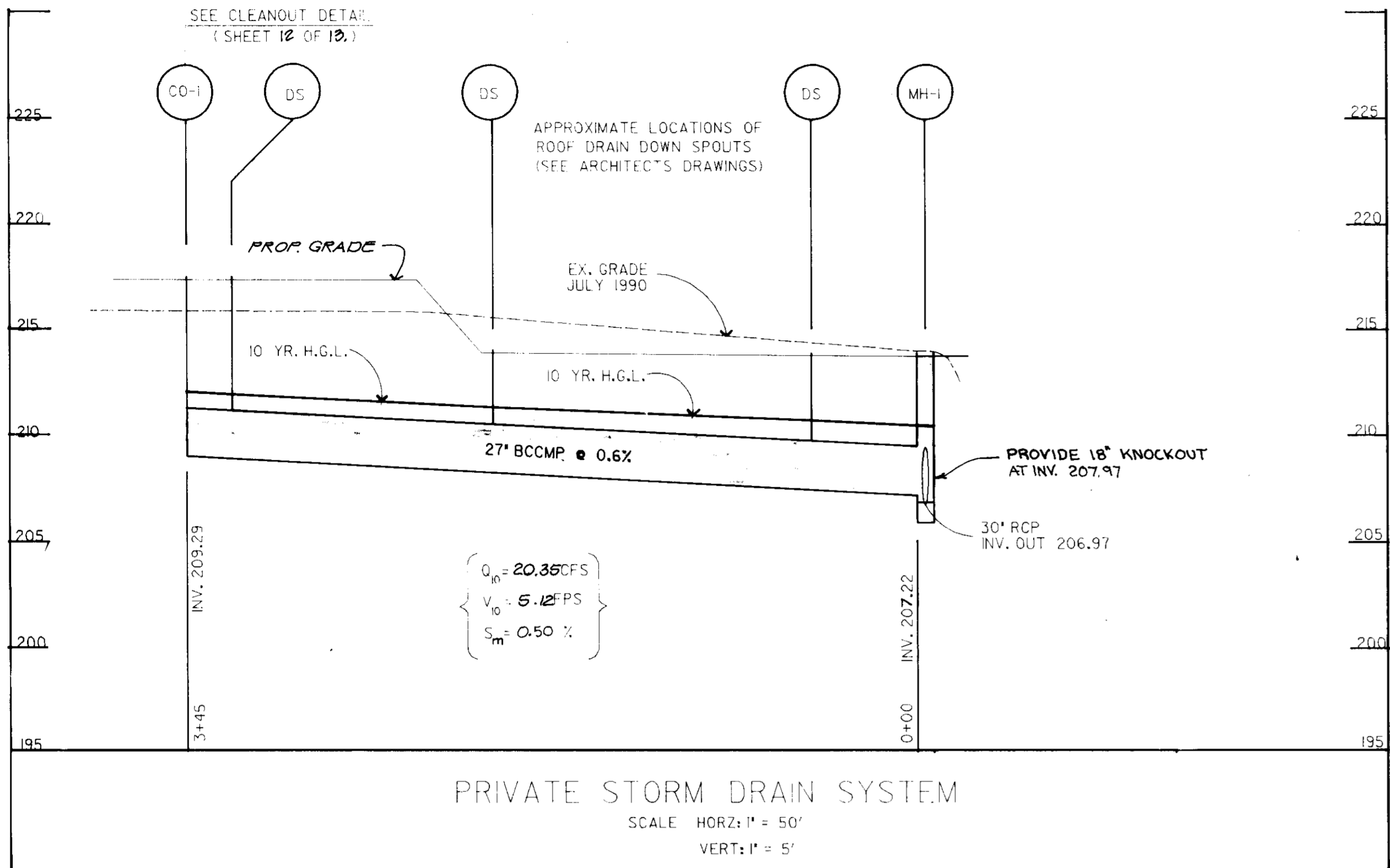
VICINITY MAP
 SCALE: 1" = 2000'

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 J. Sarkis 6-19-91
 COUNTY HEALTH OFFICER DATE

