

SITE DEVELOPMENT PLANS VILLAGE OF KING'S CONTRIVANCE SECTION 3 AREA 2

HUNTINGTON II APARTMENTS

SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

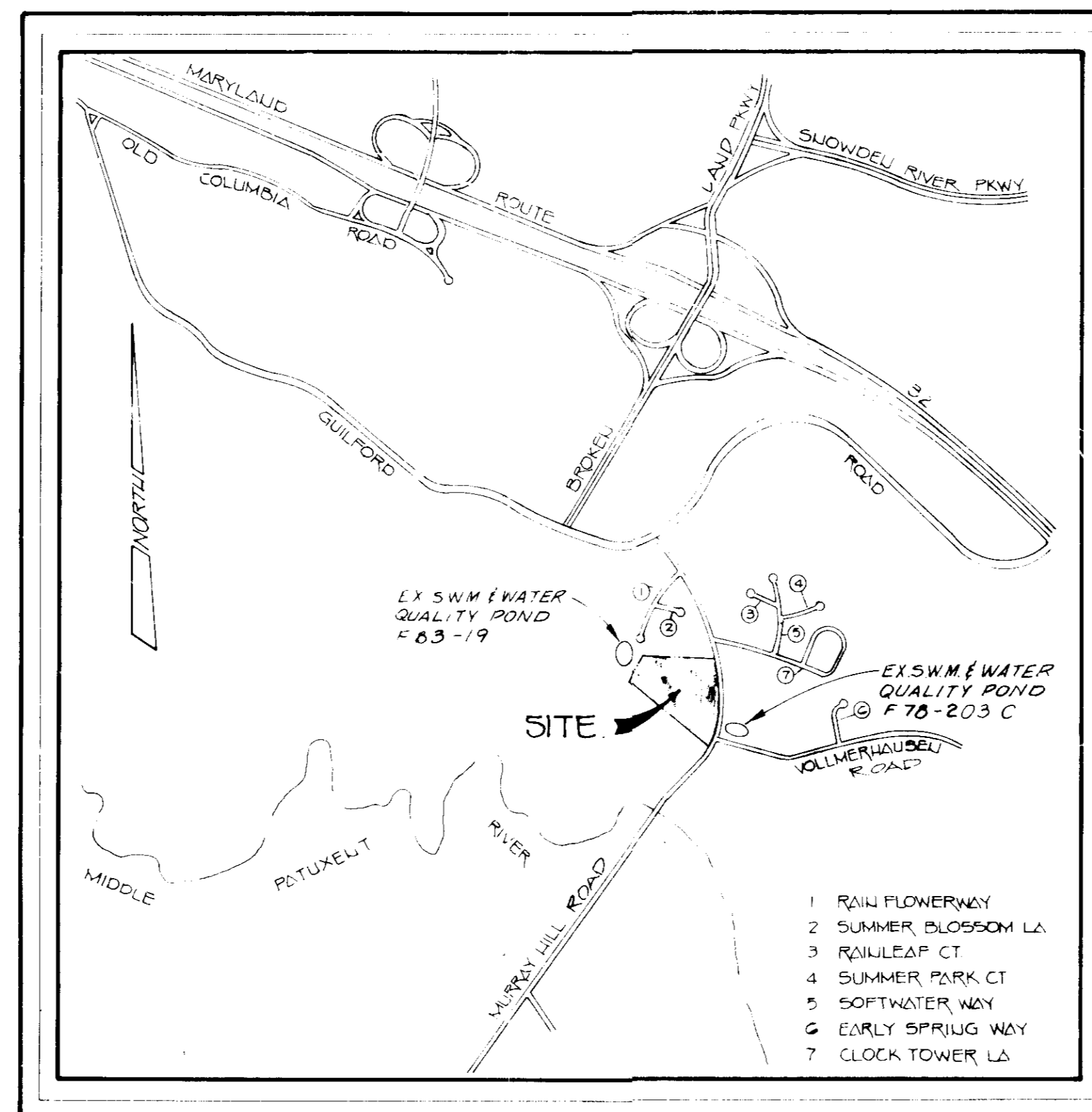
PROPORTIONATE BREAKDOWN OF ALL TYPES OF UNITS PROVIDED FOR THE HANDICAPPED

BUILDING	FLOOR	1 BEDROOM	2 BEDROOM	3 BEDROOM
A	FIRST	2		
B	FIRST		1	
C	FIRST			1
D	FIRST			
E	FIRST		2	
F	FIRST			1
G	FIRST			1
H	FIRST			1

NOTE: ALL FIRST FLOOR APARTMENTS ARE HANDICAPPED ADAPTABLE AND ACCESSIBLE

GENERAL NOTES:

- TOTAL AREA OF PROPERTY - 10,000 AC.
- ZONE: NEW TOWN
- INTENDED USE OF STRUCTURES - APARTMENTS.
- UNITS PROPOSED: 200 UNITS PER F.D.P. PHASE 169-A-II PART II AND 169-A-IV PART I, RECORDED AS PLAT 2064 A, LOT 2 THROUGH 110
- BUILDING MIX
 - A) 1 BEDROOM UNITS = 50
 - B) 2 BEDROOM UNITS = 130
 - C) 3 BEDROOM UNITS = 20
- STORM WATER MANAGEMENT FOR THIS PROJECT IS PROVIDED BY S.W.M. POND NO. 6 - F 83-19 AND S.W.M. POND NO. 2 - F 78-203C.
- PUBLIC WATER AND SEWER WILL BE USED WITHIN THIS PROJECT.
- PARKING SPACES:
 - REQUIRED - 300 PARKING SPACES PER F.D.P. PHASE 169-A-II PART II; 169-A-IV PART I (1.5 SPACES PER DWELLING UNIT) (200 X 1.5 = 300) PARKING PROVIDED
 - 1) 300 REG. SPACES
 - 2) 9 H.D.C.P.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY CONSTRUCTION INSPECTION/SURVEY DIVISION 24 HOURS PRIOR TO COMMENCEMENT OF WORK AT 992-2437.
- HANDICAPPED FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THE "DESIGN OF BARRIER FREE FACILITIES" AND THE "MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED".
- ALL PAVING AND STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
- EXISTING UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD AND OFFICE INFORMATION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE MAKING ANY CONNECTION THERETO OR EXCAVATING IN THE AREA THEREOF.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY 559-0100 A MINIMUM OF THREE DAYS PRIOR TO BEGINNING ANY CONSTRUCTION SHOWN HEREON.
- THIS PLAN IS SUBJECT TO:
 - A) S 90-35
 - B) WP 90-123
 - 1) SECTION 16.129 TO BE RELEASED FROM THE RESPONSIBILITY FOR THE CONSTRUCTION OF CERTAIN SIDEWALKS.
 - 2) SECTION 16.120 TO WAIVE THE SUBMISSION OF THE PRELIMINARY PLAN.
- THIS PROPERTY IS RECORDED AS PARCEL D, VILLAGE OF KING'S CONTRIVANCE, SECTION 3, AREA 2, OF RECORD PLAT NO. 8668.
- HANDICAPPED UNITS ARE LOCATED IN BUILDINGS A, B, D, F AND H.
- ALL ROADS WITHIN THE DEVELOPMENT ARE PRIVATE.
- PERCENT OF STRUCTURAL LOT COVERAGE = 15.36%
- THE VOLUME OF EACH DUMPSTER SHALL BE 8 CUBIC YARDS.

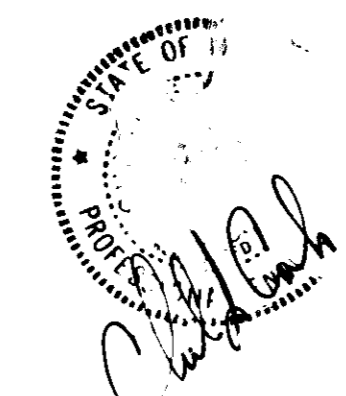


VICINITY MAP
SCALE 1" = 100'

STREET ADDRESS CHART

BUILDING	STREET ADDRESS
A	7677 WOODPARK LAJE
B	7651 WOODPARK LAJE
C	7611 WOODPARK LAJE
D	7610 WOODPARK LAJE
E	7630 WOODPARK LAJE
F	7631 WOODPARK LAJE
G	7650 WOODPARK LAJE
H	7670 WOODPARK LAJE
	CLUB HOUSE
	7601 WOODPARK LAJE

Oct. 9, 1990



OWNER
HOWARD RESEARCH AND DEVELOPMENT, COMPANY
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DEVELOPER
SHELTER DEVELOPMENT CORPORATION
218 N. CHARLES STREET, SUITE 500
BALTIMORE, MARYLAND 21201

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
SUITE 100, 9171 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21043
(301) 461-2855

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Ches C.
SIGNATURE OF ENGINEER
11/14/90
DATE

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Barbara D. King
SIGNATURE OF DEVELOPER
11/14/90
DATE

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND METS TECHNICAL REQUIREMENTS
James M. Hahn 11-28-90
DATE
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Hunter 11/29/90
DATE
HOWARD SOIL CONSERVATION DISTRICT

APPROVED DEPT OF PLANNING AND ZONING
James M. Hahn 12/14/90
DATE
PLANNING DIRECTOR

Mark J. D'Angelo 12/14/90
DATE
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
James M. Hahn 12-13-90
DATE
HEALTH OFFICER

APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
James M. Hahn 12-7-90
DATE
DIRECTOR, PUBLIC WORKS

James M. Hahn 12-7-90
DATE
CHIEF, BUREAU OF ENGINEERING

PROPERTY/SUBDIVISION: VILLAGE OF KING'S CONTRIVANCE
SECTION/AREA: 3/2
PARCEL: 502

PLAT NO./LF: 8668/15
BLOCK NO.: NT
ZONE: 42
TAX./ZONE: C
ELEC. DIST.: C
CENSUS TR.: 10022

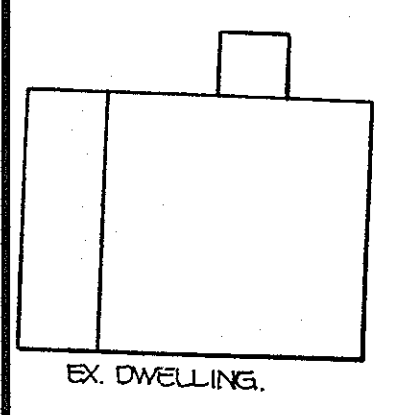
WATER CODE: E10
SEWER CODE: C150000

VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA 2
HUNTINGTON II APARTMENTS
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TAX MAP: 42
SCALE: 1" = 20'
DATE AUG 17, 1991
PARCEL: 502
SHEET 1 OF 14

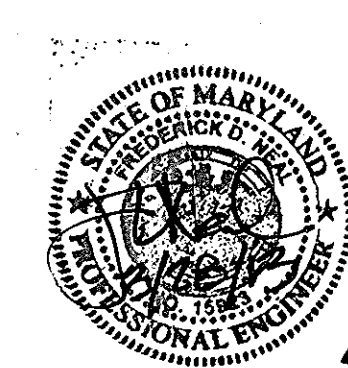
□ - DENOTES TRANSFORMER LOCATION

Ⓛ - DENOTES STREET LIGHTS
NOTE: STREET LIGHTS WILL BE 400 WATTS M.H.
MOUNTED ON 25' POLES.

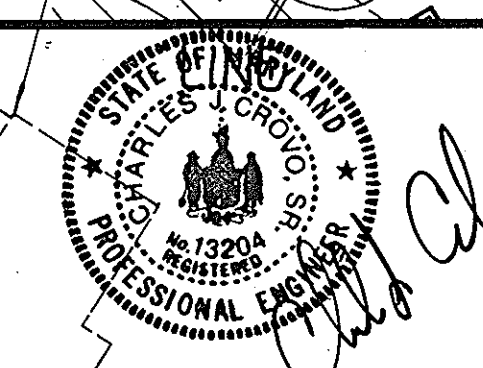
NOTE: CONTRACTOR TO MATCH EXISTING CURB AND
GLITTER FOR LINE AND GRADE.



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE Oct 9, 1990



RED LINE REVISION
PREPARED BY
CADCON CONSULTING INC
10100 VANDER LANE
MANASSAS, VA 20108
703 252-5141 x117



SEE GENERAL NOTE SHEET 3
△ PERMIT APPLICATION DEADLINE FOR THIS RED LINE
REVISION SHALL BE (1) YEAR FROM THE DED'S DATE
OF APPROVAL. THIS DEADLINE APPLIES TO
REVISION 1 - ADD FENCE (BOARD ON BOARD)

OWNER HUNTINGTON II LIMITED PARTNERSHIP
HOWARD RESEARCH AND DEVELOPMENT COMPANY
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
PHONE 410-477-4155

DEVELOPER
SHELTER DEVELOPMENT CORPORATION
218 N. CHARLES STREET, SUITE 500
BALTIMORE, MARYLAND 21201

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
SUITE 100, 9171 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21043
(301) 461-2855

ENGINEER'S CERTIFICATE
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Chad Carter
SIGNATURE OF ENGINEER
11/19/90
DATE

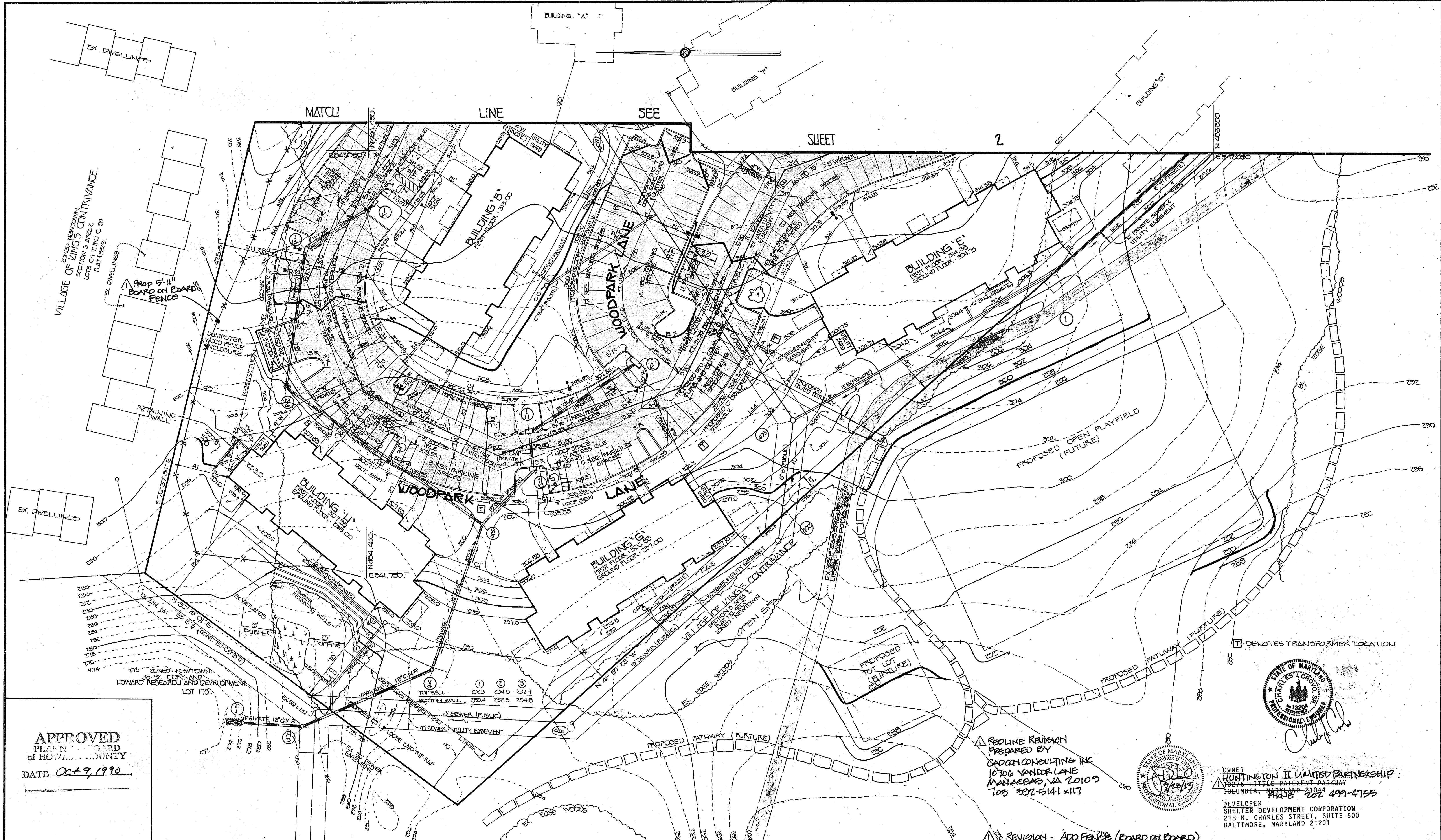
DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.
Barbara D. King
SIGNATURE OF DEVELOPER
11/19/90
DATE

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
James H. Hulse
U.S. SOIL CONSERVATION SERVICE
DATE 11-28-90
THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED:
John R. Robertson
DISTRICT
HOWARD SOIL CONSERVATION DISTRICT
DATE 11/29/90

APPROVED DEPT. OF PLANNING AND ZONING
DISTRICT PLANNING DIRECTOR
James P. Smith
DATE 12/14/90
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
James P. Smith
HEALTH OFFICER
DATE 12-13-90

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
DISTRICTOR, PUBLIC WORKS
James P. Smith
DATE 12/17/90
CHIEF, BUREAU OF ENGINEERING
PROPERTY/SUBDIVISION
VILLAGE OF KING'S CONTRIVANCE SECTION/AREA PARCEL
14/15 14/15 42
PLAT NO./L.F. BLOCK NO. ZONE TAX/ZONE ELEC. DIST. CENSUS TR.
WATER CODE EIC SEWER CODE 020000

SITE DEVELOPMENT PLAN
VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA 2
HUNTINGTON II APARTMENTS
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TAX MAP 42 PARCEL 506
SCALE: 1" = 30' DATE: AUG 20, 1990
SHEET 2 OF 14



APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: Oct 9, 1990



OWNER
 LUNTINGTON II LIMITED PARTNERSHIP
 16275 LITTLE PATENT - PARKWAY
 COLUMBIA, MARYLAND 21044
 DEVELOPER
 SHELTER DEVELOPMENT CORPORATION
 218 N. CHARLES STREET, SUITE 500
 BALTIMORE, MARYLAND 21201

REVISION
 PREPARED BY
 CADCON CONSULTING INC
 10706 VANDER LANE
 MANASSAS, VA 20109
 703 392-5141 x117



REVISION - ADD FENCE (BOARD ON BOARD)

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 SUITE 100, 9171 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21043
 (301) 461-2855

ENGINEER'S CERTIFICATE
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Signature: *Charles C. Collins*
 DATE: 11/19/90

