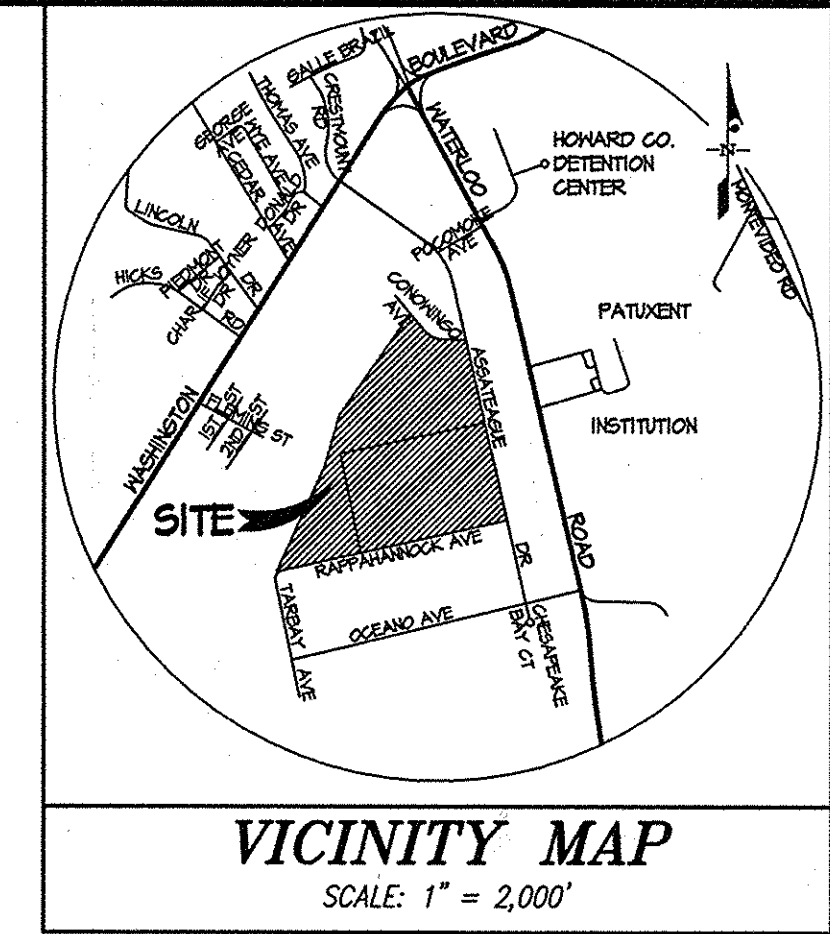
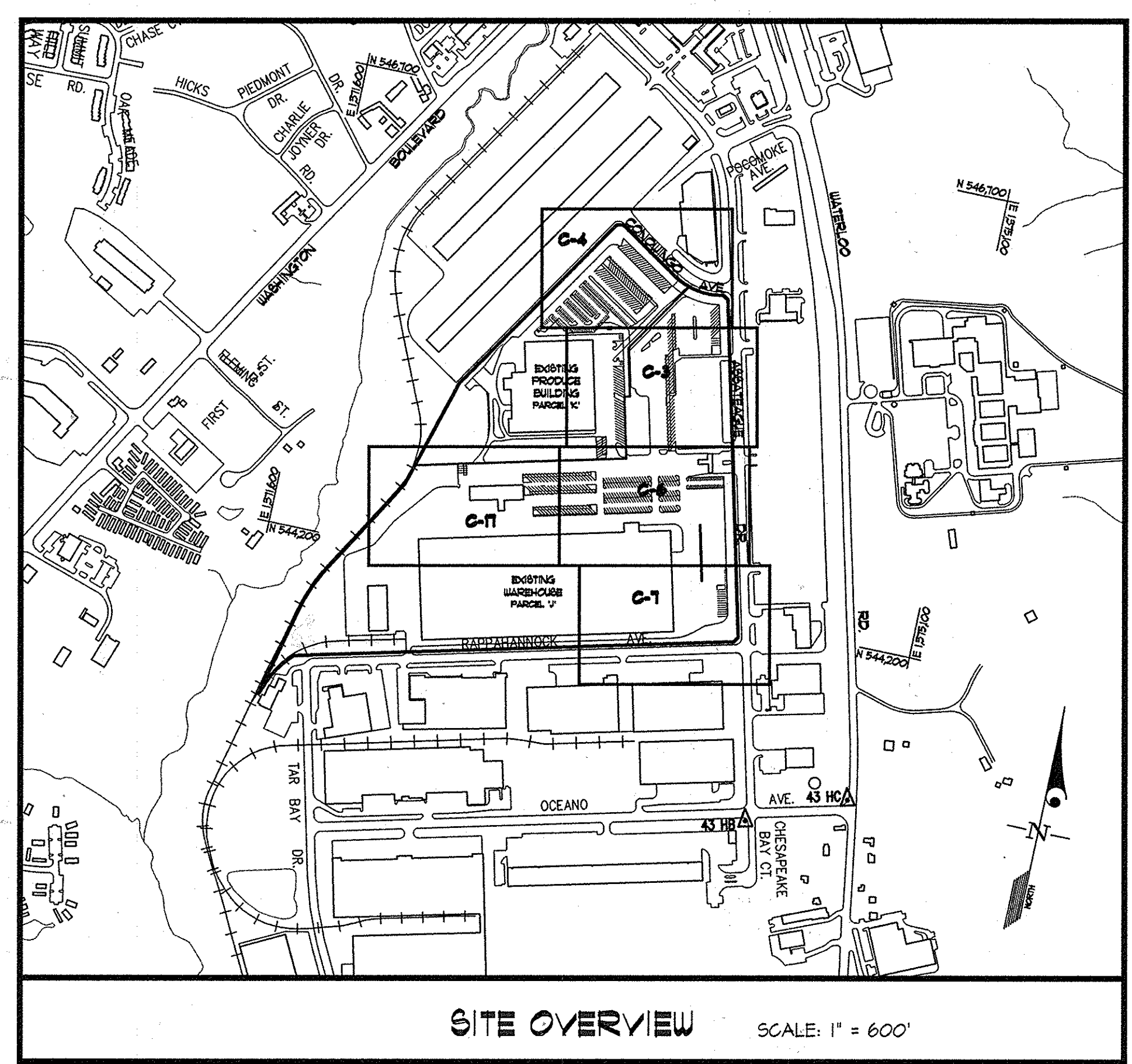


MD WHOLESALE FOOD CENTER PARCEL J & K JESSUP DISTRIBUTION CENTER JESSUP, MARYLAND HOWARD COUNTY TRACTOR & TRAILER STORAGE



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 513-1860 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-291-7771 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
LOCATION: TAX MAP 43, GRID 15
ZONING: M-2
ELECTION DISTRICT: 6TH DISTRICT
SECTION/AREA: BLK A/SEC 1
SITE AREA: 80.2 AC.±
- DEPT. OF PLANNING & ZONING APPROVED FILE NUMBERS FOR REFERENCES:
SDP-TI-10, SDP-41-41, SDP-40-105, SDP-40-155, SDP-82-45, SDP-80-56, SDP-83-148, SDP-81-50, F-TI-31.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OF RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES WERE DERIVED FROM AVAILABLE PUBLIC RECORDS, AERIAL TOPOGRAPHY AND FROM FIELD SURVEY BY GLW IN FEB/07.
- COORDINATES ARE BASED ON HOWARD COUNTY GEODETIC CONTROL STA. Nos 43 HB AND 43 HC IN NAD 83.
- THIS SITE WILL BE SERVED BY PUBLIC WATER & SEWER UNDER F-TI-31.
- STORMWATER MANAGEMENT (FOR 2 & 10 YR QUANTITY & QUALITY) IS PROVIDED BY THE EXISTING SWM PONDS A, B, C, AND D. TEMPORARY SWM FOR NEWLY GRADED LAND IS PROVIDED IN THE SAME PONDS.
- ALL ON-SITE STORM DRAINS PROPOSED UNDER THIS SDP ARE PRIVATE.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST HAND DIG TEST PITS AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION.
- ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE (2%) TWO PERCENT. PROVIDE A MINIMUM OF (5x5) FIVE BY FIVE FOOT LEVEL LANDING (2% MAX) AT THE TOP AND BOTTOM OF ALL RAMPS AND BUILDING INGRESS/EGRESS POINTS.
- ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATELY OWNED AND MAINTAINED.
- ANY DAMAGE TO COUNTY OWNED RIGHT-OF-WAY TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- TRENCH BEDDING FOR STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD 62.01. CLASS "C" BEDDING, UNLESS OTHERWISE NOTED.
- GUTTER PAN OF CURBS SHALL BE PITCHED TO CONFORM TO THE ADJACENT DRAINAGE PATTERN OF THE ADJOINING PAVING FOR VEHICULAR USE.
- ALL CURB FILLETS ARE 5' RADIUS UNLESS NOTED OTHERWISE. SPOT ELEVATIONS ALONG CURB LINE ARE FOR THE FLOW LINE (BOTTOM OF CURB), UNLESS NOTED OTHERWISE.
- THERE ARE NO KNOWN GRAVE SITES OR CEMETERIES ON THIS SITE.
- ALL OUTSIDE LIGHTING SHALL COMPLY WITH ZONING REGULATION SECTION 154 WHICH REQUIRES LIGHTS TO BE INSTALLED TO DIRECT/REFLECT LIGHT DOWNWARDS AND INWARDS ON SITE AWAY FROM ALL ADJOINING PUBLIC STREETS AND RESIDENTIAL AREAS.
- DOMESTIC METER LOCATIONS ARE INDICATED ON THE PLANS.
- THIS SDP IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN STREAMS, FOREST CONSERVATION AREAS, WETLANDS, WETLAND BUFFERS, STREAM BUFFERS OR FLOODPLAINS.
- THERE IS NO DEVELOPER'S AGREEMENT FOR THIS SDP. SEE SHEET C-21 FOR LANDSCAPE SURETY.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)". A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- THERE IS NO FLOODPLAIN ON THIS SITE.
- THERE IS NO DISTURBANCE IN WETLANDS OR WETLAND BUFFER ON THIS SITE.
- THERE IS AN EXECUTED "DECLARATION OF EASEMENTS & RESTRICTIONS" THAT RUNS WITH THE LAND AND ALLOWS FOR PRIVATE UTILITIES TO CROSS ADJACENT PROPERTIES. THIS AGREEMENT IS BEING RECORDED CONCURRENTLY WITH THE APPROVAL OF THIS PLAN.



- ### SITE ANALYSIS DATA SHEET
- ZONE: M-2
 - AREA:
A. TOTAL SITE AND PROJECT AREA:
PROP. PARCEL J = 58.84 ACRES
PROP. PARCEL K = 21.43 ACRES
TOTAL AREA = 80.27 ACRES
B. AREA OF PLAN SUBMISSION: 80.27 ACRES
C. DISTURBED AREA: PARCEL J - 1.76 ACRES
PARCEL K - 3.51 ACRES
 - SUBDIVISION:
MD WHOLESALE FOOD CENTER,
PARCELS J AND K, BLOCK A, SECTION 1
 - USE: WHOLESALE FOOD WAREHOUSE AND DISTRIBUTION
 - OWNER:
PARCEL J: STOP N SHOP COMPANIES
PARCEL K: 7700 CONOWINGO BUSINESS TRUST
 - DEVELOPER: STOP N SHOP COMPANIES AND GUEST SERVICES
 - GREEN AREA TO REMAIN ON SITE:
PARCEL J: 491,096 SQ FT OR 19.2% OF PARCEL J SITE AREA
PARCEL K: 331,857 SQ.FT. OR 35.6% OF PARCEL K SITE AREA
 - BUILDING COVERAGE:
PARCEL J: 769,542 SQ. FT. OR 30.0% OF PARCEL J SITE AREA
PARCEL K: 202,838 SQ. FT. OR 21.7% OF PARCEL K SITE AREA
 - LEGAL DESCRIPTION = LIBER 3061 AT FOLIO 630
LIBER 1091 AT FOLIO 480
LIBER 1006 AT FOLIO 131
LIBER 798 AT FOLIO 200

PARKING SCHEDULE

PARCEL	WAREHOUSE	0.5 SP/1000 SQ.FT.	SQ. FT.	SPACES
PARCEL J	WAREHOUSE	0.5 SP/1000 SQ.FT.	769,542 SQ. FT.	385 SPACES
AUTOMOBILE SPACES PROVIDED ON PARCEL J: 448 SPACES				
HC SPACES REQUIRED = 9				
HC SPACES PROVIDED = 15				
PARCEL K	WAREHOUSE	0.5 SP/1000 SQ.FT.	202,838 SQ. FT.	102 SPACES
AUTOMOBILE SPACES PROVIDED ON PARCEL K: 201 SPACES				
HC SPACES REQUIRED = 7				
HC SPACES PROVIDED = 7				

LIST OF PLANS

SHEET	TITLE
C-SS	COVER SHEET
C-1B	MASTER PLAN FOR TRACTOR & TRAILER STORAGE
C-2	DRAINAGE AREA MAP
C-3	SITE PLAN FOR TRACTOR & TRAILER STORAGE LOT (INCLUDING LANDSCAPE PLAN)
C-4	SITE PLAN FOR TRACTOR & TRAILER STORAGE LOT (INCLUDING LANDSCAPE PLAN)
C-5	SITE PLAN FOR FREEZER CONVERSION TO WAREHOUSE (INCLUDING LANDSCAPE PLAN)
C-6	SITE PLAN FOR TRACTOR & TRAILER STORAGE (INCLUDING LANDSCAPE PLAN)
C-7	SITE PLAN FOR TRACTOR & TRAILER STORAGE (INCLUDING LANDSCAPE PLAN)
C-7A	SEDIMENT CONTROL PLAN FOR FREEZER CONVERSION
C-8	STORM DRAIN PROFILES
C-9	STORMWATER MANAGEMENT DETAILS
C-10	SITE DETAIL SHEET
C-11	SEDIMENT CONTROL PLAN
C-12	SEDIMENT CONTROL PLAN
C-13	STORM DRAIN & WATERLINE PROFILES
C-14	S.W.M. & SEDIMENT CONTROL NOTES
C-15	SEDIMENT CONTROL DETAILS
C-16	S.W.M. POND CROSS SECTIONS
C-17	SITE PLAN FOR TRACTOR & TRAILER STORAGE
C-18	STORM DRAIN PROFILES
C-19	SEDIMENT CONTROL PLAN
C-20	SEDIMENT CONTROL PLAN
C-21	LANDSCAPE DETAIL SHEET

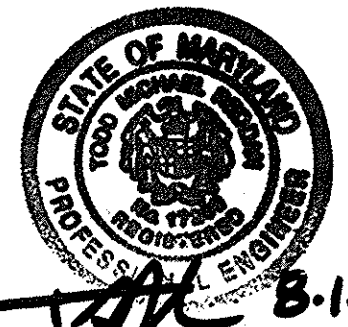
PREVIOUS APPROVED PLANS

DESCRIPTION	SITE PLAN
DRY GROCERY WAREHOUSE	SDP-TI-70
SALVAGE BUILDING SWM POND C	SDP-82-45
SWM POND A, SWM POND B AND EMPLOYEE PARKING LOT, ICE CREAM PLANT, FREEZER	SDP-80-56
COMPUTER ROOM ADDITION	SDP-83-148
FREEZER WAREHOUSE (SOUTHERN MOST PORTION OF BUILDING B)	SDP-81-50
PUBLIC STORM DRAIN AND SEWER APPROVAL	F-TI-31
EXPANSION TO EXISTING WWTP	SDP-40-155

HOWARD COUNTY CONTROL

NAD 83 (NGVD) HORIZONTAL DATA
43 HB:
N 543,663.7286
E 1374,425.0243
43 HC:
N 543,396.1639
E 1374,935.8379

Professional Certification
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
Expiration Date: 03/17/2009



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 8/31/07
Chief, Division of Land Development: [Signature] Date: 8/31/07
Chief, Development Engineering Division: [Signature] Date: 8/31/07

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.
08-10-07	REVISED ADDRESS AND PARKING SCHEDULE, ADDED BUILDING GFA		
7-31-07	RELEASED FOR CONSTRUCTION	JW	
07-12-07	RELEASED FOR CONSTRUCTION	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	
	REVISION	BY	APPR.

PREPARED FOR:
PARCEL 'J'
OWNER: WAREX-JESSUP, INC. AND JESSUPS ASSOC., LTD. PTNP
C/O STOP -N- SHOP
1385 HANCOCK STREET
QUINCY, MA 02169
JOHN HERNON

PARCEL 'K'
OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC.
3055 PROSPERITY AVE.
FAIRFAX, VA 22301
DOUG VERNER

REPLACEMENT SHEET
COVER SHEET
JESSUP DISTRIBUTION CENTER
MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
PARCELS J & K
PLAT No. 19143 thru 19146
REPLACEMENT SHEET
HOWARD COUNTY

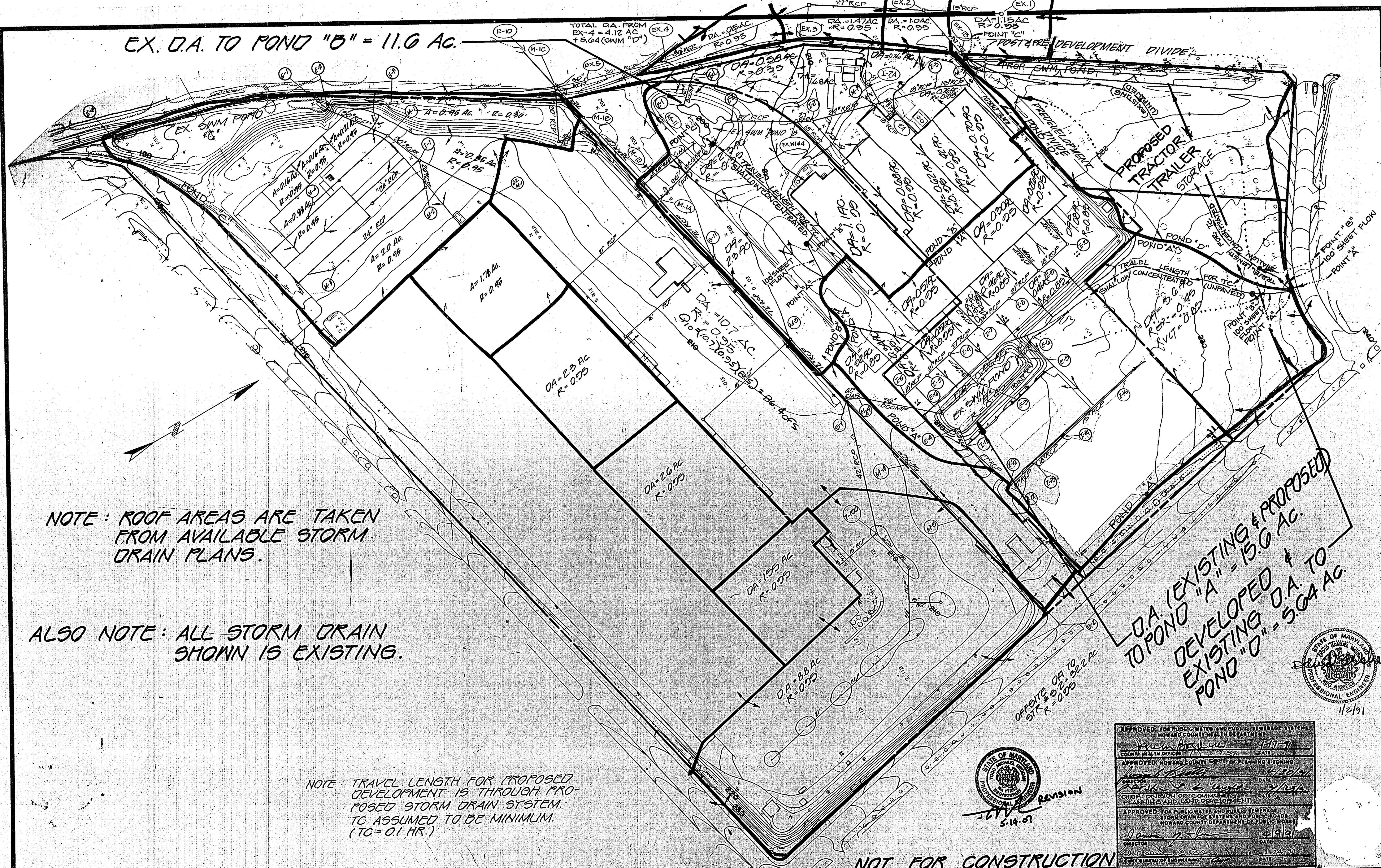
ADDRESS CHART

PARC.	BLDG.	STREET ADDRESS
J	A	1805 ASSATEAGUE DRIVE
K	B-1	7100 CONOWINGO AVENUE
K	B-2	7100 CONOWINGO AVENUE

WATER CODE: 32 00000	SEWER CODE: 32 00000
PROJ. NAME: MD WHOLESALE FOOD CENTER	SECTION/AREA: BLK A/SEC 1
PLAT: 19143-19146	ZONE: M-2
TAX MAP: 43	BLOCK: 15
ELEC. DIST.: 6	CENSUS TRACT.: 6064.01

SCALE: AS SHOWN	ZONING: M-2	G. L. W. FILE No.: 86-044
DATE: MAY, 2007	TAX MAP - GRID: 43	SHEET: C - SS 1 OF 23

EX. D.A. TO POND "B" = 11.6 AC.

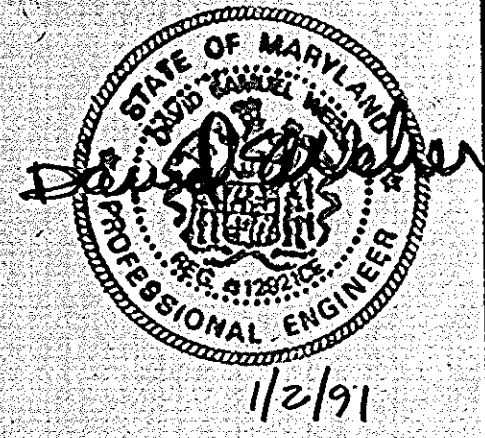


NOTE: ROOF AREAS ARE TAKEN FROM AVAILABLE STORM DRAIN PLANS.

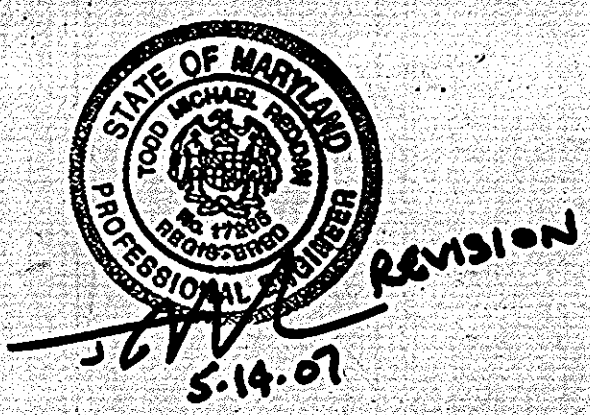
ALSO NOTE: ALL STORM DRAIN SHOWN IS EXISTING.

NOTE: TRAVEL LENGTH FOR PROPOSED DEVELOPMENT IS THROUGH PROPOSED STORM DRAIN SYSTEM. TC ASSUMED TO BE MINIMUM. (TC = 0.1 HR.)

D.A. (EXISTING & PROPOSED) TO POND "A" = 19.6 AC.
 EXISTING D.A. TO POND "D" = 5.64 AC.



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT	DATE: 4/17/11
COUNTY HEALTH OFFICER: <i>[Signature]</i>	DATE: 4/17/11
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING	DATE: 4/15/11
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT	DATE: 4/15/11
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	DATE: 4/19/11
DIRECTOR: <i>[Signature]</i>	DATE: 4/19/11
COUNTY BUREAU OF ENGINEERING	DATE: 4/22/11



NOT FOR CONSTRUCTION

GLW GUTSCHICK LITTLE & WEBER, P.A.
 ENGINEERS, PLANNERS, SURVEYORS
 3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20886
 TELEPHONE: (301) 421-4024

DATE	REVISION	BY	APP'R.
5/14/07	changed sheet # and prepared for info		
12.7.07	ISSUED FOR HO. CO. APPROVAL		
10.31.09	BID SET	ES	TR
8.31.09	REVISION AS PER HOWARD CO. COMMENTS OF 7/30/09		
6-8-09	PERMIT SET		

PREPARED FOR:
 Owner: Warex-Jessup, Inc. and Jessup Associates, LTD. PTNP
 c/o etop & shop inc.
 1385 Hancock Street
 Quincy, MA 01900
 Attn: John Hennen 017-710-0102

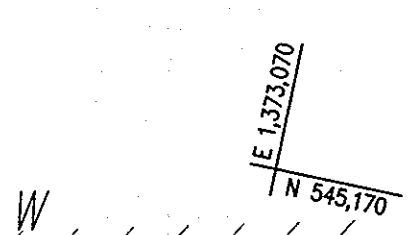
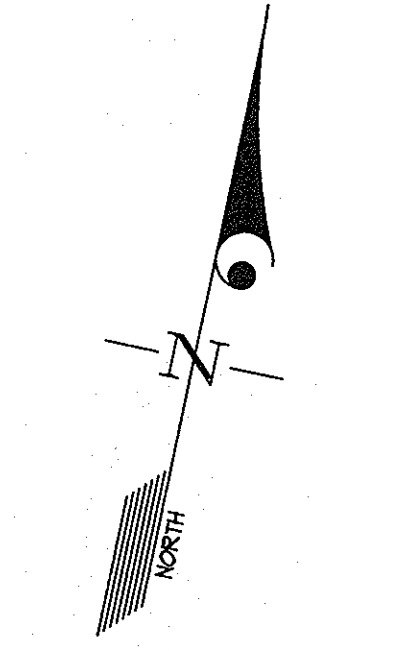
SWM DRAINAGE AREA MAP
 MD WHOLESALE FOOD CENTER BLOCK A SECTION I
JESSUP DISTRIBUTION CENTER
 Parcels J & K Plat No. 191A3-191A4
 HOWARD COUNTY GTH-ELECTION DISTRICT, TAX MAP 43 MARYLAND

SCALE: 1" = 100'	ZONING: M-2	G.L.W. FILE No.: 80-044
DATE: MARCH, 1990	TAX MAP No.: 43	SHEET: C-2 (3 OF 12)

SDP-90-214

MATCH LINE ALONG A-A SEE SHEET C-4

EXISTING PRODUCE BUILDING (BLDG B-1)



EXISTING PRODUCE BUILDING (BLDG B-2)

LEGEND

- PROP. CURB
- PROP. STRIPING
- EX. STRIPING
- REMOVE ISLAND AND REPLACE W/ ASPHALT PAVING
- CONCRETE PAD

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark A. Coughlin* Date: 8/31/07
 Chief, Division of Land Development: *John J. ...* Date: 8/31/07
 Chief, Development Engineering Division: *John J. ...* Date: 8/31/07

Professional Certification
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
 Expiration Date: 03/17/2009
Tom Rodan 8.10.07



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886

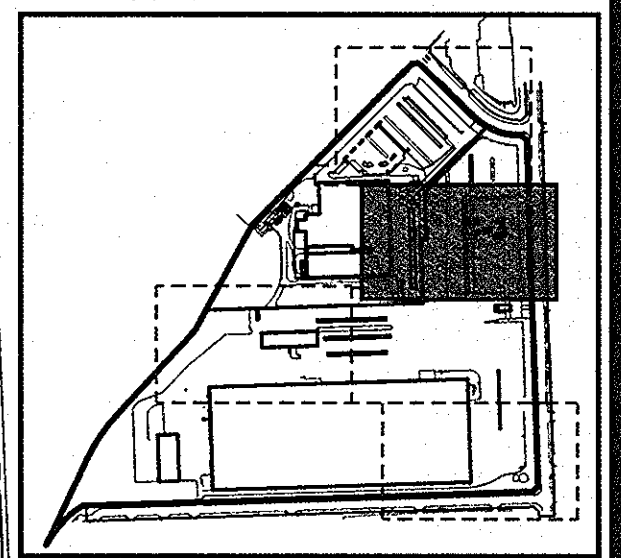
DATE	REVISION	BY	APPR.
8-10-07	PARCEL J - REMOVED PREV. PROP. STRIPING, PARCEL K - ADDED EXIT RAMP	JW	
7-31-07	RELEASED FOR CONSTRUCTION	JW	
07-12-07	RELEASED FOR CONSTRUCTION	JW	
6-22-07	PRICING SET FOR PARCEL J	JW	
6-21-07	PRICING SET FOR PARCEL K	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	

PREPARED FOR:
 PARCEL 'J'
 OWNER: WAREX-JESSUP, INC. AND JESSUPS ASSOC., LTD. P/T/P
 C/O STOP-N-SHOP
 1385 HANCOCK STREET
 QUINCY, MA 02169
 JOHN HERNON

PARCEL 'K'
 OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC.
 3055 PROSPERITY AVE.
 FAIRFAX, VA 22301
 DOUG VERNER