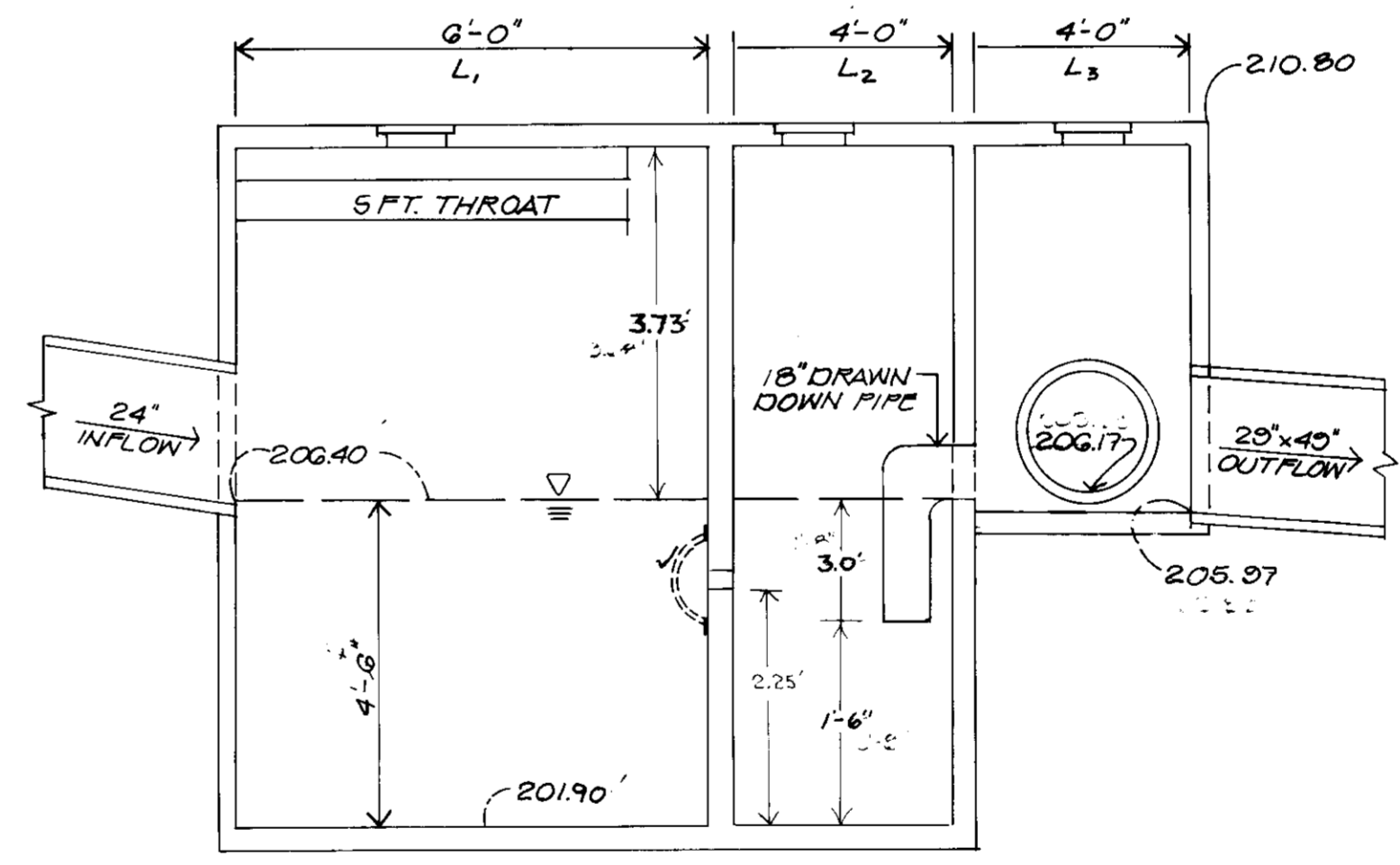
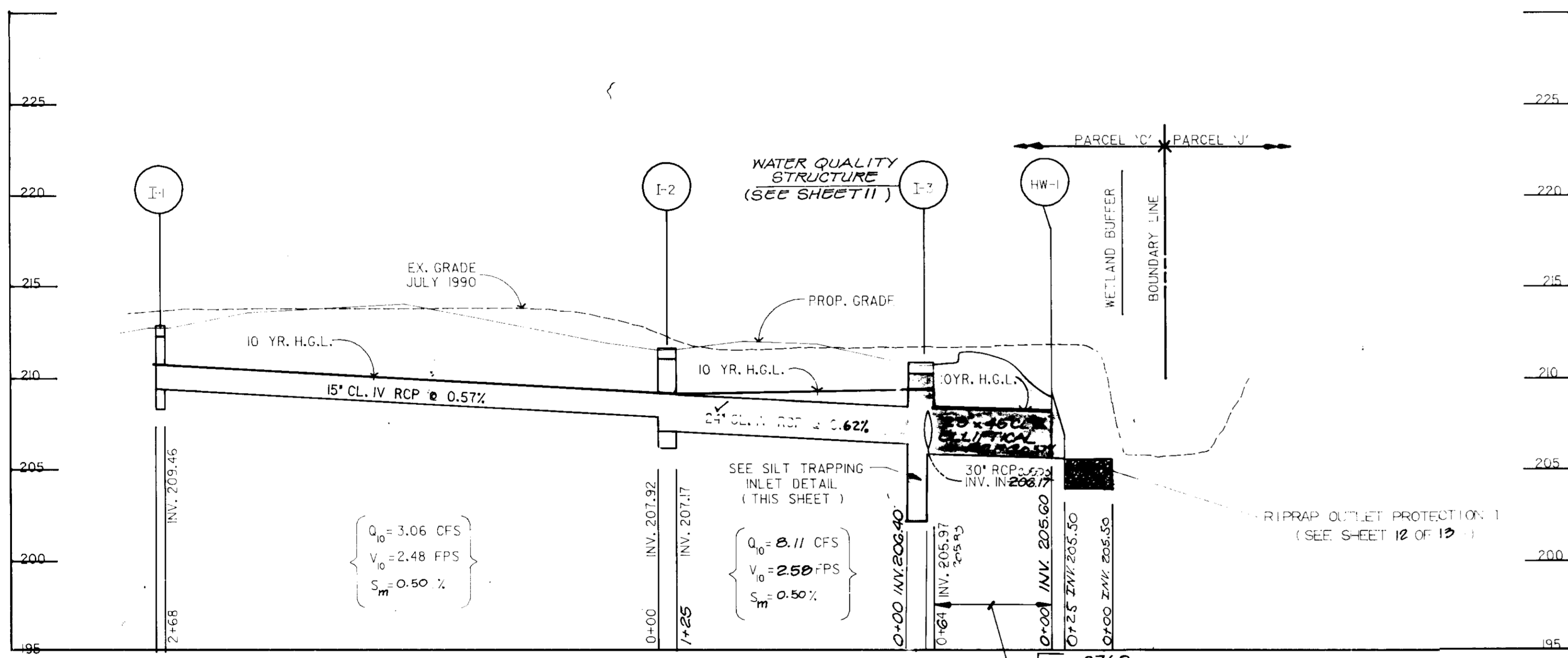
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
 HOWARD CO. DEPT. OF PUBLIC WORKS
 James P. ... 6-13-91
 DIRECTOR DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 ... 6/26/91
 PLANNING DIRECTOR DATE

APPROVED: CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT
 ... 6/27/91
 CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE



- MAINTENANCE NOTES (WATER QUALITY STRUCTURE WASTE)
- Water Quality Structures will require periodical cleaning. Owners of these facilities will have to clean them as needed or on a frequency that the County determines is appropriate. Owners of water quality structures will be notified by the County of the frequency of maintenance. Maintenance of these facilities will consist of cleaning out the separator and disposal of the waste and the repair of the facility as needed. Periodic inspections of these facilities will be made by the County Stormwater Management group.
 - The disposal of the liquid and solid matter should be as follows:
 - A. All liquid material in the separator inlet shall be pumped into a suitable tank truck and disposed of at an approved sanitary district discharge manhole or be taken to an approved sewage treatment plant for discharge.
 - B. The solid material shall be landfilled in an approved sanitary landfill.
 - The inlet pipes, trash racks, gratings, and structural parts shall be repaired as needed.
- CONSTRUCTION NOTES
- Silt and debris shall not be allowed to enter the structures until contributing drainage area have been permanently stabilized.
 - All openings to structures shall be protected with the appropriate sediment control measures during construction.
- INSPECTION NOTES
- Prior to the start of construction on water quality structures, the Howard County Construction Inspection Division Inspector must be called 48 hours in advance at 792-7272.
 - A. Approval of subgrade for footing.
 - B. Footing formed and steel set prior to pouring.
 - C. Structure sides formed and steel set prior to pouring.
 - D. Prior to top slab and manholes being set, the Construction Inspection Division Inspector must check structure and all debris and silt in structure removed.
 - E. When site is permanently stabilized and sediment control measures to protect inlet are to be removed.



SEDIMENT CONTROL AND POND CONSTRUCTION

By the Developer:
 I/we certify that all development and/or construction will be done according to these plans and that any responsible personnel involved in the construction project will have a Certification of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an approved plan of the site within 30 days of completion. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer _____ Date _____

By the Engineer:
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan, based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an approved plan of the site within 30 days of completion.