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

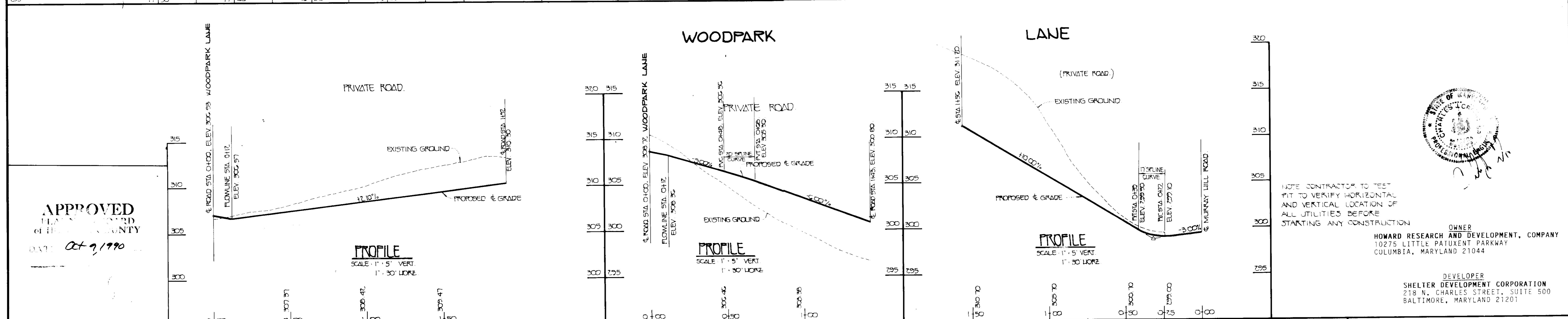
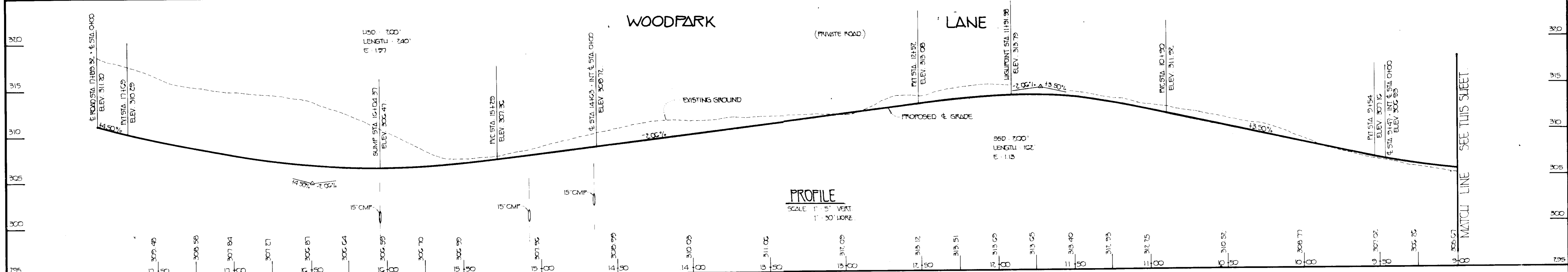
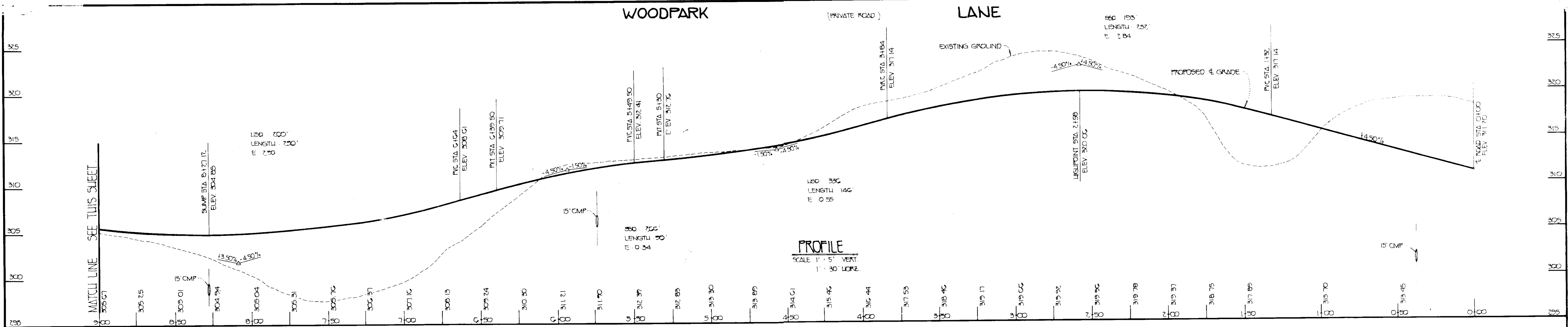
Signature: *Barbara O. King*
 DATE: 11/19/90

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
 Signature: *James M. Hester* 11-28-90
 SOIL CONSERVATION SERVICE DATE
 THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED:
 Signature: *John P. Robertson* 11/29/90
 DISTRICT OFFICER DATE

APPROVED: DEPT. OF PLANNING AND ZONING
 Signature: *James P. Smith* 12/14/90
 PLANNING DIRECTOR DATE
 Signature: *James P. Smith* 12/14/90
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE
 APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
 Signature: *James P. Smith* 12-13-90
 HEALTH OFFICER DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
 Signature: *James P. Smith* 12/7/90
 DIRECTOR, PUBLIC WORKS DATE
 Signature: *James P. Smith* 12-7-90
 CHIEF, BUREAU OF ENGINEERING DATE
 PROPERTY/SUBDIVISION: VILLAGE OF KING'S CONTRIVANCE SECTION/AREA: 3/2 PARCEL: 300
 PLAT NO./L.F.: 14/15 BLOCK NO.: N.T. TAX/ZONE: 4E ELEC. DIST.: C CENSUS TR.: 0001
 WATER CODE: EIC SEWER CODE: 020000

SITE DEVELOPMENT PLAN
 VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA 2
 LUNTINGTON II APARTMENTS
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 TAX MAP: 42 PARCEL: 500
 SCALE: 1" = 30' DATE: AUG. 25, 1990
 SHEET 3 OF 14



APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE Oct 9, 1990

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 SIGNATURE OF ENGINEER
 DATE 11/19/90

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[Signature]
 SIGNATURE OF DEVELOPER
 DATE 11/19/90

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MET TECHNICAL REQUIREMENTS

[Signature] 11-28-90
 DATE
 HOWARD SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 11/29/90
 DATE
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING

[Signature] 12/14/90
 DATE
 PLANNING DIRECTOR

[Signature] 11/17/90
 DATE
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

[Signature] 12-13-90
 DATE
 HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

[Signature] 12/7/90
 DATE
 DIRECTOR PUBLIC WORKS

[Signature] 12-7-90
 DATE
 CHIEF, BUREAU OF ENGINEERING

PROPERTY/SUBDIVISION: VILLAGE OF KING'S CONTRIVANCE
 SECTION/AREA: 3/2
 PARCEL: 500

PLAT NO./L.F. BLOCK NO. ZONE TAX/ZONE ELEC. DIST. CENSUS TR.
 8222 14/15 N.T. 42 C C022

WATER CODE: EIC SEWER CODE: 020000

PRIVATE ROAD PROFILES
 VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA 2
 WILMINGTON II APARTMENTS
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

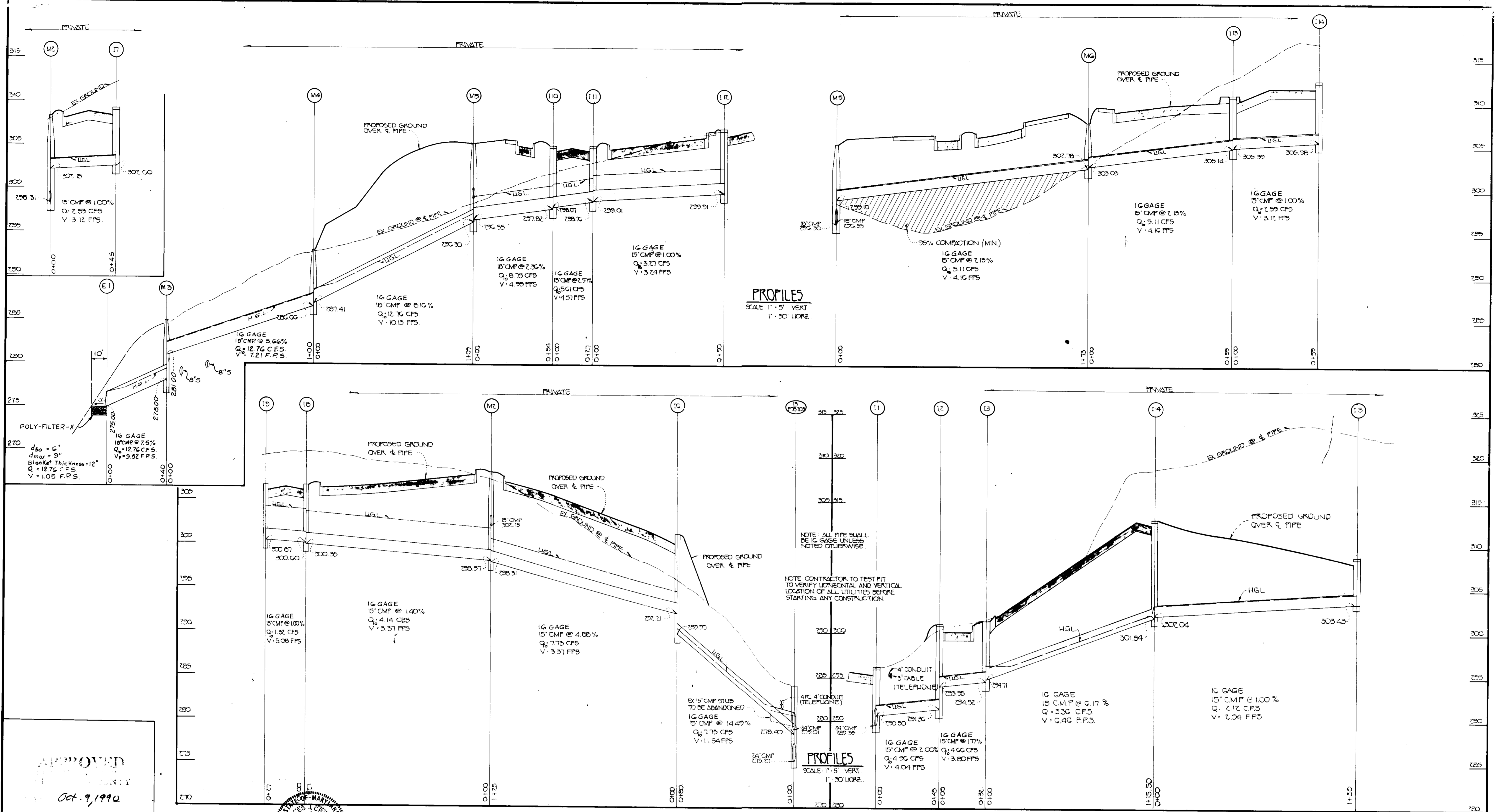
TAX MAP: 42 PARCEL: 500
 SCALE: 1" = 30' DATE: JUL 25, 1990
 SHEET 4 OF 14



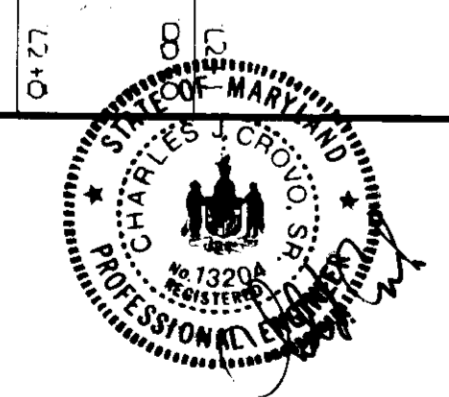
NOTE CONTRACTOR TO TEST PIT TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES BEFORE STARTING ANY CONSTRUCTION

OWNER
 HOWARD RESEARCH AND DEVELOPMENT, COMPANY
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

DEVELOPER
 SHELTER DEVELOPMENT CORPORATION
 218 N. CHARLES STREET, SUITE 500
 BALTIMORE, MARYLAND 21201



APPROVED
OCT 9, 1990



OWNER: HOWARD RESEARCH AND DEVELOPMENT, COMPANY
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DEVELOPER: SHELTER DEVELOPMENT CORPORATION
218 N. CHARLES STREET, SUITE 500
BALTIMORE, MARYLAND 21201

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
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Signature: [Signature]
DATE: 11/19/90

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Signature: [Signature]
DATE: 11/19/90

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
Signature: [Signature]
DATE: 11-28-90

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Signature: [Signature]
DATE: 11/27/90

APPROVED DEPT. OF PLANNING AND ZONING
Signature: [Signature]
DATE: 12/14/90

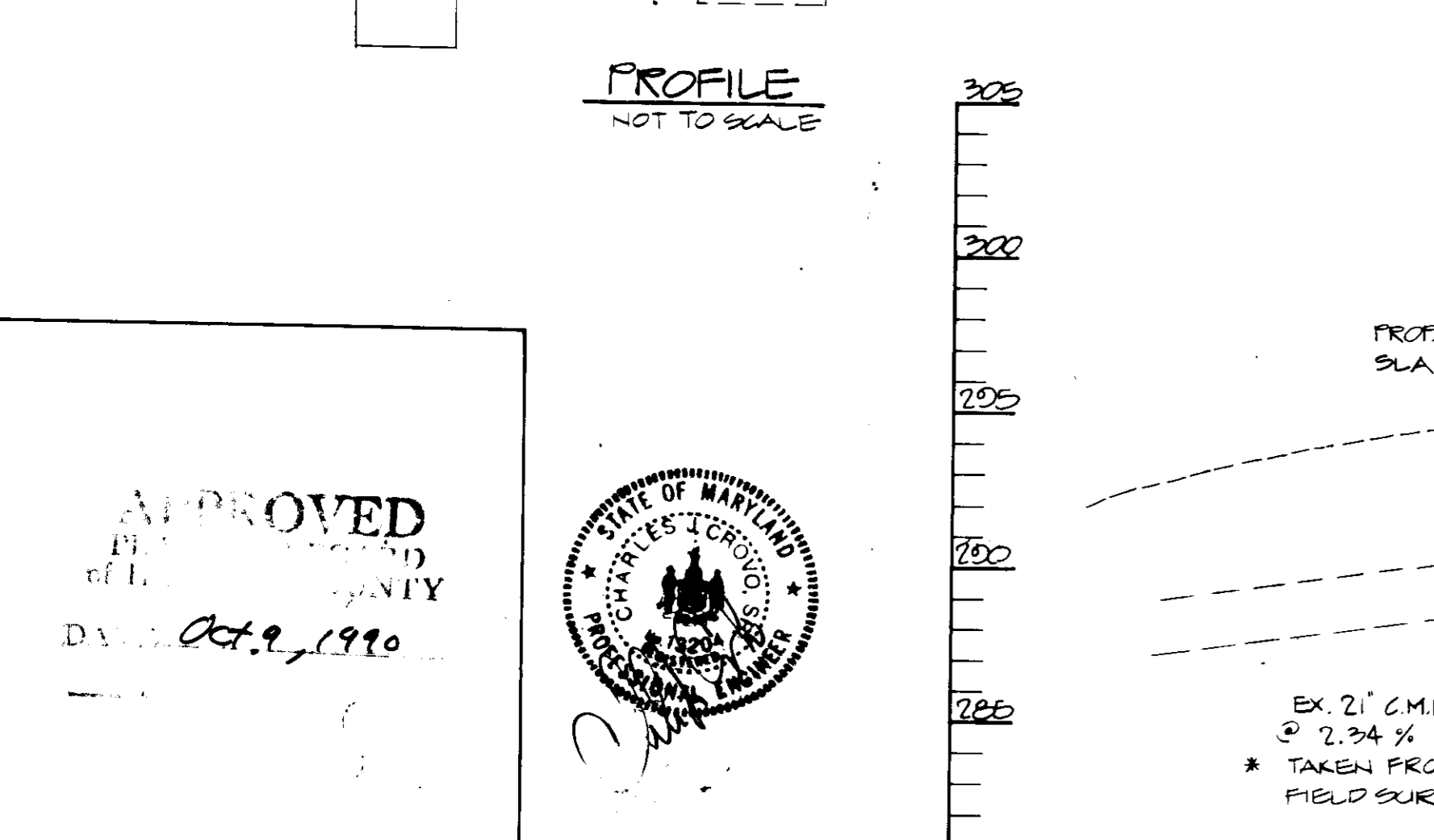
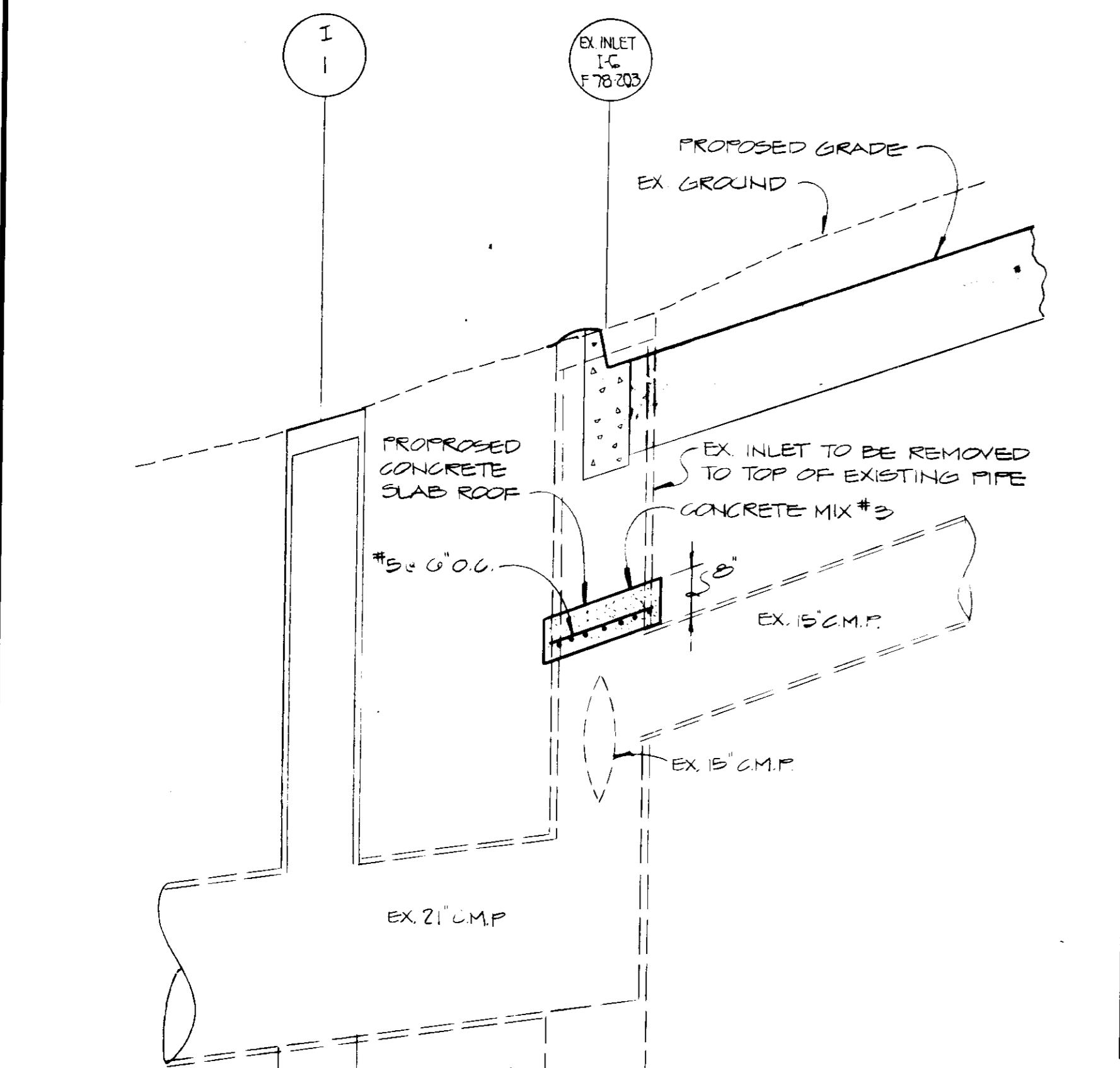
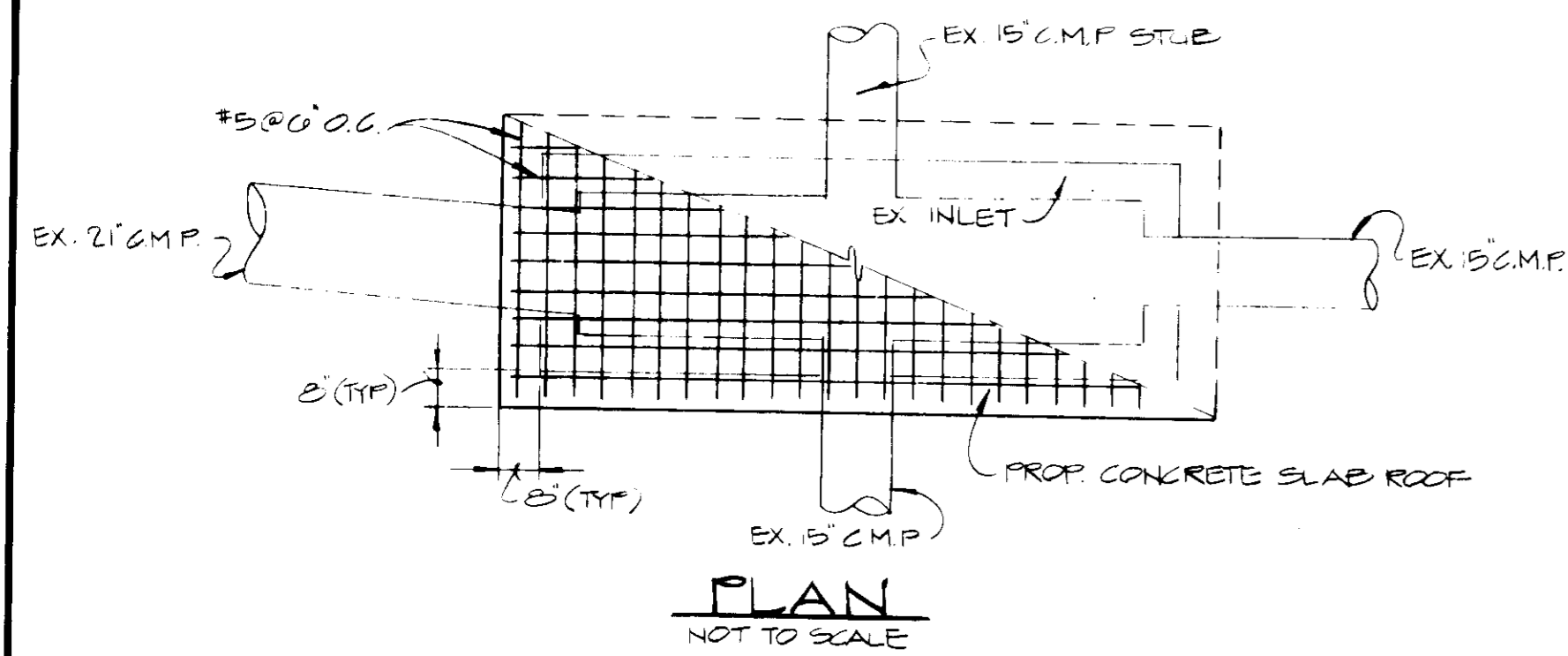
Signature: [Signature]
DATE: 12/14/90