REVISOR: JESSUP DISTRIBUTION CENTER
 MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
 PARCELS J & K
 PLAT No. 19143 thru 19146
 REPLACEMENT SHEET
 GUILFORD ELECTION DISTRICT No. 6
 HOWARD COUNTY

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 3 4 OF 23



48 Hours
 Before You Dig
 Call
 "MISS UTILITY"
 Service Protection Center

MEMBER
 ONE CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE
 1-800-257-7777

L:\CADD\DRAWINGS\86044\Design\86044SP2.dwg 8/9/2007 11:38:55 AM EDT

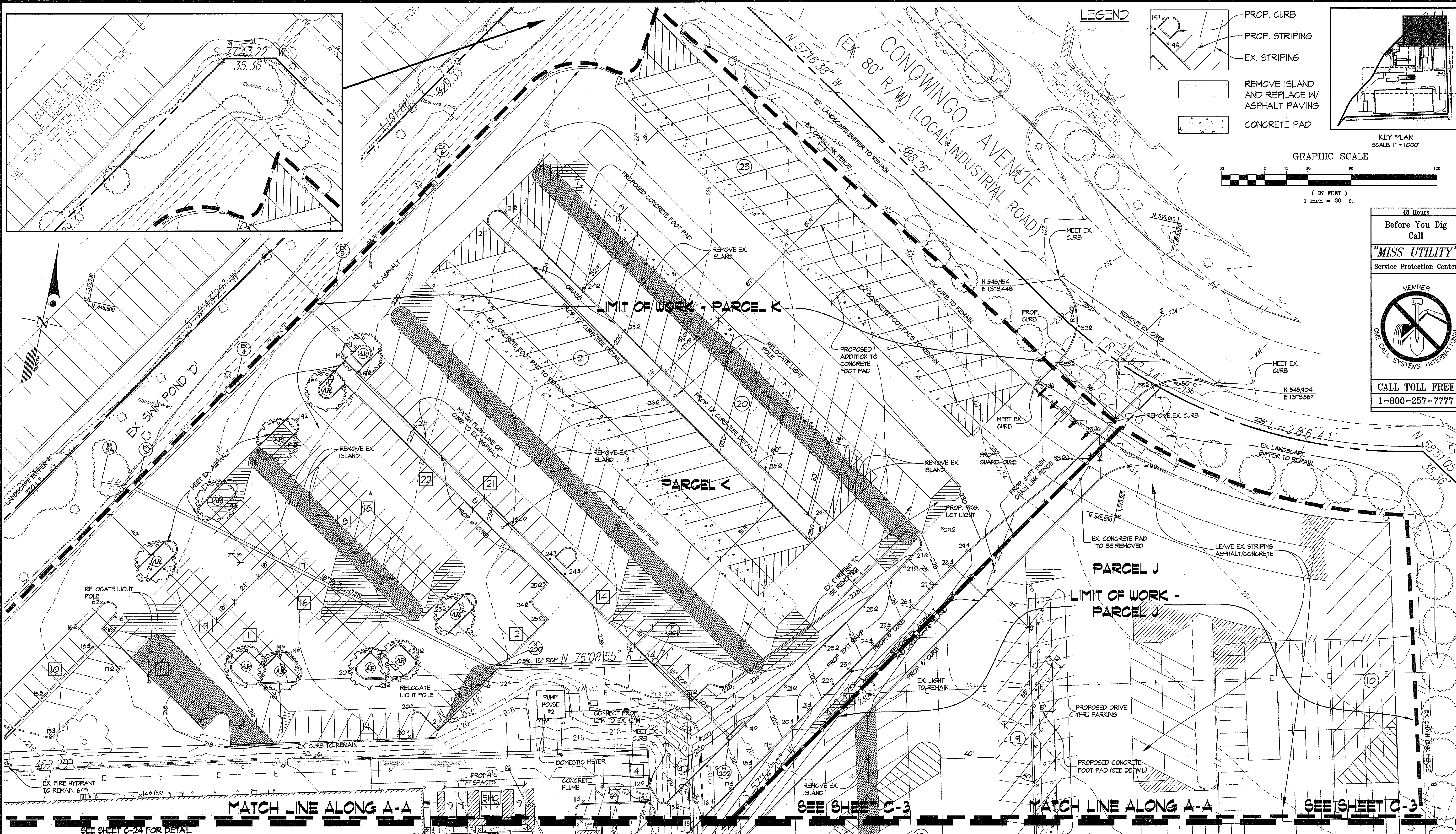
D.L.D. ASSOC. 20

SUB. PARCEL 653
 D.L.D. ASSOC. LTD. PARTNERSHIP
 ZONE M-2

ASSATEAGUE DRIVE
 (80' R.O.W.) (LOCAL INDUSTRIAL ROAD)

EX. AUTOMOBILE PARKING LOT TO REMAIN

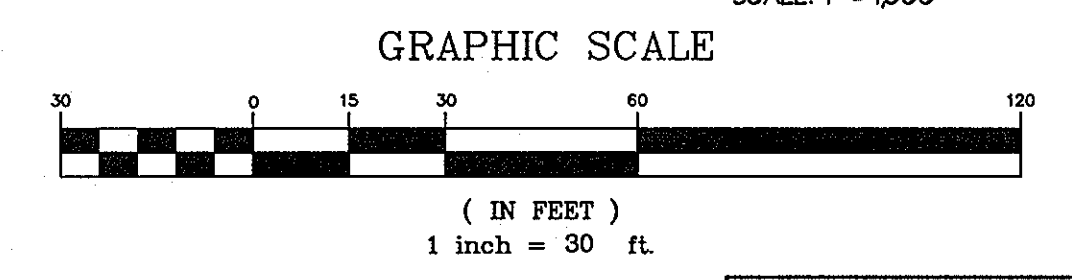
MATCH LINE ALONG D-D SEE SHEET C-6



LEGEND

- PROP. CURB
- PROP. STRIPING
- EX. STRIPING
- REMOVE ISLAND AND REPLACE W/ ASPHALT PAVING
- CONCRETE PAD

KEY PLAN
SCALE: 1" = 1000'



48 Hours
Before You Dig
Call
"MISS UTILITY"
Service Protection Center

MEMBER
ONE CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE
1-800-257-7777

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark A. Doyle
Director
Date: 8/17/07

James
Chief, Division of Land Development
Date: 8/17/07

William
Chief, Development Engineering Division
Date: 8/17/07

DEVELOPER'S / BUILDER'S CERTIFICATE

I hereby certify that the landscaping shown on this plan will be done according to the plan and section 16.124 of the HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY A REQUESTED ONE-YEAR GUARANTEE OF PLANT MATERIAL, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Paul Blamer
NAME (OWNER/BUILDER) DATE: 8.9.07

Professional Certification

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285.

Tom Roman
NAME (PROFESSIONAL ENGINEER) DATE: 8.10.07

Expiration Date: 03/17/2009

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

L:\CADD\DRAWINGS\86044\Design\86044SP.dwg DES. TMR DRN. JW CHK.

DATE	REVISION	BY	APP'R.
8-10-07	PARCEL J - REMOVED PREV. PROP. STRIPING, PARCEL K - ADDED EXIT RAMP	JW	
7-31-07	RELEASED FOR CONSTRUCTION	JW	
07-12-07	RELEASED FOR CONSTRUCTION	JW	
6-22-07	PRICING SET FOR PARCEL J	JW	
6-21-07	PRICING SET FOR PARCEL K	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	

PREPARED FOR:

PARCEL 'J'
OWNER: WAREX-JESSUP, INC. AND JESSUP'S ASSOC., LTD. P/MP
C/O STOP-N-SHOP
1365 HANCOCK STREET
QUINCY, MA 02169
JOHN HERNON

PARCEL 'K'
OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC.
3055 PROSPERITY AVE.
FAIRFAX, VA 02101
DOUG VERNER

REVISED SITE PLAN FOR TRACTOR AND TRAILER STORAGE

JESSUP DISTRIBUTION CENTER
MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1

PARCELS J & K
PLAT No. 19143 thru 19146
REPLACEMENT SHEET

GUILFORD ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 4
		5 OF 23

HOWARD COUNTY

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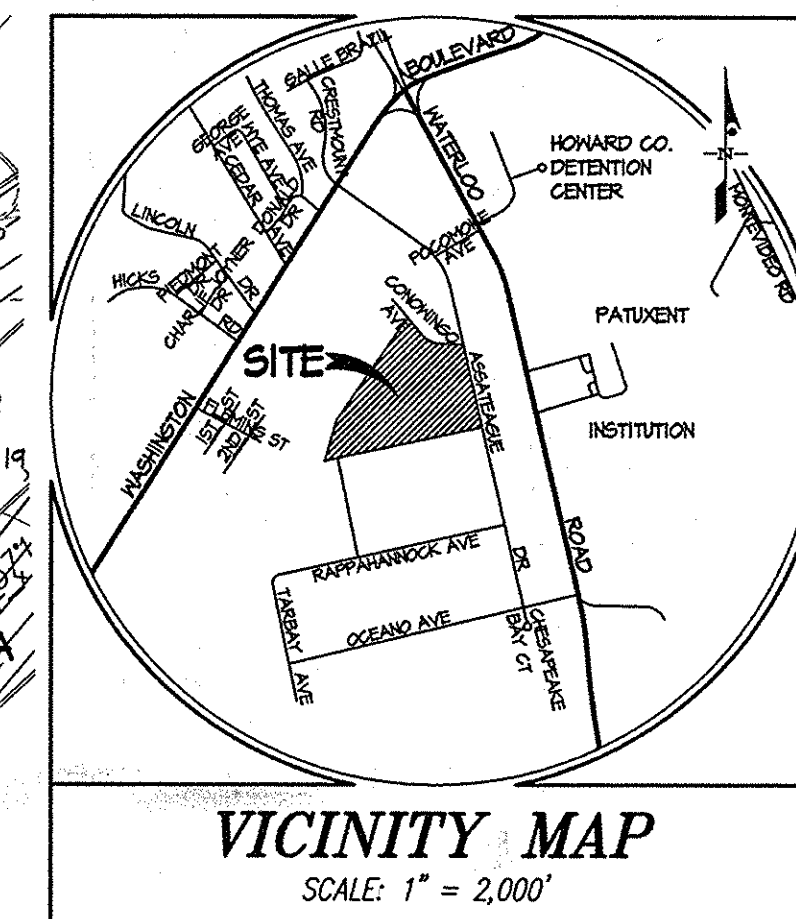
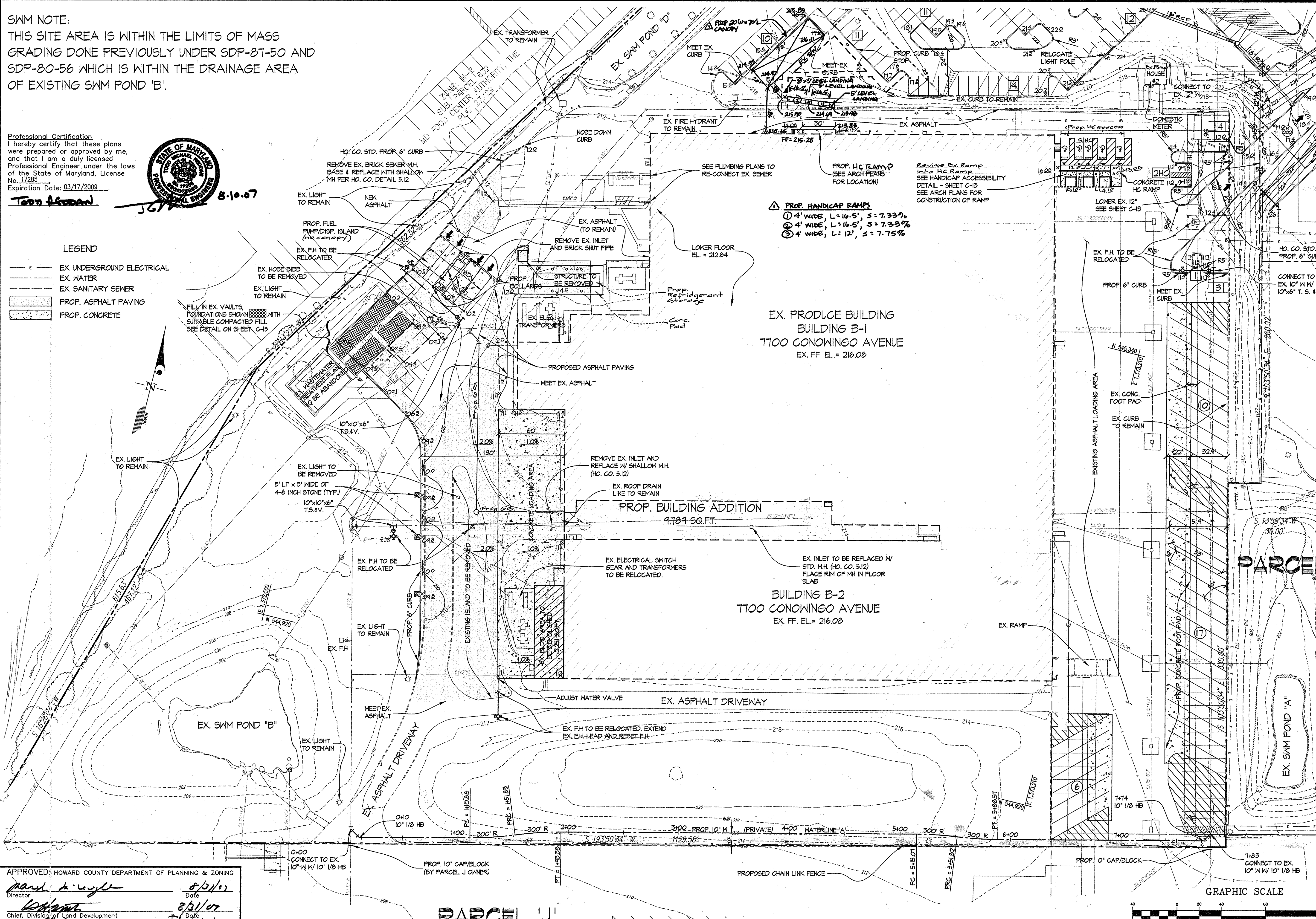
SWM NOTE:
 THIS SITE AREA IS WITHIN THE LIMITS OF MASS GRADING DONE PREVIOUSLY UNDER SDP-87-50 AND SDP-80-56 WHICH IS WITHIN THE DRAINAGE AREA OF EXISTING SWM POND 'B'.

Professional Certification
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
 Expiration Date: 03/17/2009



Tom A. Moran
 JGPA
 8.10.07

- LEGEND**
- EX. UNDERGROUND ELECTRICAL
 - EX. WATER
 - EX. SANITARY SEWER
 - ▨ PROP. ASPHALT PAVING
 - ▨ PROP. CONCRETE



NOTE:
 THE CONSTRUCTION OF THE 1,400SF CANOPY IS EXEMPT FROM STORMWATER MANAGEMENT. ANY FUTURE CONSTRUCTION TOTALING OVER 5,000 SF SHALL COMPLY WITH CURRENT STORMWATER MANAGEMENT CRITERIA.

FOR REVISION ONLY

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 8/31/07
 Director Date

[Signature] 8/31/07
 Chief, Division of Land Development Date

[Signature] 8/21/07
 Chief, Development Engineering Division Date

GLWGutschick Little & Weber, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 1909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
9-2-16	ADDED PROPOSED CANOPY, HANDICAP RAMPS, SPOT ELEVATIONS & SWM NOTES		DJV
11-12-07	Parcel K added private cover, refrigerant storage, HC access		
08-10-07	SUBMIT TO HO. CO. FOR APPROVAL, BUILDING INFILL/DEMO ADDED, FUEL PUMP ISLAND, AND TRUCK LOADING DOCK		
7-31-07	RELEASED FOR CONSTRUCTION	JW	
7-31-07	REVISION SET NO. 1	JW	
07-12-07	RELEASED FOR CONSTRUCTION	JW	
6-21-07	PRICING SET FOR PARCEL K		

PREPARED FOR: PARCEL 'J' OWNER: WAREX-JESSUP, INC. AND JESSUPS ASSOC., LTD. PTNP C/O STOP-N-SHOP 1385 HANCOCK STREET QUINCY, MA 02169 JOHN HERNON

PARCEL 'K' OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC. 3055 PROSPERITY AVE. FAIRFAX, VA 22301 DOUG VERNER

REVISION SITE PLAN FOR FREEZER CONVERSION TO WAREHOUSE FOR PARCEL 'K'

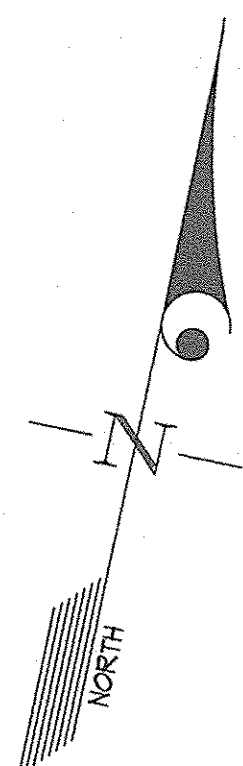
JESSUP DISTRIBUTION CENTER
 MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
 PARCELS J & K
 PLAT No. 19143 thru 19146
 REPLACEMENT SHEET

GUILFORD ELECTION DISTRICT No. 6 HOWARD COUNTY

SCALE	ZONING	G. L. W. FILE NO.
1"=40'	M-2	06-083
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 5 6 OF 23

MATCH LINE ALONG F-F SEE SHEET C-6

EXISTING DRY GROCERY BLDG. (BLDG A)



E 1,373.40
N 543.980

EXISTING ASPHALT

PROP. CONC. FOOT PAD
LIMIT OF WORK - PARCEL J THIS SHEET (LANDSCAPING ONLY)
EX. INLET TO REMAIN
EX. TRAILER SPACES TO REMAIN
EX. PRIVATE F.H. TO REMAIN
EX. TWO TREES TO REMAIN
EX. EXISTING LOT LIGHTS TO REMAIN
EX. CURB TO REMAIN
PROP. RE-STRIPING

LIMIT OF WORK - PARCEL J (THIS SHEET)
EX. INLET TO REMAIN
EX. INLET TO REMAIN
LIMIT OF WORK - PARCEL J (THIS SHEET)

LIMIT OF WORK - PARCEL J THIS SHEET (LANDSCAPING ONLY)

EX. PUMP HOUSE
EX. WATER STORAGE TANK

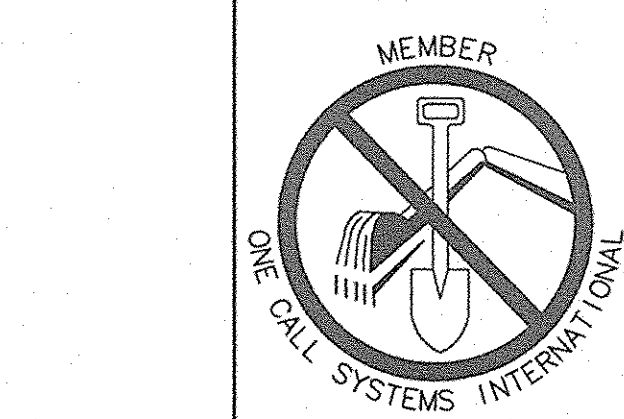
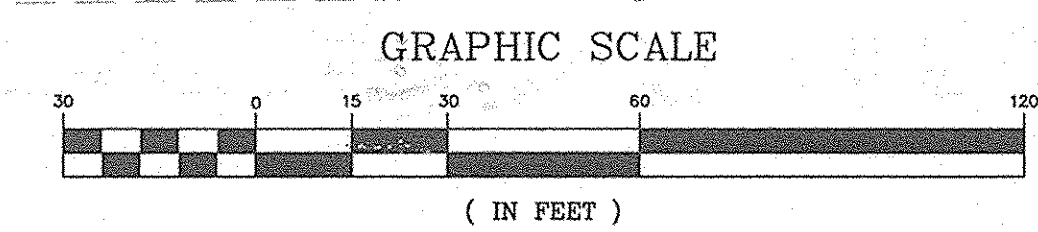
LANDSCAPE BUFFER #4 181 LF.

ASSATEAGUE DRIVE (80' R.O.W.) (LOCAL INDUSTRIAL ROAD)

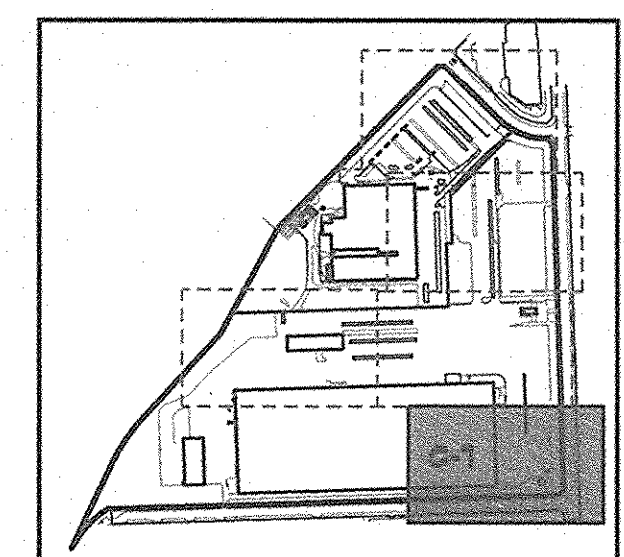
SUB. PARCEL C4C D.L.D. ASSOC. LTD. PARTNERSHIP ZONE M-2

RAPPAHANNOCK AVENUE (80' R.O.W. MAJOR COLLECTOR)

SUB. PARCEL 631 MD. WAREHOUSE ASSOC.



CALL TOLL FREE 1-800-257-7777

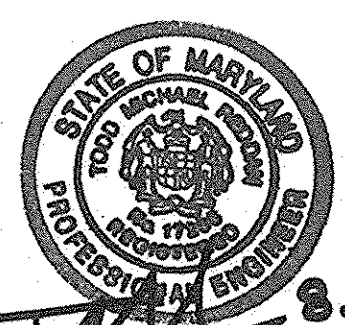


KEY PLAN SCALE: 1" = 1000'

DEVELOPER'S / BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN AND SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN INDICATED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME (DEVELOPER'S / BUILDER'S) *John Jessup* DATE 8.9.07
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director *Frank M. Unger* DATE 8/21/07
Chief, Division of Land-Development *John Jessup* DATE 8/21/07
Chief, Development Engineering Division *John Jessup* DATE 8/21/07

Professional Certification
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
Expiration Date: 03/17/2009
TOOD REED 8.10.07



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

DATE	REVISION	BY	APP'R.
08-10-07	REMOVED PREVIOUSLY PROPOSED AUTOMOBILE PARKING LOT. ADDED MINOR RE-STRIPING AND CONCRETE FOOT-PAD		
8-22-07	PRICING SET FOR PARCEL J	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	

PREPARED FOR:
PARCEL 'J' OWNER: WAREX-JESSUP, INC. AND JESSUPS ASSOC., LTD. PTNP
C/O STOP -N- SHOP 1385 HANCOCK STREET QUINCY, MA 02169 JOHN HERMON
PARCEL 'K' OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC. 3055 PROSPERITY AVE. FAIRFAX, VA 22301 DOUG VERNER

SITE PLAN FOR TRACTOR AND TRAILER STORAGE
JESSUP DISTRIBUTION CENTER MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
PARCELS J & K
PLAT No. 19143 thru 19146
REPLACEMENT SHEET
GULFORD ELECTION DISTRICT No. 6 HOWARD COUNTY

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 7 8 OF 23

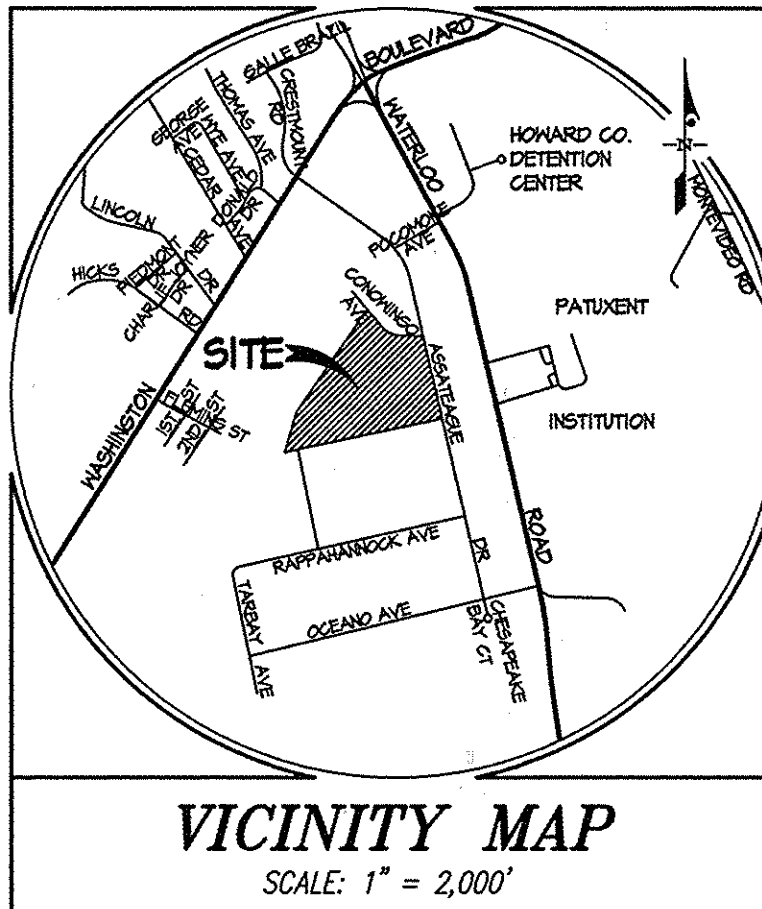
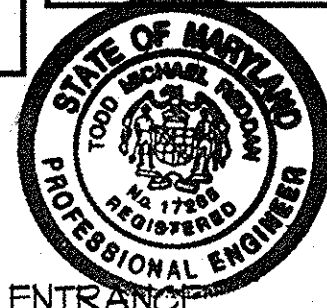
L:\CADD\DRAWINGS\86044\Design\86044SP6.dwg 8/9/2007 10:37:29 AM EDT

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE FURNISHING ON-SITE INSPECTION BY THE HSCD."
 SIGNATURE OF DEVELOPER/BUILDER: *[Signature]* DATE: 8.9.07

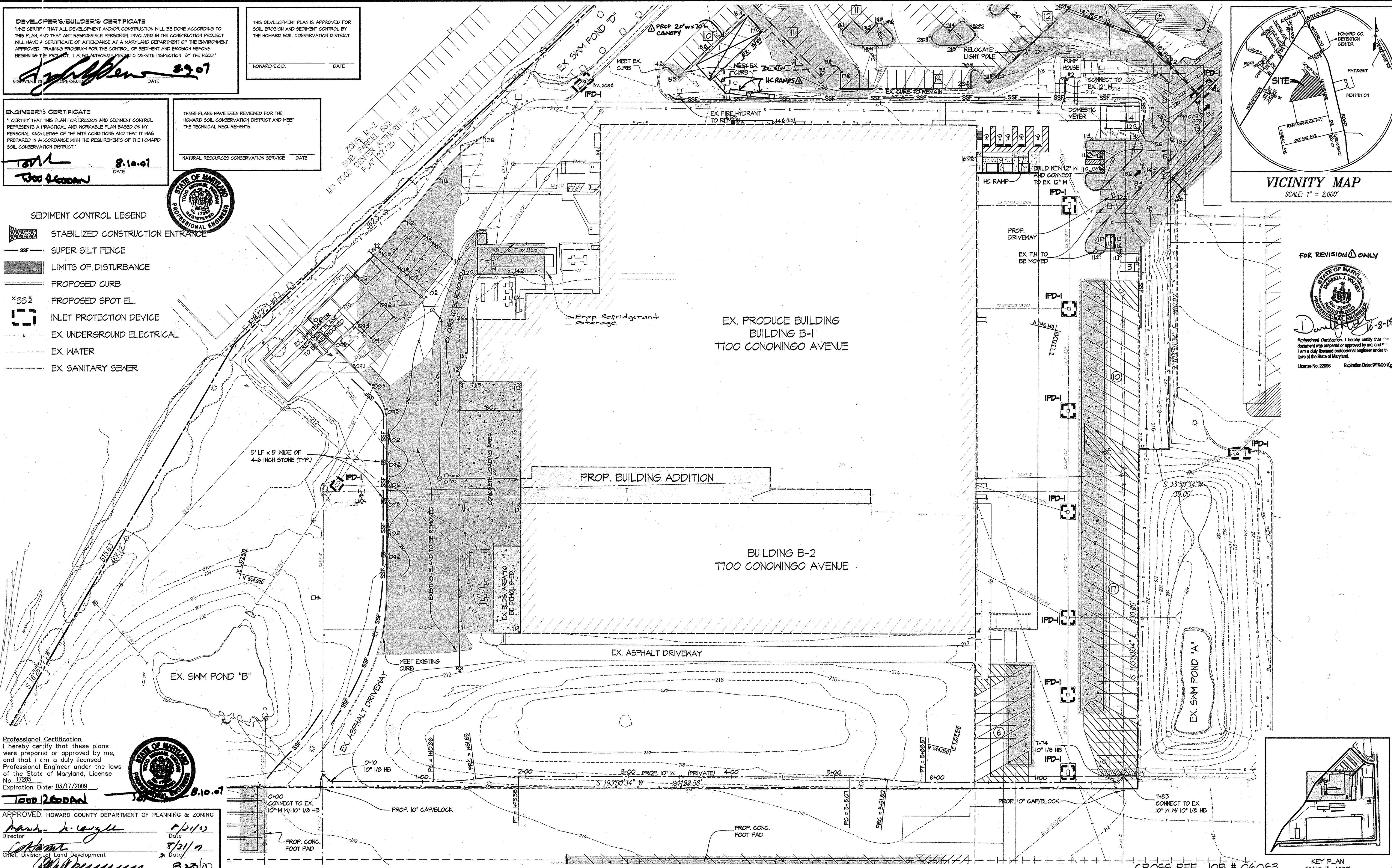
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 HOWARD S.C.D. DATE:

ENGINEER'S CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER: *[Signature]* DATE: 8.10.07

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.
 NATURAL RESOURCES CONSERVATION SERVICE DATE:



- SEDIMENT CONTROL LEGEND**
- STABILIZED CONSTRUCTION ENTRANCE
 - SUPER SILT FENCE
 - LIMITS OF DISTURBANCE
 - PROPOSED CURB
 - PROPOSED SPOT EL.
 - INLET PROTECTION DEVICE
 - EX. UNDERGROUND ELECTRICAL
 - EX. WATER
 - EX. SANITARY SEWER



FOR REVISION ONLY
 STATE OF MARYLAND PROFESSIONAL ENGINEER
 Douglas Verner 8-8-05
 Professional Certification: I hereby certify that this document was prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 22908 Expiration Date: 01/02/10

Professional Certification
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
 Expiration Date: 03/17/2009
 Signature: *[Signature]* Date: 8.10.07



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 8/10/07
 Chief, Division of Land Development: *[Signature]* Date: 8/23/07

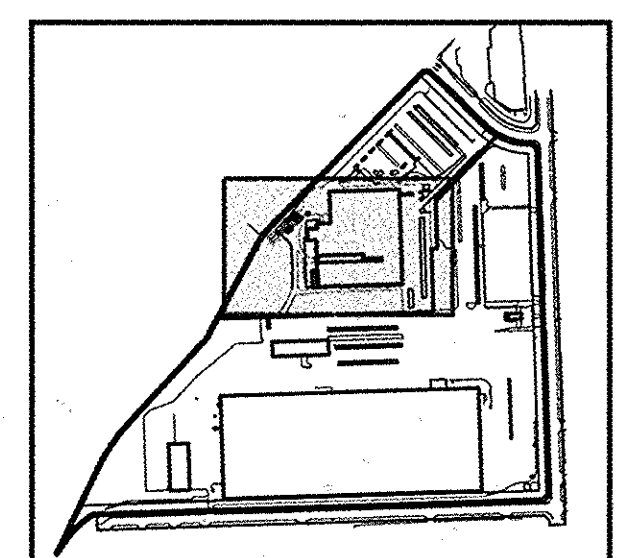
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-411-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
9-2-15	ADDED PROPOSED CANOPY AND HANDICAP RAMPS	DJV	
11-11-07	Parcel K - added private sewer, refrigerant storage, rev HC access	JW	
8-10-07	SUBMIT TO HO. CO. FOR APPROVAL, BUILDING INFILL/DEMO ADDED, FUEL PUMP ISLAND, AND TRUCK LOADING DOCK	JW	
7-31-07	RELEASED FOR CONSTRUCTION	JW	
07-12-07	RELEASED FOR CONSTRUCTION	JW	
06-21-07	PRICING SET FOR PARCEL K		

PREPARED FOR:
 PARCEL 'J' OWNER: WAREX-JESSUP, INC. AND JESSUP ASSOC., LTD. P/TNP
 C/O STOP-N-SHOP 1365 HANCOCK STREET QUINCY, MA 02169 JOHN HERNON
 PARCEL 'K' OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC. 3055 PROSPERITY AVE. FAIRFAX, VA 22301 DOUG VERNER

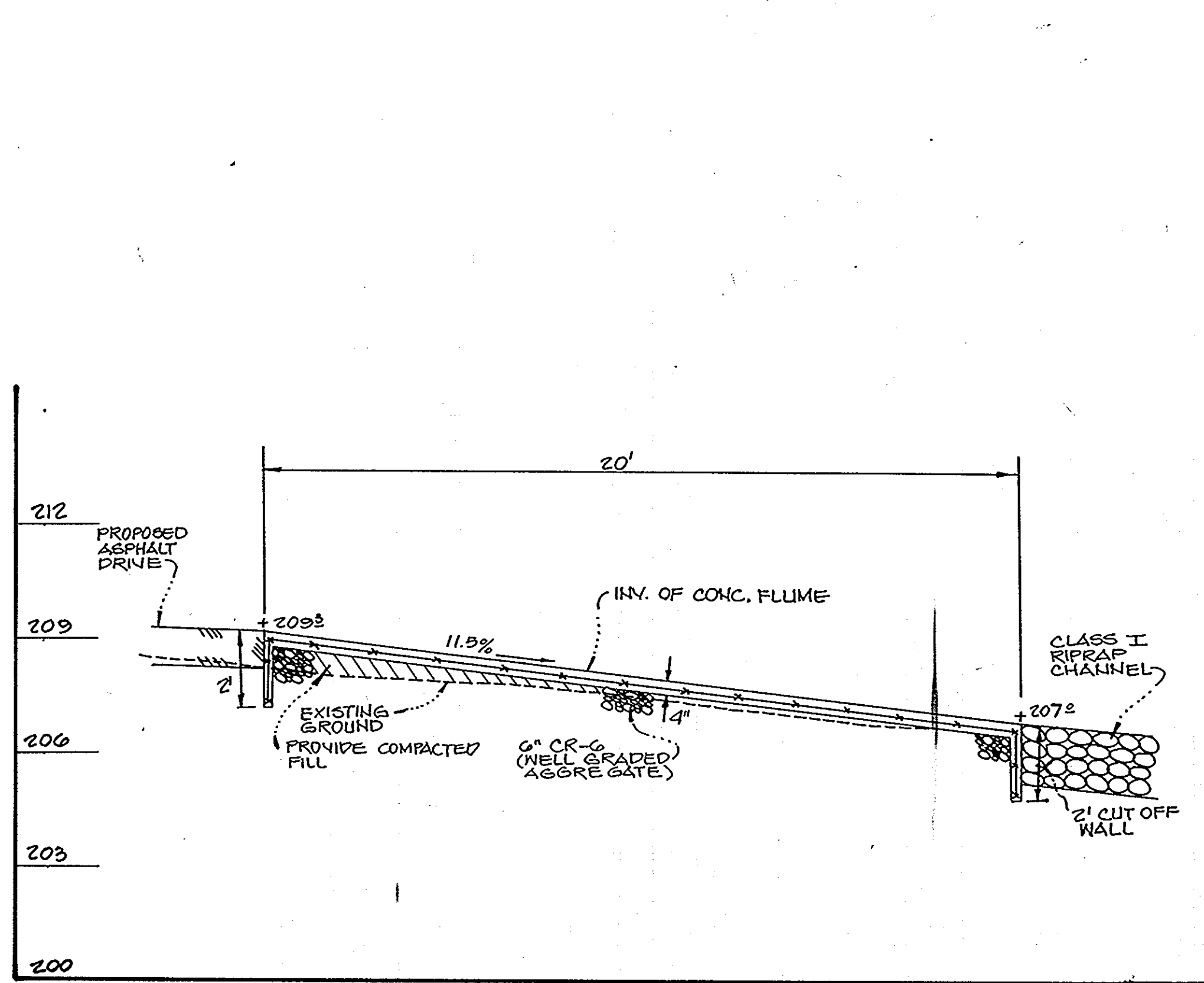
REVISED SEDIMENT CONTROL PLAN FOR FREEZER CONVERSION TO WAREHOUSE
JESSUP DISTRIBUTION CENTER
 MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
 PARCELS J & K
 PLAT No. 19143 thru 19146
 REPLACEMENT SHEET
 HOWARD COUNTY

SCALE: 1"=40'	ZONING: M-2	G. L. W. FILE No.: 86-044
DATE: MAY, 2007	TAX MAP - GRID: 43	SHEET: C - 7A 9 OF 23

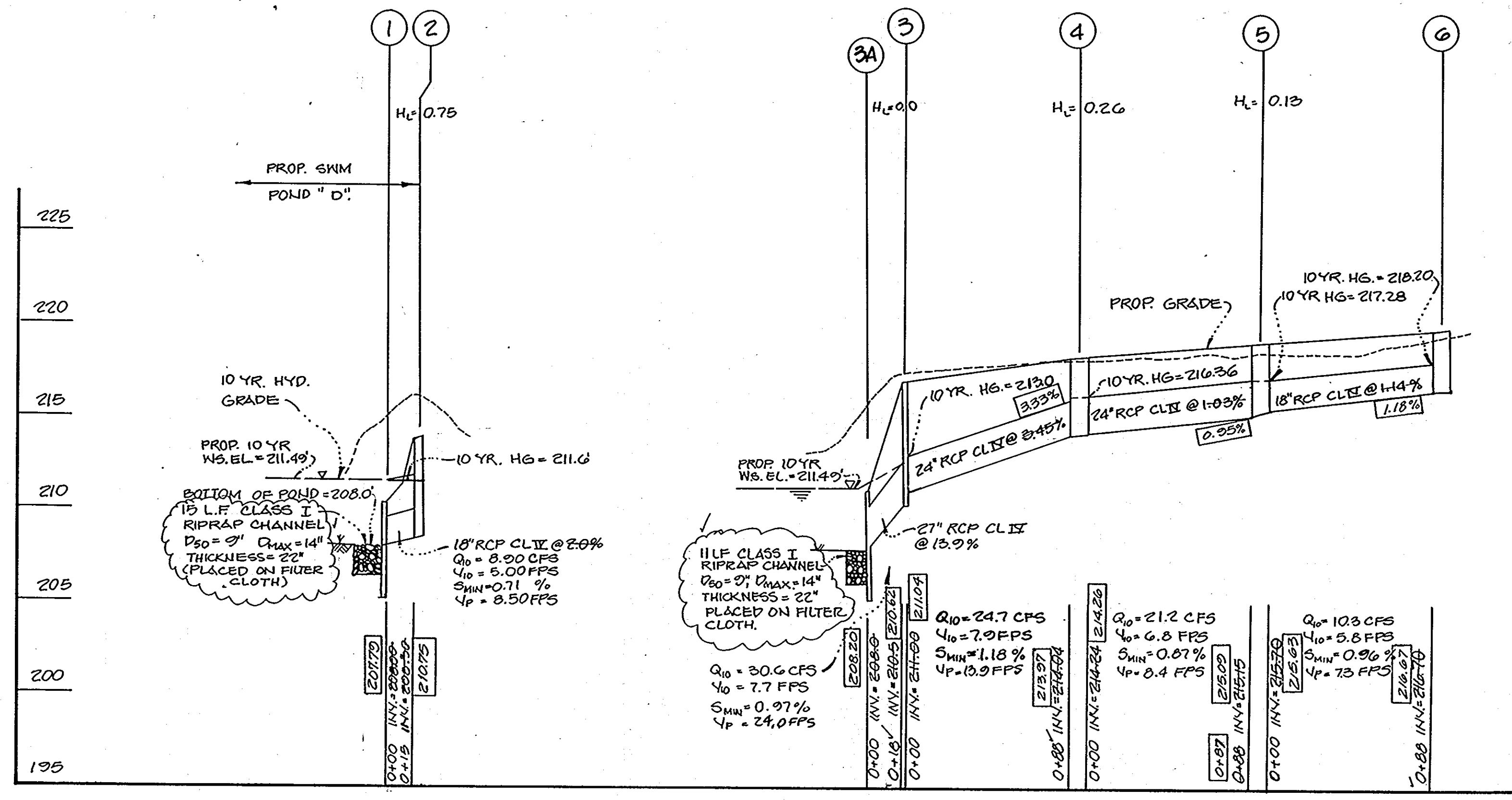


KEY PLAN SCALE: 1" = 1000'

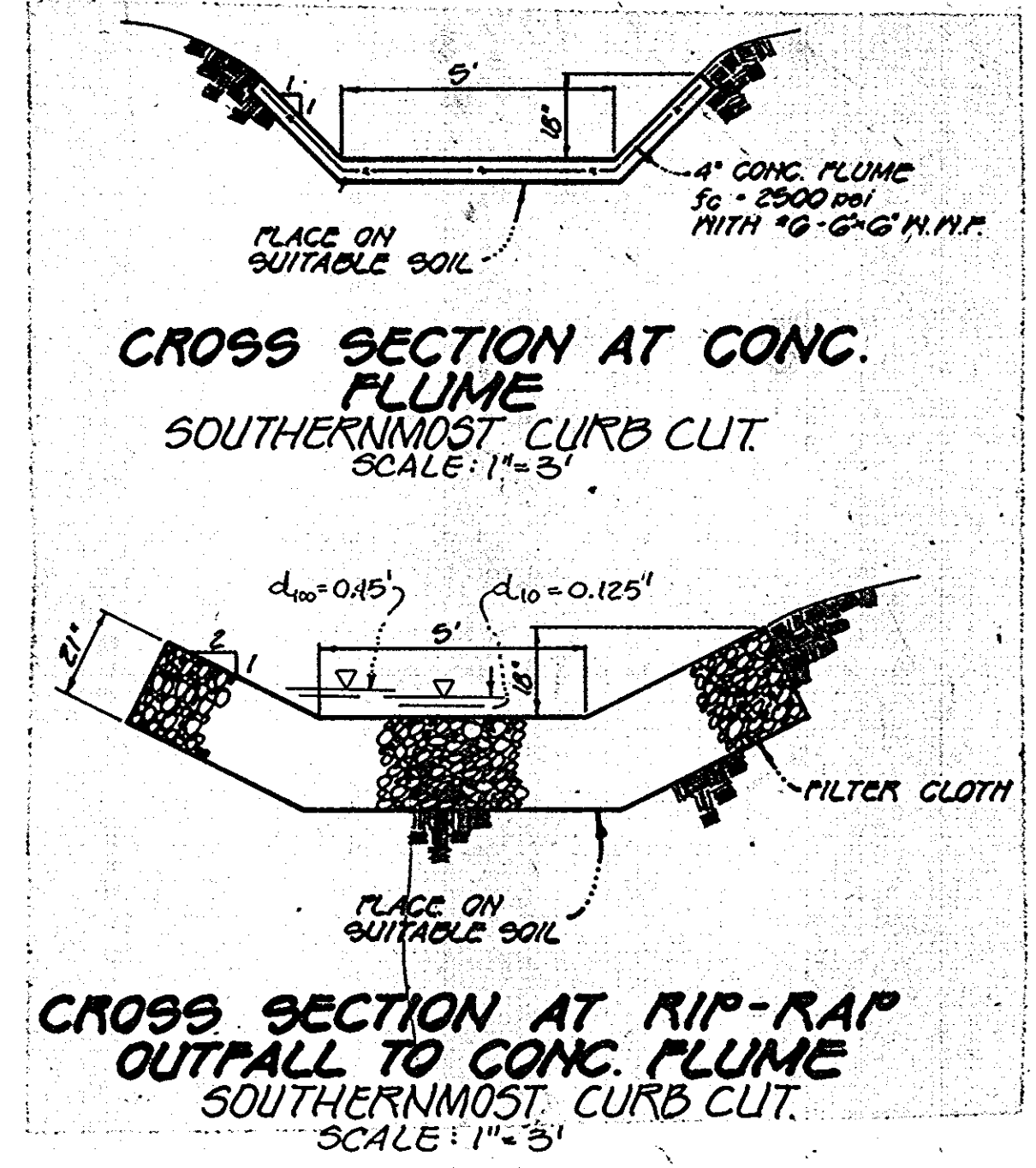
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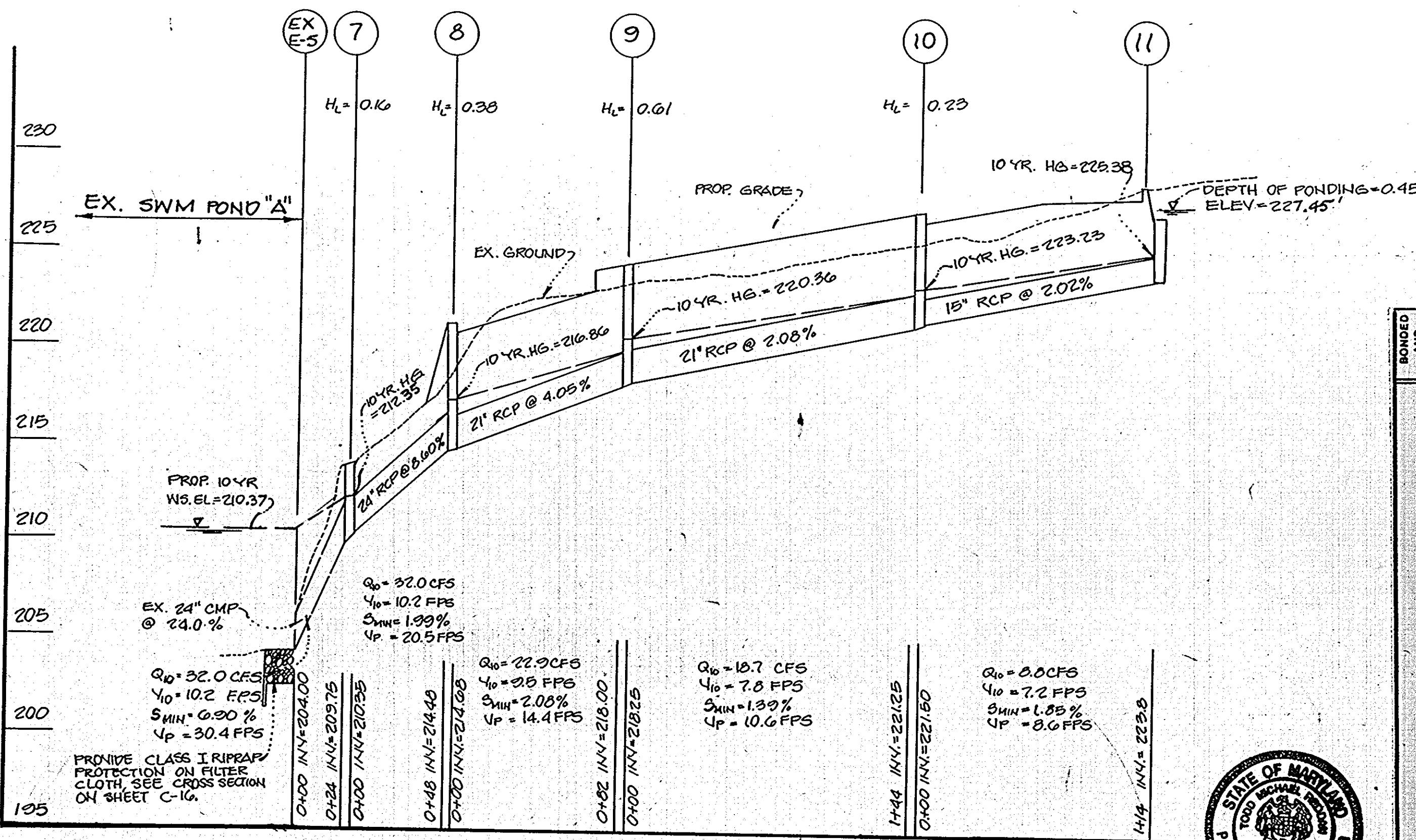
PROFILE OF CONCRETE FLUME
SCALE 1"=3'



STORM DRAIN PROFILE
SCALE - HORZ: 1"=50'
VERT: 1"=5'



CROSS SECTION AT RIP-RAP OUTFALL TO CONG. FLUME SOUTHERNMOST CURB CUT. SCALE: 1"=3'



STORM DRAIN PROFILE
SCALE HORZ: 1"=50'
VERT: 1"=5'

PIPE SCHEDULE						
BONDED AND INSPECTED BY	FROM	TO	SIZE	TYPE	LOTH.	REMARKS
	1	2	18"	RCP CL III	15	
	2	3	27"	RCP CL III	18	
	3	4	24"	RCP CL III	85	
	4	5	24"	RCP CL III	88	
	5	6	18"	RCP CL III	88	
	7	8	24"	RCP CL III	48	
	8	9	21"	RCP CL III	82	
	9	10	21"	RCP CL III	144	
	10	11	18"	RCP CL III	114	

STRUCTURE SCHEDULE							
BONDED AND INSPECTED BY	No.	TYPE	WIDTH - DIAM.	TOP ELEVATION UPPER LOWER	INV. ELEV.	STD. DETAIL	LOCATION
	1A	HEADWALL (TYPE C)	24" Ø	—	209.4	H.O. CO. STD. 5-21	
	1	ENDWALL (TYPE C)	18" Ø	—	208.0	H.O. CO. STD. 5-21	
	2	A-10 INLET	30"	214.73	213.73	208.3	H.O. CO. STD. 4-02
	3	A-10 INLET	30"	217.14	217.03	208.3	H.O. CO. STD. 4-02
	3A	ENDWALL (TYPE C)	27" Ø	—	208.0	H.O. CO. STD. 5-21	*USE 30" DIAMETER DIMENSIONS
	4	A-10 INLET	30"	218.73	218.13	214.74	H.O. CO. STD. 4-02
	5	A-10 INLET	30"	219.73	219.13	218.70	H.O. CO. STD. 4-02
	6	A-10 INLET	30"	220.73	220.13	216.70	H.O. CO. STD. 4-02
	7	SHALLOW MANHOLE	48" Ø	214.35	214.35	210.35	H.O. CO. STD. 6.5:05 (SEWER) OR E5.12
	8	A-10 INLET	42"	221.05	221.00	214.60	H.O. CO. STD. 4-02
	9	A-10 INLET	42"	224.16	224.00	218.70	H.O. CO. STD. 4-02
	10	A-10 INLET	30"	226.60	226.50	221.60	H.O. CO. STD. 4-02
	11	DOUBLE TYPE 'B' INLET	37"	227.00	227.00	223.80	H.O. CO. STD. 4-23

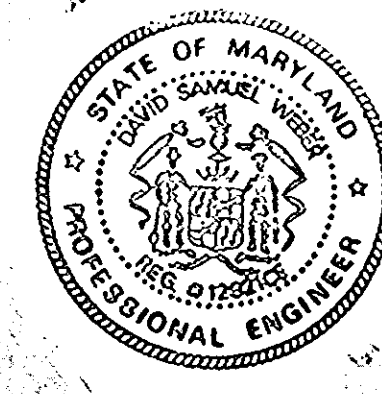
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Paul W. Zick
Howard S.C.D. 5/5 Date

DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion, before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by HSCD.

David Elbeher
2 JAN 91

ENGINEER'S CERTIFICATE
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT <i>David Elbeher</i> COUNTY HEALTH OFFICER DATE: 4-17-91
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING <i>James M. Webb</i> DIRECTOR DATE: 4/20/91
APPROVED: DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT <i>James M. Webb</i> CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE: 4/20/91
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS <i>James M. Webb</i> DIRECTOR DATE: 4/20/91
APPROVED: COUNTY BUREAU OF ENGINEERING <i>David Elbeher</i> DATE: 1-24-91

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

James M. Webb
US Soil Conservation Service 4/20/91 Date

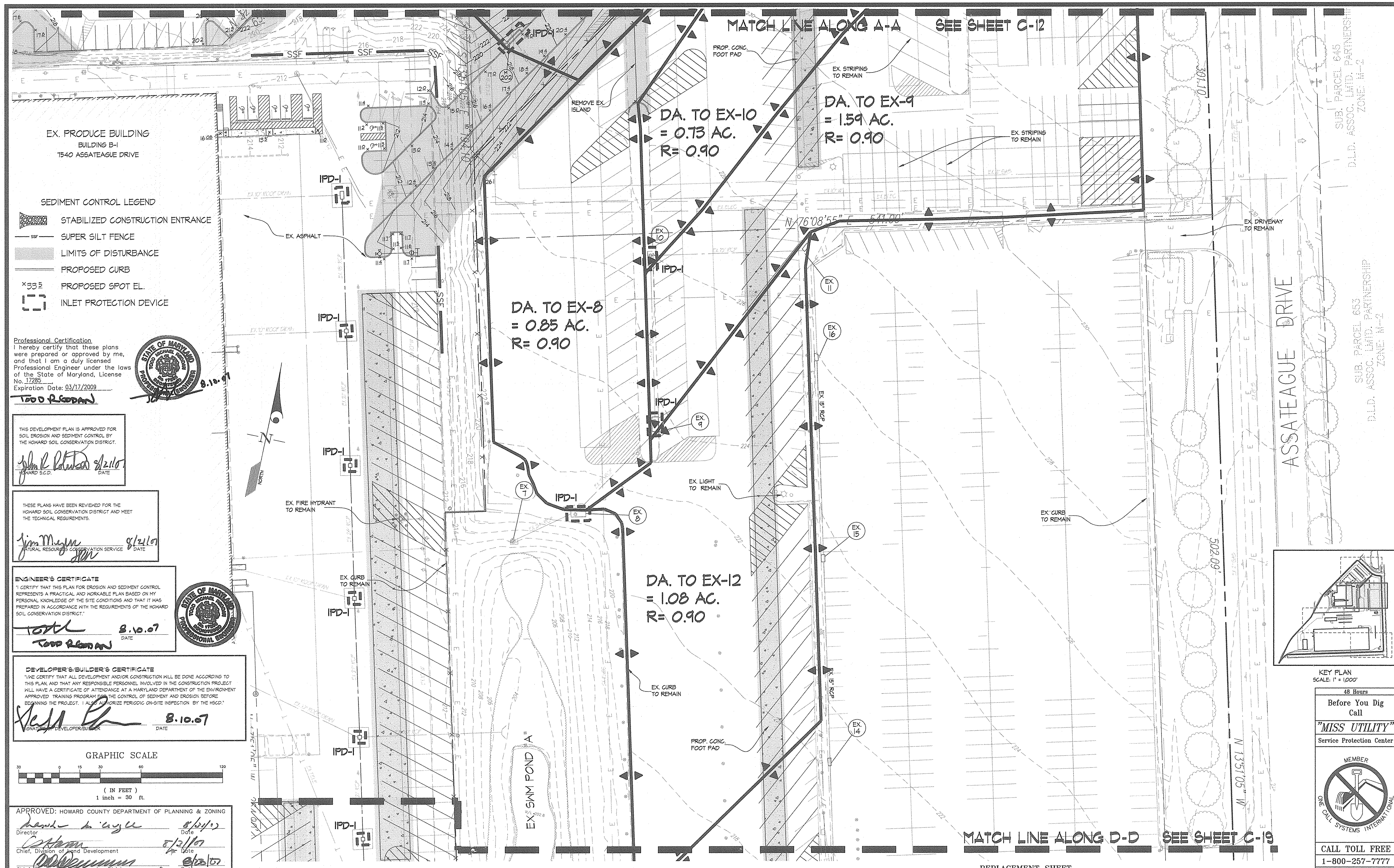
GW GUTSCHICK LITTLE & WEBER, P.A.
ENGINEERS, PLANNERS, SURVEYORS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866
TELEPHONE: (301) 421-4024

DATE	REVISION	BY	APP'R.
5.14.07	changed sheet # and owner info.		
12.27.00	ISSUED FOR HO. CO. APPROVAL		
11.14.00	ADDED RIPRAP PROTECTION AT EX. E-5	ROS	TMR
11.5.00	REVISED STORM DRAIN PROFILE FROM STR. 3 - STR. 11	ROS	TMR
10.31.00	RIP SET		
8.31.00	REVISED PER HOWARD COUNTY COMMENTS OF 7.30.00	ROS	TMR
6.8.00	PERMIT SET		

PREPARED FOR:
Owner: Warex-Jessup, Inc. and Jessup Associates, LTD. PMP c/o stop & shop Inc. 1305 Hancock Street Quincy, MA 02169 Attn: John Berger 617-770-0200

AS-BUILT CERTIFICATION
STORM DRAIN PROFILES & DETAILS
JESSUP DISTRIBUTION CENTER
MD. WHOLESALE FOOD CENTER - BLOCK A, SECTION 1
Parcel # J & K Plat No. 10142-10146
HOWARD COUNTY MARYLAND

SCALE AS SHOWN	ZONING M-2	G.L.W. FILE NO. 80-049
DATE MAY 1990	TAX MAP NO. 43	SHEET C-8 10 OF 23



EX. PRODUCE BUILDING
BUILDING B-1
7540 ASSATEAGUE DRIVE

- SEDIMENT CONTROL LEGEND**
- STABILIZED CONSTRUCTION ENTRANCE
 - SUPER SILT FENCE
 - LIMITS OF DISTURBANCE
 - PROPOSED CURB
 - PROPOSED SPOT EL.
 - INLET PROTECTION DEVICE