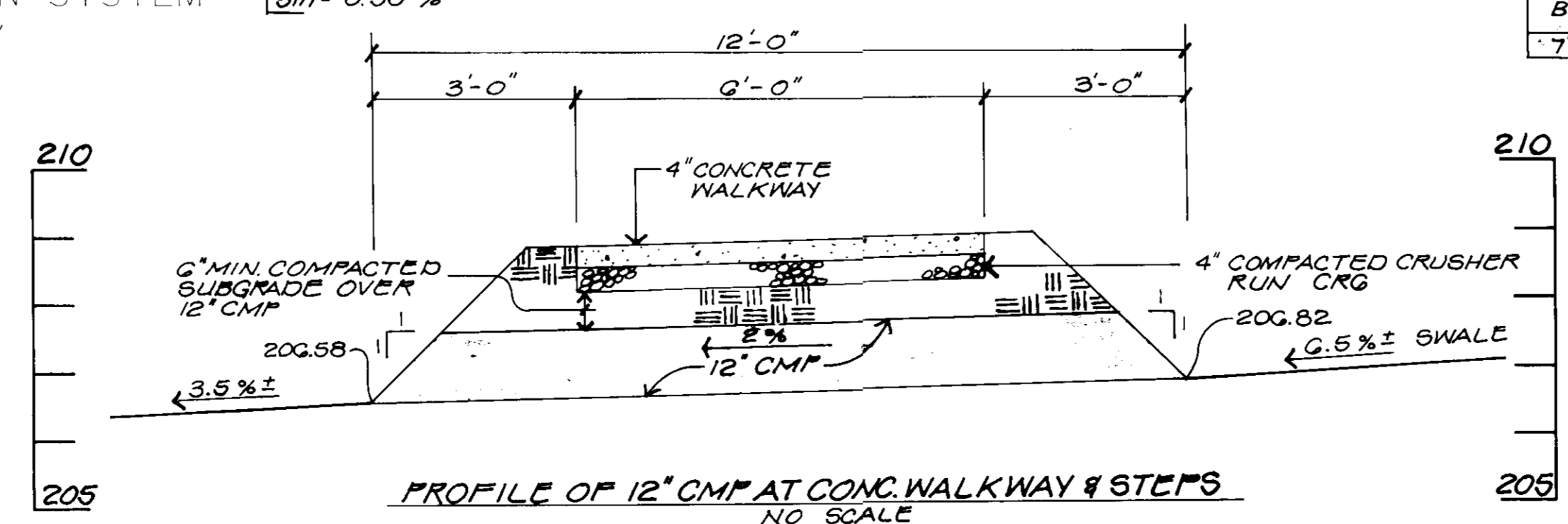
Signature of Engineer _____ Date _____

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

U.S. Soil Conservation Service _____ Date _____

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Howard Soil Conservation Service _____ Date _____



PARCEL	STREET ADDRESS	SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
C	6095 BUSINESS PARKWAY	MEADOWRIDGE BUSINESS PARK	NA	PARCEL - C
		PLAT NO. OR L/F	BLOCK NO.	ZONE
		2941-47	22, A	M-1
		WATER CODE	SEWER CODE	
		B01	215.3000	

ENGINEERS	ARCHITECTS	PLANNERS	SCIENTISTS	SURVEYORS	PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.					
113 WEST ROAD, SUITE 208					
BALTIMORE, MD. 21204					
(301) 226-4100					
ANNAPOLIS, MD ATLANTA, GA AURORA, CO CULPEPER, VA EXPORT, PA FAIRFAX, VA GREENBELT, MD MANASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL					