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
Signature: [Signature]
DATE: 12/7/90

Signature: [Signature]
DATE: 12/7/90

STORM DRAIN PROFILES
VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA 2
HUNTINGTON II APARTMENTS
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

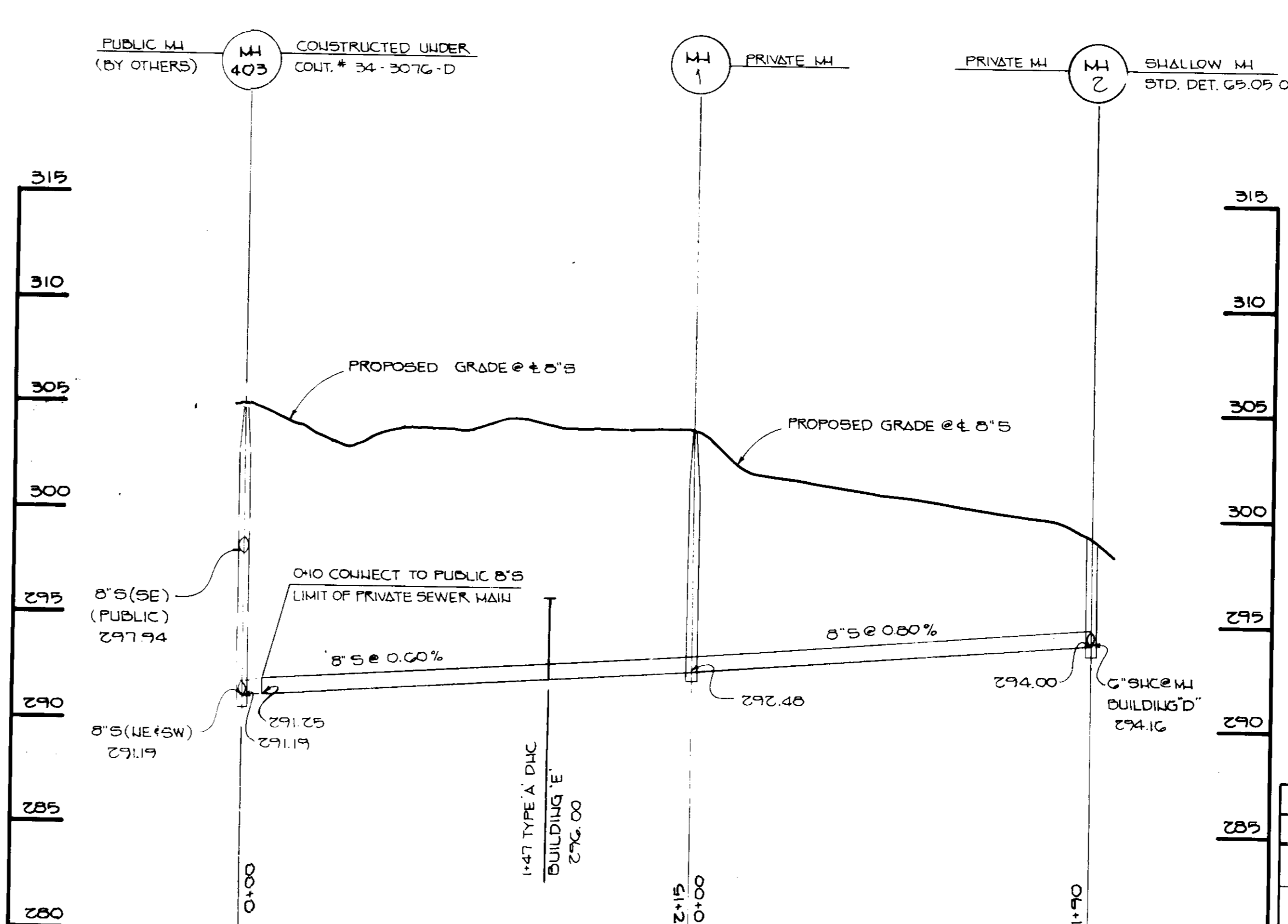
TAX MAP: 42
SCALE: 1" = 30'
DATE: AUG 20, 1990
SHEET 5 OF 14



APPROVED
HOWARD COUNTY
DATE: Oct. 9, 1990

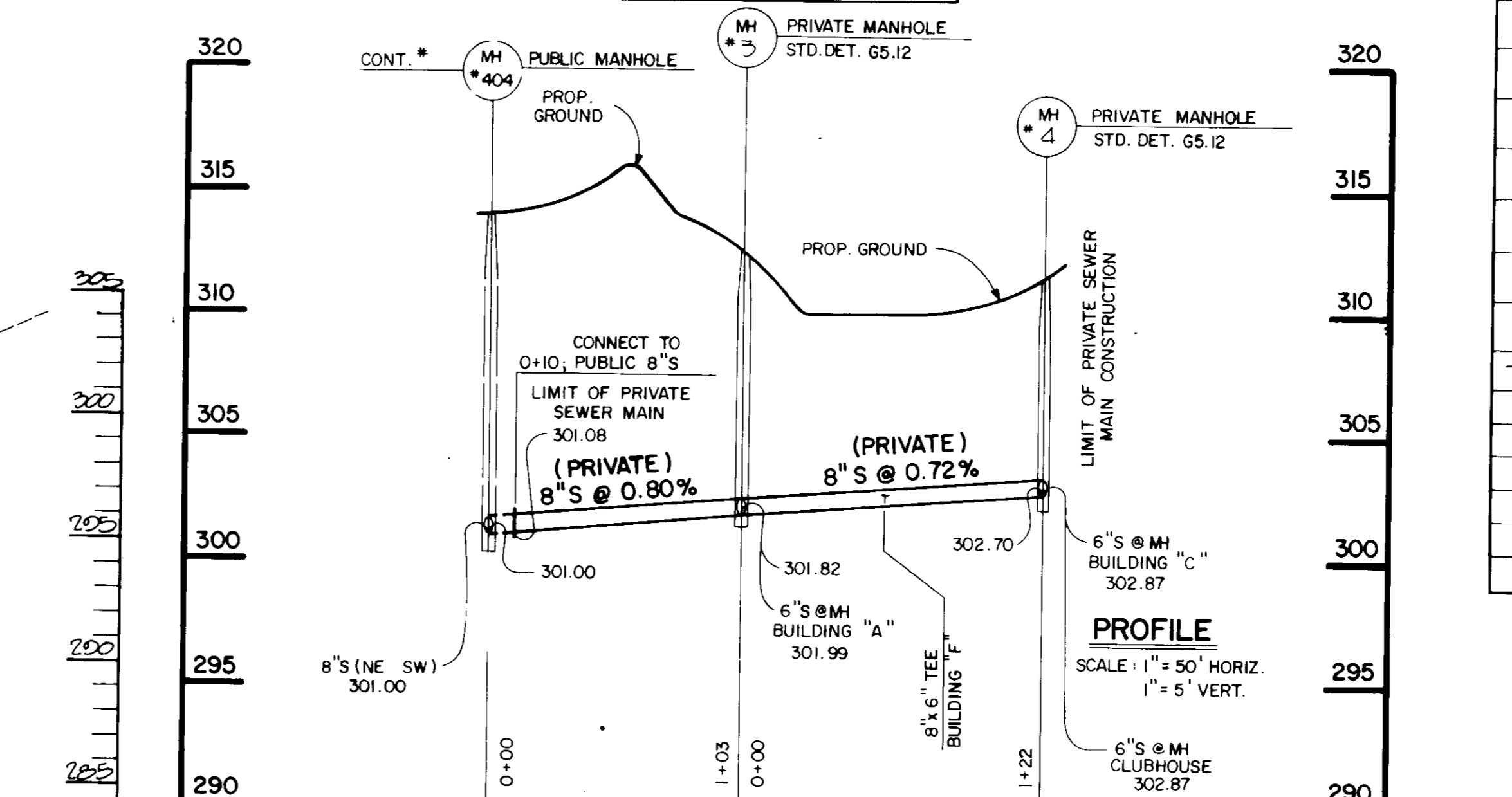


SEE SHEET 3 FOR PLAN OF 8" S



PRIVATE 8" SEWER

SEE SHEET 2 FOR PLAN OF 8" S



PRIVATE 8" SEWER

TABLE: MANHOLE RIM ELEVATIONS *

MANHOLE NO.	RIM ELEVATION
3	314.1
4	310.7
1	304.0
2	299.3

* INTENT IS TO SET MANHOLE RIMS FLUSH W/ PROPOSED FINISHED GRADE

STRUCTURE SCHEDULE

STRUCT.	TYPE	INV. IN.	INV. OUT.	TOP ELEVATION	ROAD STATION	REMARKS
I-1	A-5	290.50	-----	295.94	MURRAY HILL ROAD CENTERLINE RIGHT 22'	SD 4.40
I-2	A-5 DEF.	293.95	291.36	301.20	CENTERLINE 0+57 RIGHT 6'	SD 4.40 SD 4.83
I-3	A-5 DEF.	294.71	294.52	301.30	CENTERLINE 0+57 LEFT 26'	SD 4.40 SD 4.83
I-4	A-5 DEF.	302.04	301.84	313.15	CENTERLINE 0+38.5 LEFT 12'	SD 4.40 SD 4.83
I-5	0 INLET	-----	303.43	309.0	CENTERLINE 0+34 LEFT 152'	SD 4.11
I-6	A-5	292.21	289.99	301.20	CENTERLINE 1+43 RIGHT 7'	SD 4.40
I-7	A-5 DEF.	-----	302.60	309.21	CENTERLINE 14+50 LEFT 12'	SD 4.40 SD 4.83
I-8	A-5	300.60	300.25	306.69	CENTERLINE 16+04.37 LEFT 12'	SD 4.40
I-9	A-5	-----	300.88	306.69	CENTERLINE 16+04.37 RIGHT 12'	SD 4.40
I-10	A-5	298.07	297.82	305.07	CENTERLINE 8+27.12 LEFT 12'	SD 4.40 SD 4.83
I-11	A-5	299.01	298.76	305.07	CENTERLINE 8+27.12 RIGHT 12'	SD 4.40
I-12	A-10	-----	299.01	307.16	CENTERLINE 0+30 LEFT 12'	SD 4.40
I-13	A-5 DEF.	305.39	305.14	311.62	CENTERLINE 5+93 RIGHT 12'	SD 4.40 SD 4.83
I-14	A-5 DEF.	-----	305.98	312.75	CENTERLINE 5+41 LEFT 12'	SD 4.40 SD 4.83
M-1	STD MH	296.26	296.06	303.7	CENTERLINE 0+60 RIGHT 36'	G 5.01
M-2	STD MH	302.15	298.31	308.60	CENTERLINE 14+90 RIGHT 21'	G 5.01
M-3	STD MH	281.00	278.00	285.00	CENTERLINE 7+60 RIGHT 230'	G 5.01
M-4	STD MH	287.41	286.66	293.25	CENTERLINE 7+87 RIGHT 122'	G 5.01
M-5	STD MH	299.10	296.30	305.70	CENTERLINE 7+98 RIGHT 54'	G 5.01
M-6	STD MH	303.03	302.78	308.00	CENTERLINE 6+66 RIGHT 43'	G 5.01
E-1	END SECTION	-----	275.00	276.50	CENTERLINE 7+50 RIGHT 245'	SD 5.61

OWNER
HOWARD RESEARCH AND DEVELOPMENT, COMPANY
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DEVELOPER
SHELTER DEVELOPMENT CORPORATION
218 N. CHARLES STREET, SUITE 500
BALTIMORE, MARYLAND 21201

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
SUITE 100, 9171 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21043
(301) 461-2855

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
SIGNATURE OF ENGINEER: [Signature]
DATE: 11/14/90

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."
SIGNATURE OF DEVELOPER: [Signature]
DATE: 11/19/90

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND TECHNICAL REQUIREMENTS
APPROVED: [Signature] 11-28-90
DATE: 11/29/90
APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
SIGNATURE OF HEALTH OFFICER: [Signature]
DATE: 12-13-90

APPROVED: DEPT. OF PLANNING AND ZONING
APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
SIGNATURE OF DIRECTOR: [Signature] 12/14/90
DATE: 12/14/90
SIGNATURE OF CHIEF: [Signature] 12-7-90
DATE: 12-7-90

PROPERTY/SUBDIVISION: VILLAGE OF KING'S CONTRIVANCE
SECTION/AREA: 3/2
PARCEL: 506
PLAT NO./L.F.: [Blank]
BLOCK NO.: [Blank]
ZONE: [Blank]
TAX ZONE: [Blank]
ELEC. DIST.: [Blank]
CENSUS TR.: [Blank]
WATER CODE: E 12
SEWER CODE: C 20000

STORM DRAIN PROFILES AND PRIVATE SEWER PROFILES
VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA 2
LIVINGSTON II APARTMENTS
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TAX MAP - 42 PARCEL - 506
SCALE: 1" = 30' DATE AUG 25, 1990
SHEET C OF 14

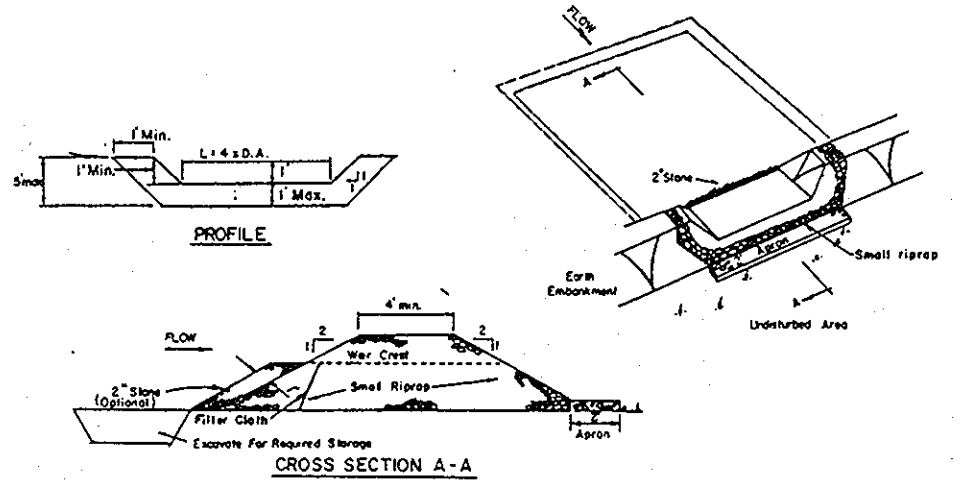
PERMANENT SEEDING NOTES:
 APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.
SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING.
 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ. FT.) BEFORE SEEDING. NARROW OR DISC INTO UPPER THREE-INCHES OF SOIL.

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. PER ACRE OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS/1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOIL. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.
MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL DRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING. MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

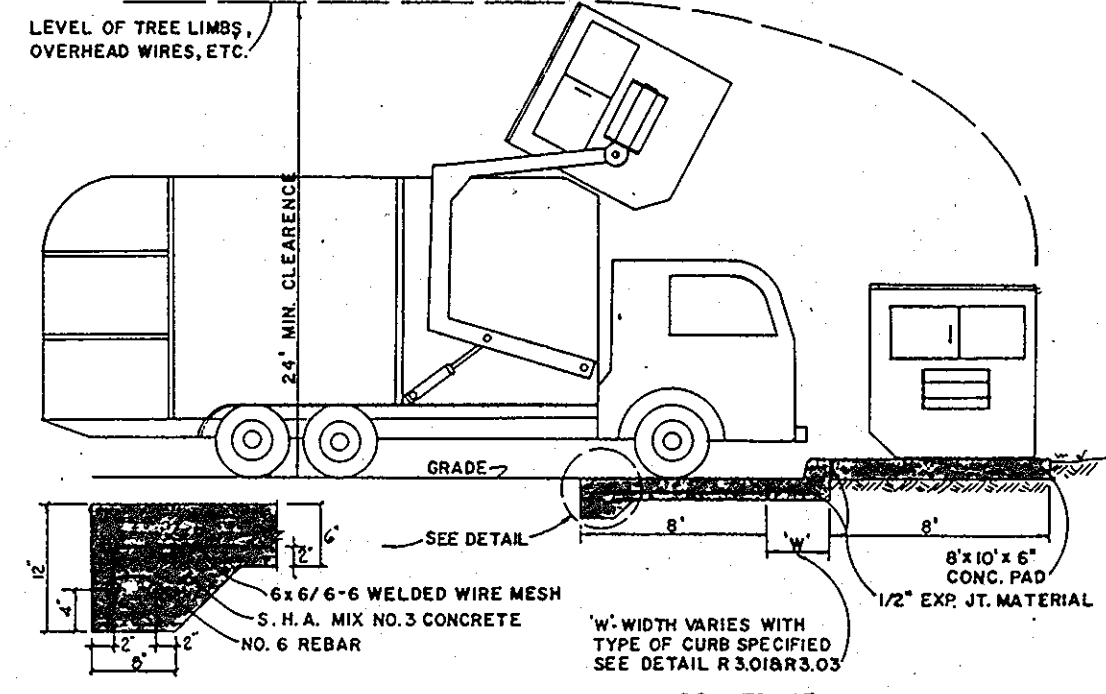
TEMPORARY SEEDING NOTES:
 APPLY TO GRADED OR CLEARED AREAS WHICH TO BE RESTORED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.
SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING.
SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (.07 LBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOIL.
MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL DRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FT. OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.
 REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

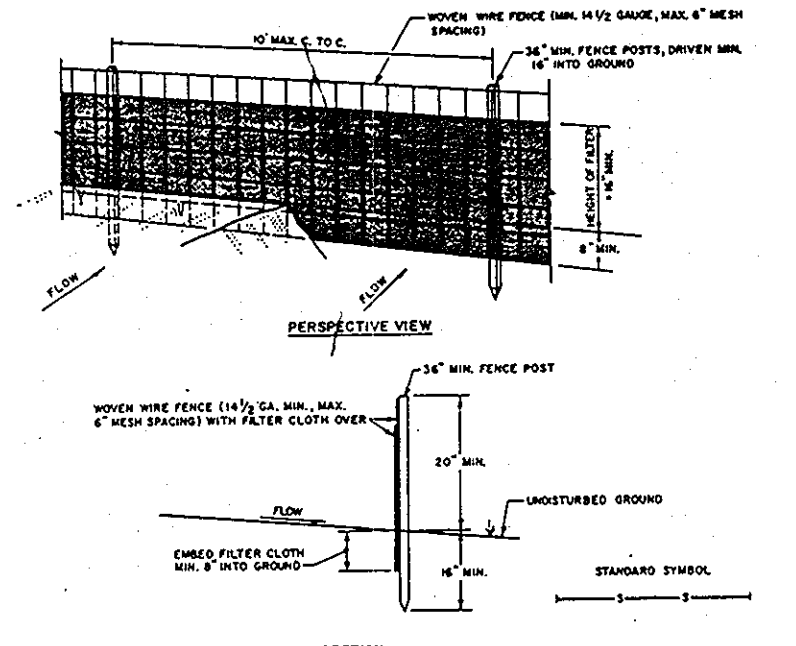


- CONSTRUCTION SPECIFICATIONS FOR ST-T**
- Area under embankment shall be cleared, grubbed and stripped of any vegetation and rock mat. The pool area shall be cleared.
 - The fill material for the embankment shall be free of rocks and other woody vegetation as well as oversized stones, roots, organic material or other decomposable materials. The embankment shall be compacted by traversing with equipment while it is being constructed.
 - All cut and fill slopes shall be 2:1 or flatter.
 - The stone used in the outlet shall be small riprap 6" to 8" along with a 1" thickness of 2" aggregate placed on the upstream side on the small riprap or embedded filter cloth in the riprap.
 - Sediment shall be removed and trap restored to its original dimension when the sediment has accumulated to 1/3 the depth of the trap.
 - The structure shall be inspected after each rain and repairs made as needed.
 - Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 - The structure shall be removed and the area established when the drainage area has been properly stabilized.