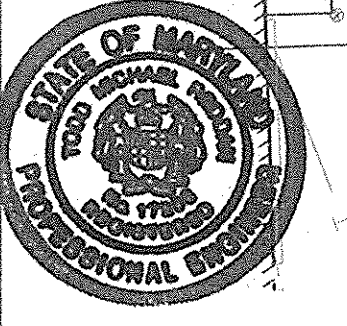
Professional Certification
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
Expiration Date: 03/17/2009
TOO REEMAN



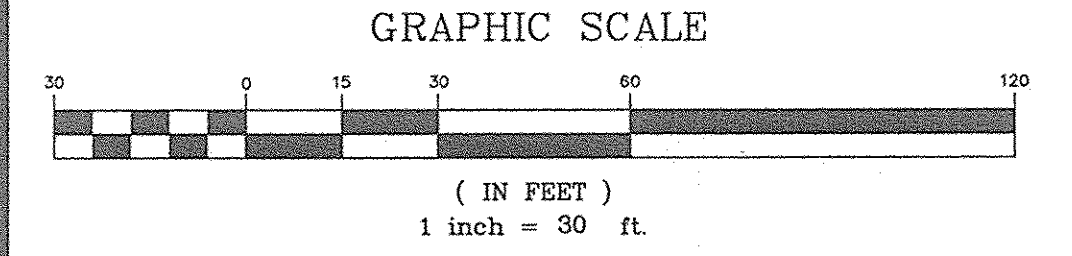
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John L. Peterson 8/21/07
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.
Jim Meyer 8/21/07
DATE

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
TOO REEMAN 8.10.07
DATE



DEVELOPER'S/BUILDER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.
John L. Peterson 8.10.07
DATE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
David L. Layle 8/21/07
Director
John L. Peterson 8/21/07
Chief, Division of Land Development
Too Reeman 8/21/07
Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

DATE	REVISION	BY	APPR.
8-10-07	PARCEL J - REMOVED PREV. PROP. STRIPPER, PARCEL K - ADDED EXIT RAMP	JW	
6-22-07	PRICING SET PARCEL J	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	

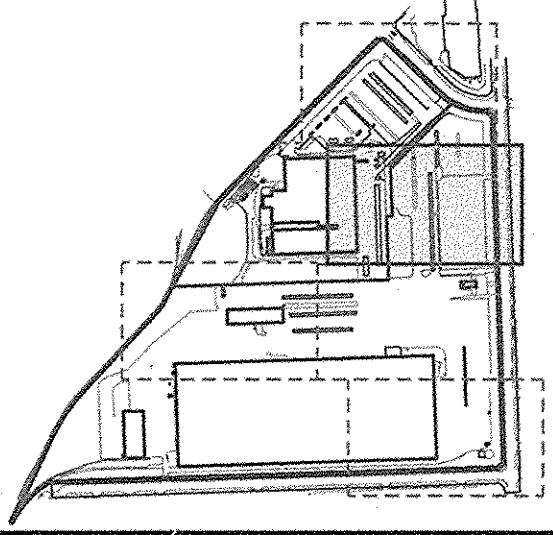
PREPARED FOR:
PARCEL 'J'
OWNER: WAREX-JESSUP, INC. AND JESSUP'S ASSOC., LTD. P/INP
C/O STOP-N-SHOP
1385 HANCOCK STREET
QUINCY, MA 02169
JOHN HERNON

PARCEL 'K'
OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC.
3055 PROSPERITY AVE.
FAIRFAX, VA 22301
DOUG VERNER

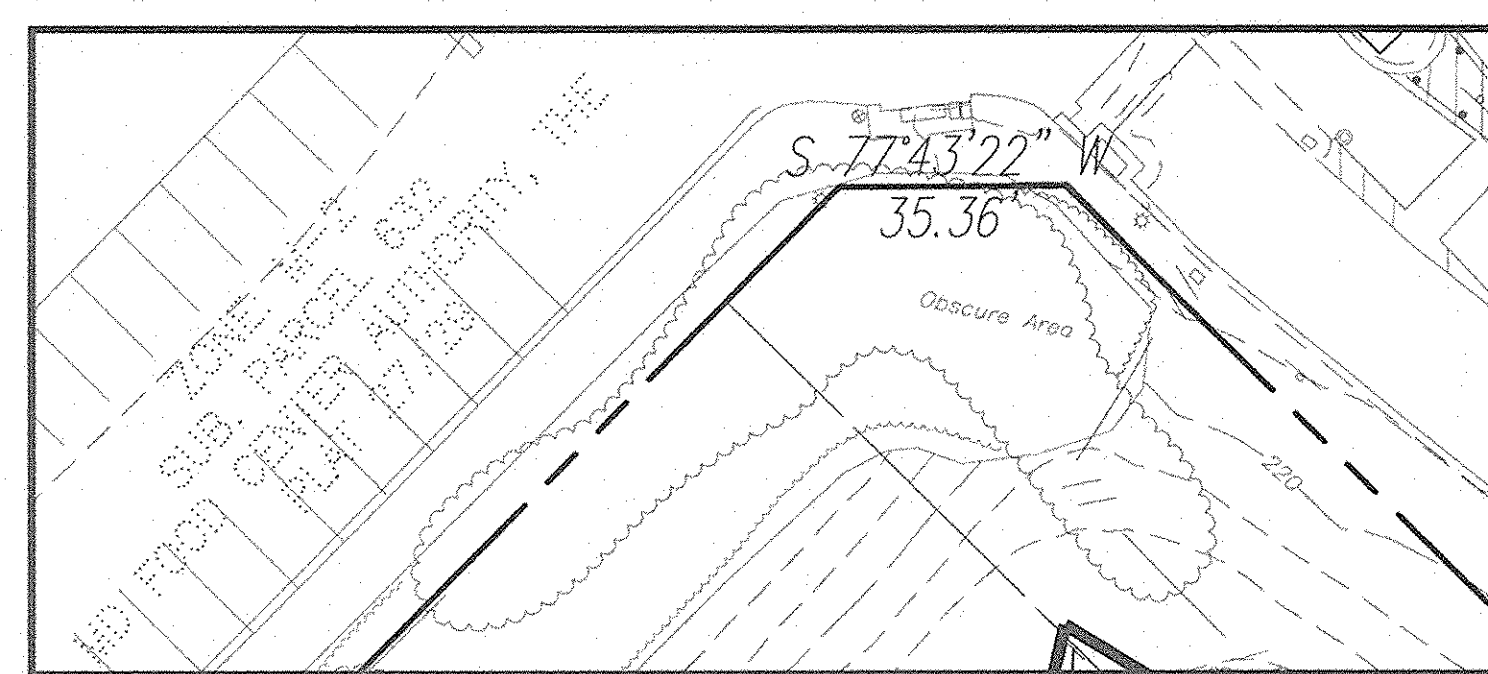
REVISSED SEDIMENT CONTROL FOR TRACTOR AND TRAILER STORAGE
JESSUP DISTRIBUTION CENTER
MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
PARCELS J & K
PLAT No. 19143 thru 19146
REPLACEMENT SHEET
GUILFORD ELECTION DISTRICT No. 6
HOWARD COUNTY

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 11 13 OF 23

48 Hours
Before You Dig Call
"MISS UTILITY"
Service Protection Center
MEMBER
ONE CALL SYSTEMS INTERNATIONAL
CALL TOLL FREE
1-800-257-7777



L:\CADD\DRAWINGS\86044\Design\86044SCP2.dwg 8/9/2007 12:46:22 PM EDT



THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

John H. Hiron
NATURAL RESOURCE CONSERVATION SERVICE
DATE: 8/21/07

DEVELOPER'S/BUILDER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

John H. Hiron
SIGNATURE OF DEVELOPER/BUILDER
DATE: 8.9.07

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John H. Hiron
HOWARD S.C.D.
DATE: 8/21/07

Professional Certification
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285.
Expiration Date: 03/17/2009

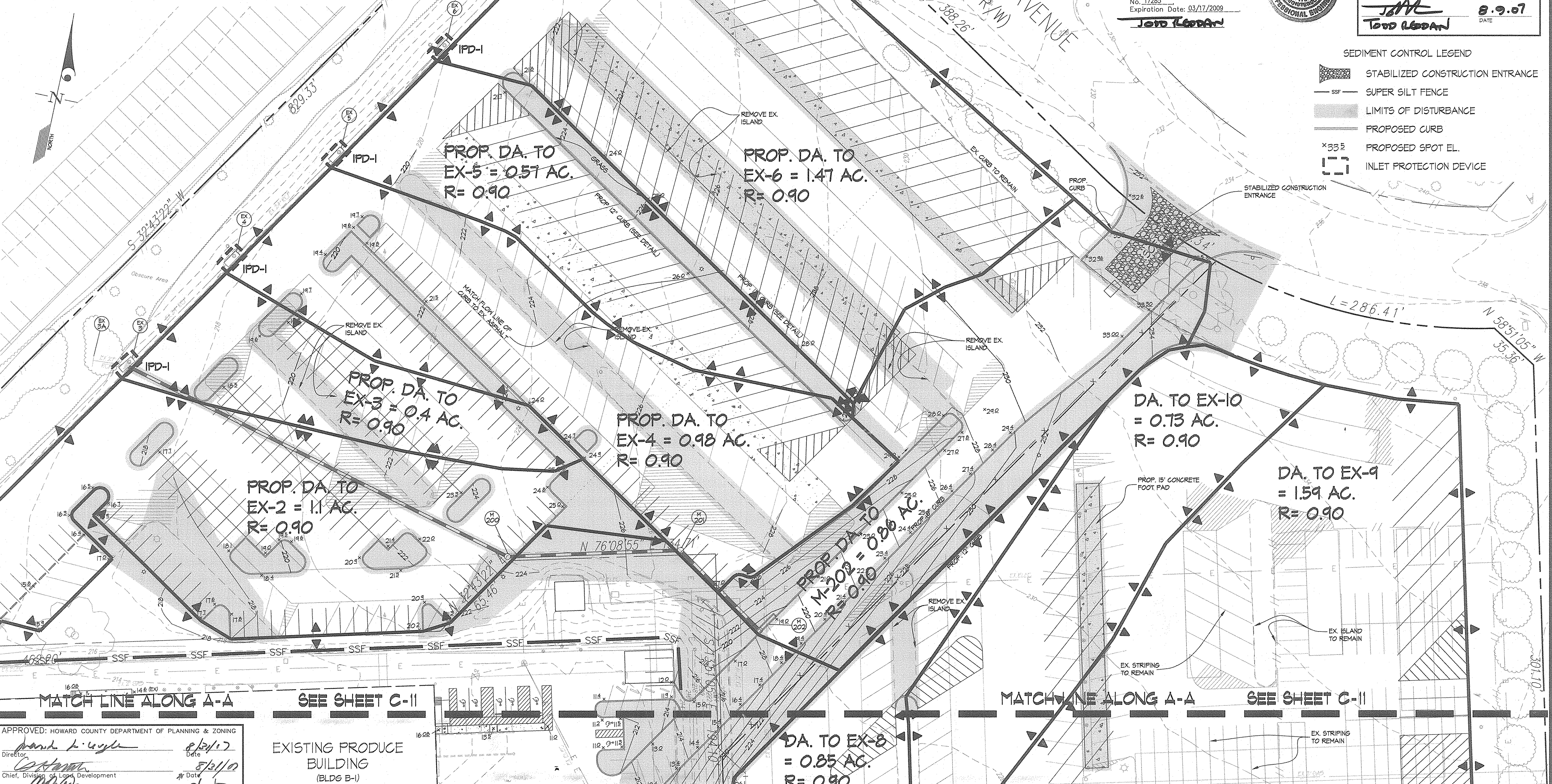
John H. Hiron
DATE: 8.9.07



ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John H. Hiron
DATE: 8.9.07

- SEDIMENT CONTROL LEGEND**
- STABILIZED CONSTRUCTION ENTRANCE
 - SUPER SILT FENCE
 - LIMITS OF DISTURBANCE
 - PROPOSED CURB
 - PROPOSED SPOT EL.
 - INLET PROTECTION DEVICE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Paul K. Ugle
Director
Date: 8/21/07

John H. Hiron
Chief, Division of Land Development
Date: 8/21/07

John H. Hiron
Chief, Development Engineering Division
Date: 8/21/07

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

DATE	REVISION	BY	APP'R.
8-10-07	PARCEL J - REMOVED PREV. PROP. STRIPING, PARCEL K - ADDED EXIT RAMP	JW	
7-31-07	RELEASED FOR CONSTRUCTION	JW	
07-12-07	RELEASED FOR CONSTRUCTION	JW	
6-22-07	PRICING SET PARCEL J		
6-21-07	PRICING SET PARCEL K		
4-11-07	PRICING SET	JW	
4-11-07	REVISION	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	

PREPARED FOR:

PARCEL 'J'
OWNER: WAREX-JESSUP, INC. AND JESSUP'S ASSOC., LTD. PTNP
C/O STOP -N- SHOP
1385 HANCOCK STREET
QUINCY, MA 02169
JOHN HERON

PARCEL 'K'
OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC.
3055 PROSPERITY AVE.
FAIRFAX, VA 22301
DOUG VERNER

REVISED SEDIMENT CONTROL FOR TRACTOR AND TRAILER STORAGE

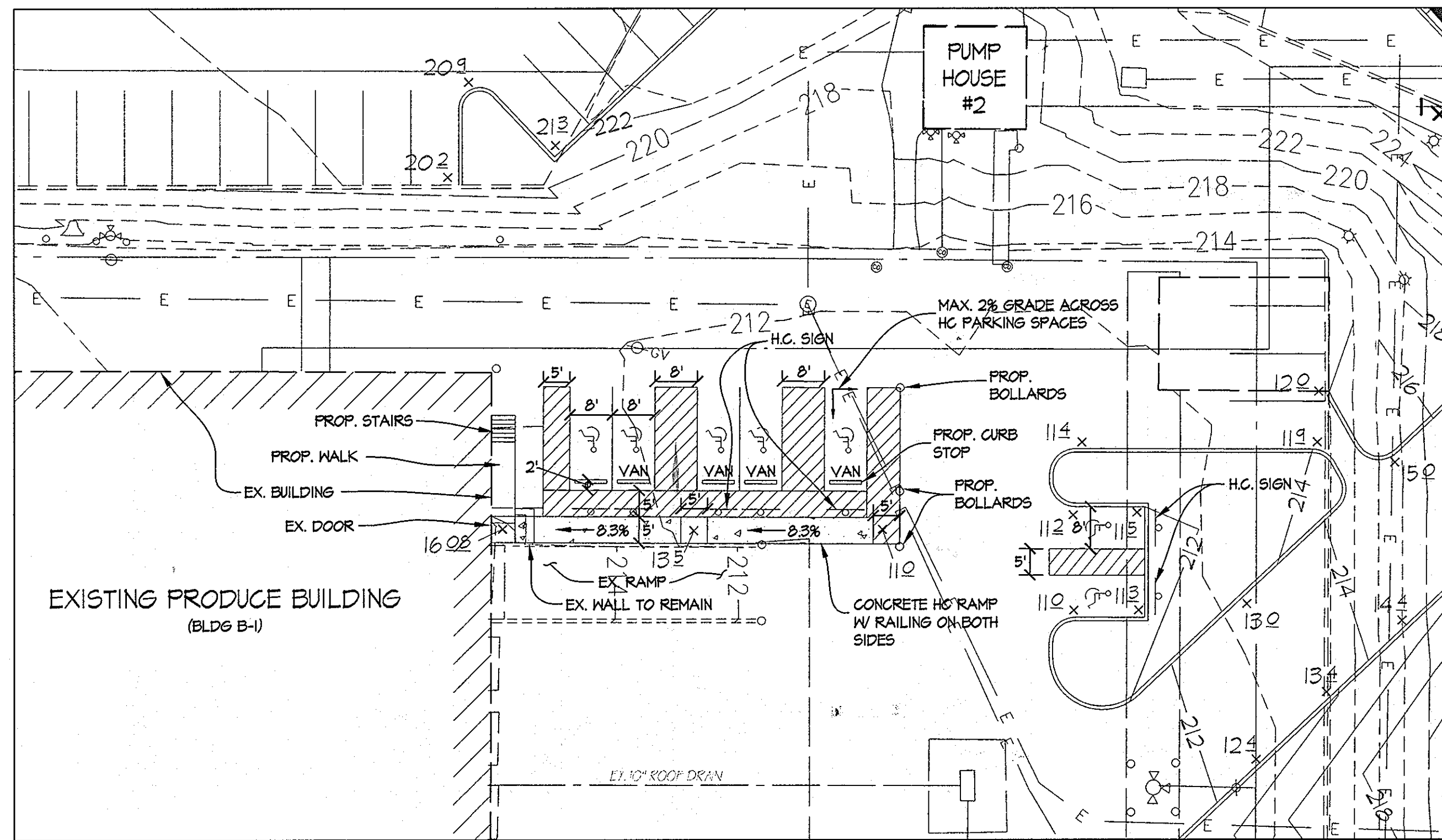
**JESSUP DISTRIBUTION CENTER
MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1**

PARCELS J & K
PLAT No. 19143 thru 19146
REPLACEMENT SHEET

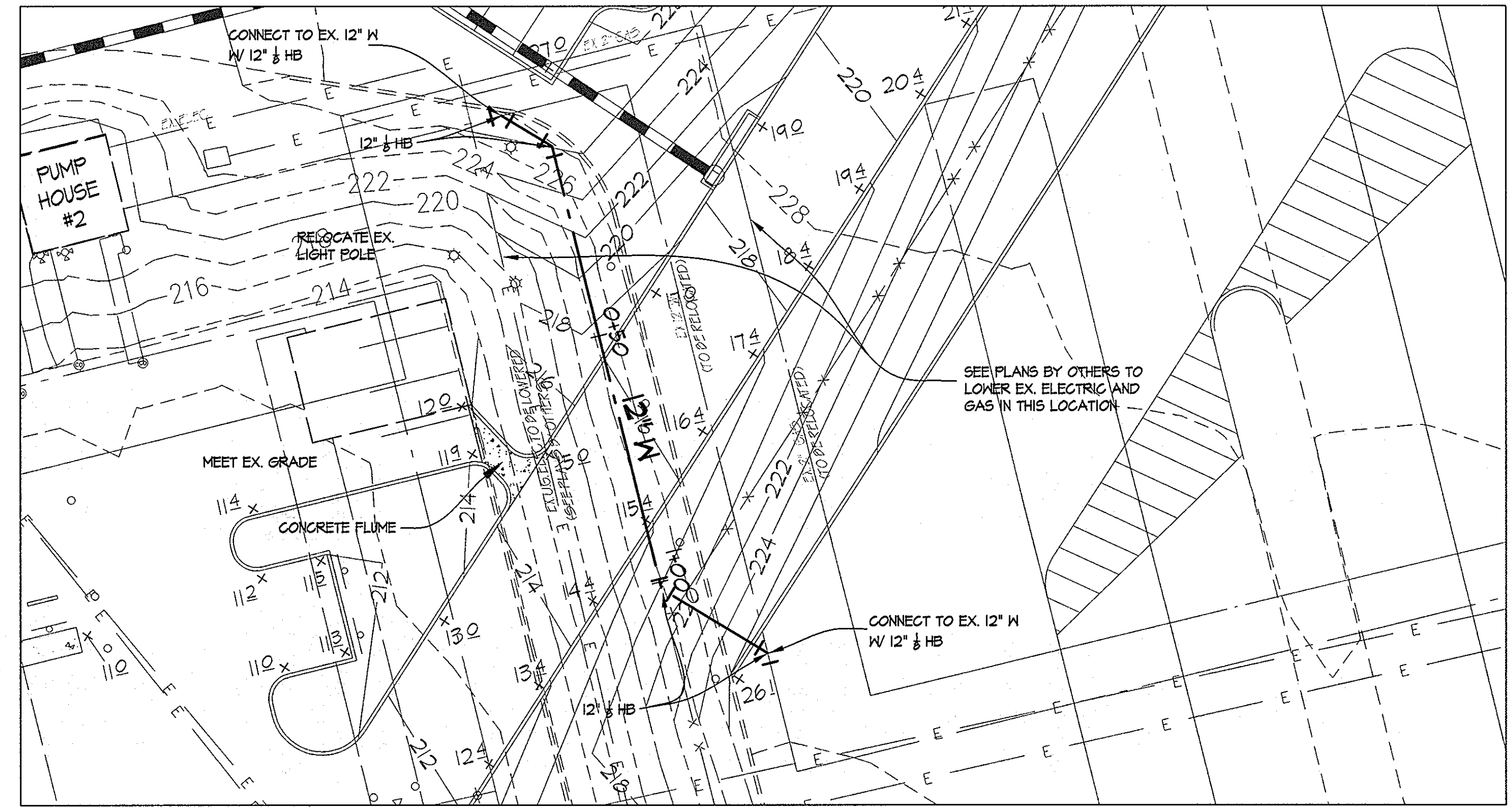
GUILFORD ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 12 14 OF 23

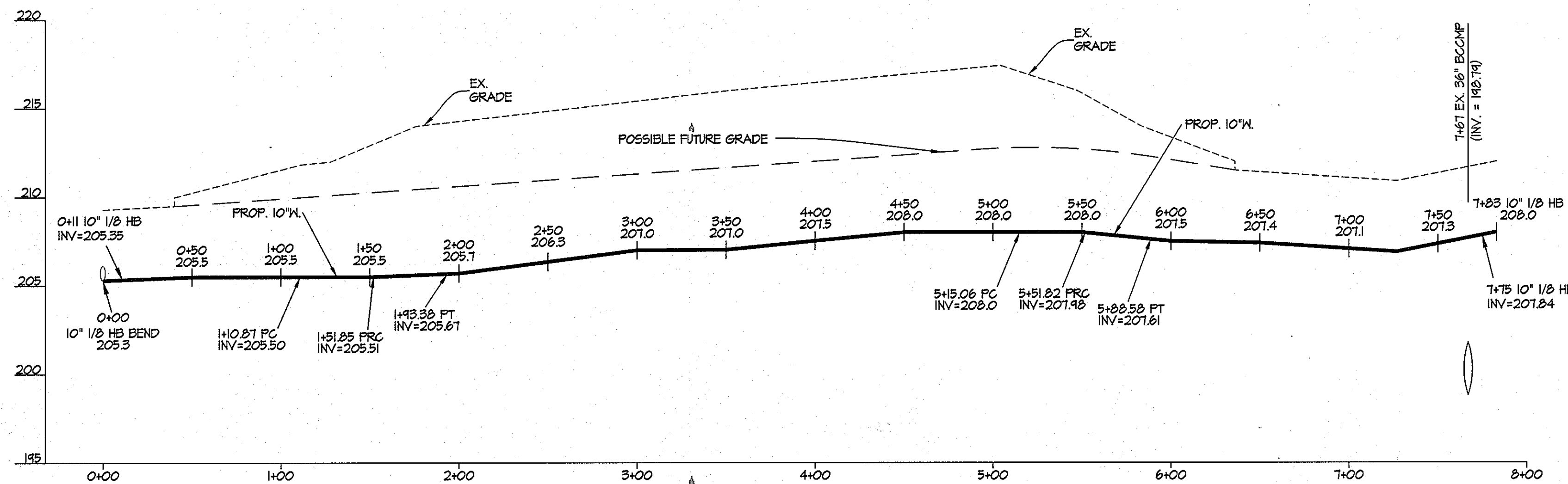
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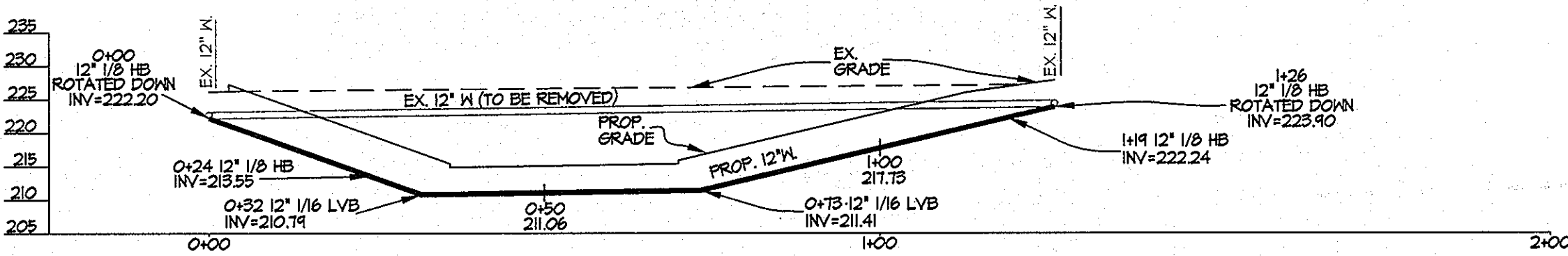
HANDICAP ACCESSIBILITY PLAN
SCALE: 1" = 20'



WATER RELOCATION PLAN (WATER LINE B)
SCALE: 1" = 20'



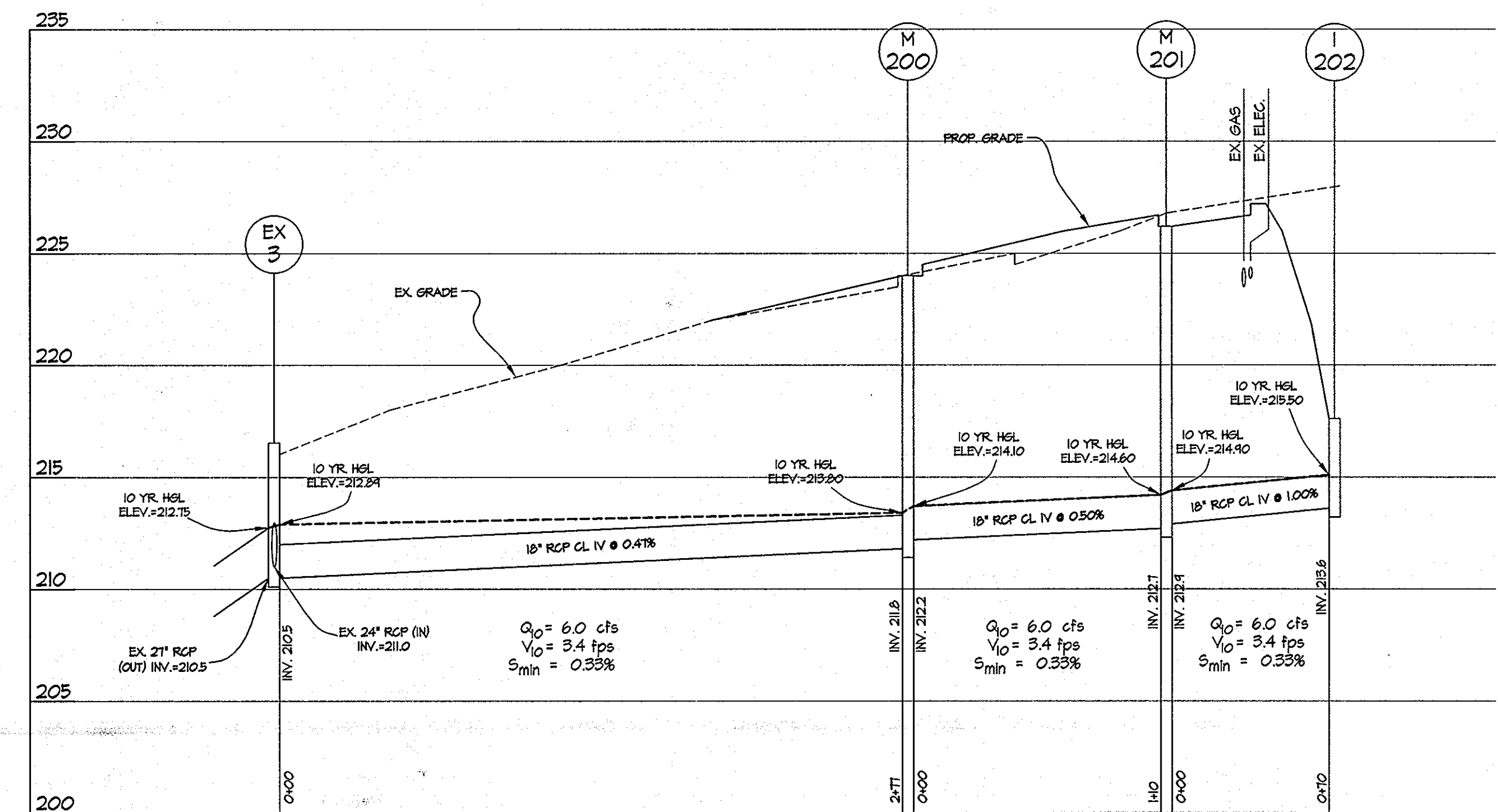
PROFILE OF WATER LINE A (PRIVATE)
HORIZ.: 1" = 50'
VERT.: 1" = 5'



PROFILE OF RELOCATED WATER LINE B (PRIVATE)
SCALE: 1" = 20'

TYPICAL SECTION A-A
THRU TRUCK RAMP
SCALE: 1" = 10'

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	NOTES
			UPPER	LOWER	UPPER	LOWER		
200	STANDARD MANHOLE	48" DIA	224.1	224.0	212.2	211.8	HO. CO. STD 5.18	
201	STANDARD MANHOLE	48" DIA	---	226.5	212.9	212.7	HO. CO. STD 5.18	
202	COG-20 INLET	48" DIA	214.50	218.7	---	213.6	MD 514.62	



STORM DRAIN PROFILE
HORIZ.: 1" = 50'
VERT.: 1" = 5'

REPLACEMENT SHEET

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark A. Lyle* Date: 8/23/07
 Chief, Division of Land Development: *John A. ...* Date: 8/21/07
 Chief, Development Engineering Division: *John A. ...* Date: 8/23/07

Professional Certification
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
 Expiration Date: 03/17/2009
John A. ...