REVISIONS	BY

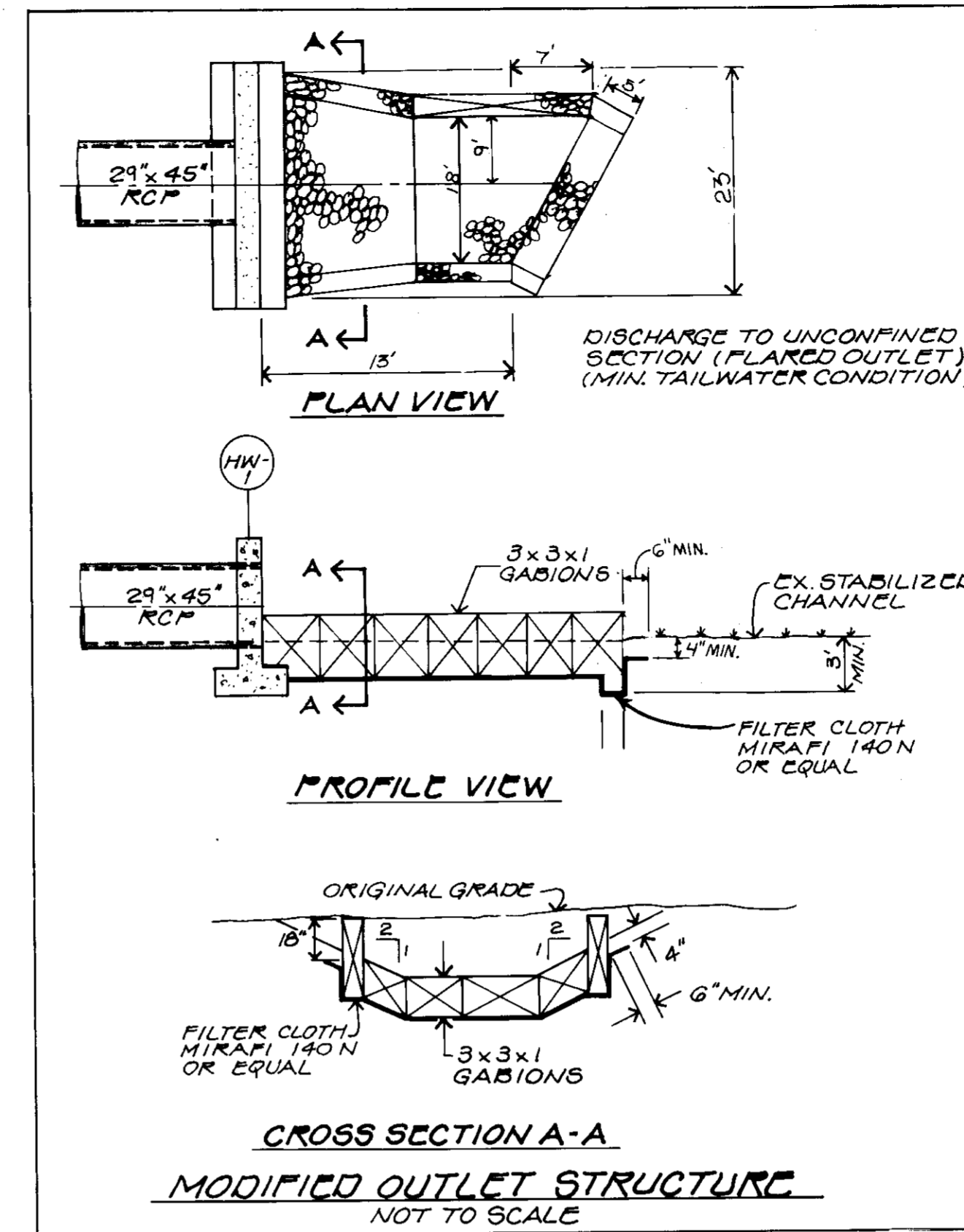
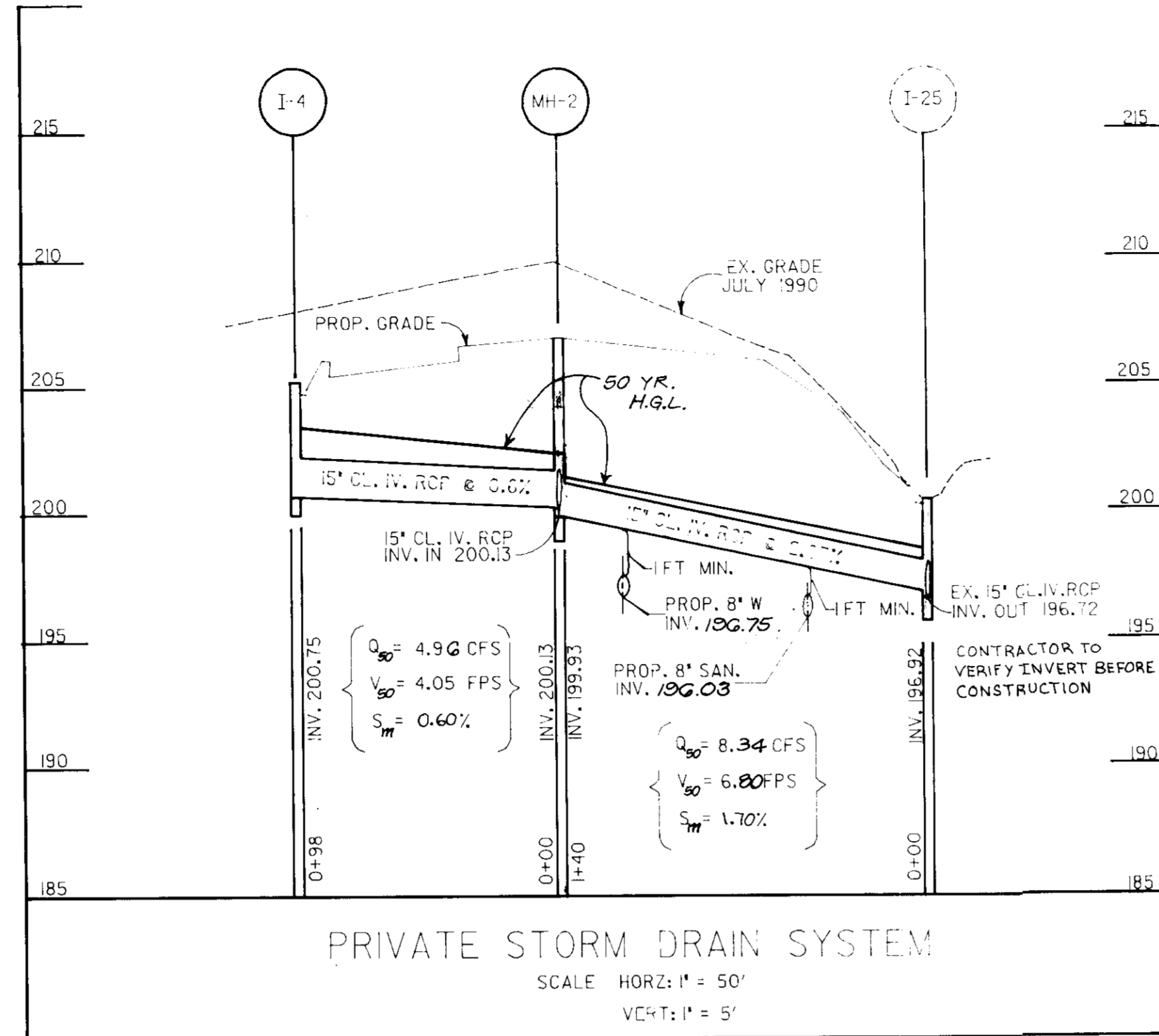
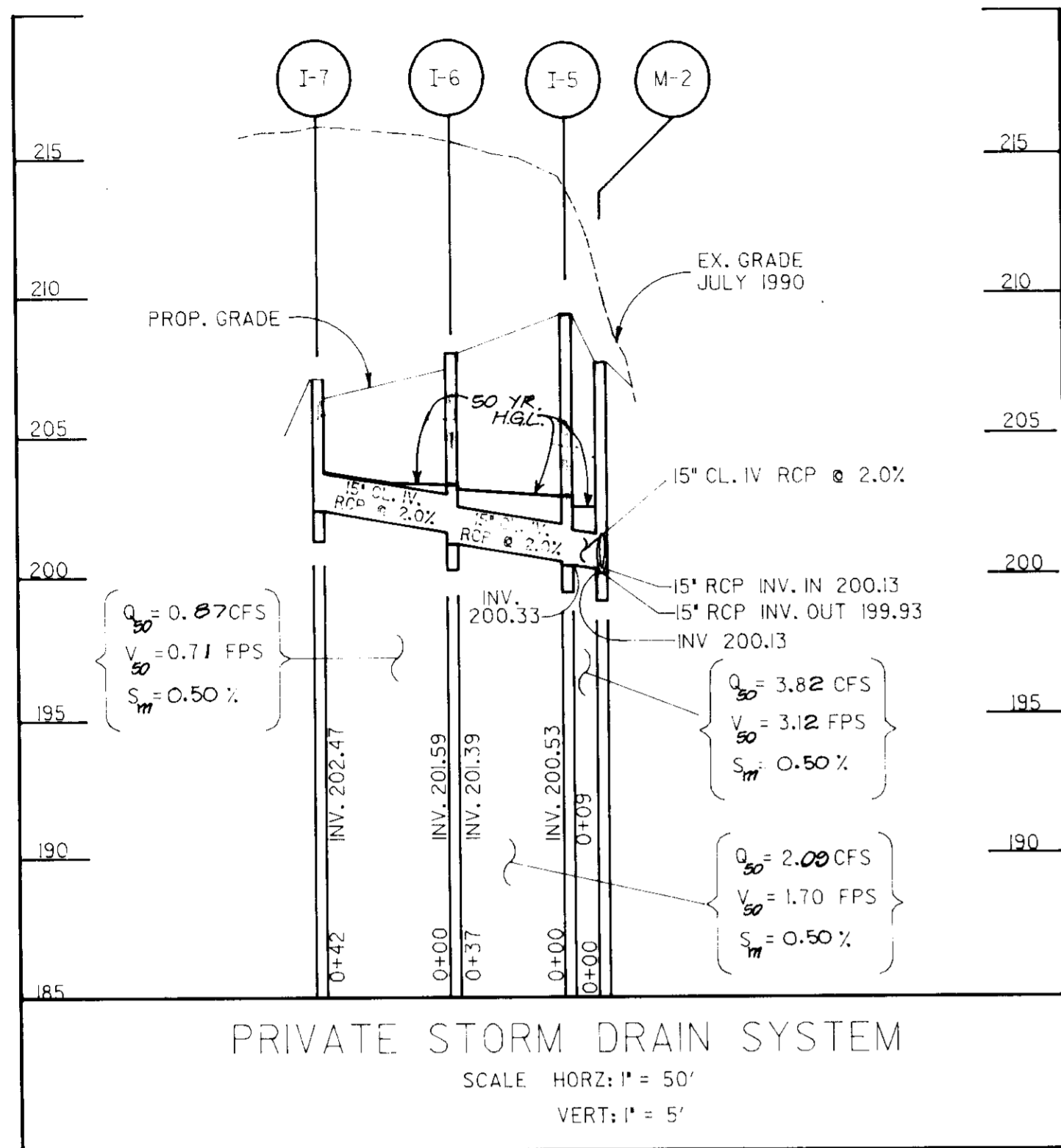
UTILITY PROFILES
 PARCEL C
 MEADOWRIDGE BUSINESS PARK
 HOWARD CO. MD.
 ZONE M-1
 TAX / ZONE MAP 37
 1ST ELECTION DISTRICT

OWNER/DEVELOPER
 MOORE BUSINESS FORMS
 2215 SANDERS ROAD, SUITE 400
 NORTHBROOK, ILLINOIS 60062
 PH. (708) 480-3000

Ruck, Pate & Associates, Ltd.
 Architecture
 257 East Main Street
 Barrington, Illinois 60010