STONE OUTLET SEDIMENT TRAP
 NOT TO SCALE

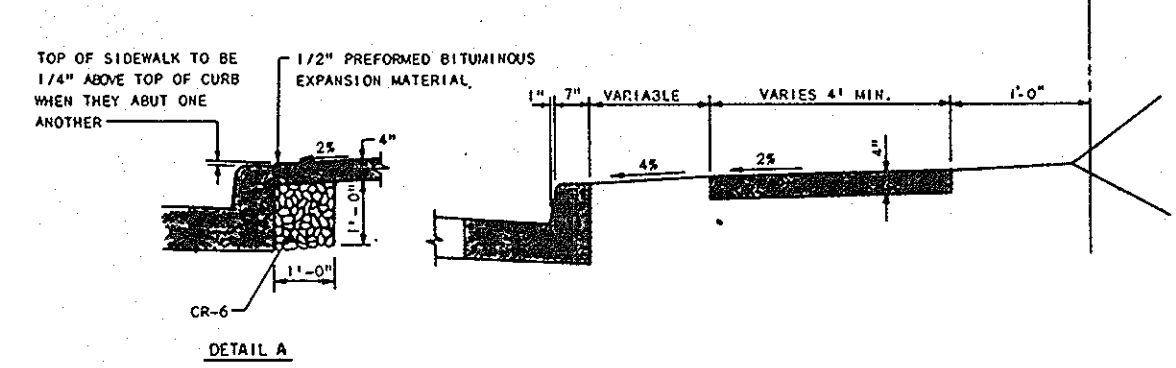


SOLID WASTE SERVICE PAD
 NOT TO SCALE



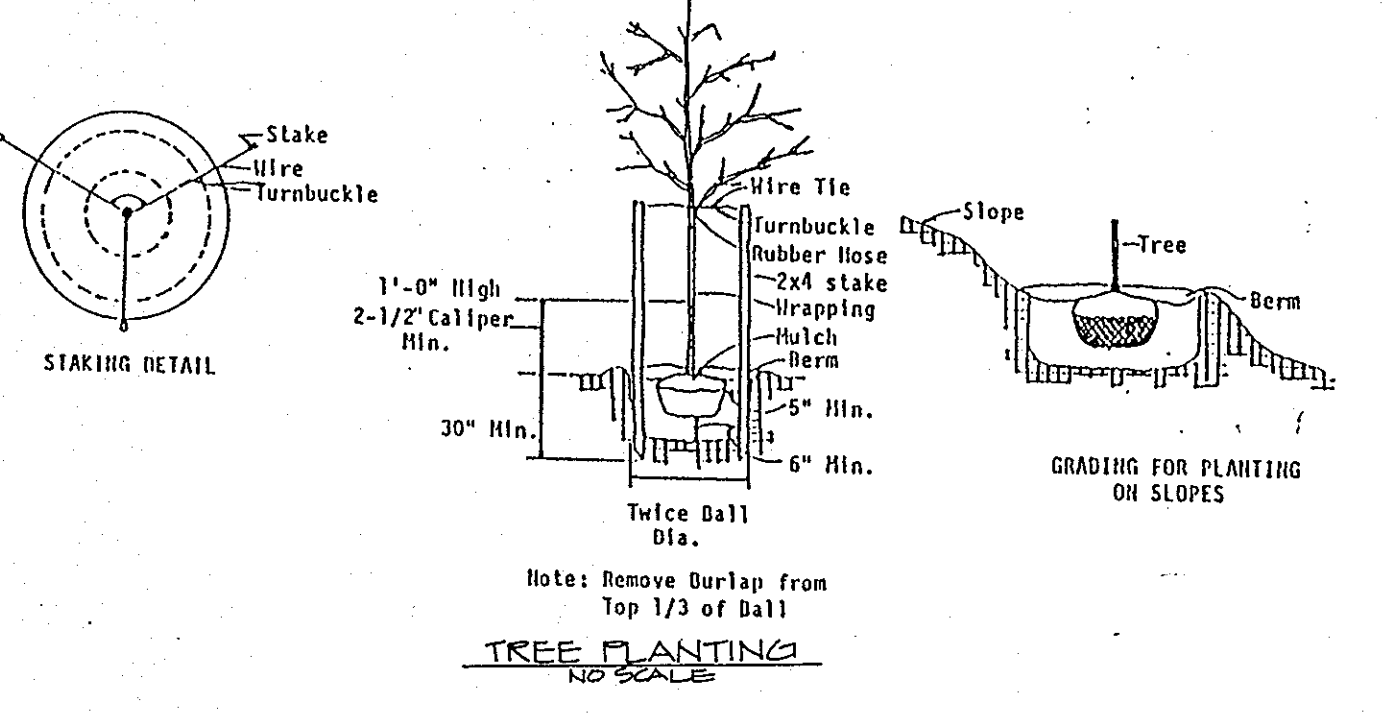
- CONSTRUCTION NOTES FOR Silt FENCE**
- All Silt Fences shall be constructed by earthmoving equipment.
 - All Silt Fences shall have positive drainage to an outlet.
 - Top surface may be waded and side slopes may be flatter if desired to facilitate cleaning of construction equipment.
 - When Silt Fences are used as outlet traps, they shall be placed in a position to catch sediment before it enters a ditch, stream, or other water body. They shall be placed in a position to catch sediment before it enters a ditch, stream, or other water body.
 - When Silt Fences are used as outlet traps, they shall be placed in a position to catch sediment before it enters a ditch, stream, or other water body.

SILT FENCE
 NOT TO SCALE



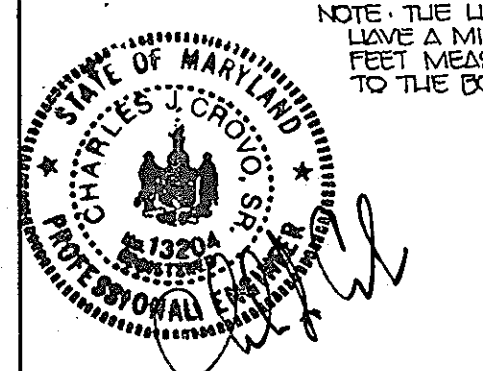
- NOTES:**
- SIDEWALK TO BE SCRIBED IN 5' MAXIMUM SQUARES.
 - EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO BE MORE THAN 15' APART.
 - 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
 - CONCRETE TO BE MIX NO. 2.
 - WHEN SIDEWALK ADJUTS CURBS, MAX. SLOPE SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL BETWEEN SIDEWALK AND CURB AND RESTING ON A COMPACTED CRUSHED STONE BASE. SEE DETAIL A THIS SHEET.
 - ON LONGITUDINAL SIDEWALK GRADES OF 5% OR GREATER, A COMPLETE READER, 6" THICK AND 6" DEEP BELOW THE NORMAL 4" SIDEWALK THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 40 FEET. THE READERS SHALL BE PLACED AT EXPANSION JOINT LOCATIONS AND SHALL BE MOUNTED WITH THE SIDEWALK.

CONCRETE SIDEWALK
 NOT TO SCALE



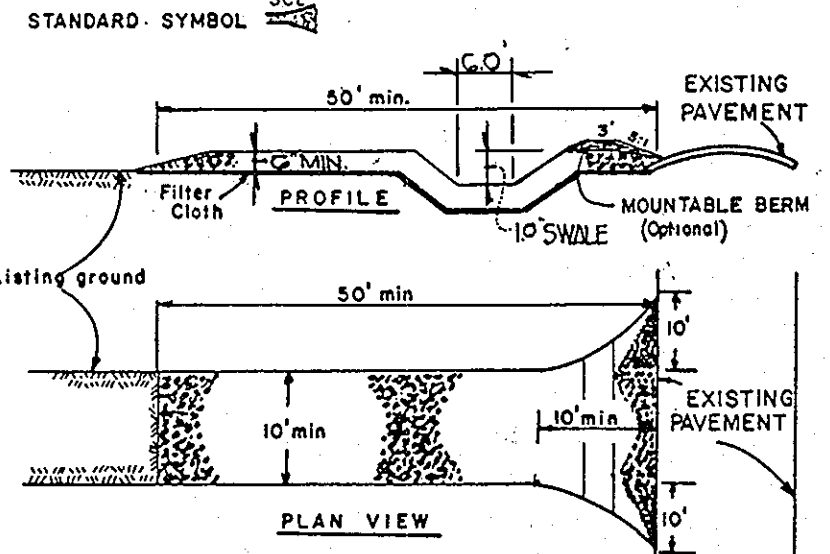
NOTE: CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITIES PRIOR TO DIGGING. FINAL LOCATIONS OF TREES MAY BE ADJUSTED SLIGHTLY TO ACCOMMODATE FIELD CONDITIONS. PLANTING PROCEDURES SHALL COMPLY WITH "LANDSCAPE SPECIFICATIONS FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS". SUBSTITUTIONS TO THE ABOVE SPECIES MAY BE PERMITTED, PROVIDED THAT THE PLANTING IS IN ACCORDANCE WITH THE STREET TREE AND LANDSCAPE REQUIREMENTS AS SPECIFIED IN SECTION 16.131 OF THE HOWARD COUNTY SUBDIVISION REGULATIONS.

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE Oct. 9, 1990



LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

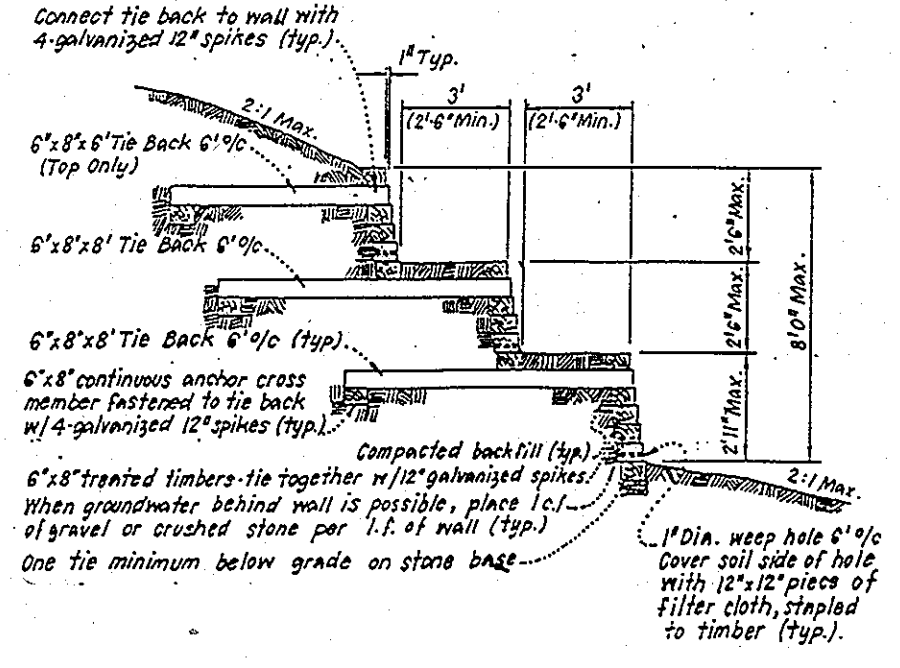
HANDICAPPED PARKING SIGN
 NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length - As required, but not less than 50 feet (except on a single residence lot where a 10 foot minimum length would apply).
 - Thickness - Not less than six (6) inches.
 - Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 - Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slope will be permitted.
 - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 - Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 - Periodic inspection and needed maintenance shall be provided after each rain.

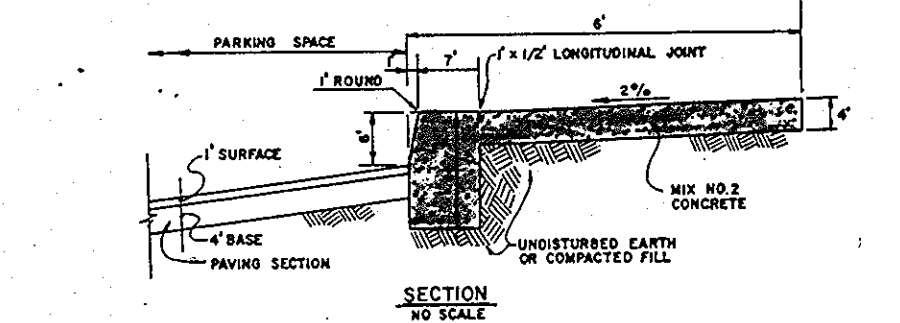
STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE

- NOTE:**
- Timbers shall be either:
 a) Creosote treated railroad ties.
 b) CCA treated landscaping timbers (40 lbs/ft retention)
 - Hardware shall be hot dipped galvanized.
 - Weepholes, with or without gravel drain are minimum measures for groundwater. For any substantial amount of groundwater, a drain system should be designed and utilized.
 - Design shall be verified for site specific soil condition by a Professional Geotechnical Engineer.



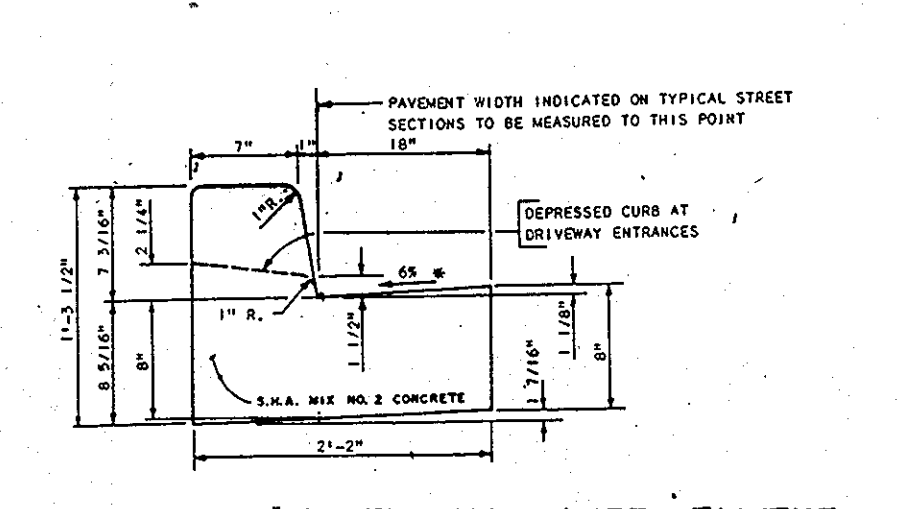
TIMBER RETAINING WALL
 NOT TO SCALE

- NOTES:**
- LONGITUDINAL JOINT BETWEEN SIDEWALK AND CURB SHALL BE CONTINUOUS AND TO A DEPTH OF 1/4 THE SIDEWALK THICKNESS OR 2\"/>

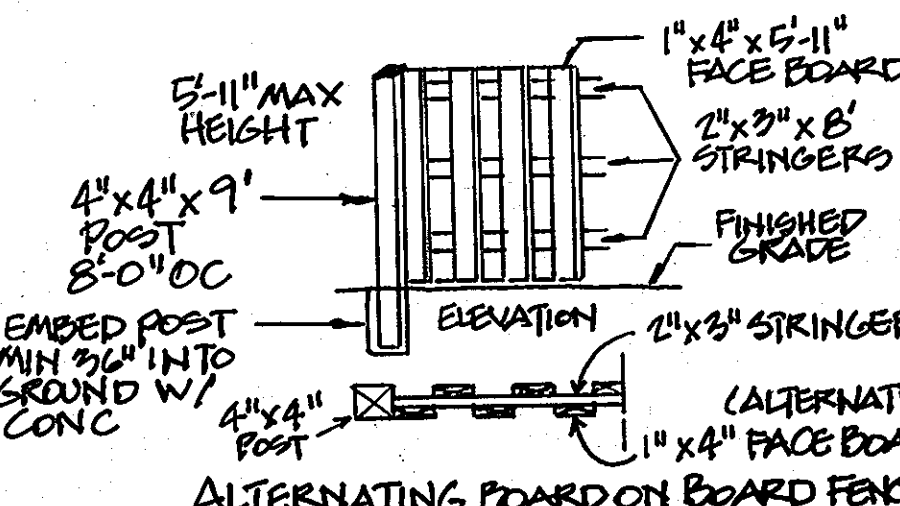


**STANDARD 7\"/>
 NOT TO SCALE**

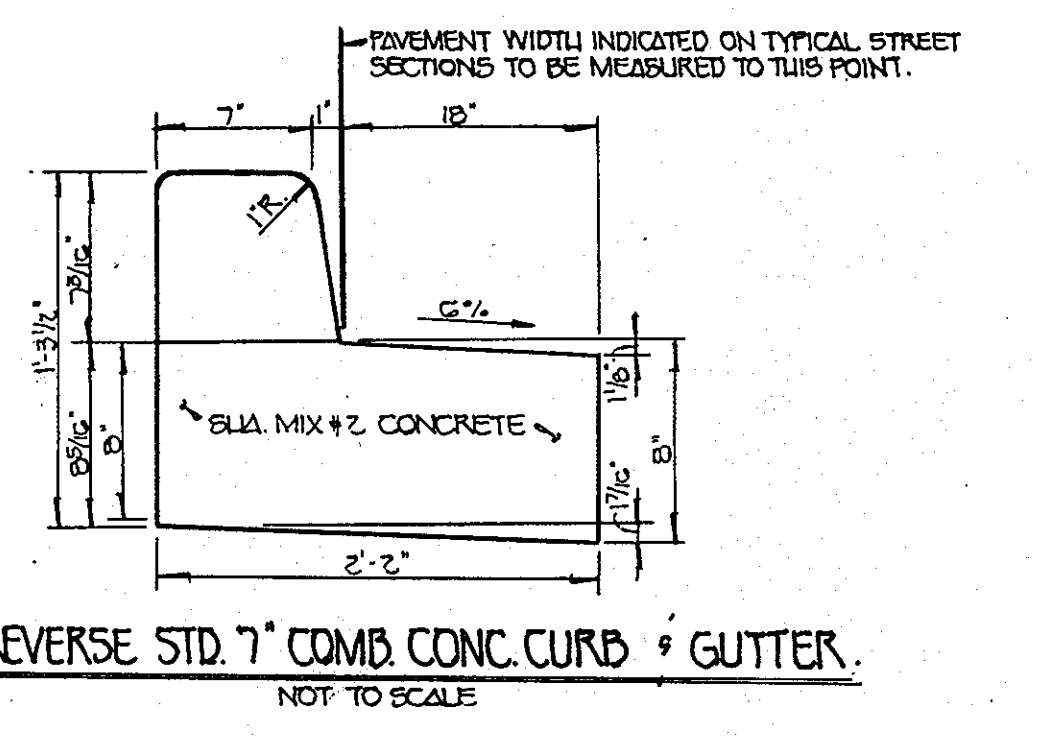
MONOLITHIC CURB & SIDEWALK FOR PRIVATE PARKING
 NOT TO SCALE



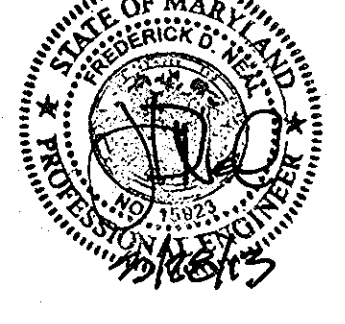
**STANDARD 7\"/>
 NOT TO SCALE**



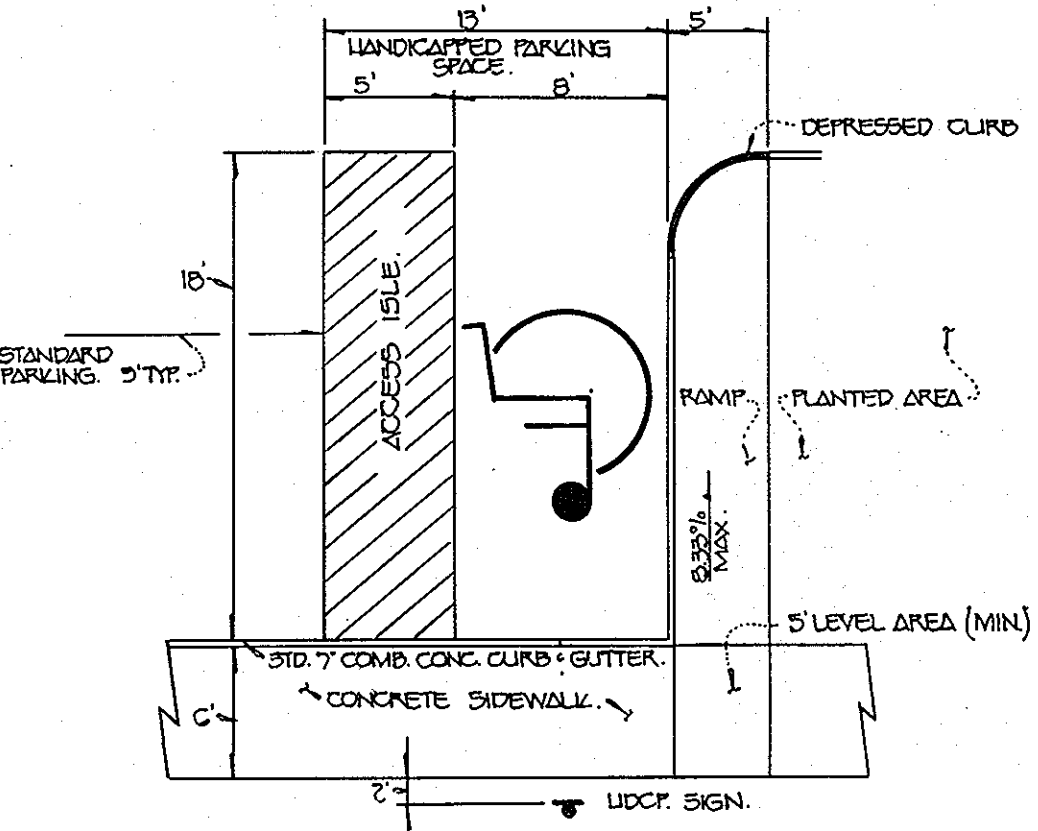
ALTERNATING BOARD ON BOARD FENCE
 NOT TO SCALE