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	DES.	THR	DRN.	JW	CHK.
8-10-07	REVISED TO SHOW RELOCATED WATER LINE B THRU EXIT RAMP ON PARCEL K, WATER LINE A & SD ON PARCEL K				JW	
7-31-07	RELEASED FOR CONSTRUCTION				JW	
07-12-07	RELEASED FOR CONSTRUCTION				JW	
06-21-07	PRICING SET FOR PARCEL K				JW	
4-11-07	PRICING SET				JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE				JW	

PREPARED FOR:
 PARCEL 'J' OWNER: WAREX-JESSUP, INC. AND JESSUPS ASSOC., LTD. P/INP C/O STOP -N- SHOP 1385 HANCOCK STREET QUINCY, MA 02169 JOHN HERNON
 PARCEL 'K' OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC. 3055 PROSPERITY AVE. FAIRFAX, VA 22301 DOUG VERNER

REVISOR: REVISED STORM DRAIN & WATERLINE PROFILES
JESSUP DISTRIBUTION CENTER
 MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
 PARCELS J & K
 PLAT No. 19143 thru 19146
 GUILFORD ELECTION DISTRICT No. 6
 HOWARD COUNTY

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 13 15 OF 23

SEDIMENT CONTROL NOTES

- 1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51), sod (Sec. 54), temporary seedings (Sec. 60) and mulching (Sec. 52). Temporary stabilization, with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operating condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis: Total Area of Site: 354 Acres, Area Disturbed: 10.65 Acres, Area to be seeded or paved: 8.8 Acres, Area to be vegetatively stabilized: 1.85 Acres, Total Cut: 8,500 Cu. Yds. +/-, Total Fill: 8,500 Cu. Yds. +/-, Off-Site waste/borrow area location UNKNOWN
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs. 1000 sq ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.
Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

STORM WATER MANAGEMENT POND NOTES

I. SITE PREPARATION:
A. Areas designated for borrow areas, embankment, and structural works shall be cleared grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped no steeper than 1:1.
B. Areas to be covered by pond or reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush, logs, and stumps shall be cut approximately level with the ground surface.
C. All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.
II. EARTH FILL
A. MATERIAL: The fill material shall be taken from approved designated borrow area or areas. It shall be free of roots, stumps, wood, rubbish, oversized stones, frozen or other objectionable materials. The embankment shall be constructed to an elevation which provides for anticipated settlement to the design elevation. The fill height all along the length of the embankment shall be increased above the design elevation (including freeboard) as shown on the plans.
B. PLACEMENT: Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most porous borrow material shall be placed in the downstream portions of the embankment.
C. COMPACTION: The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired, or vibratory roller. Fill material shall contain sufficient moisture so that the required degree of compaction can be obtained with the equipment used. Where a minimum required density is specified, each layer of fill shall be compacted as necessary to obtain that density and is to be certified by the Engineer. It is recommended that the Core be constructed in 8" thick layers, each compacted to minimum of 95% of the maximum dry density determined by the standard moisture density relationship test (ASTM D-1557).
D. CUTOFF TRENCH: Where specified, a cutoff trench shall be excavated along or parallel to, the centerline of the embankment as shown on the plans. The bottom width of the trench shall be as shown on the drawings, with the minimum width being four feet. The depth shall be at least four feet or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill material for the cutoff trench shall be the most impervious material available on-site (or from an area designated on the plans) and shall be compacted with equipment or rollers to assure maximum density and minimum permeability.

III. STRUCTURAL BACKFILL:
Backfill material shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet measured horizontally, to any part of the structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe unless there is a compacted fill of twenty-four inches or greater over the structure of pipe.

IV. PIPE CONDUITS: (all pipes shall be circular in cross-section)

A. CORRUGATED METAL PIPE:
1. MATERIALS: (Steel Pipe) - This pipe and its appurtenances shall be galvanized and fully bituminous coated and shall conform to the requirements of AASHTO Specifications M-190 Type A with watertight coupling bands. Any bituminous coating damaged or otherwise removed shall be placed with cold applied bituminous coating compound. Steel pipes with polymeric coatings shall have a minimum coating thickness of 0.01 inch (10 mil) on both sides of the pipe. The following coatings are commercially available: Mexon, Plasti-Cote, Bloc-Klad, and Beth-Cu-Loy. Coated corrugated steel pipe shall meet the requirements of AASHTO M-245 and M-246.
MATERIALS: (Aluminized Steel Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-274-791 with watertight coupling bands or flanges.
MATERIALS: (Aluminum Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-196 or M-211 with watertight coupling bands or flanges. Coupling bands, anti-seep collars, end section, etc. must be composed of the same material as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials at least 24 mils in thickness. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of Zinc Chromate Primer. Hot dip galvanized bolts may be used for connections. The PH of the surrounding soils shall be less than 9 and greater than 4.
2. CONNECTIONS: All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around where the pipe and riser are metal. Watertight coupling bands or flanges shall be used at all joints. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Dimple bands are not considered to be watertight.
3. BEDDING: The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
4. LAYING PIPE: The pipe shall be placed with inside circumferential laps pointing downstream and with the longitudinal laps at the sides.
5. Backfilling shall conform to structural backfill as shown above.
6. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.
B. REINFORCED CONCRETE PIPE:
1. MATERIALS: Reinforced concrete pipe shall have a rubber gasket joint and shall equal or exceed ASTM Specification C-361. An approved equivalent is AWWA Specification C-301.
2. BEDDING: All reinforced concrete pipe conduits shall be laid in a concrete bedding for their entire length. This bedding shall consist of high slump concrete placed under the pipe and up the sides of the pipe at least 10% of its outside diameter with a minimum thickness of 3", or as shown on the drawings.
3. LAYING PIPE: Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe.
4. Backfilling shall conform to structural backfill as shown above.
5. Other details (anti-seep collars, valves, etc.) shall be shown on the drawings.
C. For pipes of other materials, specific specifications shall be shown on the drawings.
V. CONCRETE:
A. MATERIALS:
1. CEMENT - Normal Portland cement shall conform to latest ASTM Specification C-150.
2. WATER - The water used in concrete shall be clean, free from oil, acid, alkali, scales, organic matter or other objectionable substances.

V. A. (continued)

3. SAND - The sand used in concrete shall be clean, hard, strong, and durable, and shall be well graded with 100% passing a one quarter inch sieve. Limestone sand shall not be used.
4. COARSE AGGREGATE - The coarse aggregate shall be clean, hard, strong and durable, and free from clay and dirt. It shall be well graded with a maximum size of one-and-one-half (1-1/2) inches.
5. REINFORCING STEEL - The reinforcing steel shall be deformed bars of intermediate grade billet steel or rail steel conforming to ASTM Specification A-615.
B. DESIGN MIX - The concrete shall be mixed in the following proportions, measured by weight. The water-cement ratio shall be 5-1/2 to 6 U.S. Gals. of water/94-pound bag of cement. The proportion of materials for the trial mix shall be 1:2:3-1/2. The combination of the aggregates may be adjusted to produce a plastic and workable mix that will not produce harshness in placing or honeycombing in the structure.
C. MIXING - The concrete ingredients shall be mixed in batch mixers until the mixture is homogeneous and of uniform consistency. The mixing of each batch shall continue for not less than one and one-half minutes after all the ingredients, except the full amount of water, are in the mixer. The minimum mixing time is predicted on proper control of the speed of rotation of the mixture and of the introduction of the materials including water, into the mixer. Water shall be added prior to, during, and following the mixer-changing operations. Excessive overmixing requiring the addition of water to preserve concrete consistency shall not be permitted. Truck mixing will be allowed provided that the use of this method shall cause no violation of any applicable provisions of the specifications given here.
D. FORMS - The forms shall have sufficient strength and rigidity to hold the concrete and to withstand the necessary pressure, tamping and vibration without deflection from the prescribed lines. They should be mortar-tight and constructed so they can be removed without hammering or prying against the concrete. The inside of the forms shall be oiled with a non-staining mineral oil or thoroughly wetted before concrete is placed. Forms may be removed 24 hours after the placement of concrete. All wire ties and other devices used shall be recessed from the surface of the concrete.
E. REINFORCING STEEL - All reinforcing material shall be free of dirt, rust, scale, oil, paint or any other coatings. The steel shall be accurately placed and securely tied and blocked into position so that no movement of the steel will occur during placement of concrete.
F. CONSOLIDATION - Concrete shall be consolidated with internal type mechanical vibrators. Vibration shall be supplemented by spading and hand tamping as necessary to insure smooth and dense concrete along form surfaces, in corners and around embedded items.
G. FINISHING - Defective concrete, honey combed areas, voids left by removal of tie rods, ridges on all concrete surfaces permanently exposed to view or exposed to water on the finished structure, shall be repaired immediately after the removal of forms. All voids shall be reamed and completely filled with dry patching mortar.
H. PROTECTION AND CURING - Exposed surfaces of concrete shall be protected from the direct rays of the sun for at least three days. All concrete shall be kept continuously moist for at least ten days after being placed. Moisture may be applied by spraying or sprinkling as necessary to prevent the concrete from drying. Concrete shall not be exposed to freezing during the curing period. Curing compound may also be used.
I. PLACING TEMPERATURE - Concrete may not be placed at temperature below 37°F with temperature falling, or 34°F with the temperature rising.
VI. STABILIZATION
All borrow areas shall be graded to provide drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing, and mulching (if required) in accordance with the vegetative treatment specifications or as shown on the accompanying drawings.
VII. EROSION AND SEDIMENT CONTROL
Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures to be employed during the construction process.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT. APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING. APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the ENVIRONMENT Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by HSCD.

Signature of Developer/Builder: [Signature] Date: 2 JAN. 91

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Signature of Engineer: Robert W. Zisk (E.S.) Date: 1/2/91

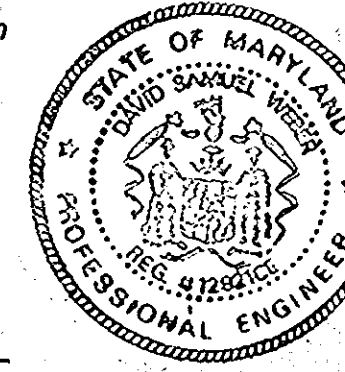
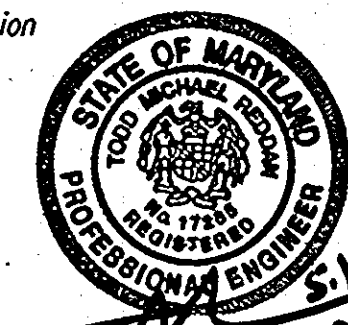
These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Signature of Engineer: James M. Hill (E.S.) Date: 1/2/91

ENGINEER'S CERTIFICATE

I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Engineer: David S. Weber Date: 1/2/91



GLW GUTSCHICK LITTLE & WEBER, P.A. ENGINEERS, PLANNERS, SURVEYORS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE, OFFICE PARK - BURTONSVILLE, MD 20866 TELEPHONE: (301) 421-4024

Table with columns: DATE, REVISION, BY, APPR. Includes entries for change sheet # & owner info, issued for HO. CO. APPROVAL, BID SET, REVISED AS PER HOWARD COUNTY COMMENTS OF 7.30.90, PERMIT SET.

PREPARED FOR: Owner: Warex-Jessup, Inc. & Jessup Associates, LTD PTNP 616 Westport & Chesapeake Inc. 1985 Hancock Street Quincy, MA 01909 Attn: John Hennen 617-710-0202

STORMWATER MANAGEMENT & SEDIMENT CONTROL NOTES JESSUP DISTRIBUTION CENTER MD. WHOLESALE FOOD CENTER BLOCK A SECTION 1 HOWARD COUNTY Parcel 1, 2 & 3 Plot No. 191A3-191A6 MARYLAND

Table with columns: SCALE, ZONING, G.L.W. FILE NO., DATE, TAX MAP NO., SHEET. Values: N/A, M-2, 86-044, MARCH 1990, 43, C-14 16 OF 23

FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, resistance to plants, and/or excessive soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standard as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile in the Soil Survey published by USDA-SSS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, loamy sand. Other soils may be used if approved by an approved soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash or other materials larger than 1 1/2" diameter.
 - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, johnsongrass, nutcracker, poison ivy, bitlis, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Limestone shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedure.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 200 Vegetation Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No soil or seed shall be placed on soil which has been treated with soil sterilants or chemical weed for weed control and sufficient time has elapsed (14 days min.) to permit disposition of phytotoxic materials.
 - When topsoils, maintain needed erosion and sediment control practices such as diversion, Grade Stabilization Structures, Earth Dikes, Slope Sill Fences and Sediment Traps and Basins.
 - Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 4"-8" higher in elevation.
 - Topsoil shall be uniformly distributed in a 4"-8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that seeding or sodding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water ponds.
 - Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.
- Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
 - Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 40/1,000 square feet, and 1/3 the normal lime application rate.

DUST CONTROL

Definition
Controlling dust blowing and movement on construction sites and roads.

Purpose
To prevent blowing and movement of dirt from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

Conditions Where Practice Applies
This practice is applicable to areas subject to dust blowing and movements where on and off-site damage is likely without treatment.

Temporary Methods

- Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or locked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
- Barriers - Solid board fences, roll fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 10 times their height are effective in controlling soil blowing.
- Calcium Chloride - Apply at rates that will keep surface moist. May need reapplication.

Permanent Methods

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may offer valuable protection if left in place.
- Topsoiling - Covering with less erosive soil materials. See standards for topsoiling.
- Stone - Cover surface with crushed stone or coarse gravel.

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding (unless previously loosened).

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaformal fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeding lovagegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 6:1 or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding (unless previously loosened).

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual rye (32 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeding lovagegrass (0.7 lbs/1000 sq ft).

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 6:1 or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

SEDIMENT CONTROL NOTES

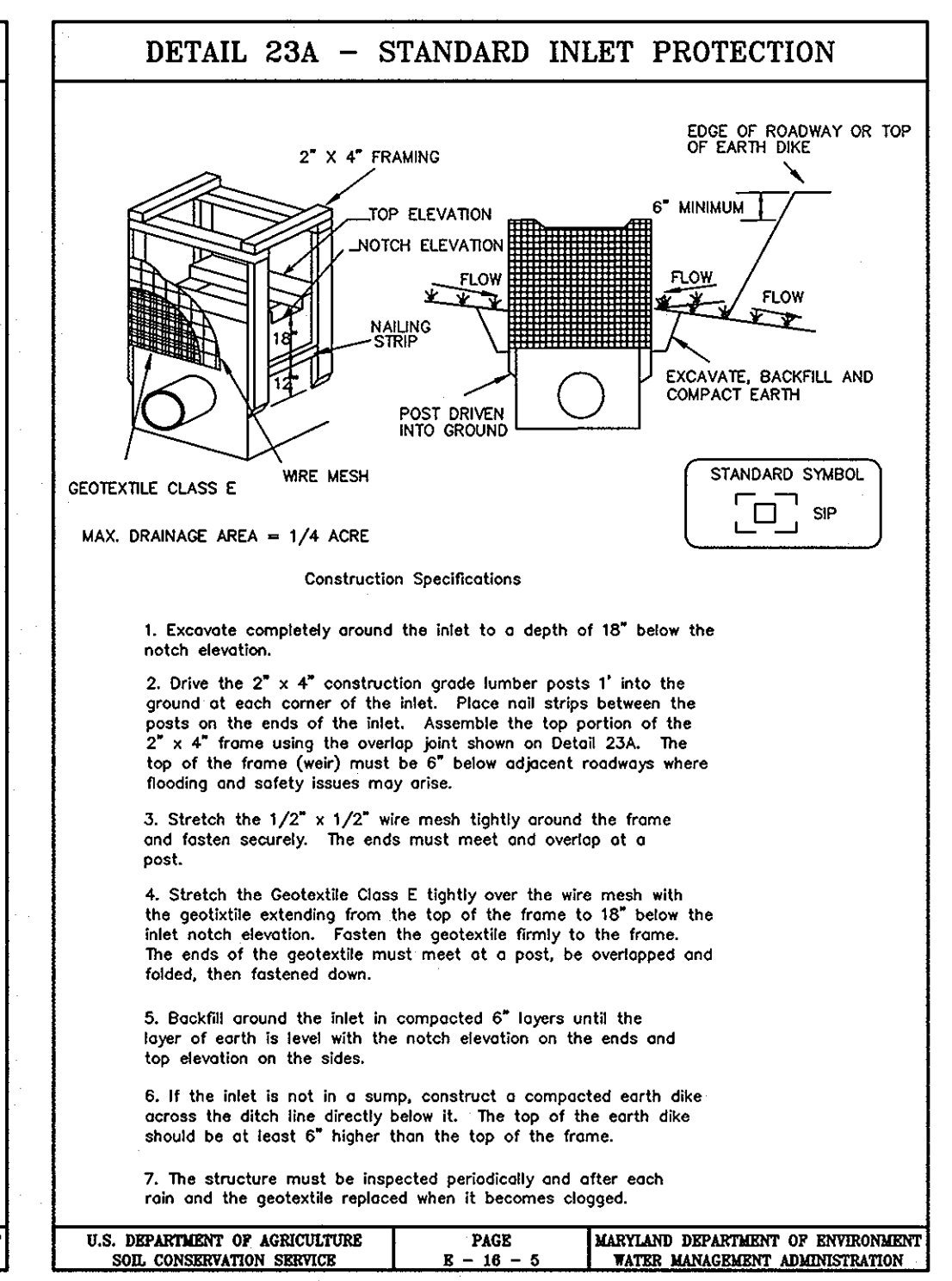
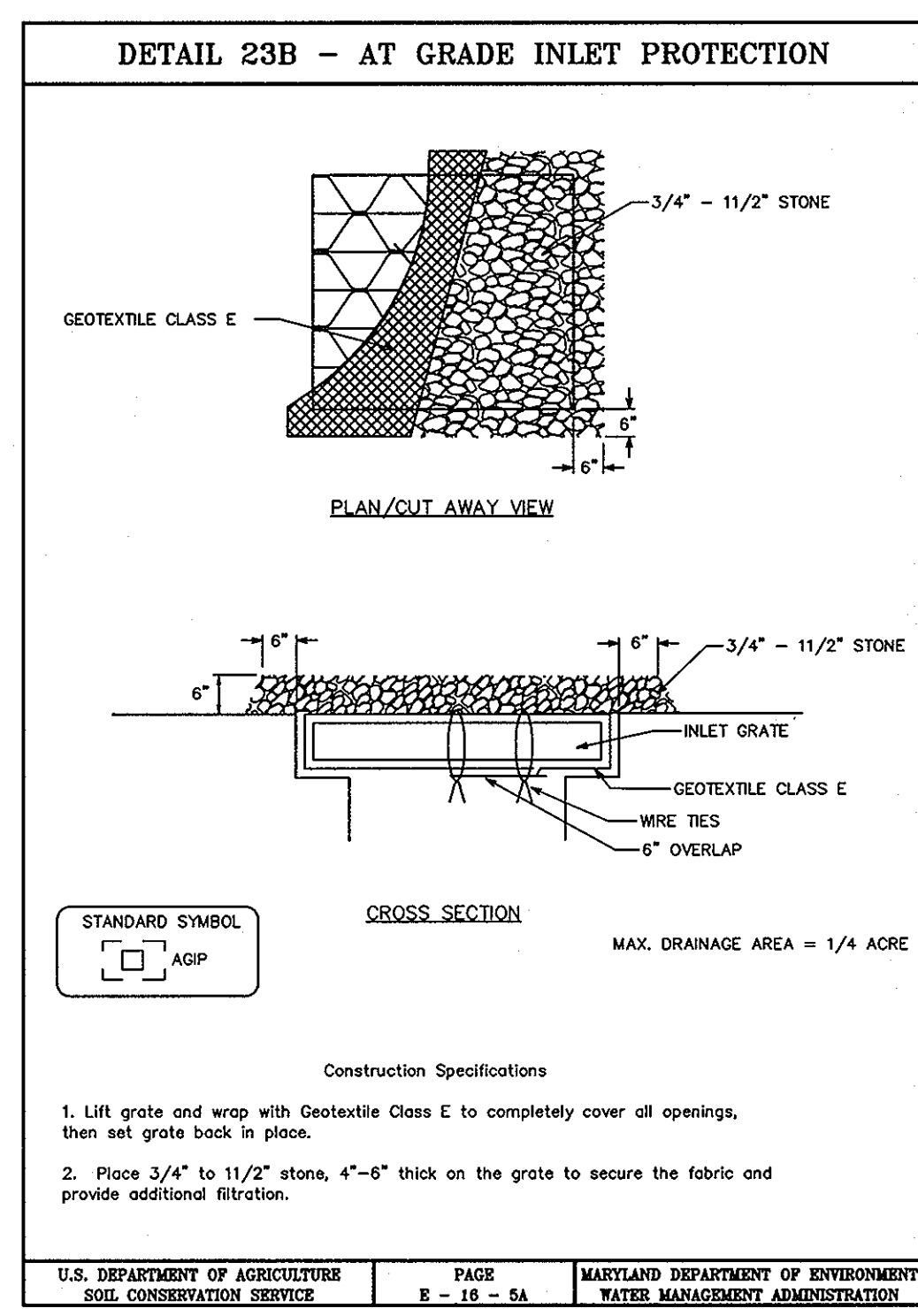
- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1993 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G). Temporary stabilization with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

	PARCEL J	PARCEL K
Total Area of Site	58.64 Acres	21.43 Acres
Area Disturbed	1.78 Acres	1.32 Acres
Area to be roofed or paved	1.35 Acres	2.65 Acres
Area to be vegetatively stabilized	0.91 Acres	0.67 Acres
Total Cut	1,000 Cu. Yds.	3,500 Cu. Yds.
Total Fill	1,000 Cu. Yds.	1,000 Cu. Yds.

* AREA TO BE ROOFED/PAVED IS THE TOTAL LETTER CONSTRUCTION AREA ADDED WITH THIS SUBMITTAL. THERE IS NO ROOF AREA ADDED.
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to 3 pipe lengths or that which shall be backfilled and stabilized within one working day, whichever is shorter.

SEQUENCE OF CONSTRUCTION FOR PARCEL 'K'

- APPLY FOR GRADING PERMIT.
- OBTAIN GRADING PERMIT FOR PARCEL K AT PRE-CONSTRUCTION MEETING (1 DAY)
- INSTALL SEDIMENT CONTROL DEVICES ON PARCEL K (2 DAYS)
 - STABILIZED CONSTRUCTION ENTRANCE
 - SUPER SILT FENCE
 - INLET PROTECTION DEVICES
- CONSTRUCT ADDITION TO EX. BLDGS AND PERFORM DEMOLITION. (This sequence may be done concurrently with sequence 5 thru 10) (3 MONTHS)
- REMOVE EXISTING CURB 4 GUTTER AND PAVEMENT WITHIN THE LIMITS OF DISTURBANCE ON PARCEL K (2 WEEKS)
- GRADE, RE-LOCATE EXISTING UTILITIES ON PARCEL K AS NOTED (2 WEEKS)
- REMOVE EXISTING INLETS AND INSTALL STORM DRAIN ON PARCEL K (3 WEEKS)
- INSTALL CURB 4 GUTTER AND BASE COURSE PAVING ON PARCEL K (3 WEEKS)
- INSTALL LANDSCAPING ON PARCEL K (3 DAYS)
- INSTALL SURFACE COURSE PAVING, STRIPE PARKING LOT ON PARCEL K (2 WEEKS)
- PERMANENTLY STABILIZE ALL DISTURBED AREAS ON PARCEL K (1 WEEK)
- REMOVE REMAINING SEDIMENT CONTROL DEVICES ON PARCEL K WITH PRIOR APPROVAL OF SEDIMENT CONTROL INSPECTOR (2 DAYS)



DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and/or construction on Parcel K will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

[Signature] V.P.
Signature of Developer/Builder Date 8.9.07

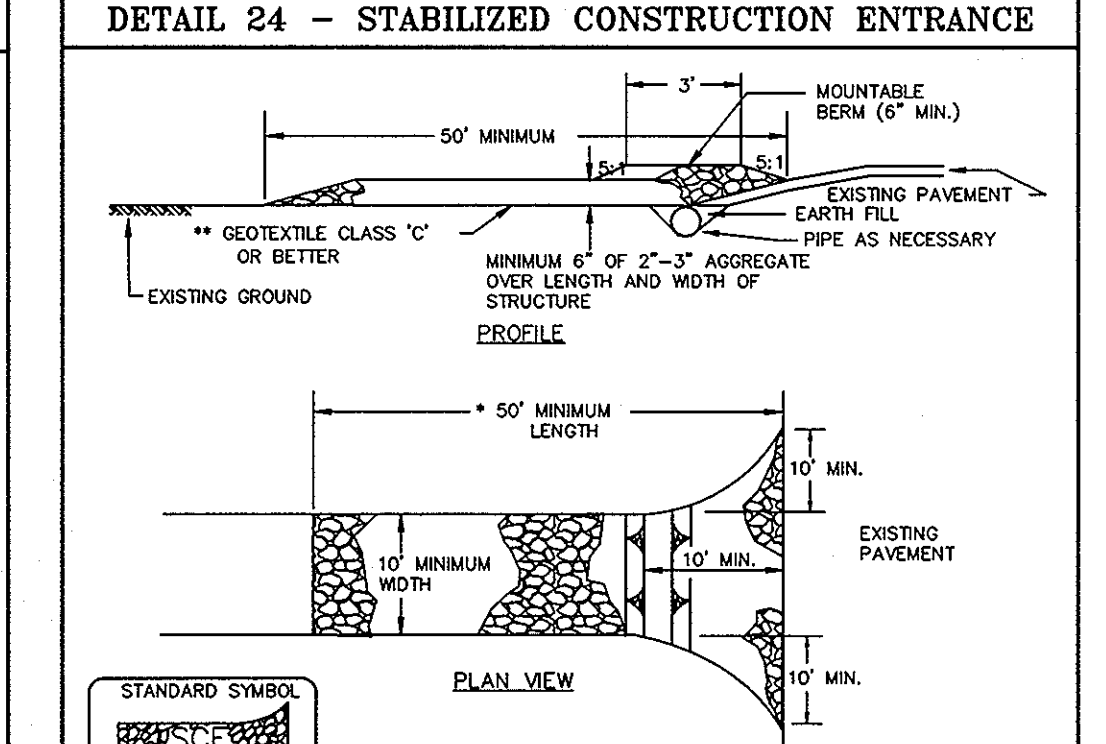
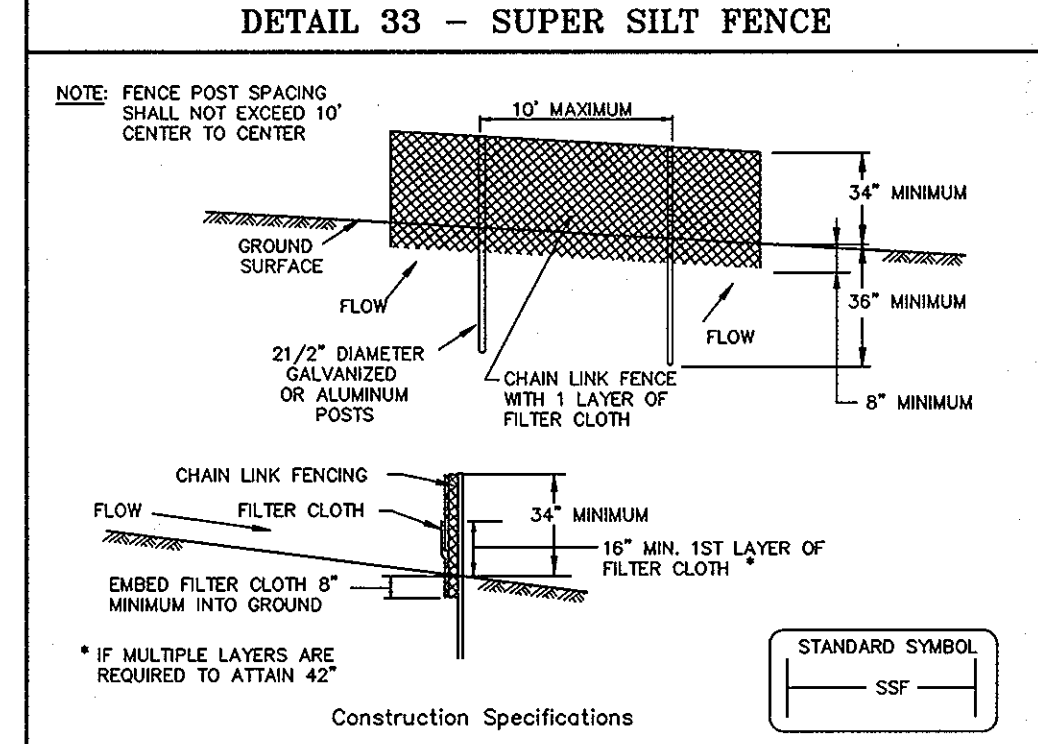
ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 8.10.07
Date