Date 10/90
 Scale AS NOTED
 Drawn K.A.M.
 Job 7739
 Sheet 11
 Of 13 Sheets

SDP-91-54 B-1181-X

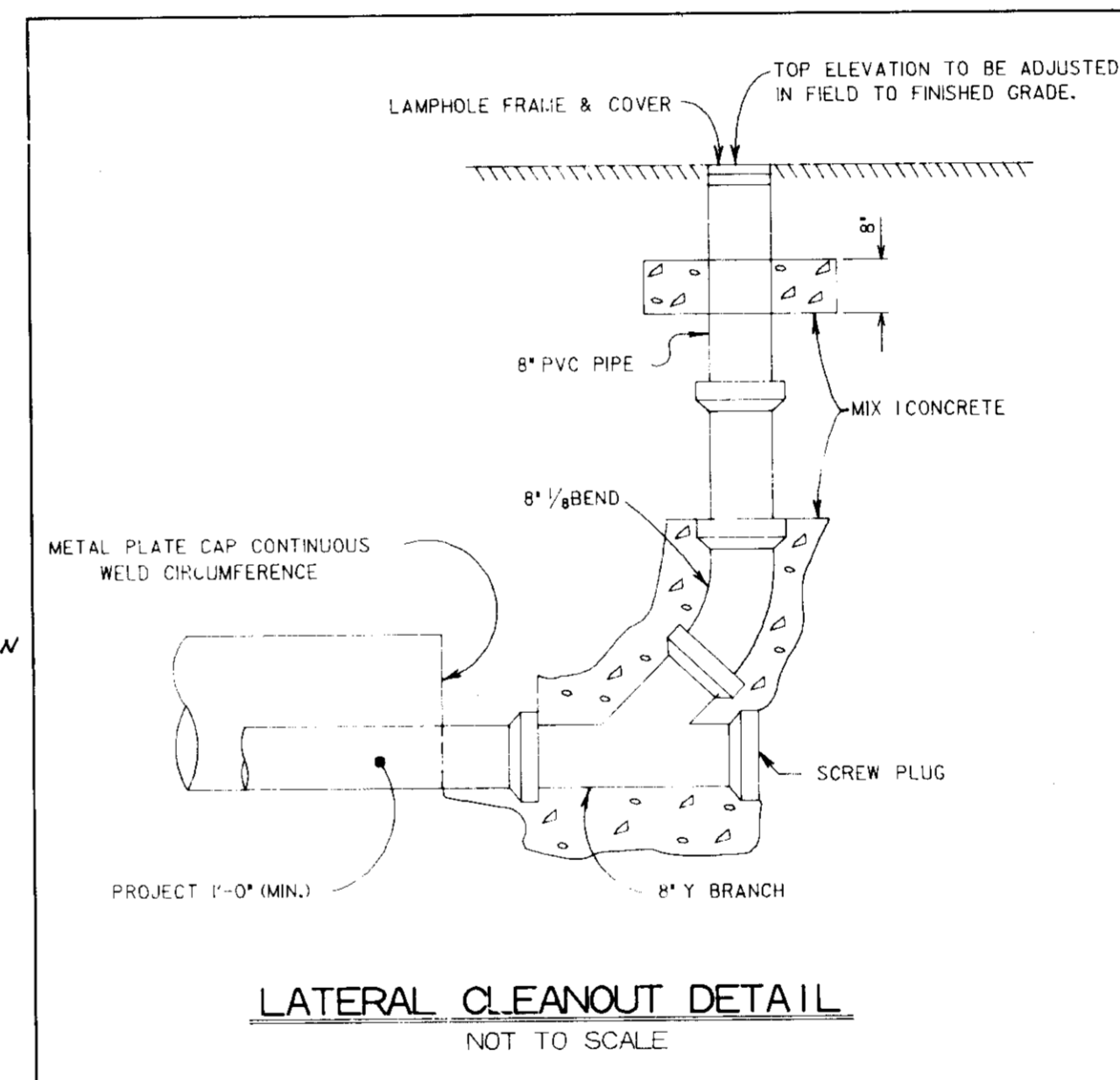
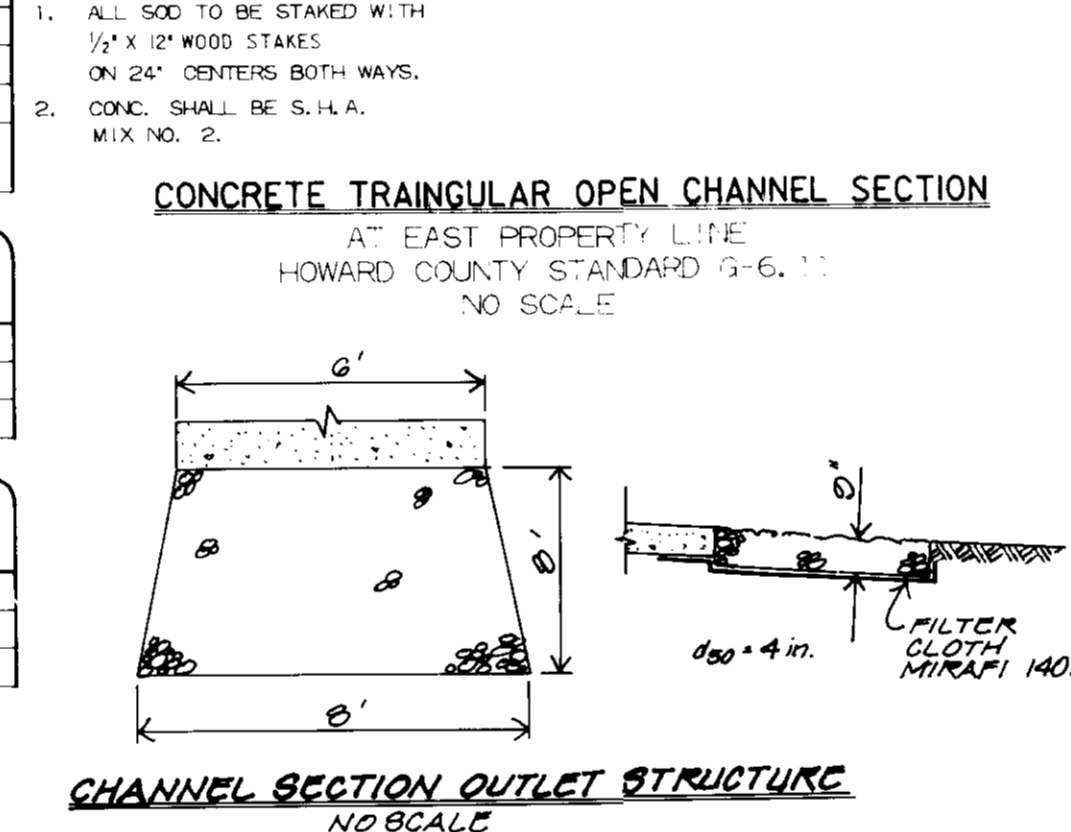
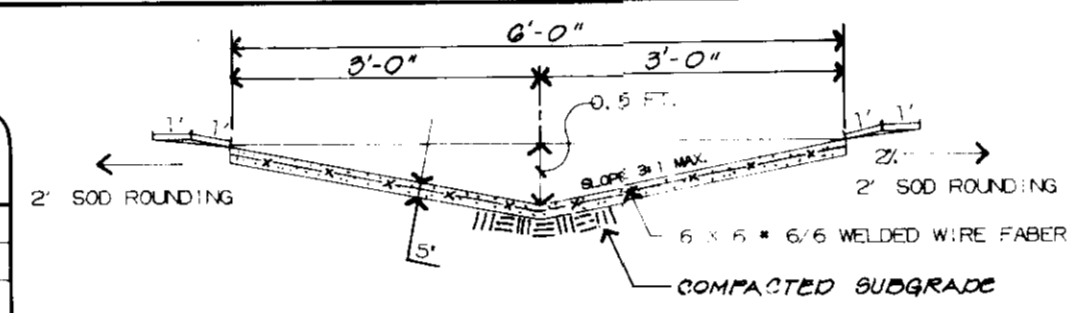


STORM DRAIN STRUCTURE SCHEDULE				
NO.	TYPE	IN	OUT	LOCATION
I-1	A-5 INLET	207.92	209.46	STA. 3+12.42, 30% RT. ***
I-2	A-10 INLET	207.17	211.50	STA. 5+27.61, 83.33% RT. ***
I-3**	A-6 INLET	205.97	210.80	STA. 6+68.00, 83.33% RT. ***
I-4	TYPE K INLET	200.75	205.30	STA. 0+45.00, 30.00% LT @ CNTR.
I-5	A-5 INLET	200.53	210.25	STA. 0+54.14, 30% RT. ***
I-6	S-COMB. INLET	201.59	206.60	STA. 0+76.28, 20.78% RT. ***
I-7	S-COMB. INLET	202.47	206.42	STA. 0+67.67, 15.03% LT. ***
M-1	STD. BRICK MH	207.22	214.10	STA. 6+68.00, 56.67% LT.
M-2	STD. BRICK MH	199.93	207.75	STA. 0+54.14, 45.00% RT.
CO-1*	CLEANOUT	209.29	215.47	STA. 3+23.00, 56.67% LT.
HW-1	TYPE 10' HEAD WALL	205.60	209.83	STA. 7+36.00, 87.50% RT.