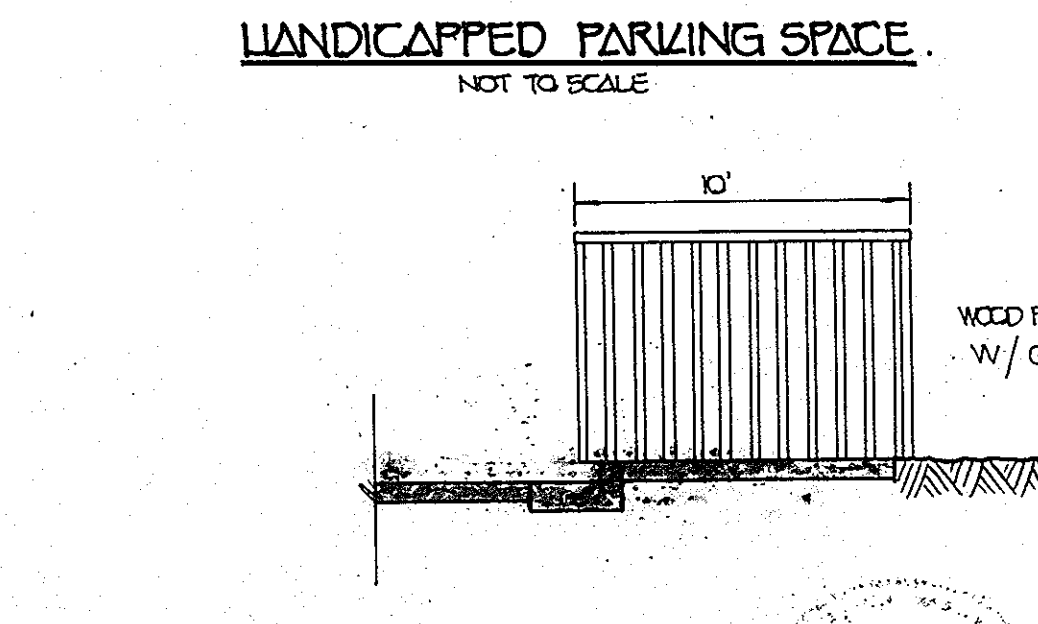
**REVERSE STD. 7\"/>
 NOT TO SCALE**



REVISION PREPARED BY
CADCON CONSULTING INC
 10706 VANDOR LANE
 MANASSAS, VA 20108
 703 332 5141 x117



HANDICAPPED PARKING SPACE
 NOT TO SCALE



DUMPSTER PAD FENCE ENCLOSURE DETAIL
 NOT TO SCALE

DEVELOPER
 SHELTER DEVELOPMENT CORPORATION
 218 N. CHARLES STREET, SUITE 500
 BALTIMORE, MARYLAND 21201

OWNER
 HUNTINGTON II LIMITED PARTNERSHIP
 10275 LITTLE PATRICK PARKWAY
 GAITHERSBURG, MARYLAND 20878
 PHONE 706 499-4755

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 SUITE 100, 9171 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21043
 (301) 461-2855

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: Charles E. Carter DATE: 11/14/90

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: Barbara D. King DATE: 11/14/90

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
 Signature: James M. Hester DATE: 11-28-90
 SOIL CONSERVATION SERVICE

Signature: John R. Blanton DATE: 11/29/90
 DISTRICT HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING
 Signature: James R. Smith DATE: 12/14/90
 PLANNING DIRECTOR

Signature: Mark J. Temple DATE: 12/14/90
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

Signature: James R. Smith DATE: 12-13-90
 HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
 Signature: James R. Smith DATE: 12/7/90
 DIRECTOR, PUBLIC WORKS

Signature: James R. Smith DATE: 12-7-90
 CHIEF, BUREAU OF ENGINEERING

PROPERTY/SUBDIVISION: VILLAGE OF KING'S CONTRIVANCE SECTION/AREA: 3/2 PARCEL: SOC
 PLAT NO./L.F.: 14/15 BLOCK NO.: 42 TAX/ZONE: 42 ELEC. DIST.: C CENSUS TR.: 0022
 WATER CODE: EIC SEWER CODE: G230000

PRIVATE SEWER PROFILES & DETAILS.
VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA Z
HUNTINGTON II APARTMENTS.
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 TAX MAP: 42 PARCEL: 30
 SCALE: 1" = 30' DATE: AUG. 25, 1990
 SHEET 7 OF 14

SPECIFICATIONS

POSTING OF FIRE LANES ON COMMERCIAL PRIVATE PROPERTY

MARKING - METHOD 1

Where a curb exists along a designated Fire Lane, common "Red Traffic Paint" will be used to paint the entire top and vertical surface of the curb. The painted surface will extend for the full length of the designated Fire Lane. This type of paint is readily obtainable from the Baltimore Paint and Chemical Company or any similar source dispensing special-use paints. Paint may be applied by either brush or spray application. Roll-on applications are not recommended.

At each end of the Fire Lane, within the red painted area, the legend, **NO PARKING - FIRE LANE**, will be painted in white letters no less than three inches (3") high on top of the curb. This legend will also be repeatedly placed at approximately equidistant spacing along the entire painted curb top surface at a separation distance of twenty feet (20' ± 3'). This legend shall also be placed on the vertical face of the curb on 20 foot centers offset by 10 feet with respect to the above markings on the top surface. However, in no event, shall there be less than two such markings on the top of curb and one on vertical face.

To aid in the "first time" placement of the **NO PARKING - FIRE LANE** legend on the curb, the Department of Public Works will make stencils available for use at the location noted below. A refundable deposit of \$10.00 will be required when stencil is:

DEPARTMENT OF PUBLIC WORKS
TRAFFIC DIVISION
GEORGE HOWARD BUILDING
3430 COURT HOUSE DRIVE
ELLICOTT CITY, MARYLAND 21043

- NOTE: 1. Deposits will be held for a maximum of three (3) months before depositing.
2. Since the painting and stenciling will require annual renewal and since the Department cannot make stencils available for repeat use, the Company is advised to arrange for the acquisition of their own permanent use stencils.
3. Because of past experiences in obtaining timely annual repainting and stenciling of Fire Lane curbs and therefore effective enforcement, it is strongly recommended that Marking Method 2 be used to ensure the presence of adequate full time Public Notice.

MARKING - METHOD 2

Unless specifically directed by the Fire Administrator, the erection of Fire Lane signs and Tow Away Zone signs shall be at the option of the property owner. In the event signs are erected, they must meet the following criteria:

A. SPECIFICATIONS

- 1) Fire Lane Signs
a) Size - 12" wide x 18" high
Alternate when specified:
24" wide x 30" high
b) Thickness - .080"
c) Material - Aluminum
d) Color - Reflective red letters and border on a reflective white background
e) Lettering - **NO PARKING FIRE LANE** (3")
DIRECTIONAL ARROW (1 1/2")

NOTE: The use of international symbol type signs is not authorized.

2) Tow Away Zone Signs

The authorized sign is designated R7-201 in the Manual on Uniform Traffic Control Devices

- a) Size - 12" wide x 6" high
b) Material type and thickness to be same as Fire Lane sign
c) Color - Red letters and border on reflective white background
d) Lettering - 2 line text using 1 inch letters

B. PLACEMENT OF SIGNS

- 1) Limits of zones - The enforceable limits of any Fire Lane shall be delineated by the placement of Fire Lane signs at both termination points. If signs are installed, all fire lane will require a minimum of two signs.

a) Short Zones (200 feet or less)

Fire Lane signs shall be placed at each end of the marked lane with opposing arrows.

b) Long Zones (in excess of 200 feet)

Fire Lane signs should be spaced approximately 100-150 feet apart, but in no case will they be spaced more than a distance of 200 feet apart. All long zones will require a minimum of three signs. When signing "Long Zones", it is necessary to incorporate a double pointing arrow on the middle sign (s) and a single pointing arrow on the end signs indicating the limits of the regulation.

c) Tow Away Zone Sign

The "Tow Away Zone" sign shall be mounted immediately below each Fire Lane sign on the same support. The "Tow Away" sign is necessary to ensure maintaining a clear fire lane.

C. POSITIONING OF SIGNS

1. Mounting Techniques

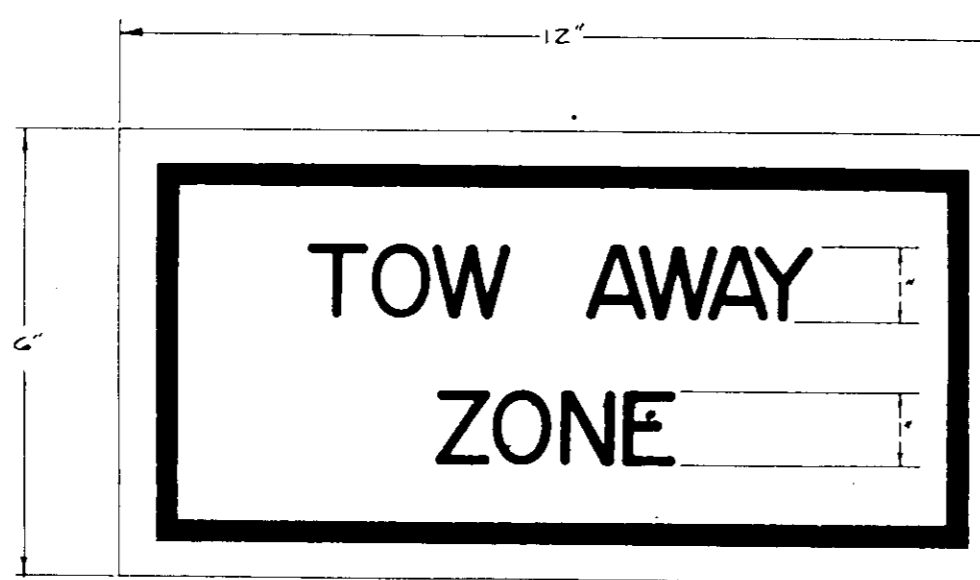
It is recommended that Fire Lane and Tow Away signs be mounted on new posts approximately one (1) foot back of curb for best effectivity. Where applicable, mounting may also be on posts installed in grass areas beyond a sidewalk where such sidewalk does not exceed four (4) feet in width and adjoins the curb. The mounting of signs on the face of buildings is specifically discouraged as being ineffective from an enforcement standpoint and shall not be used in the absence of stencilled curbs.

2. All signs shall be mounted parallel to the Fire Lane curb unless orders to the contrary are received from the Office of Fire Administrator concerning special circumstances which require alternative signing.