SEQUENCE OF CONSTRUCTION (PARCEL J)

- APPLY FOR GRADING PERMIT.
- OBTAIN GRADING PERMIT AT PRE-CONSTRUCTION MEETING (1 DAY)
- INSTALL SEDIMENT CONTROL DEVICES (PARCEL J) (2 DAYS)
 - STABILIZED CONSTRUCTION ENTRANCE
 - SUPER SILT FENCE
 - INLET PROTECTION DEVICES
- REMOVE EXISTING CURB 4 GUTTER AND PAVEMENT WITHIN THE LIMITS OF DISTURBANCE (PARCEL J) (2 WEEKS)
- RE-LOCATE EXISTING PARKING LOT LIGHTS (PARCEL J) (1 WEEK)
- BLACK-OUT EXISTING STRIPING (PARCEL J) (1 DAY)
- REMOVE EXISTING INLETS AND INSTALL STORM DRAIN (PARCEL J) (2 WEEKS)
- INSTALL CURB 4 GUTTER AND BASE COURSE PAVING (PARCEL J) (2 WEEKS)
- INSTALL LANDSCAPING (PARCEL J) (3 DAYS)
- INSTALL SURFACE COURSE PAVING, STRIPE PARKING LOT (PARCEL J) (2 WEEKS)
- PERMANENTLY STABILIZE ALL DISTURBED AREAS (PARCEL J) (1 WEEK)
- REMOVE REMAINING SEDIMENT CONTROL DEVICES WITH PRIOR APPROVAL OF SEDIMENT CONTROL INSPECTOR (PARCEL J) (2 DAYS)



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

[Signature] Date 8.10.07

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and/or construction on Parcel J will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

[Signature] 8.9.07
Signature of Developer/Builder Date

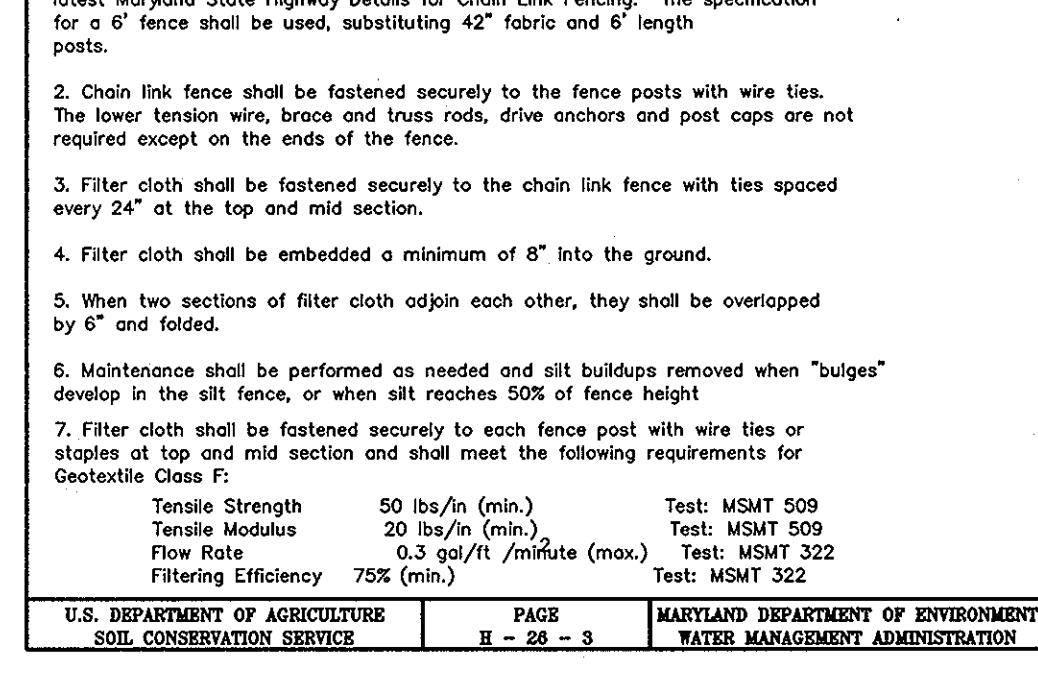
ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 8.10.07
Date

SEQUENCE OF CONSTRUCTION (PARCEL J)

- APPLY FOR GRADING PERMIT.
- OBTAIN GRADING PERMIT AT PRE-CONSTRUCTION MEETING (1 DAY)
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 - INLET PROTECTION DEVICES
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- PERMANENTLY STABILIZE ALL DISTURBED AREAS (PARCEL J) (1 WEEK)
- REMOVE REMAINING SEDIMENT CONTROL DEVICES ON PARCEL K WITH PRIOR APPROVAL OF SEDIMENT CONTROL INSPECTOR (2 DAYS)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] Date 8/21/07
Director

[Signature] Date 8/21/07
Chief, Division of Land Development

[Signature] Date 8/23/07
Chief, Development Engineering Division

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and/or construction on Parcel J will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

[Signature] 8.9.07
Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 8.10.07
Date

Professional Certification

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285

Expiration Date: 03/17/2009

[Signature] 8.10.07
Date

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

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DATE	REVISION	BY	APPR.
08-10-07	SPLIT SEQUENCE OF CONSTRUCTION AND CERT'S INTO TWO PARCELS		
7-31-07	RELEASED FOR CONSTRUCTION	JW	
7-31-07	REVISION SET NO. 1		
7-12-07	RELEASED FOR CONSTRUCTION	JW	
6-22-07	PRICING SET PARCEL J	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	
	REVISION		

PREPARED FOR:

PARCEL 'J'	PARCEL 'K'
OWNER: WAREX-JESSUP, INC. AND JESSUPS ASSOC., LTD. P/TNP C/O STOP-N-SHOP 1365 HANCOCK STREET QUINCY, MA 01869 JOHN HERNON	OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC. 3065 PROSPERITY AVE. FAIRFAX, VA 22301 DOUG VERNER

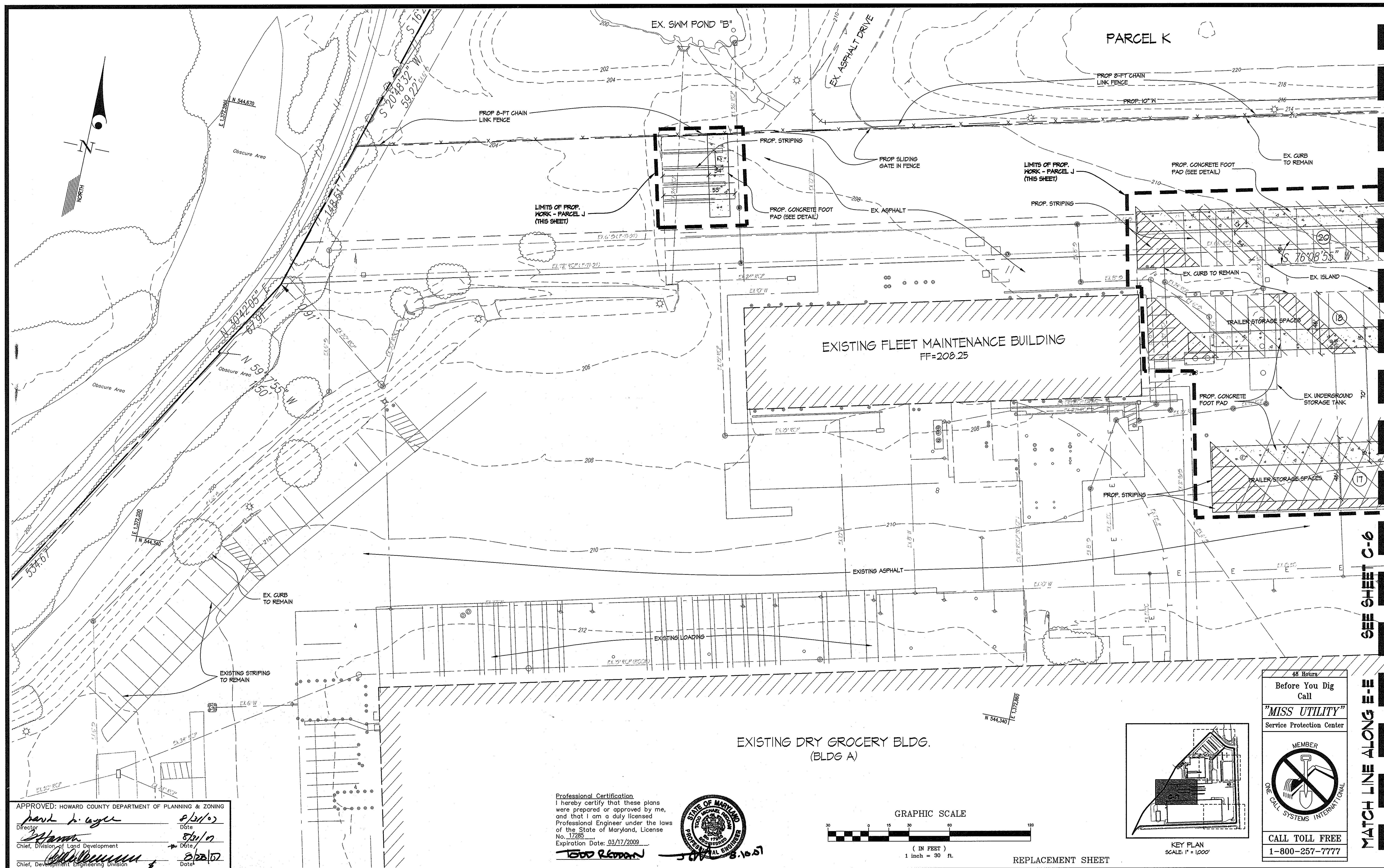
REPLACEMENT SHEET

REVISION SEDIMENT CONTROL DETAILS FOR TRACTOR & TRAILER PARKING PLAN

JESSUP DISTRIBUTION CENTER
MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
PARCELS J & K
PLAT No. 1943 Itr 1946
REPLACEMENT SHEET

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 15 17 OF 23

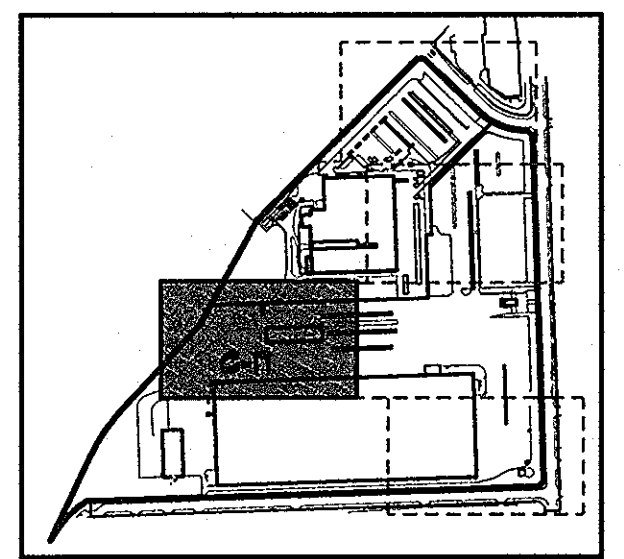
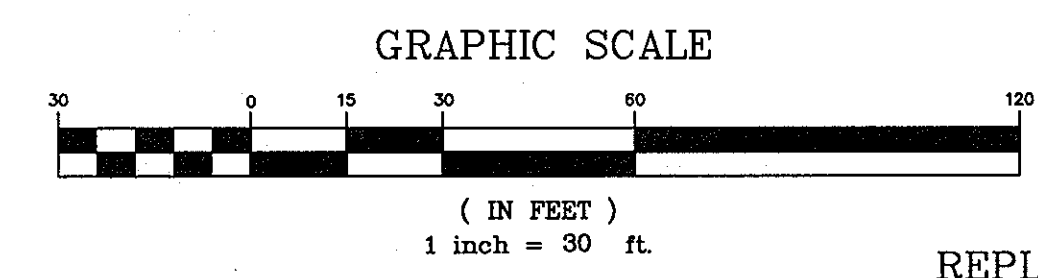
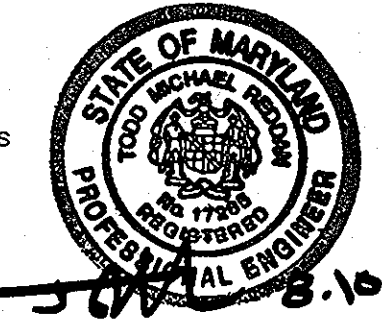
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
David H. Ayler 8/21/07
 Director Date
Shanna 8/21/07
 Chief, Division of Land Development Date
Bob Williams 8/22/07
 Chief, Development Engineering Division Date

Professional Certification
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
 Expiration Date: 03/17/2009
Bob Rodan 8.16.07



48 Hours
 Before You Dig
 Call
"MISS UTILITY"
 Service Protection Center

MEMBER
 ONE CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE
 1-800-257-7777

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866

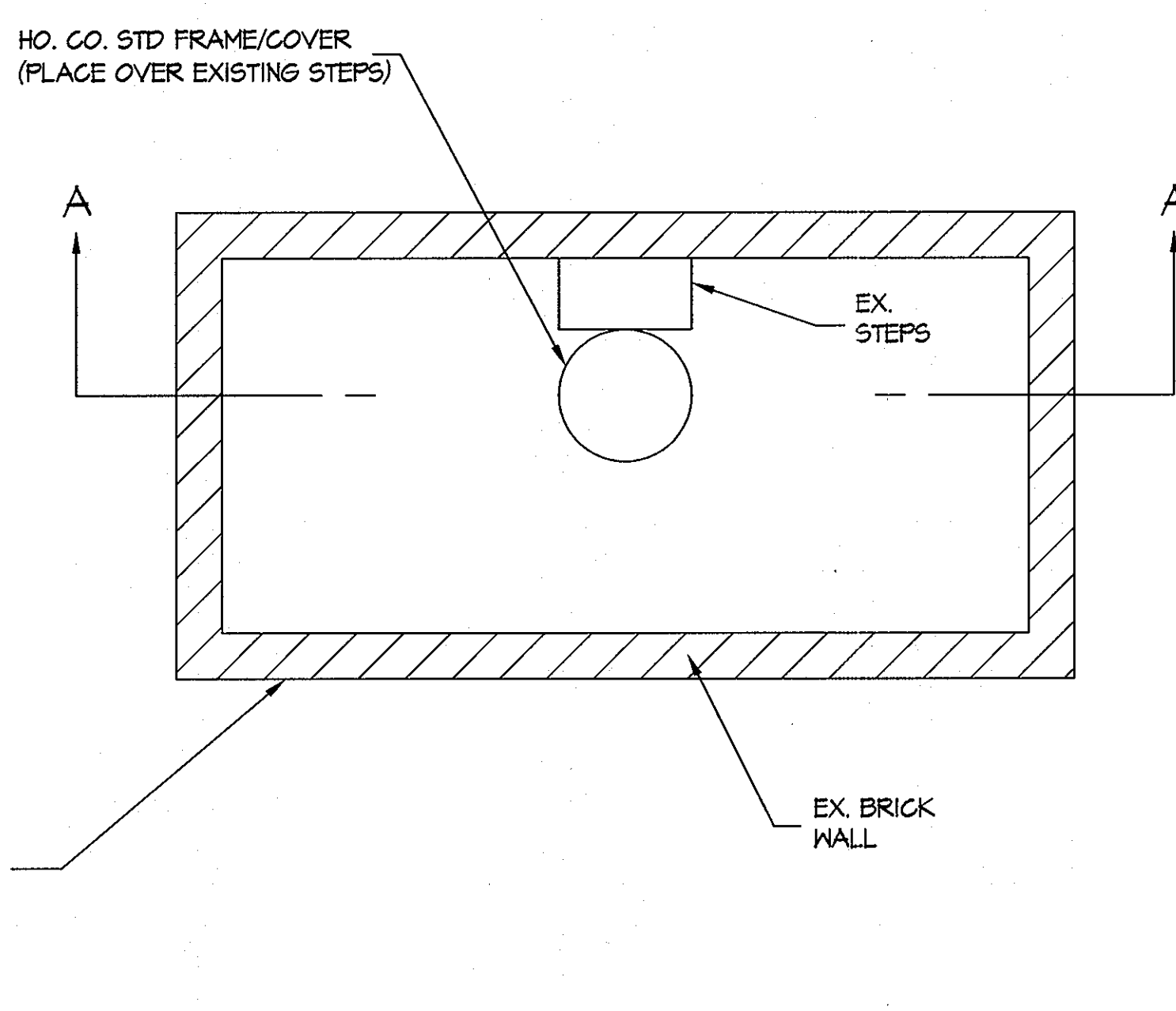
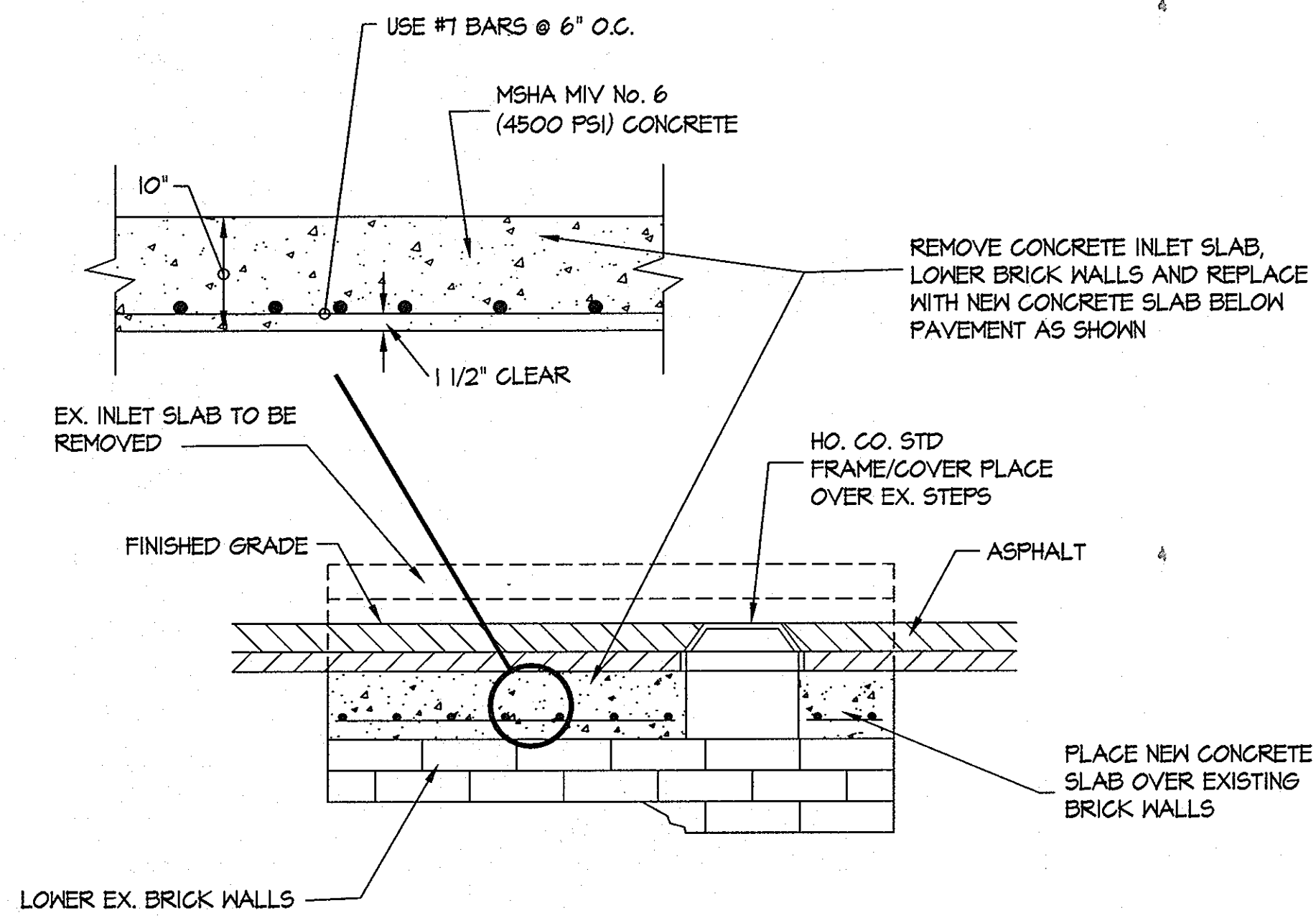
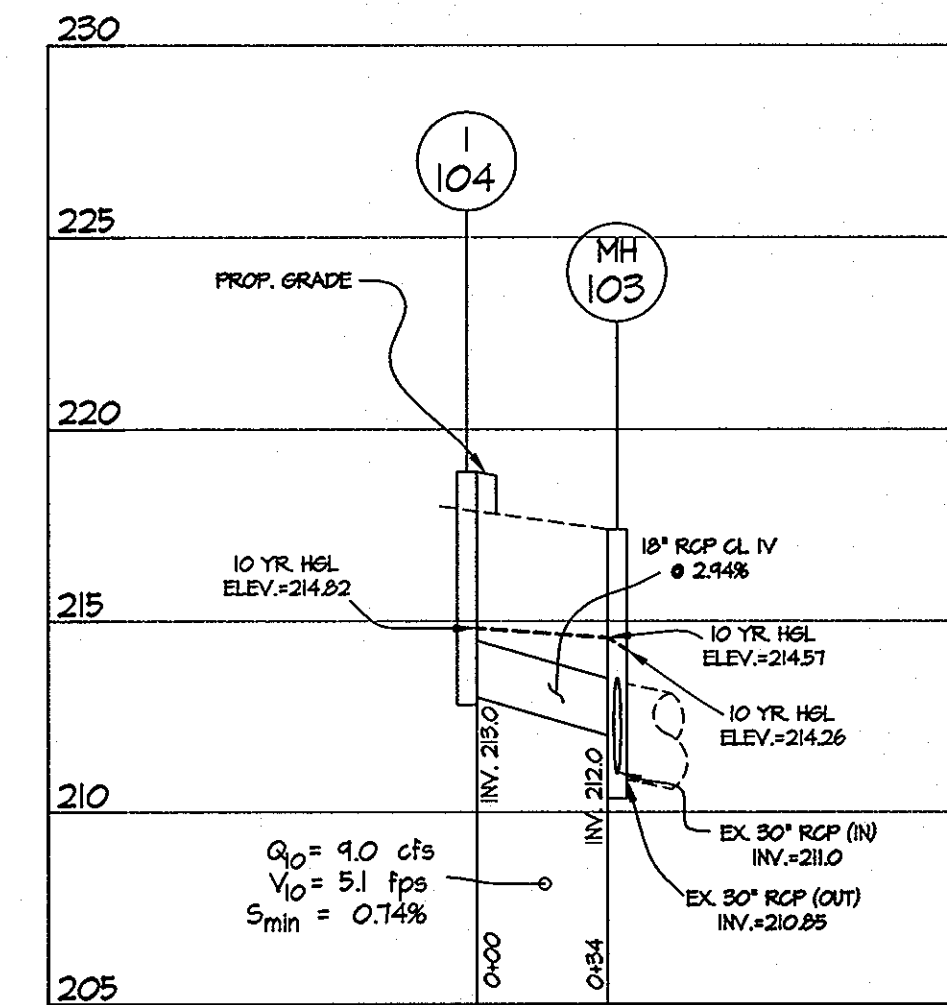
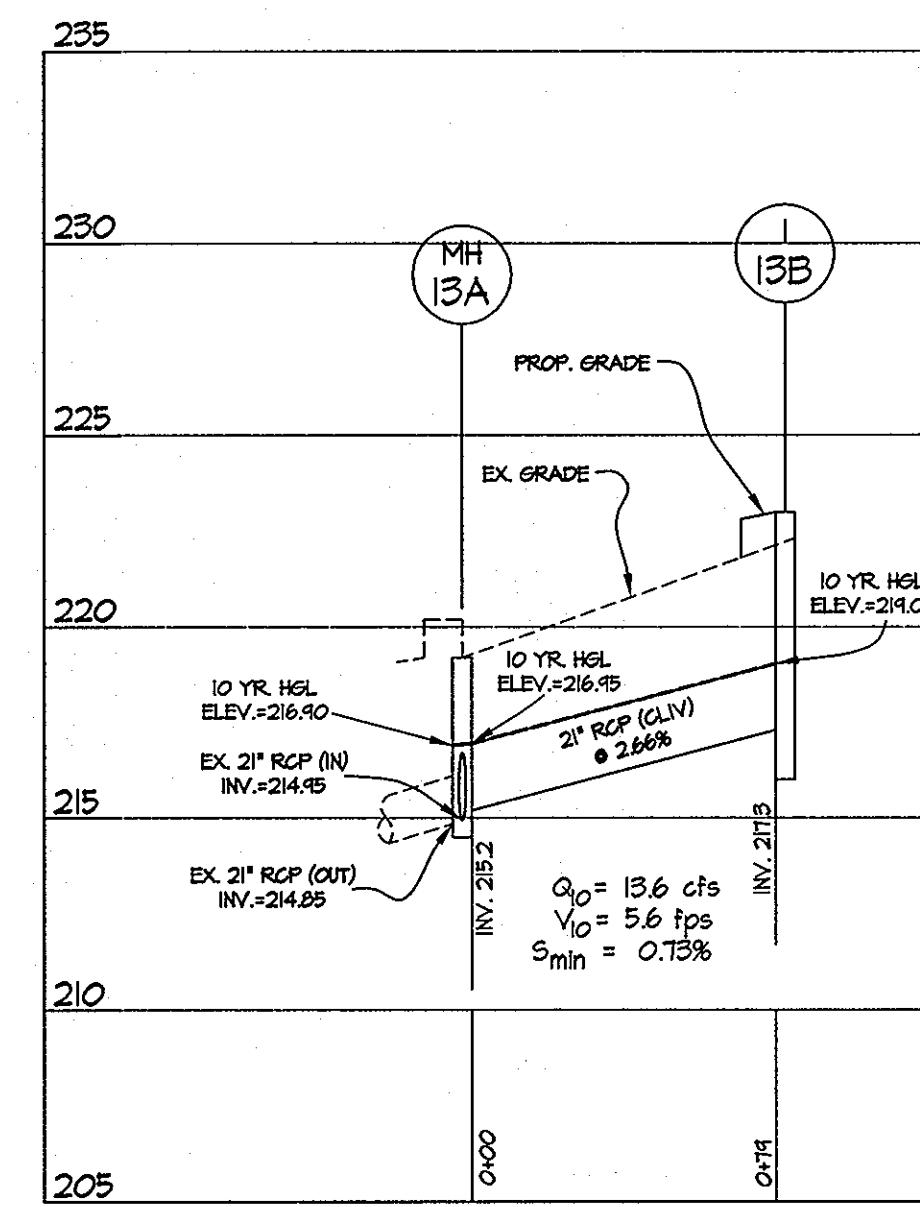
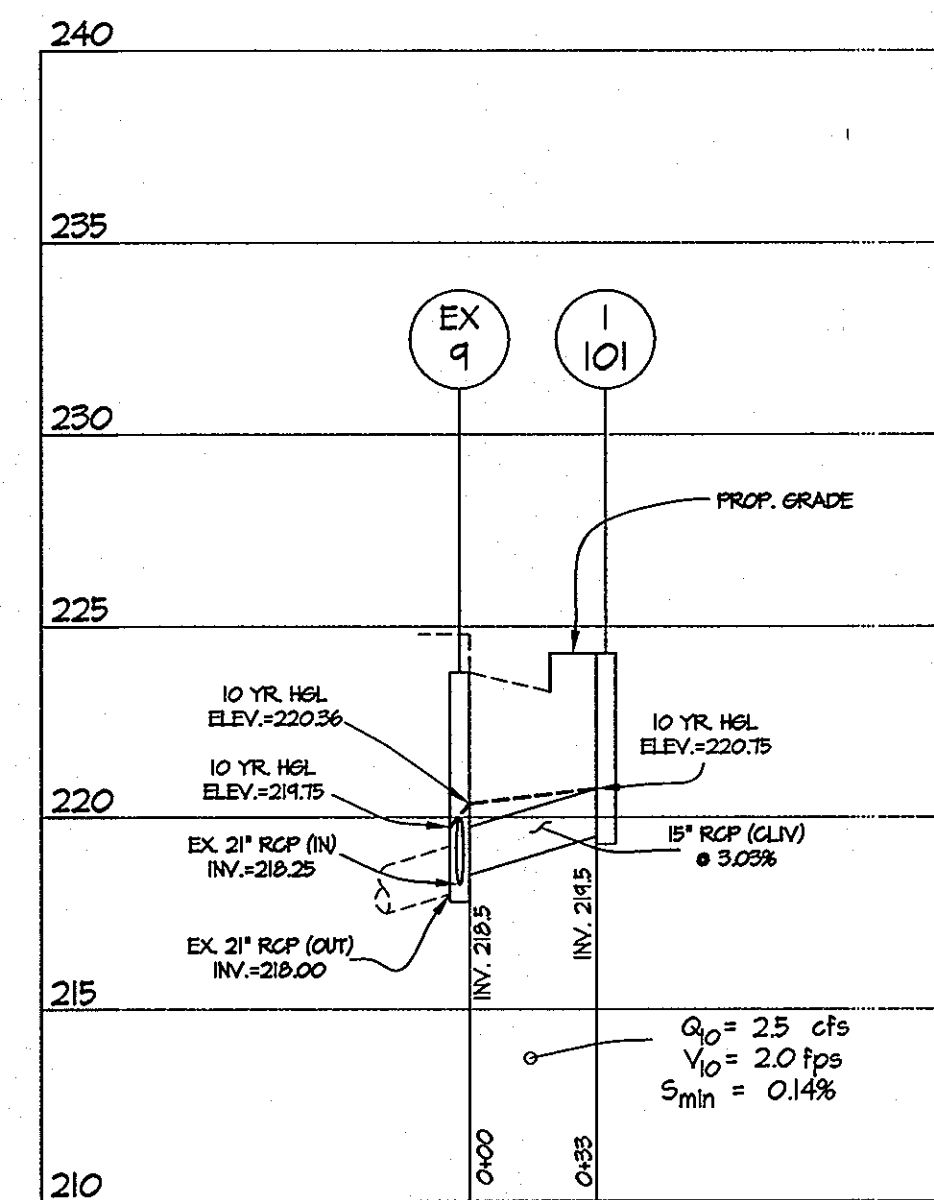
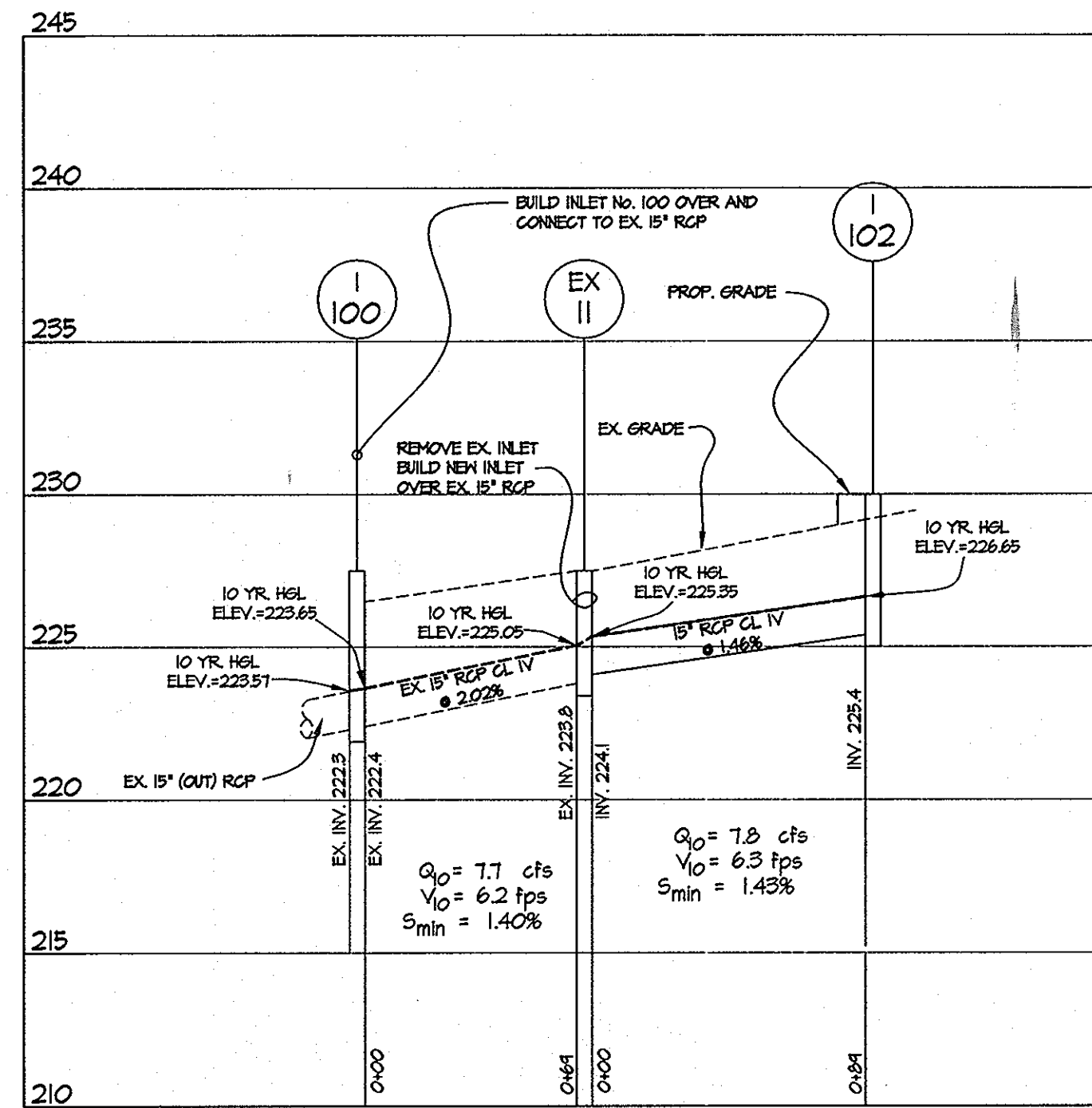
DATE	REVISION	BY	APPR.
8-10-07	REMOVED PORTION OF PREVIOUSLY PROPOSED RE-STRIPING AND ISLANDS		
6-22-07	PRICING SET FOR PARCEL J	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	