STORM DRAIN PIPE SCHEDULE		
SIZE	TYPE	LENGTH (FT.)
15"	CL. IV RCP	594
12"	CMP	12
24"	CL. IV RCP	126
27"	BCCMP	345
30"	CL. IV RCP	138
29"x45"	CL. IV RCP ELLIPTICAL	64

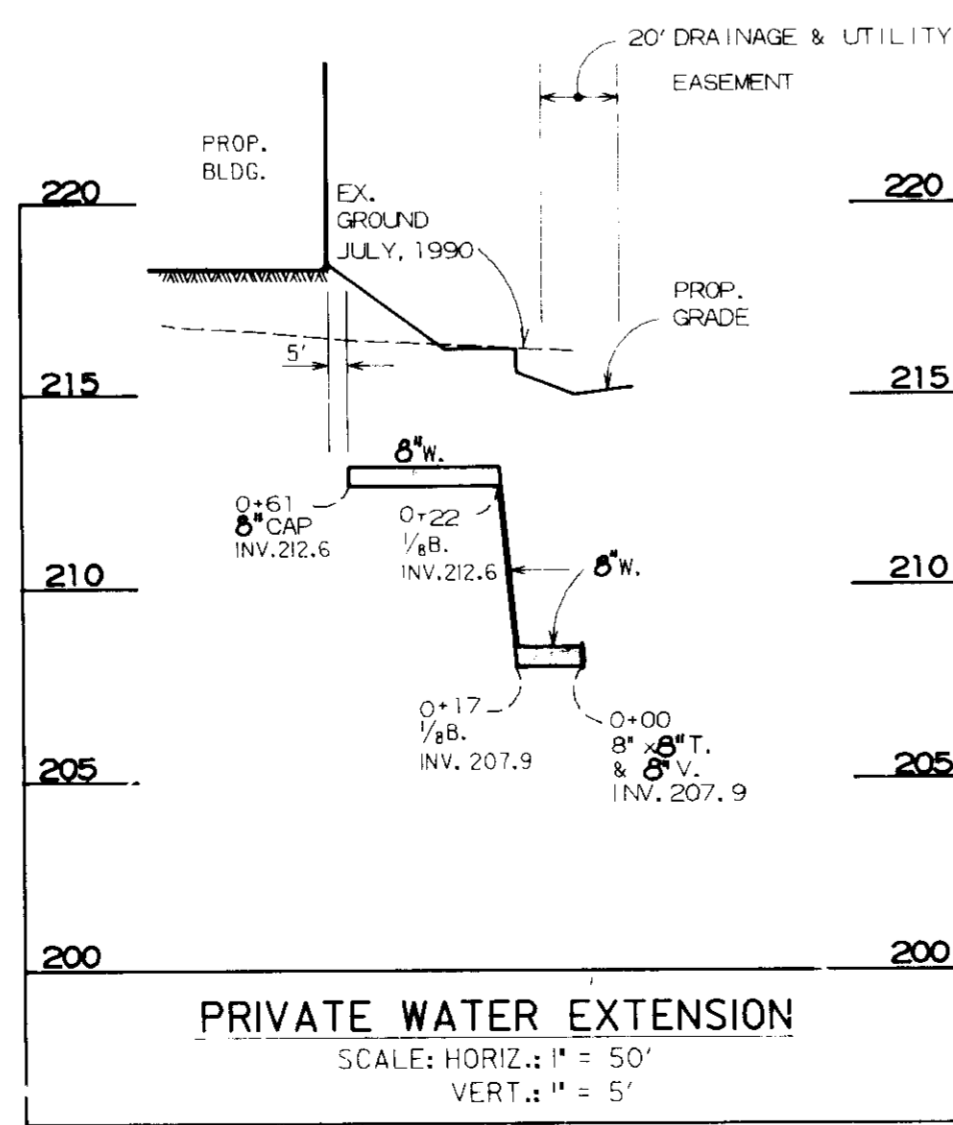
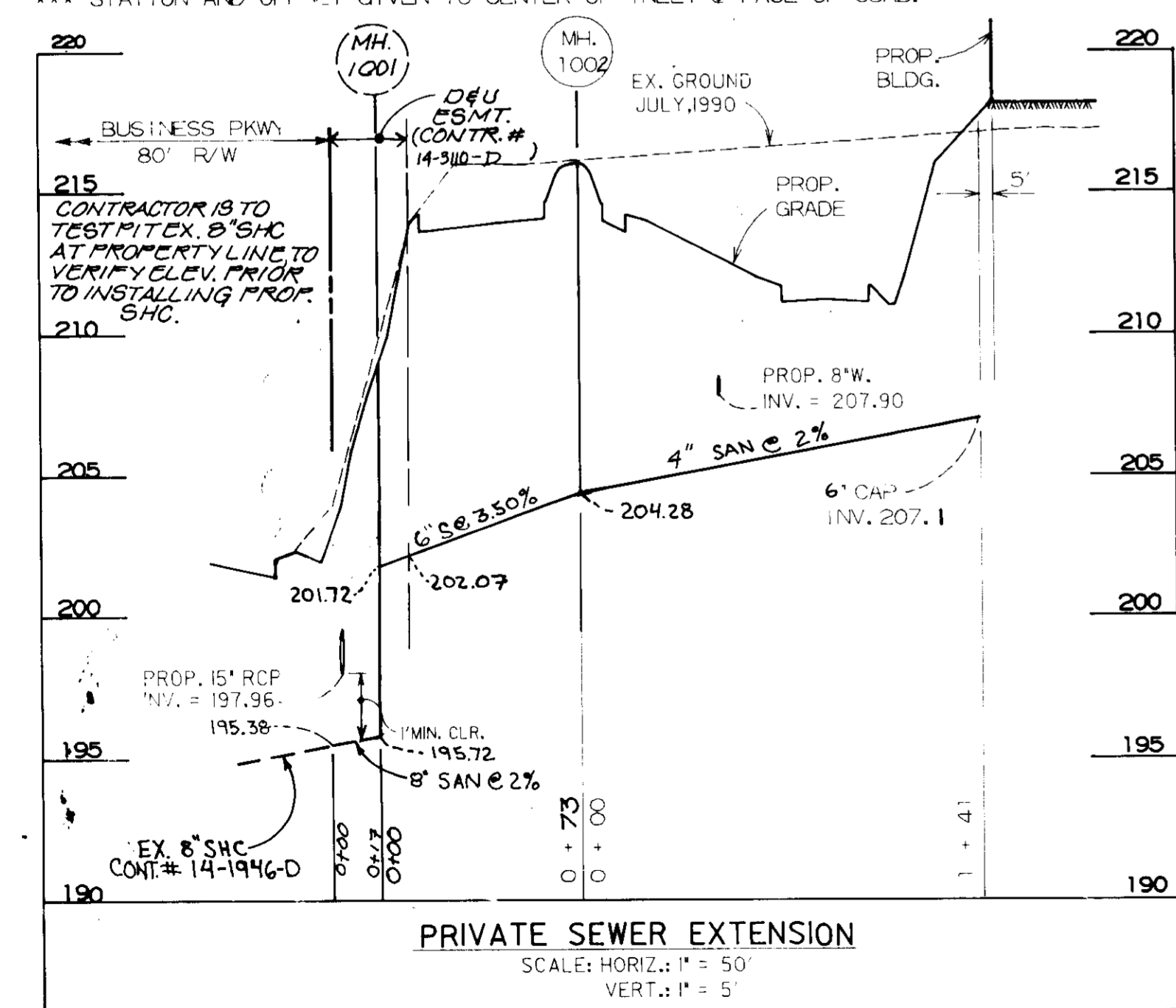
SANITARY PIPE SCHEDULE		
SIZE	TYPE	LENGTH (FT.)
4"		141
6"		73