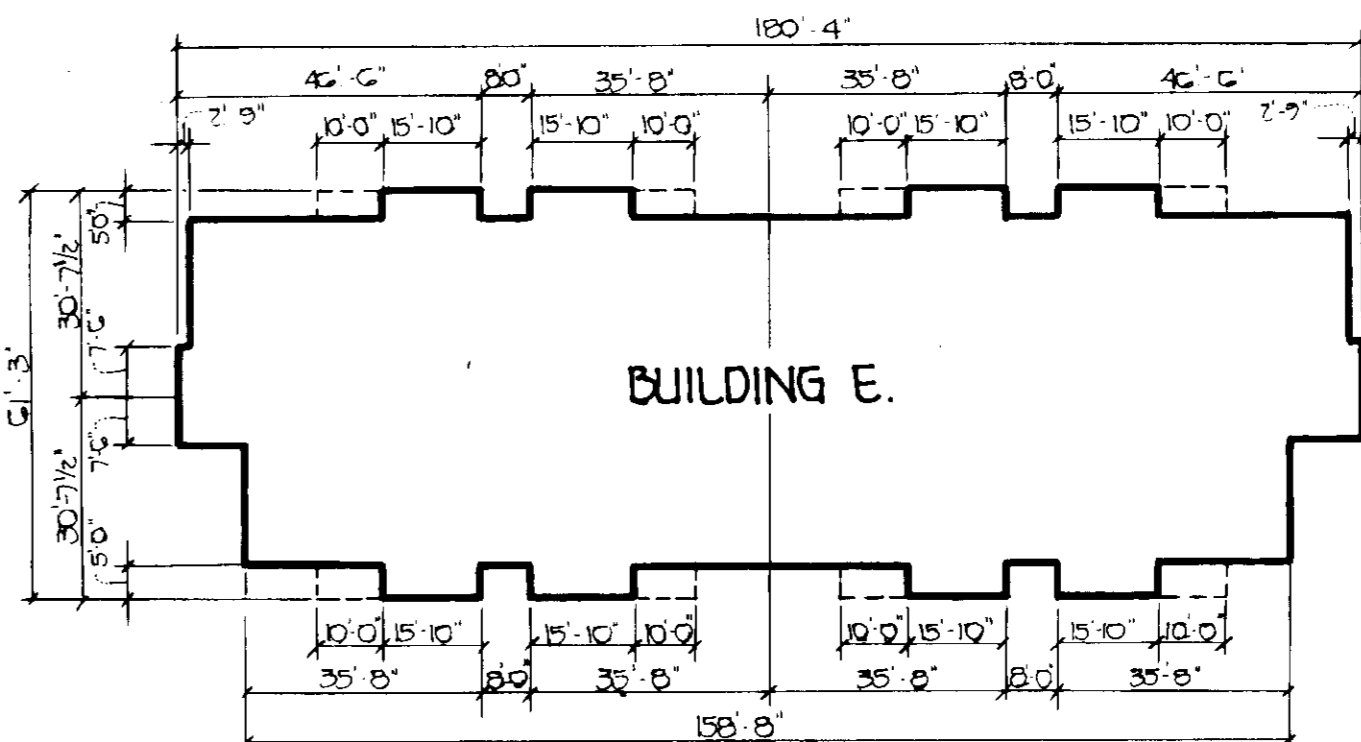
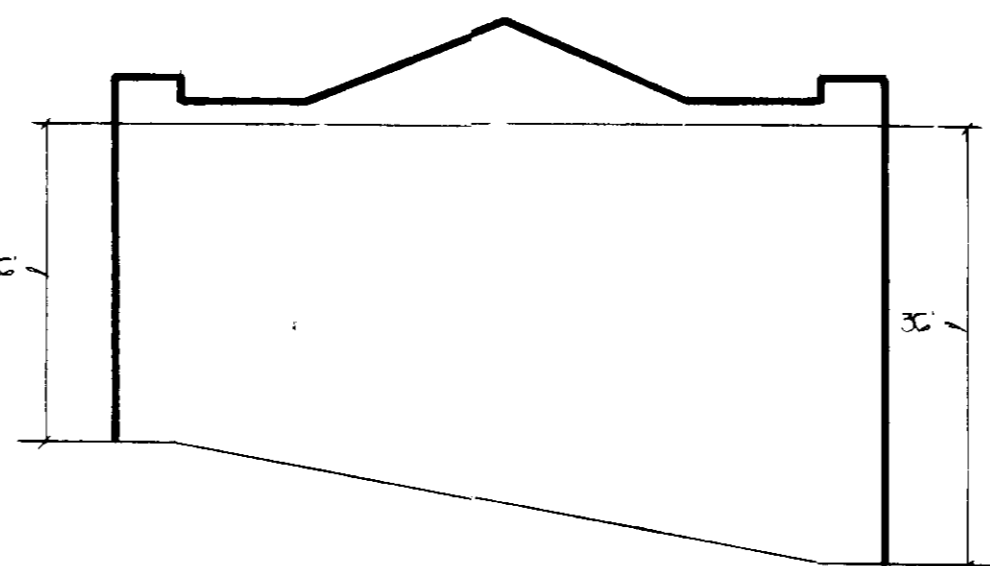
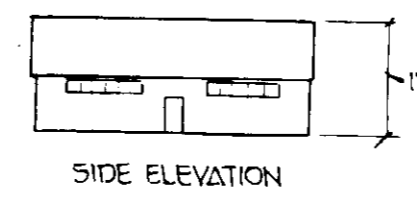
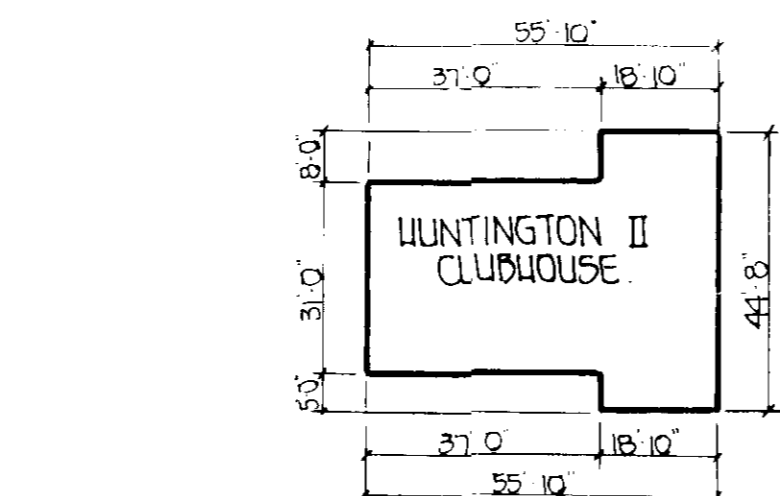
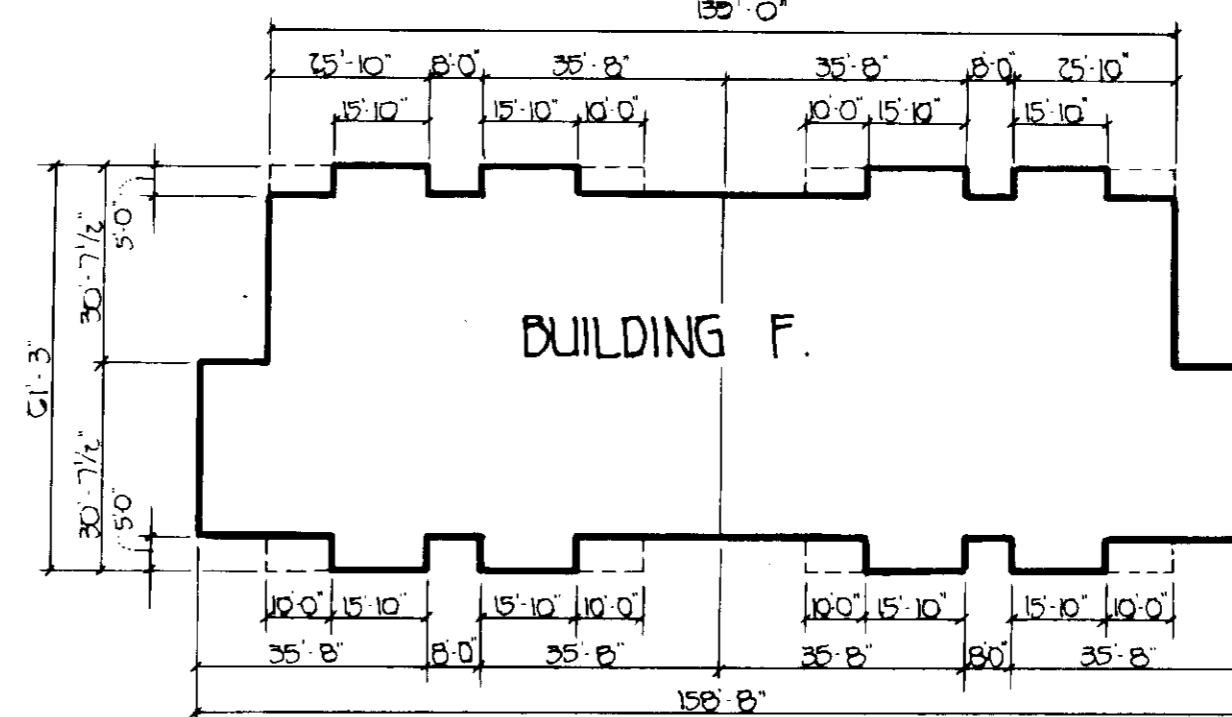
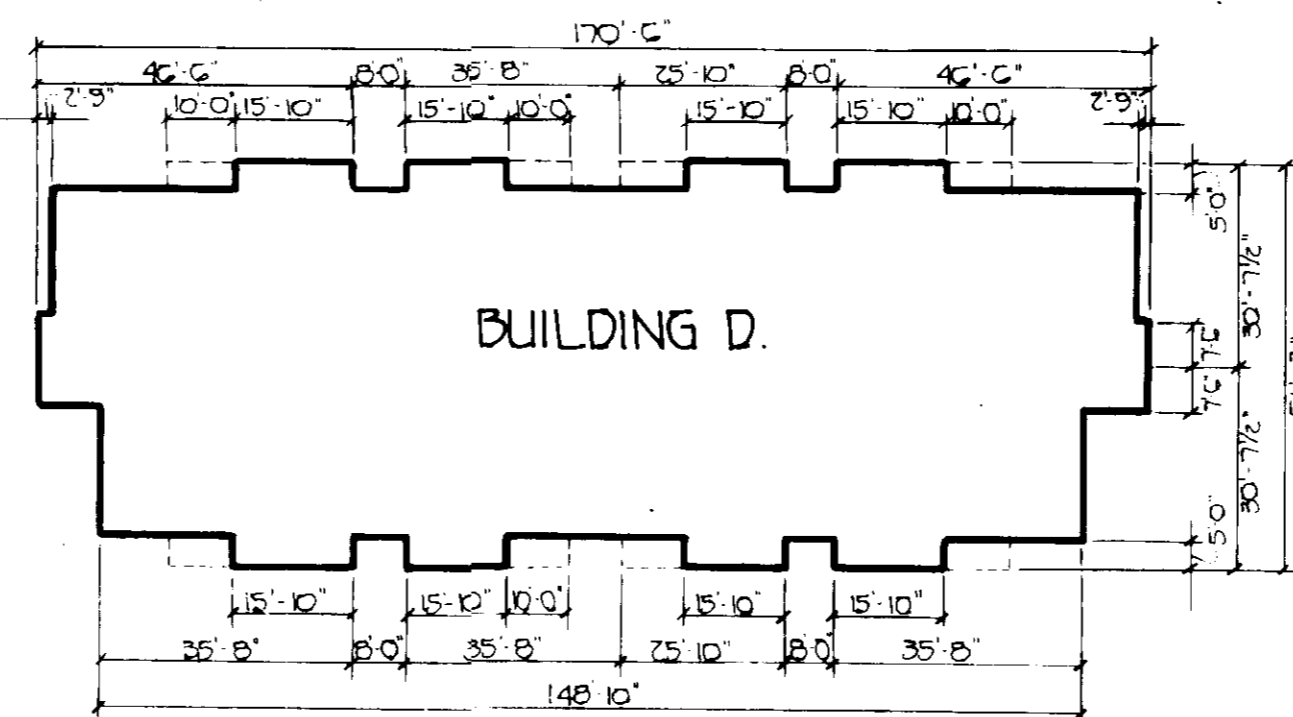
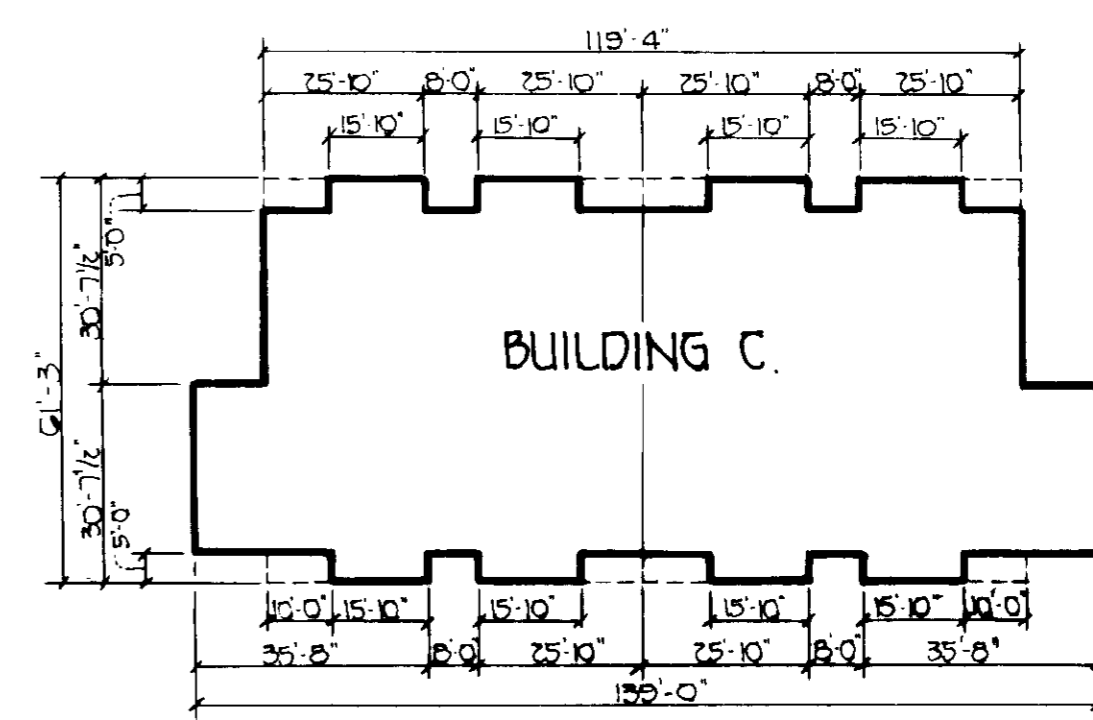
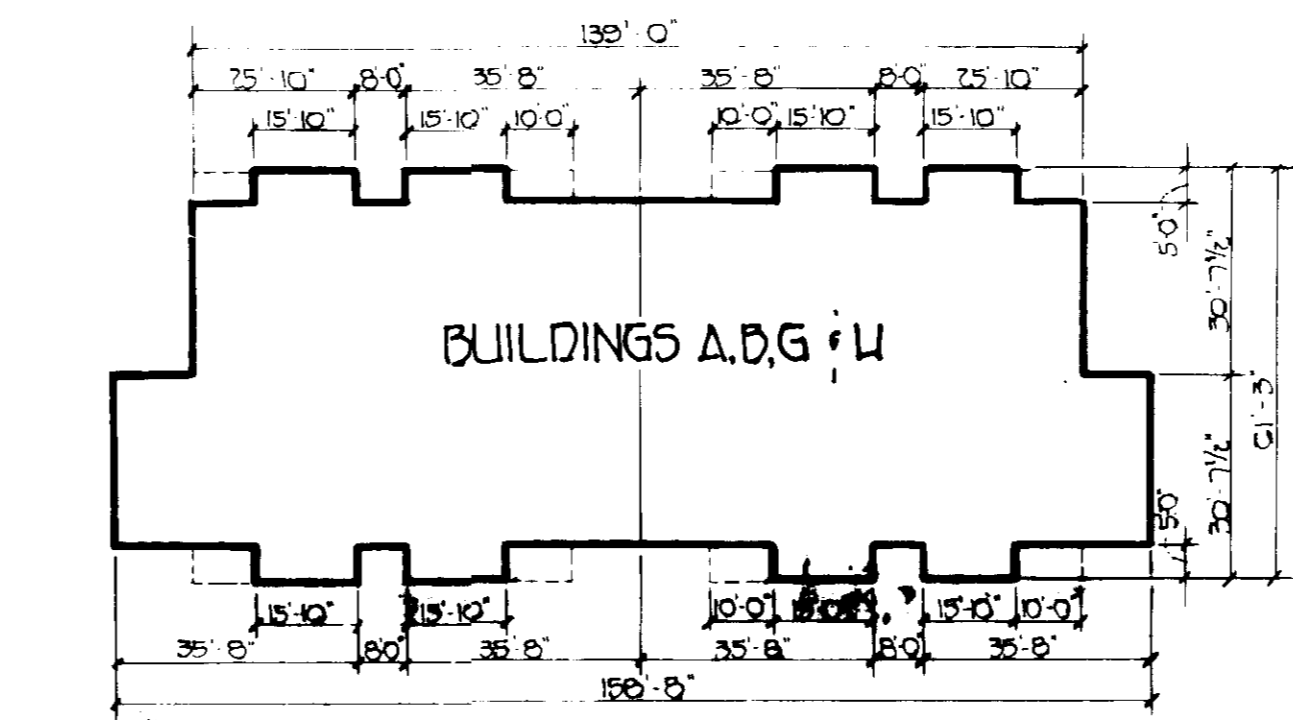
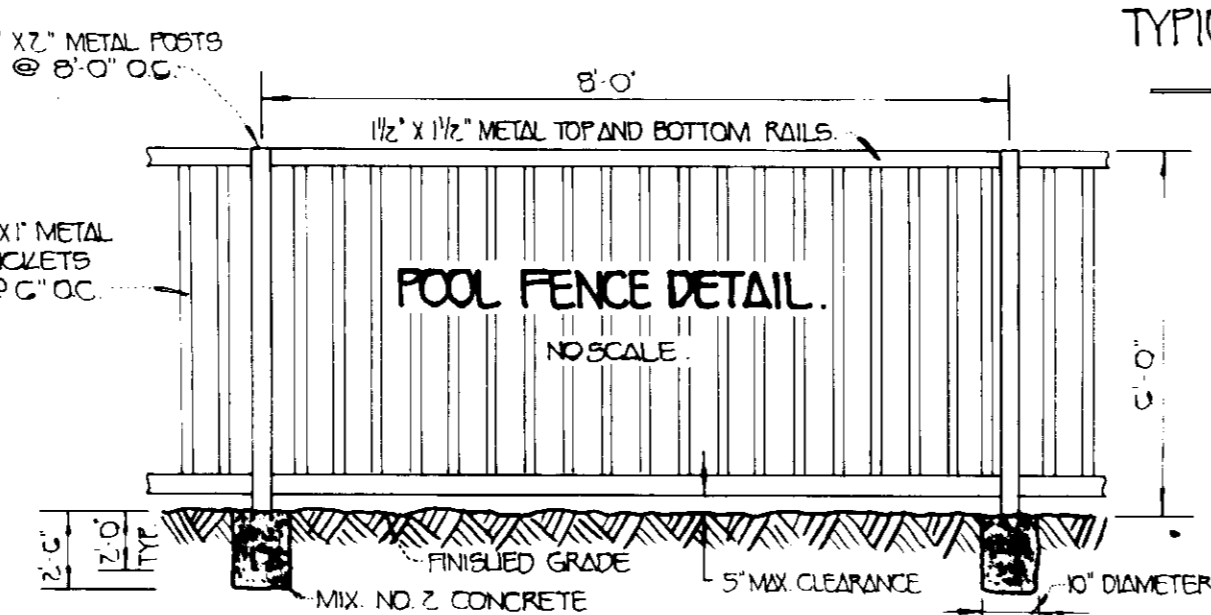
3. Mounting Height

Fire Lane signs shall be mounted at the height of 7 feet to the bottom of the sign. However, slightly lower mounting height may be approved if existing construction conditions so require. No Fire Lane signs shall be mounted so as to interfere with pedestrian movement.

Tow Away Zone signs shall be mounted directly below the Fire Lane such that the height is 6 1/2 feet to the bottom of the sign.



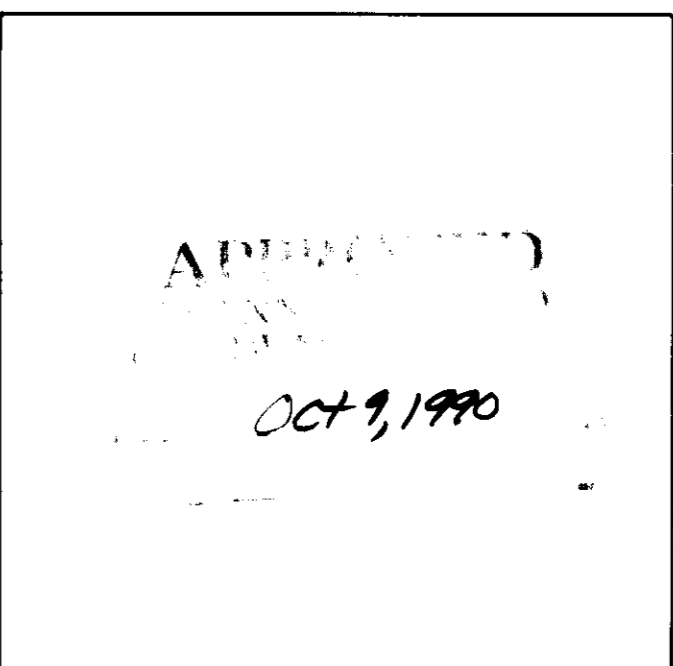
COLOR, RED LETTERS AND BORDER ON WHITE REFLECTIVE BACKGROUND
R7-201 DESIGNATION IN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES



BUILDING PLANS AND PROFILES
NO SCALE

PAVING SECTION P-1 FOR PARKING BAYS
NOT TO SCALE

PAVING SECTION P-2 FOR TRAVELWAYS
NOT TO SCALE



OWNER
HOWARD RESEARCH AND DEVELOPMENT, COMPANY
10275 LITTLE PATUENT PARKWAY
COLUMBIA, MARYLAND 21044
DEVELOPER
SHELTER DEVELOPMENT CORPORATION
218 N. CHARLES STREET, SUITE 500
BALTIMORE, MARYLAND 21201

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
SUITE 100, 9171 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21043
(301) 461-2855

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Signature: *Charles W. Carter*
Date: 11/14/90

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.
Signature: *Barbara D. King*
Date: 11/14/90

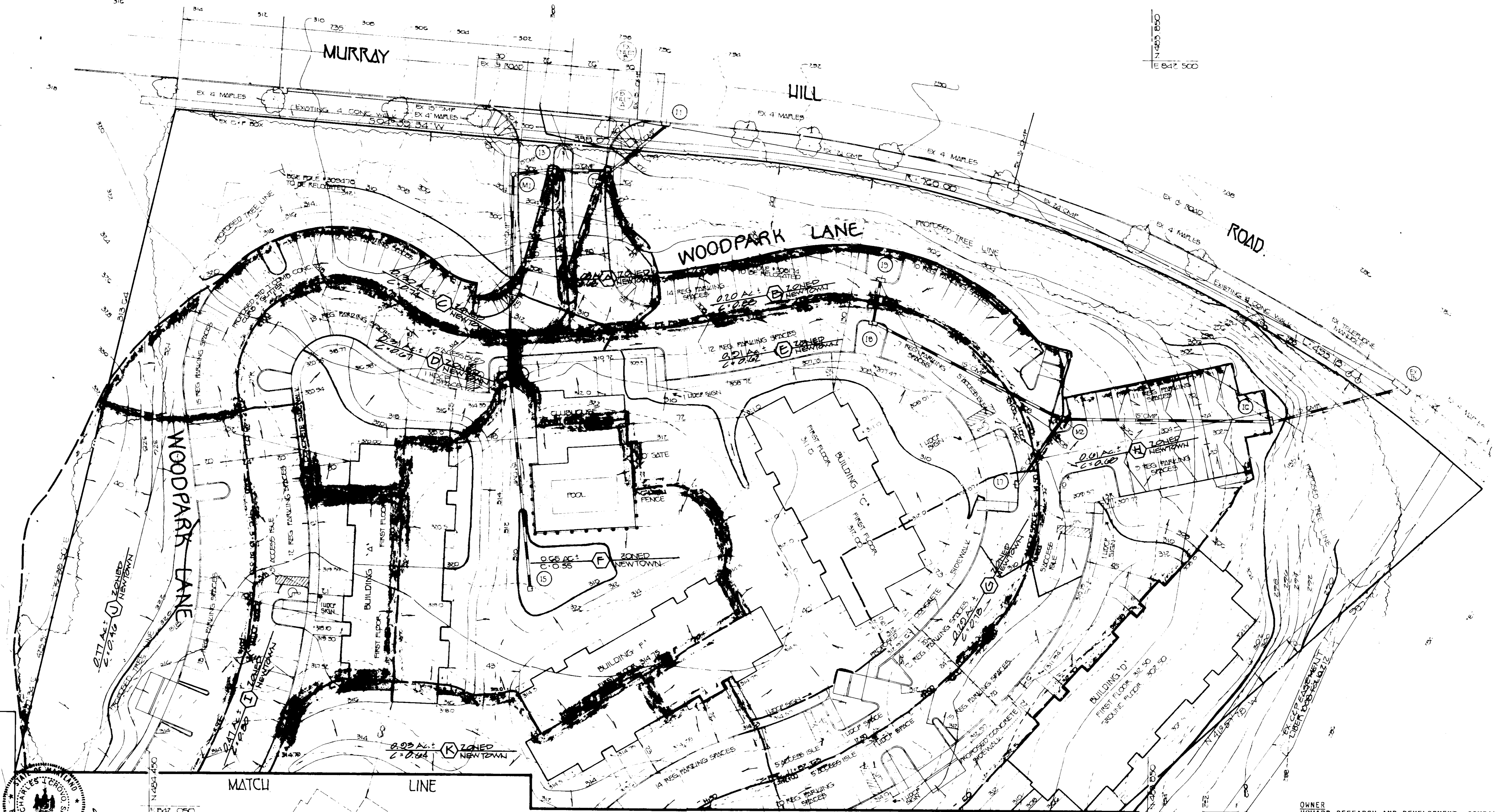
APPROVED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
Signature: *John P. Robertson*
Date: 11/29/90
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING
Signature: *James P. Carter*
Date: 12/14/90
PLANNING DIRECTOR
Signature: *James P. Carter*
Date: 11/14/90
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
Signature: *James P. Carter*
Date: 12/14/90
DIRECTOR, PUBLIC WORKS
Signature: *James P. Carter*
Date: 12-7-90
CHIEF, BUREAU OF ENGINEERING

DETAILS
VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA 2
LUNTINGTON II APARTMENTS
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TAX MAP 42 PARCEL 560
SCALE: 1" = 30' DATE: AUG 25, 1990
SHEET 8 OF 14

NOTE CONTRACTOR TO MATCH EXISTING CURB AND GUTTER FOR LINE AND GRADE



N 642 500
E 642 500



OCT 9 1990

OWNER
HOWARD RESEARCH AND DEVELOPMENT, COMPANY
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DEVELOPER
SHELTER DEVELOPMENT CORPORATION
218 N. CHARLES STREET, SUITE 500
BALTIMORE, MARYLAND 21201

SEE SHEET 10.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
SUITE 100, 9171 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21043
(301) 461-2855

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Charles L. Griggs*
DATE: 11/19/90

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: *Barbara R. King*
DATE: 11/19/90

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT TECHNICAL REQUIREMENTS
Signature: *James H. Kitch*
DATE: 11-28-90