PREPARED FOR:
 PARCEL 'J' OWNER: WAREX-JESSUP, INC. AND JESSUP'S ASSOC., LTD. P/INP
 C/O STOP-N-SHOP 1385 HANCOCK STREET QUINCY, MA 02169 JOHN HERNON
 PARCEL 'K' OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC. 3055 PROSPERITY AVE. FAIRFAX, VA 22301 DOUG VERNER

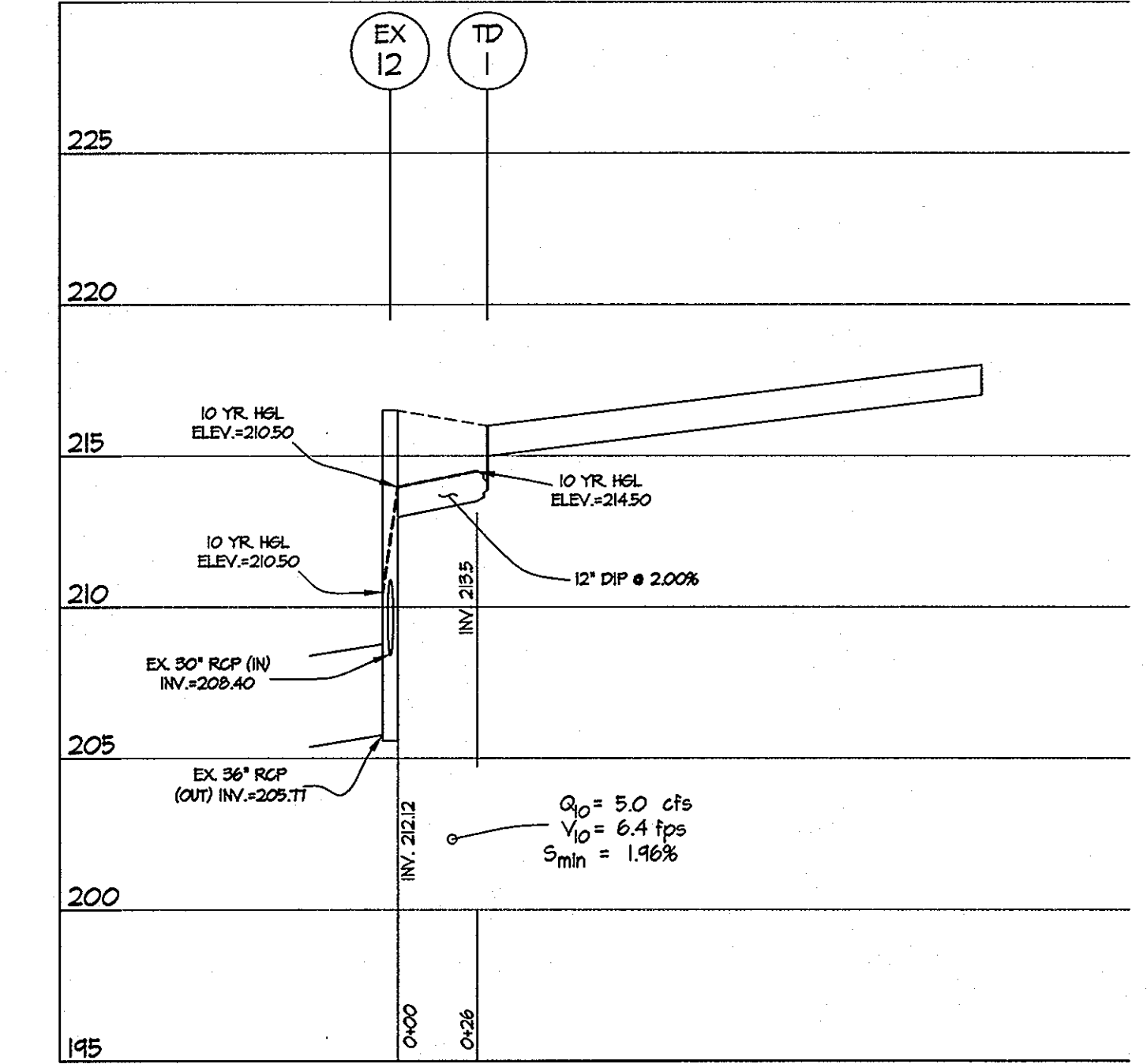
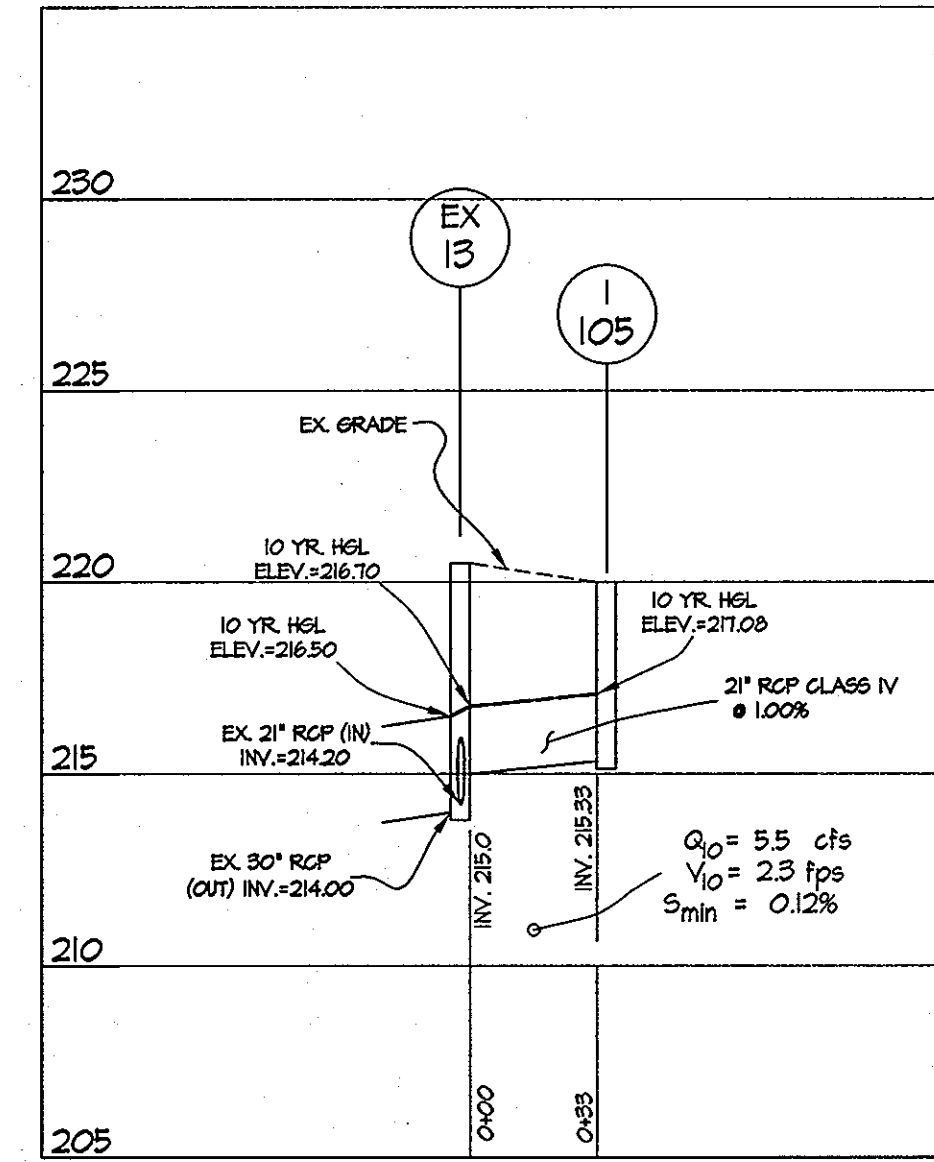
REVISOR: JESSUP DISTRIBUTION CENTER
 MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
 PARCELS I & K
 PLAT No. 19143 thru 19146
 REPLACEMENT SHEET
 GUILFORD ELECTION DISTRICT No. 6
 HOWARD COUNTY

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 17 19 OF 23

MATCH LINE ALONG E-E SEE SHEET C-6



DETAIL OF STORM DRAIN INLET CONVERSION N.T.S.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Frank H. ...* Date: 5/10/07
 Chief, Division of Land Development: *...* Date: 5/11/07
 Chief, Development Engineering Division: *...* Date: 5/16/07

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer: *...* Date: *...*
 Howard County Health Department



NO.	TYPE	WIDTH (INSIDE)		TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	NOTES
		UPPER	LOWER	UPPER	LOWER	UPPER	LOWER		
100	COG-15 INLET	48"	221.9	221.5	222.4	222.3	MD 374.62		DOGHOUSE BASE
101	COG-20 INLET	36" DIA	221.1	221.6	---	219.5	"		
102	COG-15 INLET	36" DIA	230.2	229.9	---	225.4	"		
103	SHALLOW MANHOLE	60" DIA	211.4	211.2	212.0	210.22	HO. CO. STD 5.13		
13A	SHALLOW MANHOLE	48" DIA	220.1	220.0	215.2	214.22	HO. CO. STD 5.12		
13B	COG-20 INLET	48" DIA	223.1	222.2	---	217.2	MD 374.62		DOGHOUSE BASE
104	COG-20 INLET	48" DIA	219.1	218.2	---	213.0	MD 374.62		
11	SHALLOW MANHOLE	48" DIA	227.6	227.5	---	223.0	HO. CO. STD 5.12		
105	COG-15 INLET	48" DIA	219.9	219.2	---	215.33	MD 374.62		
TD-1	TRENCH DRAIN	---	217.5 (EX)	216.0 (EX)	---	213.50			USE ACCO XHD-475 OR SIMILAR

SIZE	TYPE	LENGTH
15"	RCP CLIV	122 FT
18"	RCP CLIV	54 FT
21"	RCP CLIV	112 FT
12"	DUCTILE IRON PIPE (D.I.P.)	26 FT

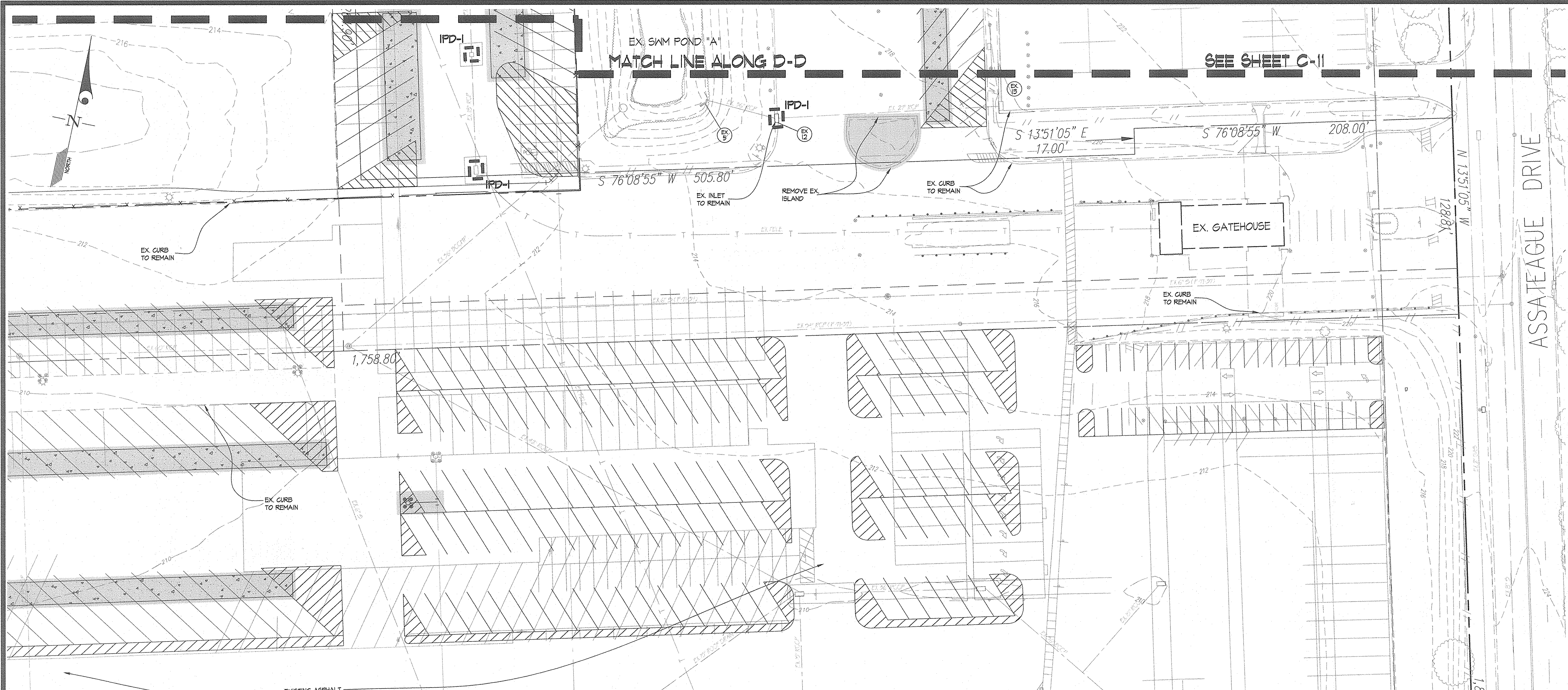
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4166

DATE	REVISION	BY	APP'R
4-23-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	
		JW	

PREPARED FOR:
 OWNER: WAREX-JESSUP, INC. AND JESSUP ASSOC., LTD. PTNP
 C/O STOP-N-SHOP
 1385 HANCOCK STREET
 QUINCY, MA 02169
 JOHN HERNON

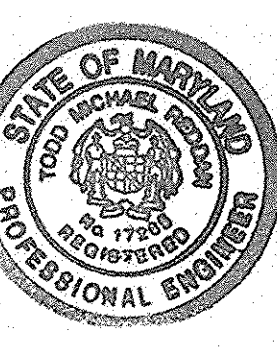
STORM DRAIN PROFILES
JESSUP DISTRIBUTION CENTER
 MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
 PARCELS J & K - Plat No. 10147-10140
 (Additional sheet)
 GULFORD ELECTION DISTRICT No. 6 HOWARD COUNTY

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-2	86-044
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	43	C - 18
		20 OF 23



ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Tom Reegan
 DATE: 8.10.07



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD
 DATE

DEVELOPER'S/BUILDER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO WILL PERFORM PERIODIC ON-SITE INSPECTION BY THE HSCD.

Jim Mullen
 DATE: 8.9.07

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim Mullen
 NATURAL RESOURCES CONSERVATION SERVICE DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

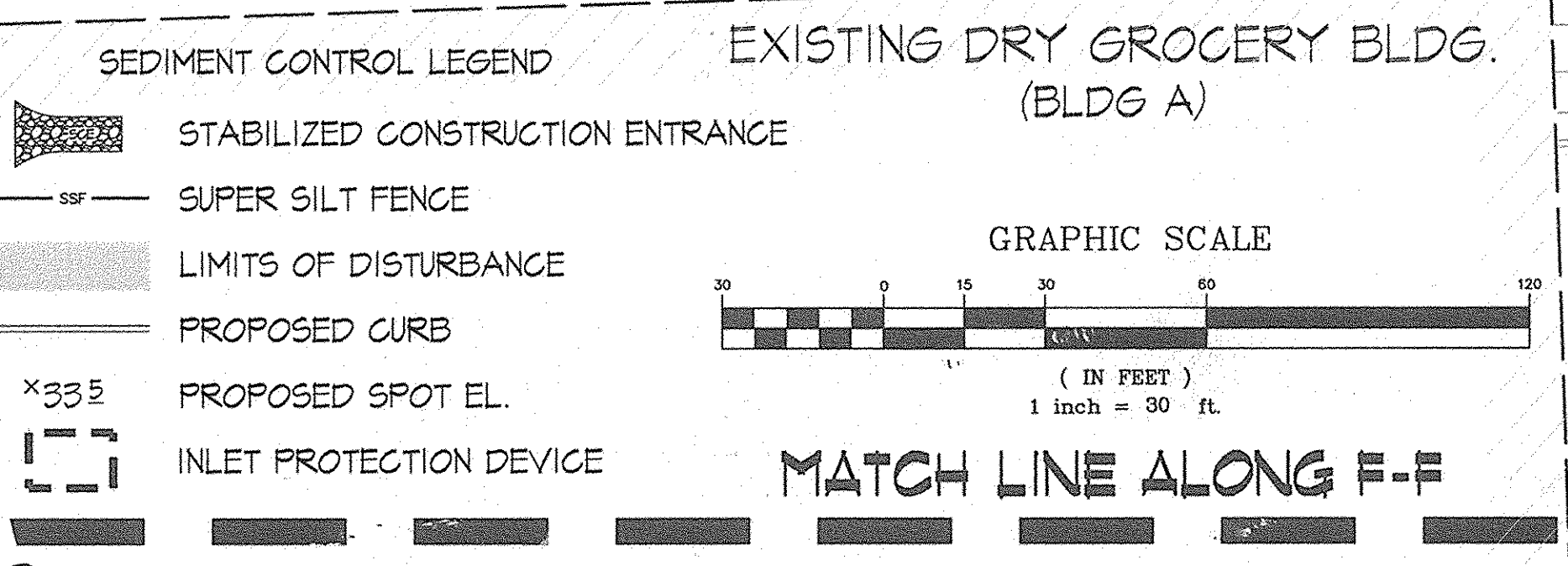
David Laugel
 Director DATE: 8/14/07

John J. Williams
 Chief, Division of Land Development DATE: 8/31/07

William J. Williams
 Chief, Development Engineering Division DATE: 8/20/07

Professional Certification
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
 Expiration Date: 03/17/2009

Tom Reegan
 DATE: 8.10.07



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866

L:\CADD\DRAWINGS\86044\Design\86044SCP3.dwg DES. TMR DRN. JW CHK.

DATE	REVISION	BY	APPR.
8-10-07	REMOVED PREV. PROP. STRIPING	JW	
6-22-07	PRICING SET FOR PARCEL J	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	

PREPARED FOR:

PARCEL 'J'
 OWNER: WAREX-JESSUP, INC. AND JESSUP'S ASSOC., LTD. P/INP
 C/O STOP-N-SHOP
 1385 HANCOCK STREET
 QUINCY, MA 02169
 JOHN HERNON

PARCEL 'K'
 OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC.
 3055 PROSPERITY AVE.
 FAIRFAX, VA 22301
 DOUG VERNER

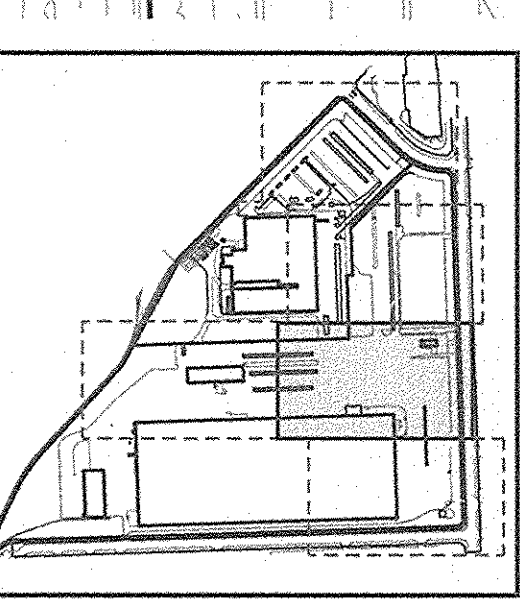
REVISED SEDIMENT CONTROL FOR TRACTOR AND TRAILER STORAGE

JESSUP DISTRIBUTION CENTER
 MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1

PARCELS J & K
 PLAT No. 19143 thru 19146
 REPLACEMENT SHEET

GUILFORD ELECTION DISTRICT No. 6

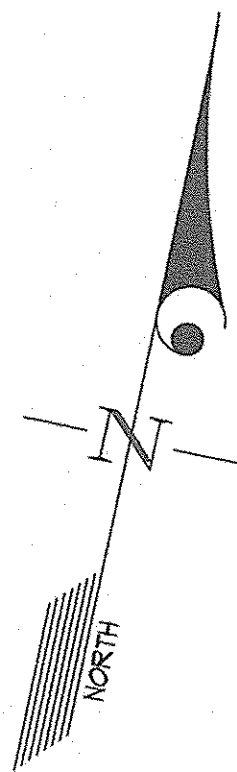
SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 19 21 OF 23



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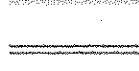
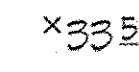

MATCH LINE ALONG F-F

SEE SHEET C-19



EXISTING DRY GROCERY BLDG.
(BLDG A)

SEDIMENT CONTROL LEGEND

-  STABILIZED CONSTRUCTION ENTRANCE
-  SUPER SILT FENCE
-  LIMITS OF DISTURBANCE
-  PROPOSED CURB
-  PROPOSED SPOT EL.
-  INLET PROTECTION DEVICE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim M... DATE *8/21/07*
NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John... DATE *8/21/07*
HOWARD S.C.D.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John... DATE *8.10.07*
JOHN...

DEVELOPER'S/BUILDER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO HEREBY CERTIFY PERIODIC ON-SITE INSPECTION BY THE HSCD.

John... DATE *8.10.07*
SIGNATURE OF DEVELOPER/BUILDER

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Paul... DATE *8/21/07*
Director

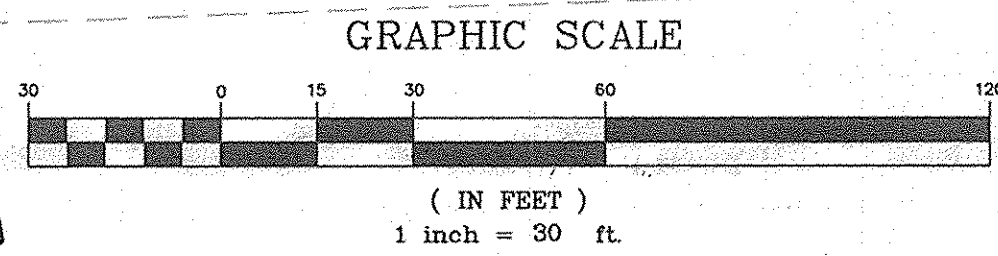
John... DATE *8/21/07*
Chief, Division of Land Development

John... DATE *8/23/07*
Chief, Development Engineering Division

Professional Certification

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285, Expiration Date: 03/17/2009.

John... DATE *8.10.07*
JOHN...



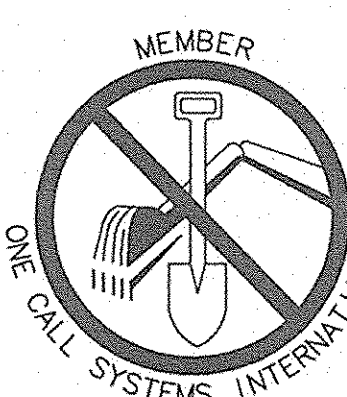
SUB. PARCEL 646
D.L.D. ASSOC. LTD. PARTNERSHIP
ZONE M-2

ASSATEAGUE DRIVE

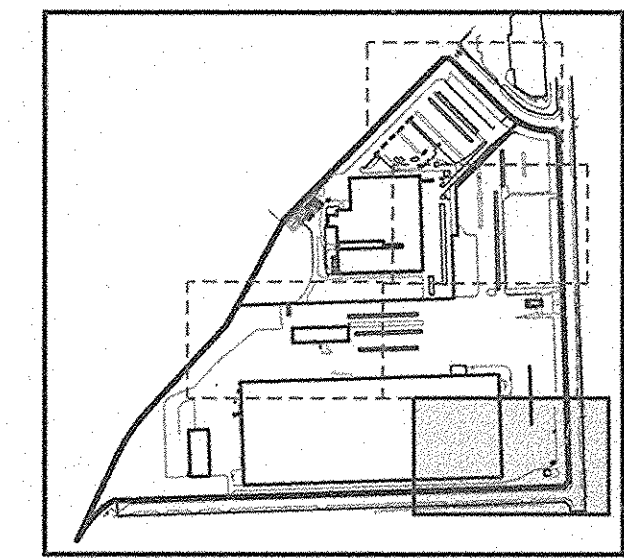
RAPPAHANNOCK AVENUE

SUB. PARCEL 621
MD. WAREHOUSE ASSOC.