WATER PIPE SCHEDULE		
SIZE	TYPE	LENGTH (FT.)
6"		61



SANITARY STRUCTURE SCHEDULE				
NO.	TYPE	IN	OUT	LOCATION
MH-1001	HQ.C.O. STD. S.I. 32	204.20	216.00	STA. 1+00.00, 84.56% RT.
MH-1002	HQ.C. STD. G. 501	195.72	209.00	STA. 1+55.43% RT.

- STORM DRAIN NOTES:**
- REFER TO HOWARD COUNTY DESIGN MANUAL, VOLUME IV - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, AND AS ADMITTED.
 - A-5 INLETS ARE HOWARD COUNTY STANDARD SD-4.01
 - A-10 INLETS ARE HOWARD COUNTY STANDARD SD-4.02. SEE S.I. 1 TRAPPING DETAIL FOR I-3
 - MAN-HOLES ARE HOWARD COUNTY STANDARD G-5.02.
 - TYPE 'O' HEADWALL IS HOWARD COUNTY STANDARD SD-5.42.
 - S-COMBINATION INLETS ARE HOWARD COUNTY STANDARD SD-4.32



AS-BUILT CERTIFICATION
I, *J. L. Smith*, certify that the above information is a true and correct copy of the original as-built records.
DATE: 3.3.94
JAYKANT



ADDRESS CHART	
PARCEL	STREET ADDRESS
C	6495 BUSINESS PARKWAY

SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
MEADOWBRIDGE BUSINESS PARK		NA	PARCEL - C
PLAT NO. OR L.F.	BLOCK NO.	ZONE	TAX/ZONE MAP
9291-47	22.4	M-1	ST. A.B.
WATER CODE		SEWER CODE	
BOI		2153000	

ENGINEERS ARCHITECTS PLANNERS SCIENTISTS SURVEYORS PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208
BALTIMORE, MD. 21204
(301) 298-4100
ANNAPOLIS, MD ATLANTA, GA AURORA, CO CULPEPER, VA FAIRFAX, VA
GREENBELT, MD MANASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL

VICINITY MAP
SCALE: 1" = 2000'

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
Jose W. Bogdan 6-19-91
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS
James P. Shaw 6/13/91
DIRECTOR DATE
Stephen Hudson 6/22/91
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF
PLANNING & ZONING
James R. Smith 6/26/91
PLANNING DIRECTOR DATE
James P. Shaw 6/26/91
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

By the Developer:
Signature of Developer Date

By the Engineer:
Signature of Engineer Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.
U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.
Howard Soil Conservation Service Date

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

REVISIONS BY
8" W. 70' 8" W. 11-8-91 40
6" S. 70' 4" S. 11-8-91 30

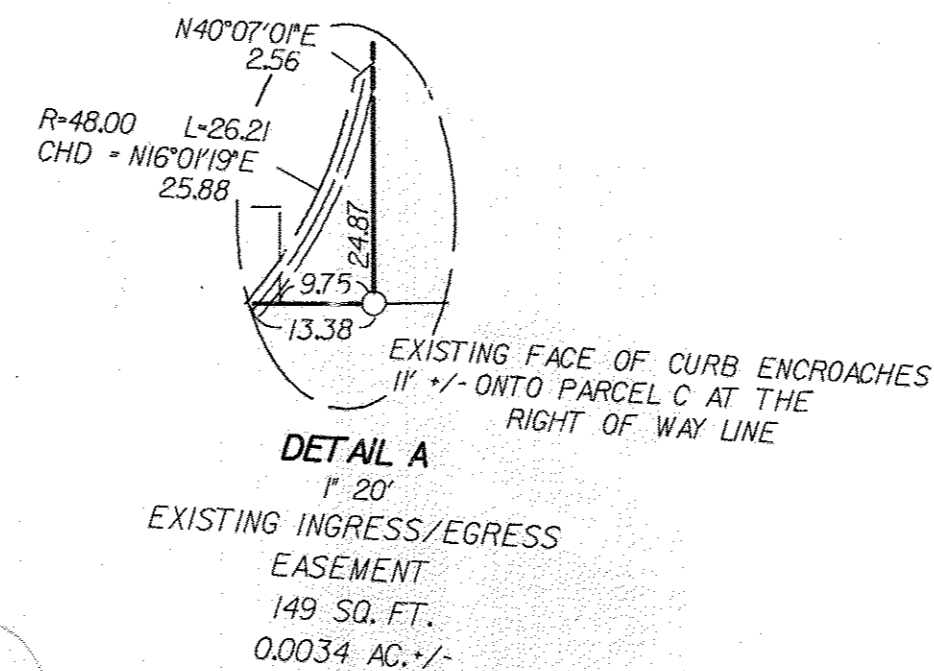
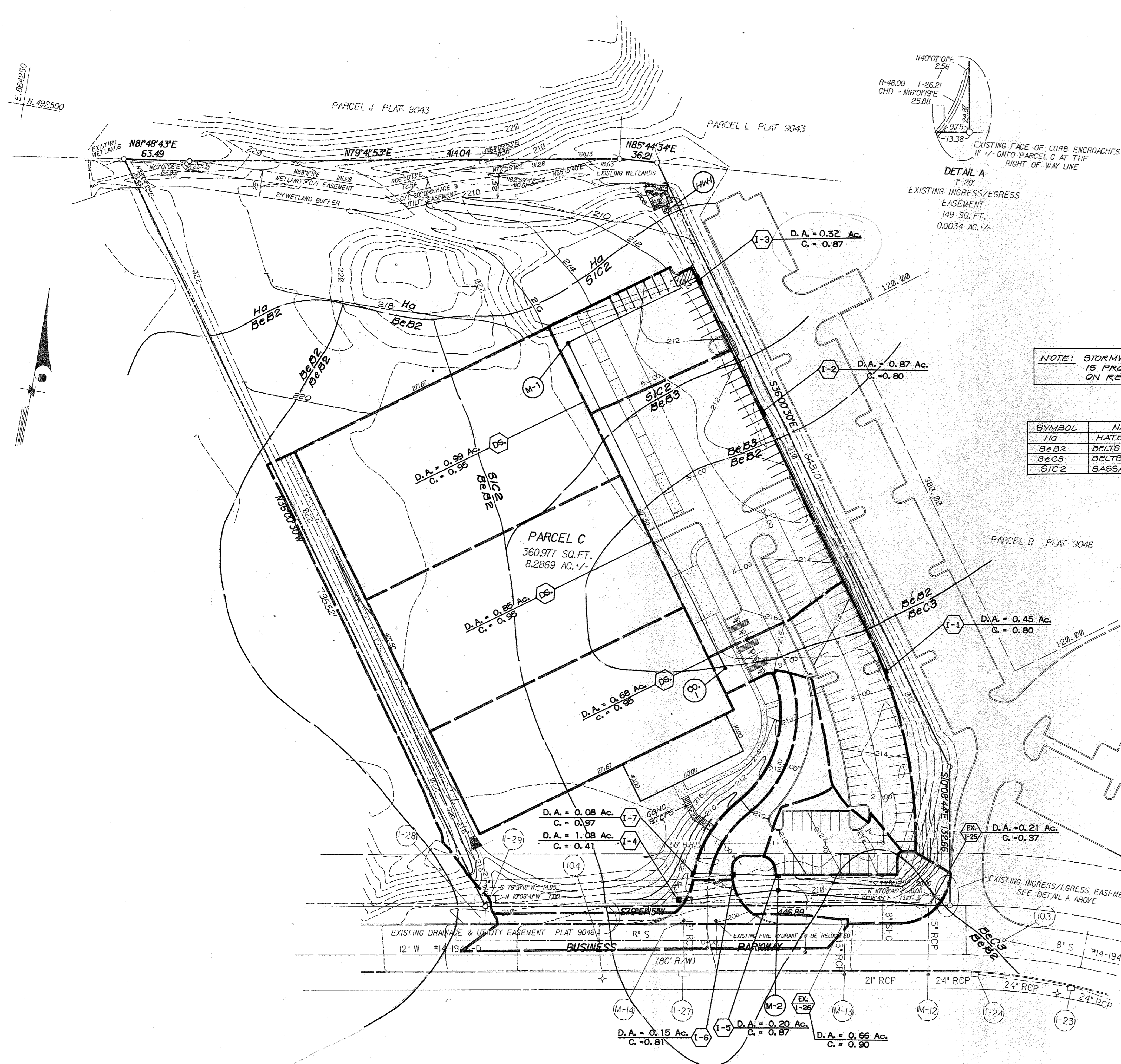
UTILITY PROFILES
PARCEL C
MEADOWBRIDGE BUSINESS PARK
HOWARD CO., MD.
ZONE M-1 TAX / ZONE MAP 37
1st ELECTION DISTRICT