Signature: *John P. Roberts*
DATE: 11/29/90

APPROVED DEPT OF PLANNING AND ZONING
Signature: *James H. Kitch*
DATE: 12/14/90

Signature: *David C. ...*
DATE: 12/14/90

Signature: *James H. Kitch*
DATE: 12-13-90

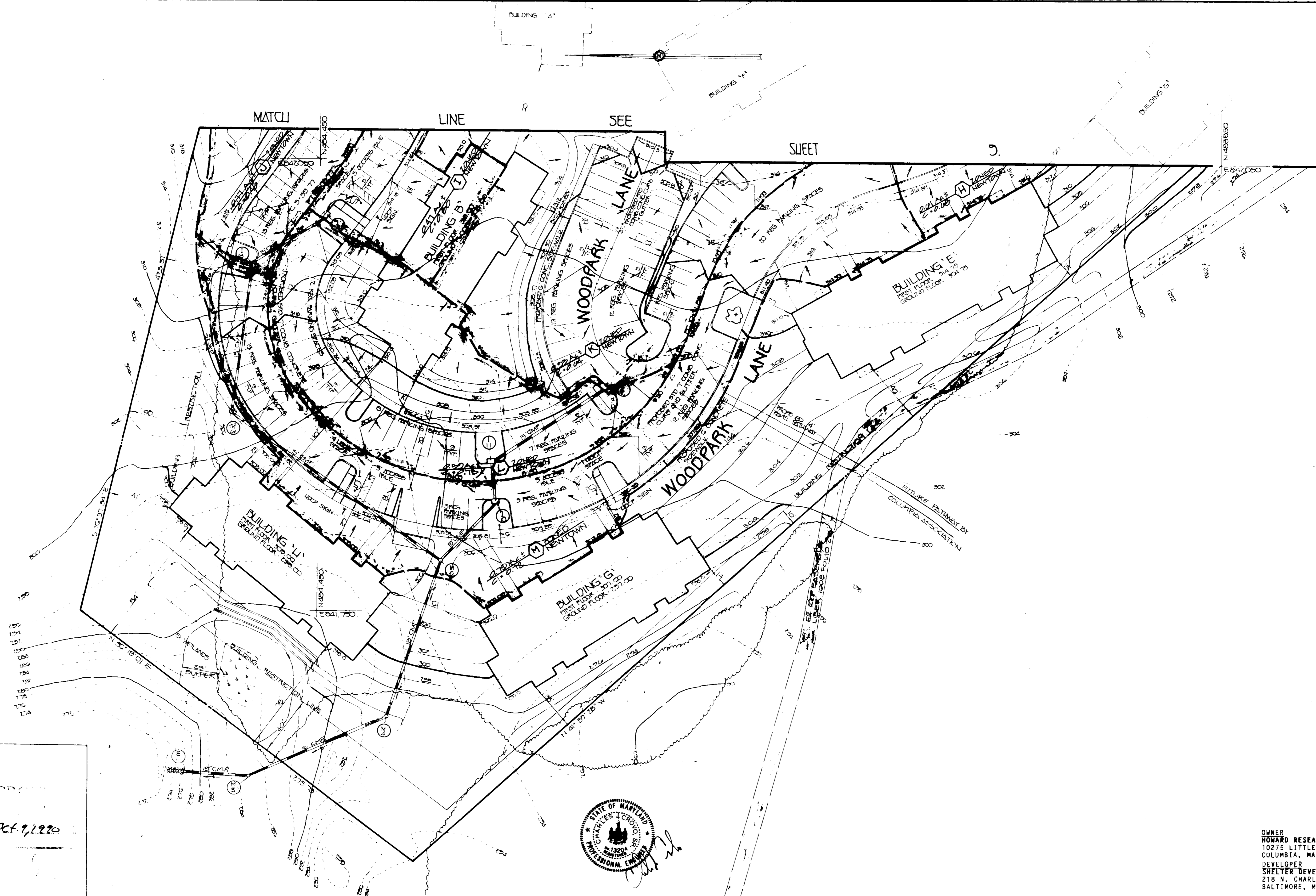
APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS
Signature: *James H. Kitch*
DATE: 12-7-90

Signature: *James H. Kitch*
DATE: 12-7-90

PROPERTY/SUBDIVISION	SECTION/AREA	PARCEL
VILLAGE OF KING'S CONTRIVANCE	3/2	500
PLAT NO./L.F.	BLOCK NO.	ZONE
0000	14/15	NT 42
TAX/ZONE	ELEC DIST	CENSUS TR
0000	C	0000
WATER CODE	SEWER CODE	
E1G	020000	

DRAINAGE AREA MAP
VILLAGE OF KING'S CONTRIVANCE
LIVINGSTON II APARTMENTS
SIXTH ELECTION DISTRICT

TAX MAP 1989
AUG 28 1990



Approved
Date Oct 9, 1990



OWNER
HOWARD RESEARCH AND DEVELOPMENT, COMPANY
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
DEVELOPER
SHELTER DEVELOPMENT CORPORATION
218 N. CHARLES STREET, SUITE 500
BALTIMORE, MARYLAND 21201

<p>FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERS & LAND SURVEYORS SUITE 100, 9171 BALTIMORE NATIONAL PIKE ELLCOTT CITY, MARYLAND 21043 (301) 461-2855</p>	<p>ENGINEER'S CERTIFICATE I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p><i>Charles E. Gordon</i> SIGNATURE OF ENGINEER 11/19/90 DATE</p>	<p>DEVELOPER'S CERTIFICATE "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."</p> <p><i>Barbara D. Kis</i> SIGNATURE OF DEVELOPER 11/19/90 DATE</p>	<p>REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS <i>James M. Hahn</i> 11-20-90 SOIL CONSERVATION SERVICE DATE</p> <p>THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. <i>John R. Robertson</i> 11/29/90 HOWARD SOIL CONSERVATION DISTRICT DATE</p>	<p>APPROVED - DEPT. OF PLANNING AND ZONING <i>James M. Hahn</i> 12/14/90 PLANNING DIRECTOR DATE</p> <p><i>Mark V. ...</i> 12/14/90 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE</p> <p>APPROVED - HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS <i>James ...</i> 12-13-90 HEALTH OFFICER DATE</p>	<p>APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS. <i>James ...</i> 12/17/90 DIRECTOR, PUBLIC WORKS DATE</p> <p><i>William S. ...</i> 12-7-90 CHIEF, BUREAU OF ENGINEERING DATE</p> <p>PROPERTY/SUBDIVISION VILLAGE OF KING'S CONTRIVANCE SECTION/AREA 3/2 PARCEL 500 PLAT NO./L.F. BLOCK NO. ZONE TAX/ZONE ELEC. DIST. CENSUS TR. 0000 WATER CODE 010 SEWER CODE 020000</p>	<p>DRAINAGE AREA MAP VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA 2 LUNTINGTON II APARTMENTS SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND</p> <p>TAX MAP 42 PARCEL 500 SCALE: 1" = 30' DATE: AUG 28, 1990 SHEET 10 OF 14</p>
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- 1) A MAJOR... OFFICE MUST BE KEPT TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (199-2437).
- 2) ALL EROSION AND SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN COMPLIANCE WITH THE 1982 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRABBED AREAS ON THE PROJECT SITE.
- 4) ALL PERIMETER TRAPS/RAINES SHOW MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 12, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1982 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 81) AND TEMPORARY SEEDING (SEC. 82) AND TEMPORARY STABILIZATION WITH WHICH ALGAE CAN BE DONE UNDER RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER VEGETATION ESTABLISHMENT OF GRADES.
- 6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7) SITE ANALYSIS:

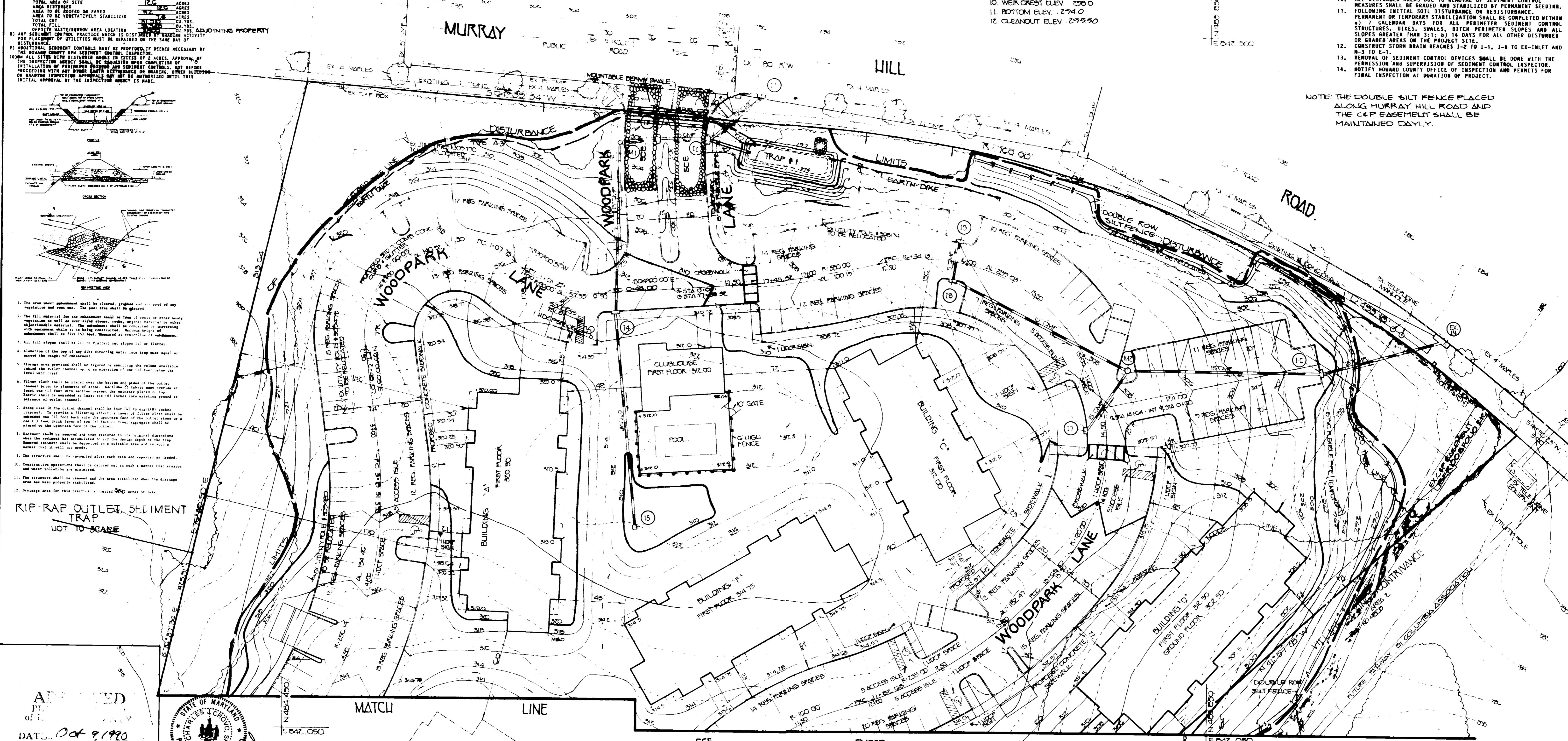
TOTAL AREA OF SITE	12.6	ACRES
AREA DISTURBED	11.4	ACRES
AREA TO BE REPAIRED OR PAVED	11.4	ACRES
AREA TO BE VEGETATIVELY STABILIZED	11.4	ACRES
TOTAL CUT	114,000	CU. YD.
TOTAL FILL	114,000	CU. YD.
OFFSITE WASTE/SPILL AREA LOCATION	114,000	CU. YD.
ADJOINING PROPERTY	114,000	CU. YD.
- 8) ANY SEDIMENT CONTROL PRACTICES WHICH IS DISTURBED BY EXISTING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 9) ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 10) ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROX. OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, BEFORE INSTALLATION OF PERIMETER SEDIMENT CONTROL, NOT BEFORE PROVIDING WITH THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS OR GRABBING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

- TRAP #1
1. STONE OUTLET BEDDIMENT TRAP
 2. DRAINAGE AREA - 17 AC. ±
 3. VOLUME REQUIRED - 118 CU. YD.
 4. VOLUME PROVIDED - 114 CU. YD.
 5. TOP DIMENSIONS - 60' x 22'
 6. BOTTOM DIMENSIONS - 22' x 14'
 7. SIDE SLOPES - 1:1
 8. DEPTH - 30"
 9. WEIR CREST LENGTH - 0'
 10. WEIR CREST ELEV. - 236.0'
 11. BOTTOM ELEV. - 274.0'
 12. CLEANOUT ELEV. - 275.50'

- CONSTRUCTION SEQUENCE
1. OBTAIN GRABBING PERMIT.
 2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES, EARTH DIKES AND SEDIMENT TRAPS AS SHOWN STABILIZED WITH TEMPORARY SEEDING.
 3. CLEAR AND GRUB SITE TO LIMITS OF DISTURBANCE.
 4. CONSTRUCT ROADS TO SUBGRADE.
 5. CONSTRUCT UTILITIES. STORM DRAIN REACHES 1-2 TO 1-1, 1-6 TO EX. INLET AND 3-2 TO E-1 SHALL NOT BE CONSTRUCTED UNTIL ALL OTHER UPLAND AREAS ARE STABILIZED WITH PERMANENT SEEDING. THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL, ON A DAILY BASIS AND DOME WITH THE SUPERVISION AND PERMISSION OF SEDIMENT CONTROL INSPECTOR.
 6. CONSTRUCT BUILDINGS.
 7. FIRE GRADE SITE APPLY PERMANENT SEEDING.
 8. REMOVE STONE CONSTRUCTION ENTRANCE AND CLEAN BASE COURSE. APPLY JACK COAT TO BASE COURSE AND LAY SURFACE COURSE.
 9. ALL DISTURBED AREAS DUE TO REMOVAL OF SEDIMENT CONTROL MEASURES SHALL BE GRADED AND STABILIZED BY PERMANENT SEEDING.
 10. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; b) 14 DAYS FOR ALL OTHER DISTURBED OR GRABBED AREAS ON THE PROJECT SITE.
 11. CONSTRUCT STORM DRAIN REACHES 1-2 TO 1-1, 1-6 TO EX-INLET AND 3-2 TO E-1.
 12. REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE DONE WITH THE PERMISSION AND SUPERVISION OF SEDIMENT CONTROL INSPECTOR. NOTIFY HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS FOR FINAL INSPECTION AT DURATION OF PROJECT.

NOTE: CONTRACTOR TO MATCH EXISTING CURB AND GUTTER FOR LINE AND GRADE

NOTE: THE DOUBLE SILT FENCE PLACED ALONG MURRAY HILL ROAD AND THE C&P EASEMENT SHALL BE MAINTAINED DAILY.



RIP-RAP OUTLET SEDIMENT TRAP NOT TO SCALE

APPROVED
DATE: Oct 9, 1990



MATCH LINE

SEE SHEET 12

OWNER: HOWARD RESEARCH AND DEVELOPMENT, COMPANY
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DEVELOPER: SHELTER DEVELOPMENT CORPORATION
218 N. CHARLES STREET, SUITE 500
BALTIMORE, MARYLAND 21201

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERS & LAND SURVEYORS
SUITE 100, 9171 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21043
(301) 461-2855

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

Signature: [Signature]
DATE: 11/19/90

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: [Signature]
DATE: 11/19/90

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
Signature: [Signature]
DATE: 11-28-90

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED: [Signature]
DATE: 11/29/90

APPROVED DEPT. OF PLANNING AND ZONING
Signature: [Signature]
DATE: 12/14/90

Signature: [Signature]
DATE: 12/14/90

APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
Signature: [Signature]
DATE: 12-13-90

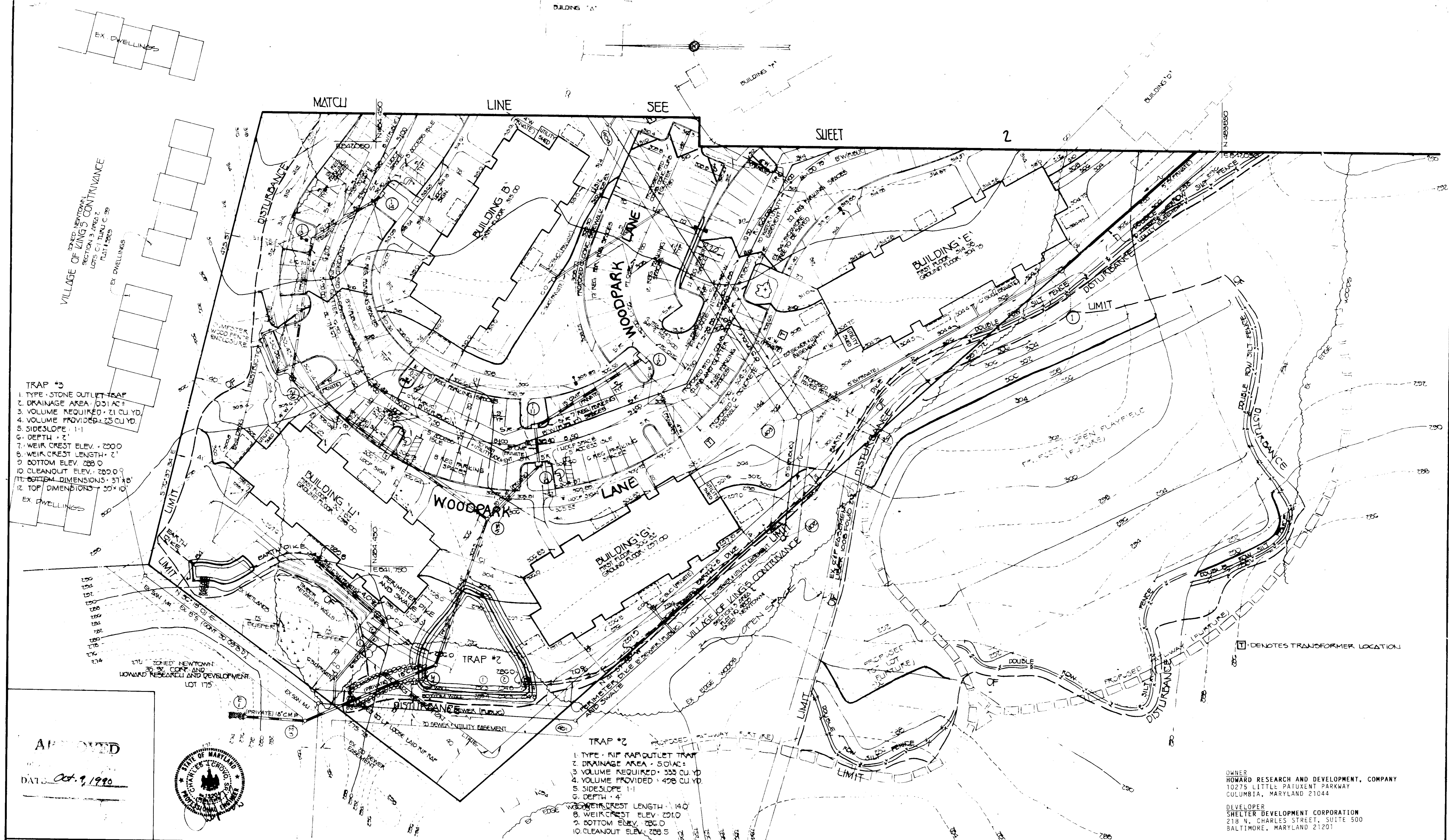
APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS
Signature: [Signature]
DATE: 12/16/90

Signature: [Signature]
DATE: 12-7-90

PROPERTY/SUBDIVISION	SECTION/AREA	PARCEL
VILLAGE OF KING'S CONTRIVANCE	3/2	506
PLAT NO./L.F.	BLOCK NO.	ZONE
14/15	NT	42
ELEC. DIST.	CENSUS TR.	
	5022	
WATER CODE	EIC	SEWER CODE
		0230000

SEDIMENT AND EROSION CONTROL
VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA 2
LUNTINGTON II APARTMENTS
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TAX MAP: 42
SCALE: 1" = 50'
DATE: AUG 23, 1990
SHEET 11 OF 14



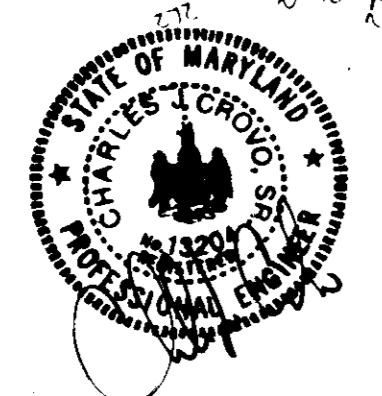
TRAP #1
 1. TYPE - STONE OUTLET TRAP
 2. DRAINAGE AREA - 0.31 AC.
 3. VOLUME REQUIRED - 21 CU. YD.
 4. VOLUME PROVIDED - 25 CU. YD.
 5. SIDE SLOPE - 1:1
 6. DEPTH - 2'
 7. WEIR CREST ELEV. - 280.0
 8. WEIR CREST LENGTH - 2'
 9. BOTTOM ELEV. - 286.0
 10. CLEANOUT ELEV. - 280.0
 11. BOTTOM DIMENSIONS - 37" x 8"
 12. TOP DIMENSIONS - 30" x 10"

TRAP #2
 1. TYPE - KIP RAP OUTLET TRAP
 2. DRAINAGE AREA - 50 AC.
 3. VOLUME REQUIRED - 333 CU. YD.
 4. VOLUME PROVIDED - 498 CU. YD.
 5. SIDE SLOPE - 1:1
 6. DEPTH - 4'
 7. WEIR CREST LENGTH - 140'
 8. WEIR CREST ELEV. - 281.0
 9. BOTTOM ELEV. - 286.0
 10. CLEANOUT ELEV. - 286.5