OWNER/DEVELOPER
MOORE BUSINESS FORMS
2215 SANDERS ROAD, SUITE 400
NORTHBROOK, ILLINOIS 60062
PH. (708) 480-3000

Ruck, Pate & Associates, Ltd.
Architecture
257 East Main Street
Barrington, Illinois 60010

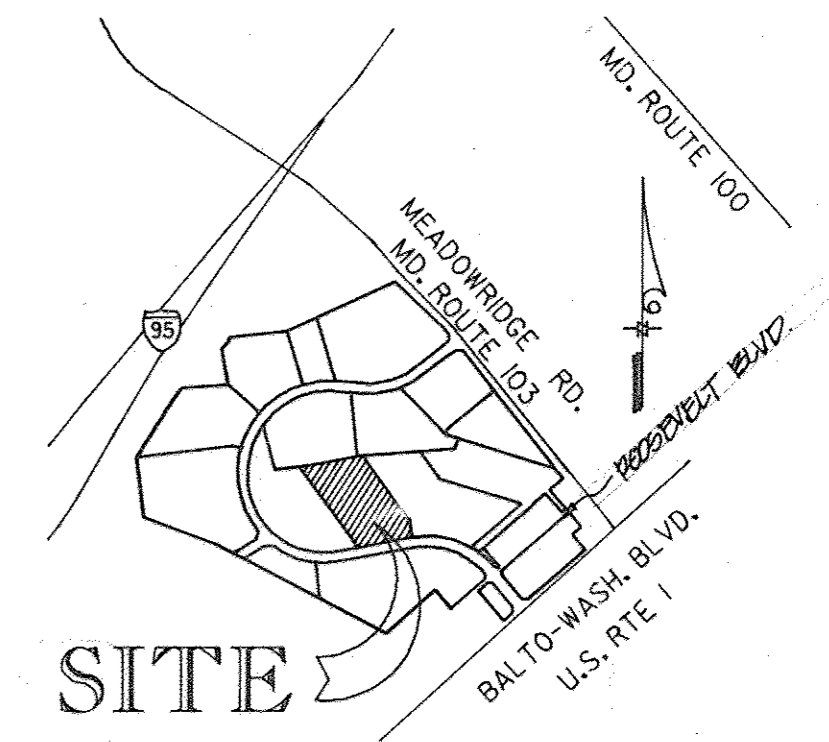
Date 10/30
Scale AS NOTED
Drawn K.A.M.
Job 7739
Sheet 12
Of 13 Sheets

AS-BUILT SDP-91-54



NOTE: STORMWATER MANAGEMENT FOR PARCEL 'C' IS PROVIDED ON PARCEL 'P' AS RECORDED ON RECORD PLAT # 9048.

SYMBOL	NAME	CLASS	HYDRIC COMPONENTS
Ha	HATBORO	D	YES
Be B2	BELTSVILLE	C	YES
Be C3	BELTSVILLE	C	YES
Si C2	SASSAFRAS	B	NO



VICINITY MAP
SCALE: 1" = 2000'

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Joseph Byler 6-19-91
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

James J. ... 6/13/91
DIRECTOR CHIEF, BUREAU OF ENGINEERING

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

James ... 6/26/91
PLANNING DIRECTOR DATE
Charles ... 6/25/91
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT

By the Developer:
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Signature of Developer _____ Date _____
Signature of Engineer _____ Date _____
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U.S. Soil Conservation Service _____ Date _____
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BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

ADDRESS CHART	SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
PARCEL STREET ADDRESS	MEADOWRIDGE BUSINESS PARK NA		PARCEL
C 6045 BUSINESS PARKWAY	PLAT NO. OR L/F 2241-47 BLOCK NO. 22,4 ZONE M-1 TAX/ZONE MAP 37,43 ELECT. DIST. 1st CENSUS TR. 6012		
	WATER CODE BOI SEWER CODE 2153000		

ENGINEERS ARCHITECTS PLANNERS SCIENTISTS SURVEYORS PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208
BALTIMORE, MD. 21204
(301) 296-4100
ANNAPOLIS, MD ATLANTA, GA AURORA, CO CULPEPER, VA EXPORT, PA FAIRFAX, VA
GREENBELT, MD MANASSAS, VA ROCKVILLE, MD RALEIGH, NC TAMPA, FL

REVISIONS	BY

DRAINAGE AREA MAP
PARCEL C
MEADOWRIDGE BUSINESS PARK
HOWARD CO. MD.
ZONE M-1 TAX / ZONE MAP 37

OWNER/DEVELOPER
MOORE BUSINESS FORMS
2215 SANDERS ROAD, SUITE 400
NORTHBROOK, ILLINOIS 60062
PH. (708) 480-3000

Ruck, Pate & Associates, Ltd.
Architects
257 East Main Street
Barrington, Illinois 60010

Date OCT. 1990
Scale 1" = 50'
Drawn K.R.M.
Job 7739
Sheet 13
Of 13 Sheets

SDP 91-54