OWNER
 HOWARD RESEARCH AND DEVELOPMENT, COMPANY
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

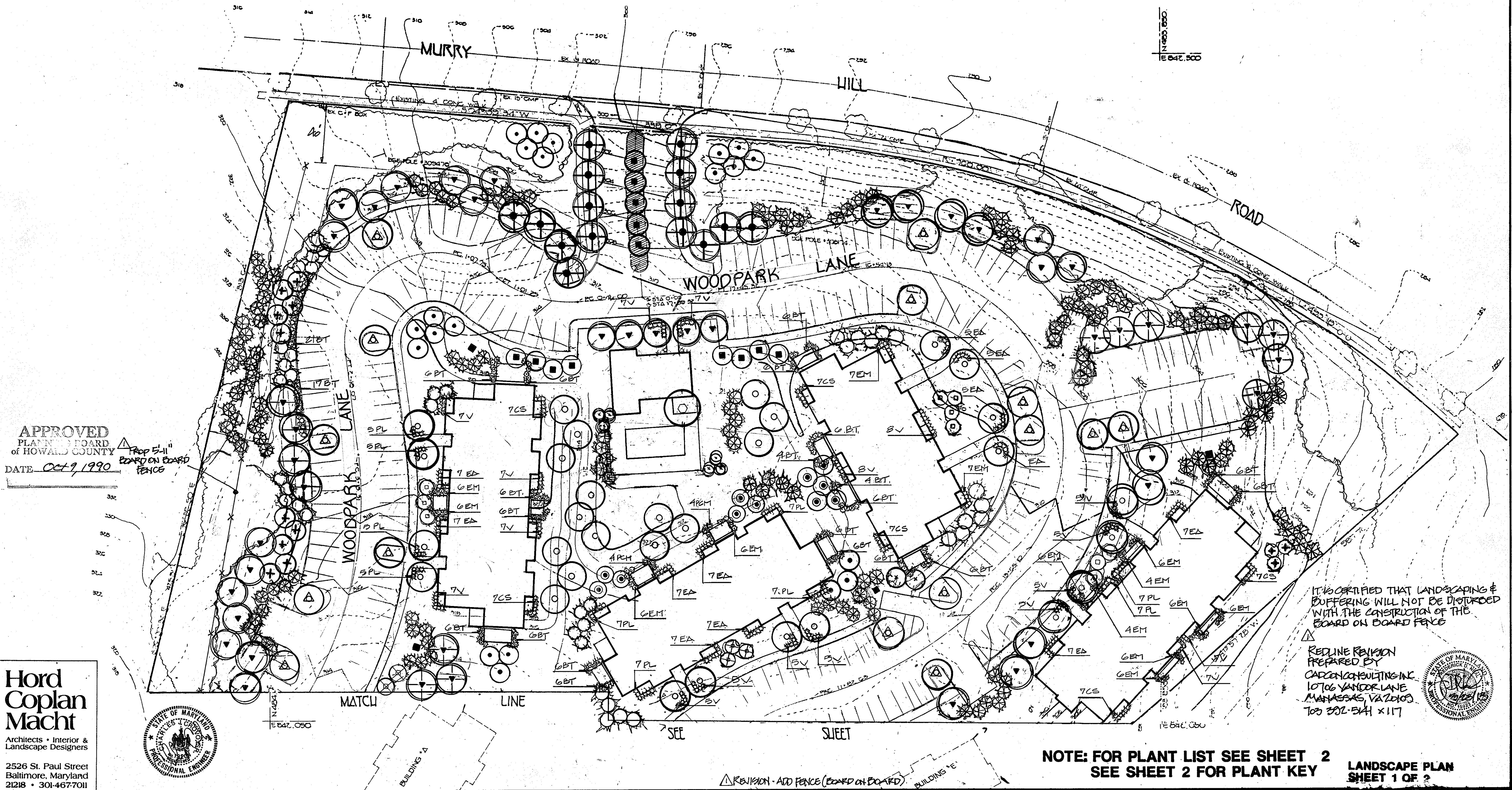
DEVELOPER
 SHELTER DEVELOPMENT CORPORATION
 218 N. CHARLES STREET, SUITE 500
 BALTIMORE, MARYLAND 21201

APPROVED
 DATE Oct. 9, 1990

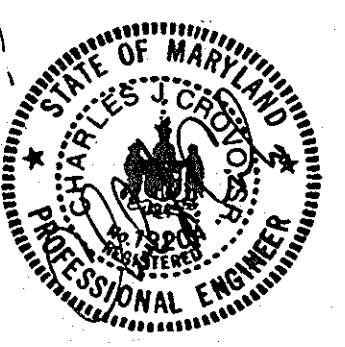


FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERS & LAND SURVEYORS SUITE 100, 9171 BALTIMORE NATIONAL PIKE ELLICOTT CITY, MARYLAND 21043 (301) 461-2855	ENGINEER'S CERTIFICATE I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. Signature: <i>Chas. J. Fisher</i> DATE: 8/27/90	DEVELOPER'S CERTIFICATE I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. Signature: <i>Barbara N. King</i> DATE: 8-27-90	REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND METS TECHNICAL REQUIREMENTS U.S. SOIL CONSERVATION SERVICE DATE: 11-28-90 Signature: <i>[Signature]</i> THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED. Signature: <i>[Signature]</i> DATE: 4/27/90 HOWARD SOIL CONSERVATION DISTRICT	APPROVED: DEPT. OF PLANNING AND ZONING Signature: <i>[Signature]</i> DATE: 12/14/90 PLANNING DIRECTOR Signature: <i>[Signature]</i> DATE: 12/14/90 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT	APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS Signature: <i>[Signature]</i> DATE: 12/7/90 DIRECTOR, PUBLIC WORKS Signature: <i>[Signature]</i> DATE: 12-7-90 CHIEF, BUREAU OF ENGINEERING	SEDIMENT AND EROSION CONTROL SITE DEVELOPMENT PLAN VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA 2 LUNTINGTON II APARTMENTS SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND TAX MAP - 42 PARCEL 50G SCALE - 1" = 30' DATE AUG 23, 1990 SHEET 12 OF 14
	APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS Signature: <i>[Signature]</i> DATE: 12/13/90 HEALTH OFFICER	PROPERTY/SUBDIVISION VILLAGE OF KING'S CONTRIVANCE SECTION/AREA 3/2 PARCEL 50G PLAT NO./L.F. BLOCK NO. ZONE TAX/ZONE ELEC. DIST. CENSUS TR. 14/19 N.T. 42 C 5002				
	SIGNATURE OF ENGINEER DATE	SIGNATURE OF DEVELOPER DATE	SIGNATURE OF HEALTH OFFICER DATE	SECTION/AREA PARCEL TAX/ZONE ELEC. DIST. CENSUS TR.	WATER CODE SEWER CODE	

NOTE: 1) ALL PLANT LOCATIONS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
 2) THIS SHEET FOR LANDSCAPE WORK ONLY.
 3) ALL DISTURBED AREAS TO BE SEEDED.



Hord Coplan Macht
 Architects • Interior & Landscape Designers
 2526 St. Paul Street
 Baltimore, Maryland
 21218 • 301-467-7011



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 SUITE 100, 9171 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21043
 (301) 461-2855

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: *Charles J. Carter* DATE: 11/19/90

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.
 SIGNATURE OF DEVELOPER: *Barbara A. King* DATE: 11/19/90

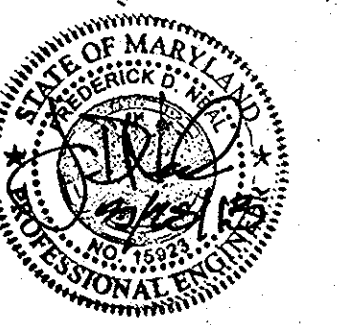
REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
 SIGNATURE: *James H. Hulse* DATE: 11-28-90
 SOIL CONSERVATION SERVICE
 THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED: *John L. Robertson* DATE: 11/29/90
 DISTRICT HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING
 SIGNATURE: *James R. Butler* DATE: 12/14/90
 PLANNING DIRECTOR
 SIGNATURE: *Mark J. Campbell* DATE: 12/14/90
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
 APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
 SIGNATURE: *Joann Bragdon* DATE: 12-13-90
 HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
 SIGNATURE: *James P. ...* DATE: 12/14/90
 DIRECTOR, PUBLIC WORKS
 SIGNATURE: *...* DATE: 12-19-90
 CHIEF, BUREAU OF ENGINEERING
 PROPERTY/SUBDIVISION: _____ SECTION/AREA: _____ PARCEL/LOT NO.: _____
 PLAT NO./L.F.: _____ BLOCK NO.: _____ ZONE: _____ TAX/ZONE: _____ ELEC. DIST.: _____ CENSUS TR.: _____
 WATER CODE: _____ SEWER CODE: _____

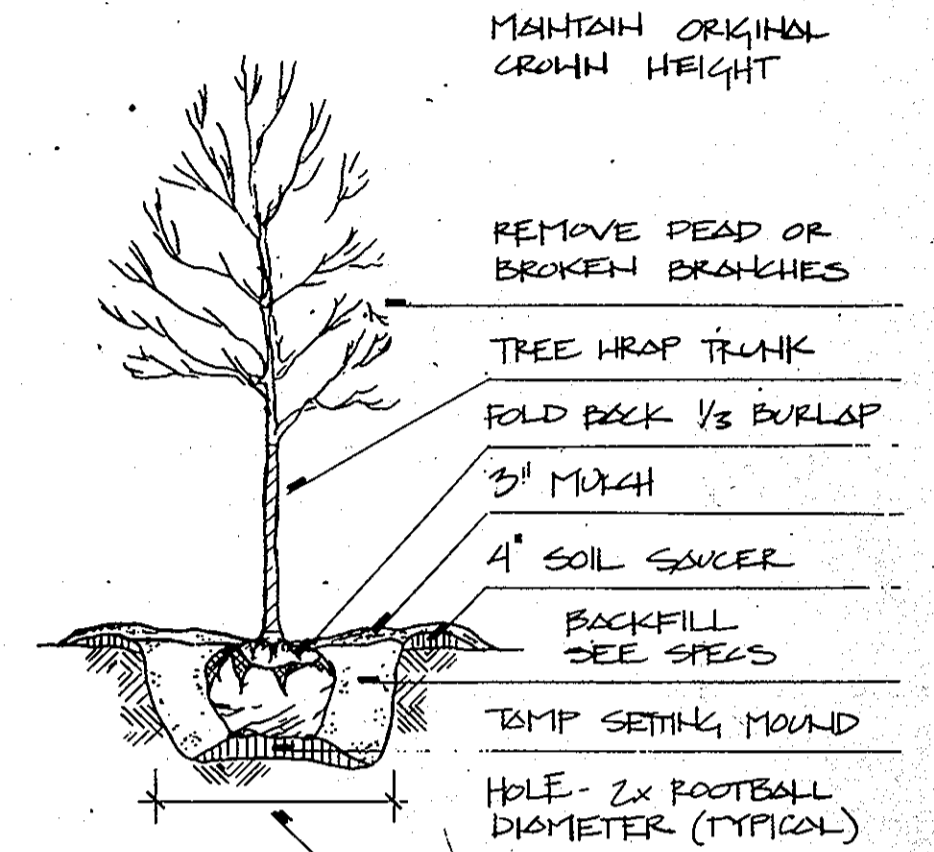
SITE DEVELOPMENT PLAN
 VILLAGE OF KING'S CONTRIVANCE, SEC. 3, AREA Z
 HUNTINGTON II APARTMENTS
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 TAX MAP: 42 PARCEL: 330
 SCALE: 1" = 30' DATE: AUG 29, 1990
 SHEET 13 OF 14

NOTE: FOR PLANT LIST SEE SHEET 2
 SEE SHEET 2 FOR PLANT KEY
 LANDSCAPE PLAN SHEET 1 OF 2



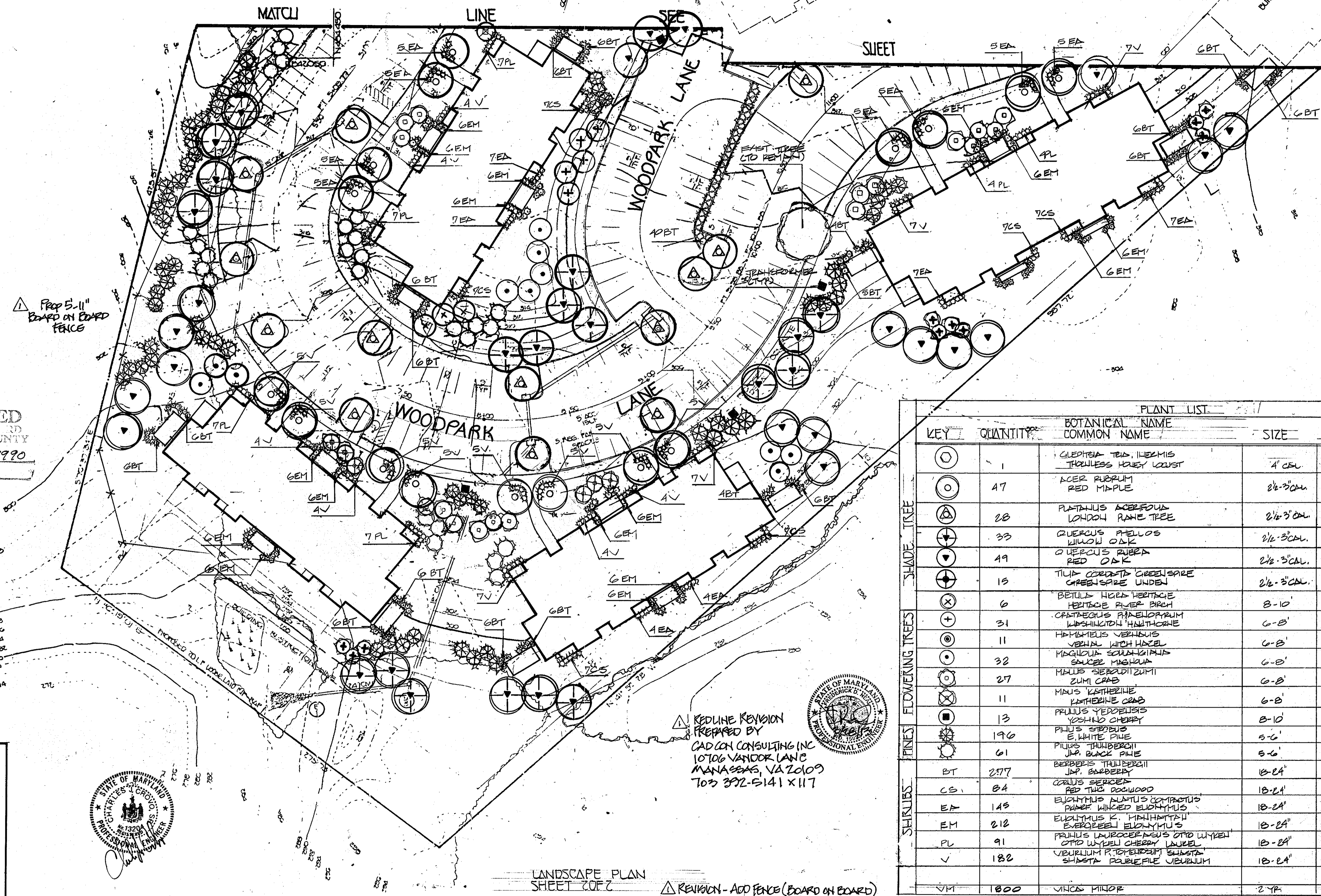
**NOTE: 1) ALL PLANT LOCATIONS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
 2) THIS SHEET FOR LANDSCAPE WORK ONLY.
 3) ALL DISTURBED AREAS TO BE SEEDED.**

BACKFILL MIX:
 MIX: SITE SOIL WITH SPHAGNUM OR REED PEAT MOSS IN RATIO OF 3:1, ADD GRANULAR, SLOW RELEASE FERTILIZER OF EQUAL ANALYSIS (10:10:10) ACCORDING TO MANUF. SPECS.



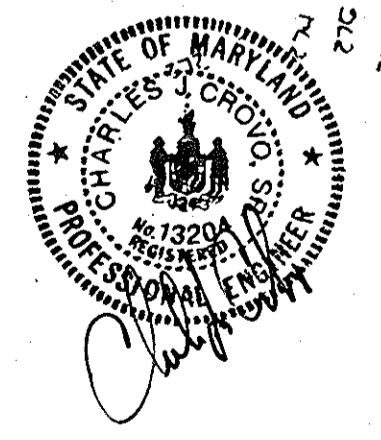
DECIDUOUS TREE PLANTING DETAIL
 NOT TO SCALE

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE Oct. 9, 1990



KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
(Symbol)	1	QUERCUS TELA, ILEX MIS THORNLESS HALEY LAUREL	4' CAL.	BB
(Symbol)	47	ACER RUBRUM RED MAPLE	2 1/2 - 3' CAL.	BB
(Symbol)	28	PLATANUS ACERIFOLIA LONDON PLANE TREE	2 1/2 - 3' CAL.	BB
(Symbol)	33	QUERCUS PHELLOS WILLOW OAK	2 1/2 - 3' CAL.	BB
(Symbol)	49	QUERCUS RUBRA RED OAK	2 1/2 - 3' CAL.	BB
(Symbol)	15	TILIA CORDATA GREENSPARE GREENSPARE UNDEN	2 1/2 - 3' CAL.	BB
(Symbol)	6	BETULA HOED HEBERTICE HEBERTICE RIVER BIRCH	8-10'	BB
(Symbol)	31	CASTANEA PAMELODORUM WASHINGTON HAWTHORNE	6-8'	BB
(Symbol)	11	HAMBELIS VERNICUS VERNAL WITCH HAZEL	6-8'	CONT.
(Symbol)	32	MAGNOLIA SOULANGIANA SAUCEE MAGNOLIA	6-8'	BB
(Symbol)	27	MALUS BERBERIDIFOLIA ZUMI CRAB	6-8'	BB
(Symbol)	11	MAIUS KESTERZII KESTERZII CRAB	6-8'	BB
(Symbol)	13	PRUNUS YERDOLIS YOSHINO CHERRY	8-10'	BB
(Symbol)	196	PIIUS STROBUS E. WHITE PINE	8-6'	BB
(Symbol)	61	PIIUS THUNDERBOLT JAP. BLACK PINE	8-6'	BB
(Symbol)	2377	BERBERIS THUNDERBOLT JAP. BARBERY	18-24"	CONT.
(Symbol)	84	CORALLIS SERICEA RED TWIG DOGWOOD	18-24"	CONT.
(Symbol)	145	ELIANTHUS AUSTRIUS COMPACTUS DWARF WINGED ELIANTHUS	18-24"	CONT.
(Symbol)	212	ELIANTHUS K. HOLLANDII EVERGREEN ELIANTHUS	18-24"	CONT.
(Symbol)	91	PRUNUS LAUROCEANENSIS OTTO WYPPEN OTTO WYPPEN CHERRY LAUREL	18-24"	CONT.
(Symbol)	182	VIBURNUM P. TOPELOSIUM SHIMOTA SHIMOTA DOUBLE FILE VIBURNUM	18-24"	CONT.
(Symbol)	1800	VINCIS MINOR	2' PL.	PLANTS

Hord Coplan Macht
 Architects • Interior & Landscape Designers
 2526 St. Paul Street
 Baltimore, Maryland
 21218 • 301-487-7011



REDLINE REVISION
 PREPARED BY
 CADCON CONSULTING INC
 10706 VANDOR LANE
 MANASSAS, VA 20109
 703 392-5141 x117

LANDSCAPE PLAN SHEET 2 OF 2
 REVISION - ADD FENCE (BOARD ON BOARD)

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 SUITE 100, 9171 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21043
 (301) 461-2855

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Signature: *[Signature]* DATE: 11/19/90

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Signature: *[Signature]* DATE: 11/19/90

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Signature: *[Signature]* DATE: 11-28-90

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]* DATE: 11/29/90

APPROVED: DEPT. OF PLANNING AND ZONING

Signature: *[Signature]* DATE: 12/14/90

Signature: *[Signature]* DATE: 11/14/90

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

Signature: *[Signature]* DATE: 12-13-90

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

Signature: *[Signature]* DATE: 12/1/90

Signature: *[Signature]* DATE: 12-7-90

PROPERTY/SUBDIVISION: _____ SECTION/AREA: _____ PARCEL/LOT NO.: _____

PLAT NO./L.F.: _____ BLOCK NO.: _____ ZONE: _____ TAX/ZONE: _____ ELEC. DIST.: _____ CENSUS TR.: _____

WATER CODE: _____ SEWER CODE: _____

LANDSCAPE PLAN SITE DEVELOPMENT PLAN
 VILLAGE OF KING'S CONTRIVANCE SEC. 3 AREA
 HUNTINGTON II APARTMENTS
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TAX MAP: 42 PARCEL: 300
 SCALE: 1" = 30' DATE AUG 20, 1990
 SHEET 14 OF 14