48 Hours
Before You Dig
Call
"MISS UTILITY"
Service Protection Center



CALL TOLL FREE
1-800-257-7777



REPLACEMENT SHEET

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

L:\CADD\DRAWINGS\86044\Design\86044SCP4.dwg DES. TMR DRN. JW CHK.

DATE	REVISION	BY	APPR.
8-10-07	REMOVED PREV. PROP. STRIPING	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	

PREPARED FOR:

PARCEL 'J'	PARCEL 'K'
OWNER: WAREX-JESSUP, INC. AND JESSUP ASSOC., LTD. P/INP C/O STOP-N-SHOP 1385 HANCOCK STREET QUINCY, MA 02269 JOHN HERNON	OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC. 3055 PROSPERITY AVE. FAIRFAX, VA 22301 DOUG VERNER

REVISED SEDIMENT CONTROL FOR TRACTOR AND TRAILER STORAGE

JESSUP DISTRIBUTION CENTER
MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1

PARCELS J & K
PLAT No. 1943 thru 1946
REPLACEMENT SHEET

GUILFORD ELECTION DISTRICT No. 6 HOWARD COUNTY

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 20 22 OF 23

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transport all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as A.A.N. Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all shade trees shall be six feet (6'), maximum eight feet (8').

c. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" diameter
3.5" - 4"	14'-16'	8'-10'	36" diameter
4" - 4.5"	16'-18'	8'-10'	40" diameter
4.5" - 5"	16'-17'	10'-12'	44" diameter
5" - 5.5"	16'-20'	10'-12'	48" diameter
5.5" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "A.A.N. Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 8.9.07
NAME DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 8/6/07
Director Date
[Signature] 8/6/07
Chief, Division of Land Development Date
[Signature] 8/6/07
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

I. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Digging

All plant material shall be dug, balled and burlapped (B&B) in accordance with the "A.A.N. Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.

b. All pits shall be generally circular in outline, vertical sides, depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3.5" cal.	32"	64"	28"
3.5" - 4" cal.	36"	72"	32"
4" - 4.5" cal.	40"	80"	36"
4.5" - 5" cal.	44"	88"	40"
5" - 5.5" cal.	48"	96"	44"
5.5" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.

b. Wire and Cable: Wire shall be #10 ga. galvanized or bethanized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub plantings, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in this planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4' long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victa, or Escort.

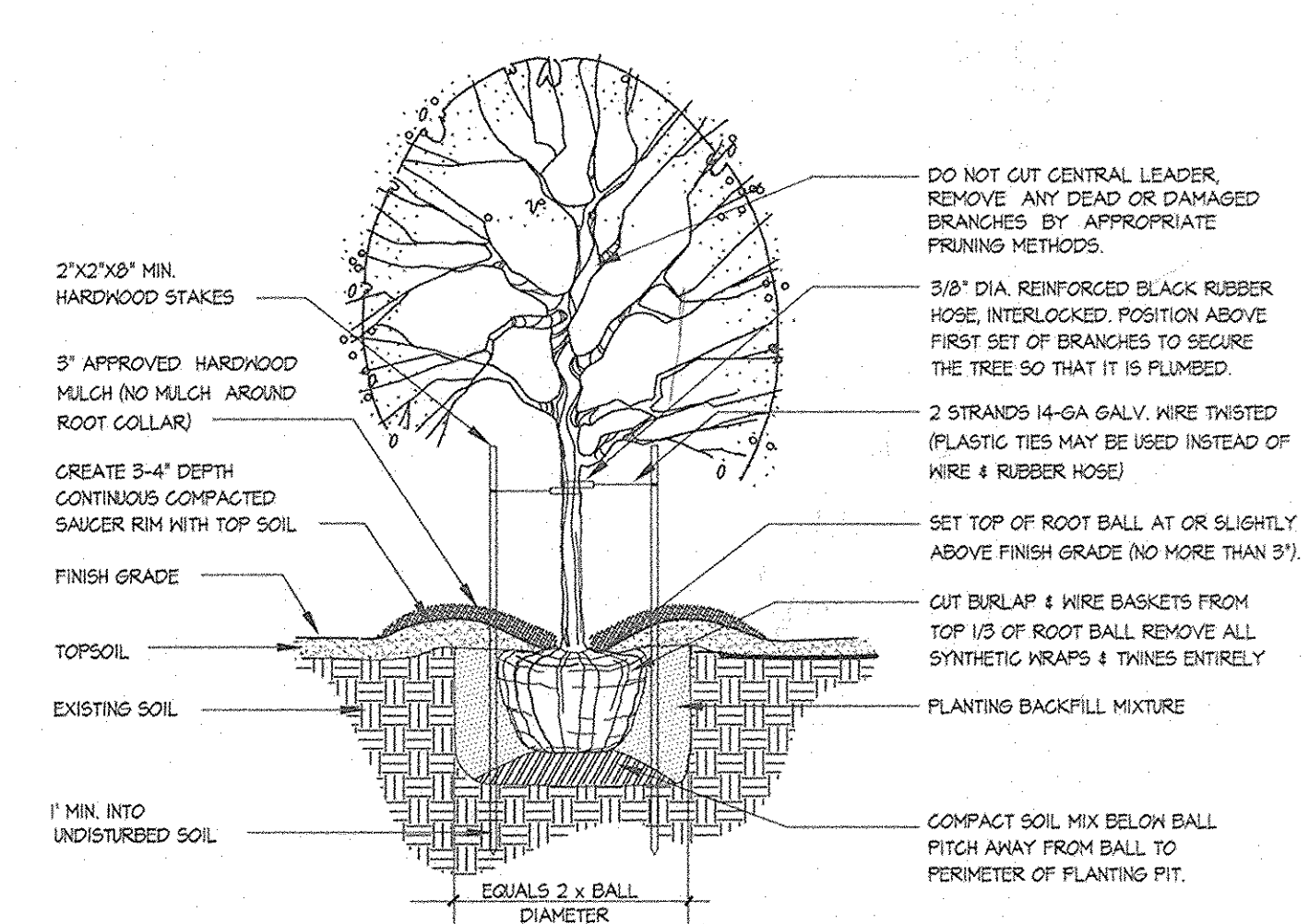
PARCEL J: SCHEDULE-A: PERIMETER LANDSCAPE EDGE				
PERIMETER No.	1	2	3	4
USE SITUATION	INTERNAL PERIMETER	PARKING ADJ. TO ROADWAY	LOADING ADJ. TO ROADWAY	LOADING ADJ. TO ROADWAY
LANDSCAPE TYPE	A	E	E	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	570 L.F.	122 L.F.	610 L.F.	181 L.F.
CREDIT FOR EXISTING VEGETATION	YES 100%	NO	YES	NO
CREDIT FOR WALL, FENCE OR BERM	NO	BERM	BERM	BERM
NUMBER OF PLANTS REQUIRED				
SHADE TREES	0	3	16	5
EVERGREEN TREES	0	0	0	0
SHRUBS	0	0	0	0
NUMBER OF PLANTS PROVIDED				
SHADE TREES	0	3	11	5
EVERGREEN TREES	0	0	2 EX.	0
OTHER TREES (# 2:1 substitution)	0	0	6 EX.	0
SHRUBS (10:1 substitution)	0	0	0	0

* 16 OTHER TREES PROVIDED AT A 2:1 SUBSTITUTION = 9 SHADE TREES

Schedule 'A' Number of required SHADE TREES for bonding: 19 x \$300 = \$5,700.00
Schedule 'A' Number of required EVERGREEN TREES for bonding: 0 x \$150 = \$0
Schedule 'A' Number of required SHRUBS for bonding: 0 x \$30 = \$0
Schedule 'A' total estimate for SURETY = \$5,700.00

LANDSCAPING NOTES

- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
- Contractor shall notify all utilities at least (5) five days before starting work. All General Notes, especially those regarding utilities, on Sheet 1 shall apply.
- Field verify underground utility locations and existing conditions before starting planting work. Contact engineer / landscape architect if any relocations are required.
- Plant quantities shown on Plant List are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All plant material shall be full, heavy, well formed, and symmetrical, and conform to the A.A.N. Specifications, and be installed in accordance with project specifications.
- No substitution shall be made without written consent of the owner or his representative.
- All areas disturbed by construction activities but not otherwise planted, paved, or mulched shall be seeded or sodded in accordance with the project specifications.
- The contractor shall notify the owner in writing if he/she encounters soil drainage conditions which may be detrimental to the growth of the plants.
- All exposed earth within limits of planting beds shall be mulched with shredded hardwood mulch per Planting Details.
- Financial surety for the required landscaping per schedule A and B will be posted as a part of the grading permit in the amount of \$6,300.00 for Parcel J and \$3,000 for Parcel K.
- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.



NOTE: ALL SUPPORTING DEVICES (STAKES, WIRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

DECIDUOUS TREE PLANTING DETAIL FOR PLANTING MATERIAL UP TO 5 1/2" CALIPER

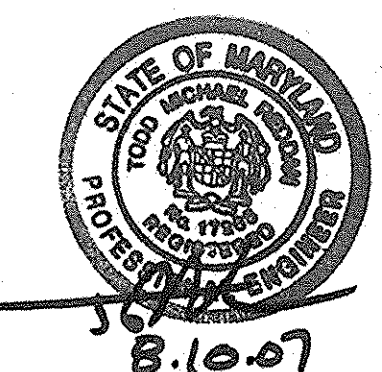
PLANT LIST PARCEL J		
SYM.	QTY.	NAMES (BOTANICAL / SCIENTIFIC) SIZE/COMMENTS
SHADE TREES		
AR	2	Acer rubrum 'October Glory' / October Glory Red Maple 2 1/2"-3" Cal. B&B 12' - 14' height 6' min. branching ht.
QP	19	Quercus phellos / Willow Oak 2 1/2"-3" Cal. B&B 12' - 14' height 6' min. branching ht.

PARCEL J SCHEDULE-B: PARKING LOT INTERNAL LANDSCAPING	
# OF PARKING SPACES PARKING LOT 'B'	40 TOTAL SPACES
NUMBER OF SHADE TREES REQUIRED (1 PER 20 SPACES)	2
NUMBER OF TREES PROVIDED	
SHADE TREES	2
OTHER TREES (2:1 SUBSTITUTION)	0
NUMBER OF LANDSCAPED ISLANDS REQUIRED:	2 @ 1 PER 20 SPACES
NUMBER OF LANDSCAPED ISLANDS PROVIDED:	2 @ 200 SF MIN/ISLAND
Schedule 'B' Number of required Shade Trees for bonding:	2 x \$300 = \$6,00.00

PLANT LIST PARCEL K		
SYM.	QTY.	NAMES (BOTANICAL / SCIENTIFIC) SIZE/COMMENTS
SHADE TREES		
AR	10	Acer rubrum 'October Glory' / October Glory Red Maple 2 1/2"-3" Cal. B&B 12' - 14' height 6' min. branching ht.

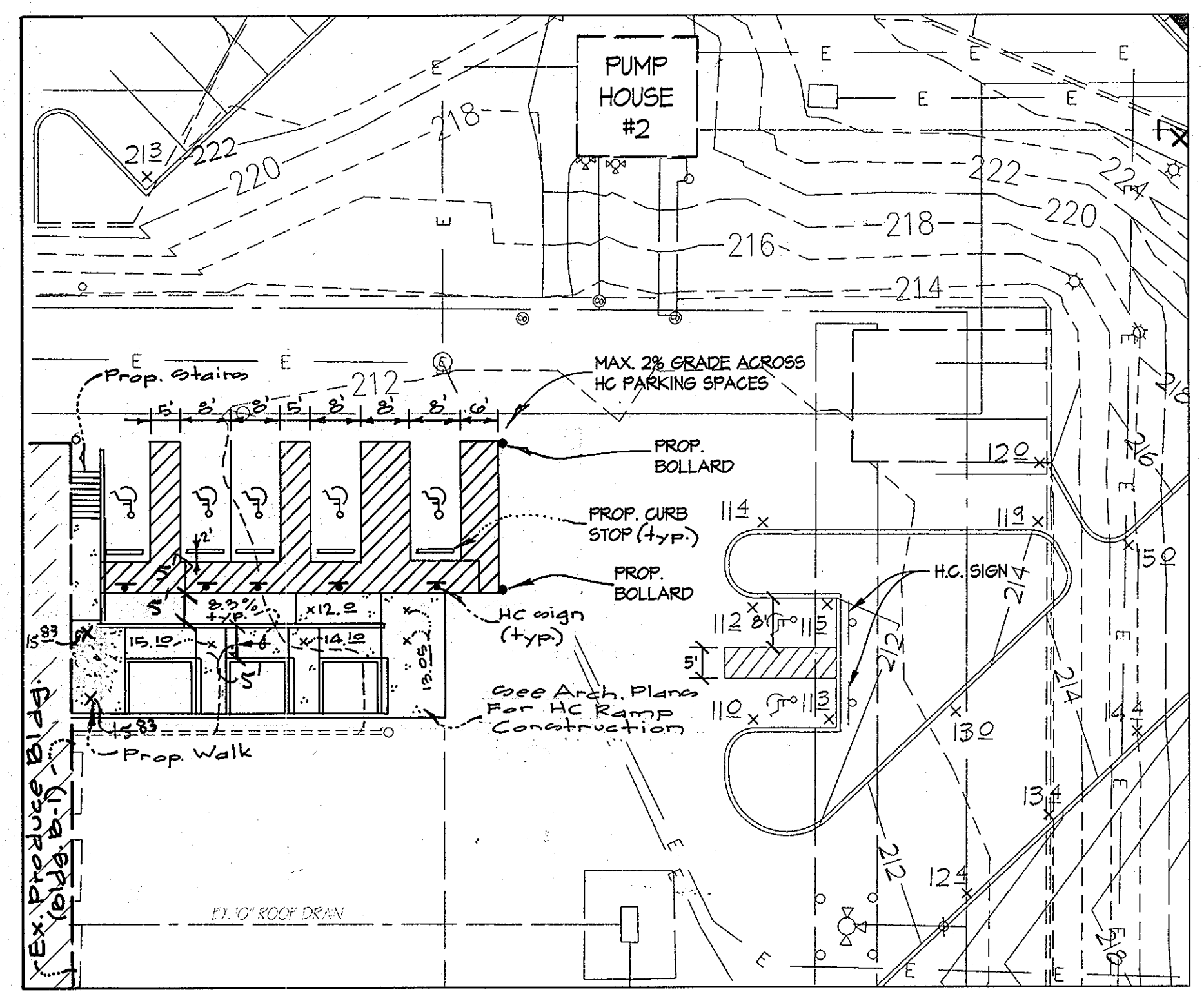
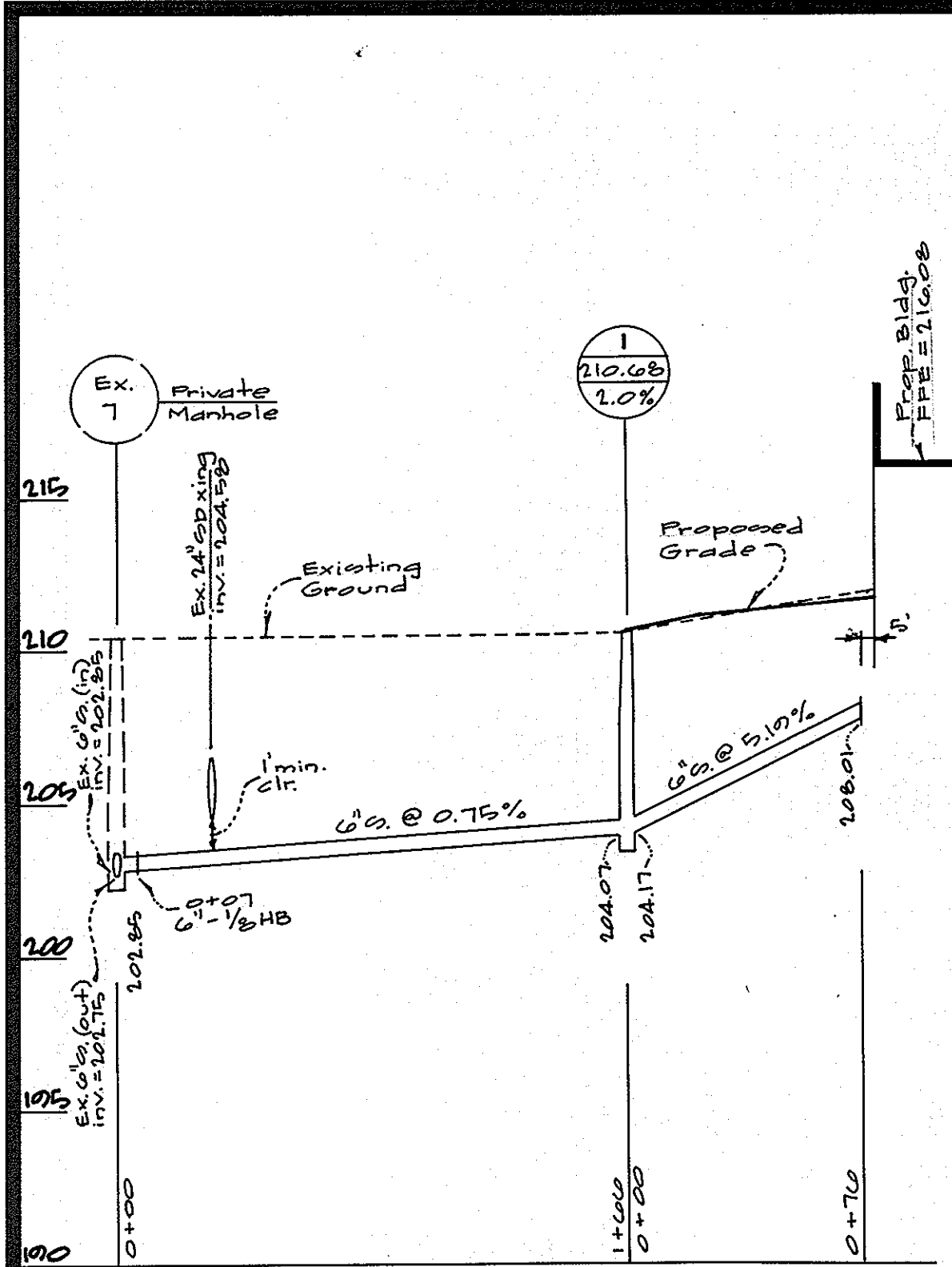
PARCEL K SCHEDULE-B: PARKING LOT INTERNAL LANDSCAPING	
# OF PARKING SPACES PARKING LOT 'A'	143 TOTAL SPACES
NUMBER OF SHADE TREES REQUIRED (1 PER 20 SPACES)	10
NUMBER OF TREES PROVIDED	
SHADE TREES	10
OTHER TREES (2:1 SUBSTITUTION)	0
NUMBER OF LANDSCAPED ISLANDS REQUIRED:	10 @ 1 PER 20 SPACES
NUMBER OF LANDSCAPED ISLANDS PROVIDED:	20 @ 200 SF MIN/ISLAND
Schedule 'B' Number of required Shade Trees for bonding:	10 x \$300 = \$3,000.00

Professional Certification
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
Expiration Date: 03/17/2009
[Signature] 8.10.07

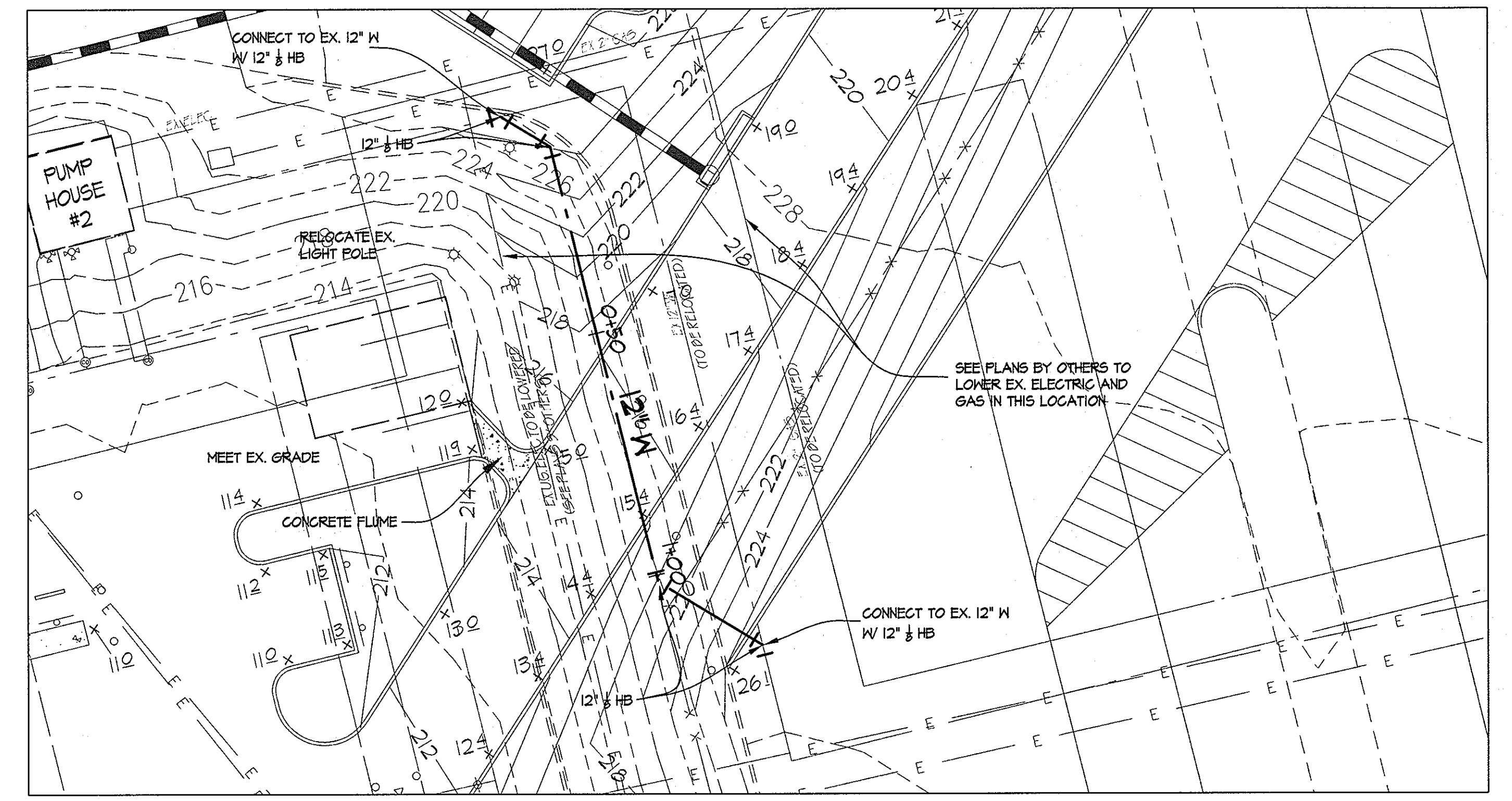


REPLACEMENT SHEET
THIS PLAN FOR LANDSCAPE PURPOSES ONLY

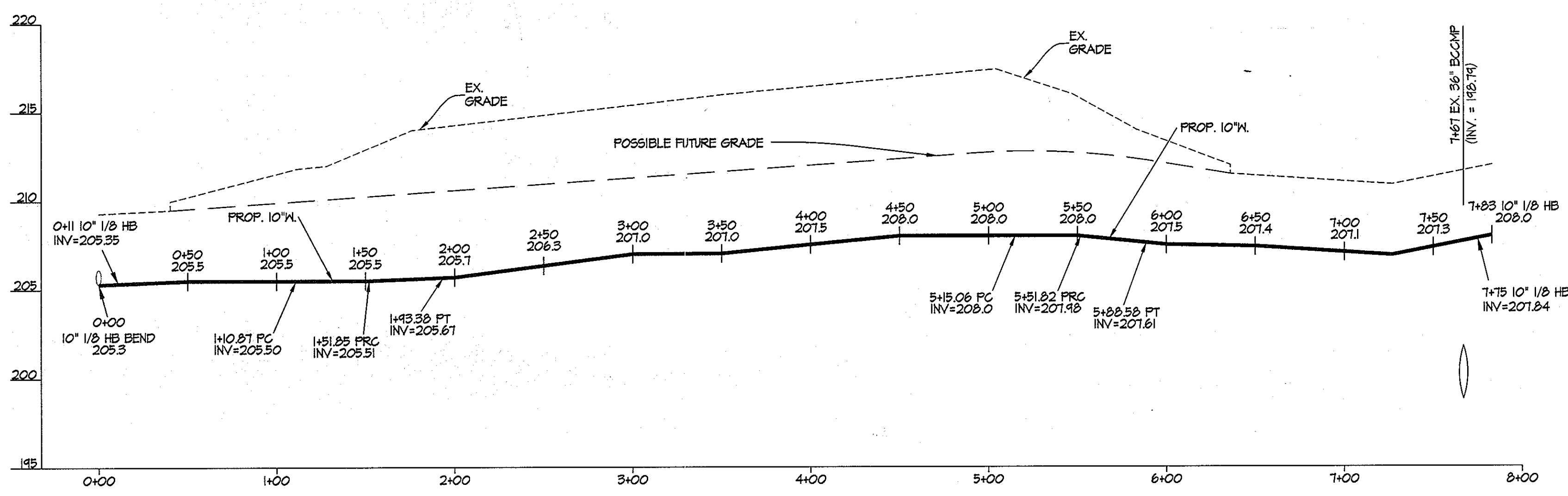
<p>GLWGUTSCHICK LITTLE & WEBER, P.A.</p> <p>CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866</p>	<p>08-10-07 REVISED LANDSCAPE SCHEDULE AND SPLIT SCHEDULE/SURETY BY PARCEL</p>			<p>PREPARED FOR:</p> <p>PARCEL 'J' OWNER: WAREX-JESSUP, INC. AND JESSUP'S ASSOC., LTD. P/T/P C/O STOP -N- SHOP 1365 HANCOCK STREET QUINCY, MA 02169 JOHN HERNON</p>	<p>PARCEL 'K' OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC. 3065 PROSPERITY AVE. FAIRFAX, VA 22301 DOUG VERNER</p>	<p>LANDSCAPE DETAIL SHEET</p> <p>JESSUP DISTRIBUTION CENTER MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1</p> <p>PARCELS J & K PLAT No. 19143 thru 19146 REPLACEMENT SHEET</p>	<p>SCALE AS SHOWN</p> <p>ZONING M-2</p> <p>G. L. W. FILE No. 86-044</p>
	<p>07-31-07 RELEASED FOR CONSTRUCTION</p> <p>07-12-07 RELEASED FOR CONSTRUCTION</p> <p>6-22-07 PRICING SET PARCEL J</p> <p>6-21-07 PRICING SET PARCEL K (SUPPLEMENTAL)</p> <p>4-11-07 PRICING SET</p> <p>4-2-07 REVISED TRACTOR TRAILER AND AUTOMOBILE STRIPING AND REVISED DRIEWAY ENTRANCES</p>	<p>DATE</p> <p>REVISION</p>	<p>BY</p> <p>APPR.</p>	<p>GULFORD ELECTION DISTRICT No. 6</p>	<p>DATE MAY, 2007</p> <p>TAX MAP - GRID 43</p> <p>SHEET C - 21 23 OF 23</p>		



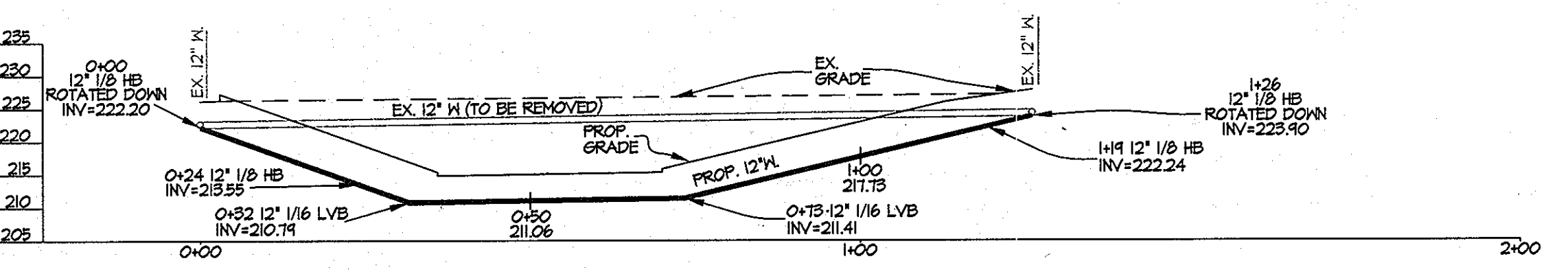
HANDICAP ACCESSIBILITY PLAN
SCALE: 1" = 20'



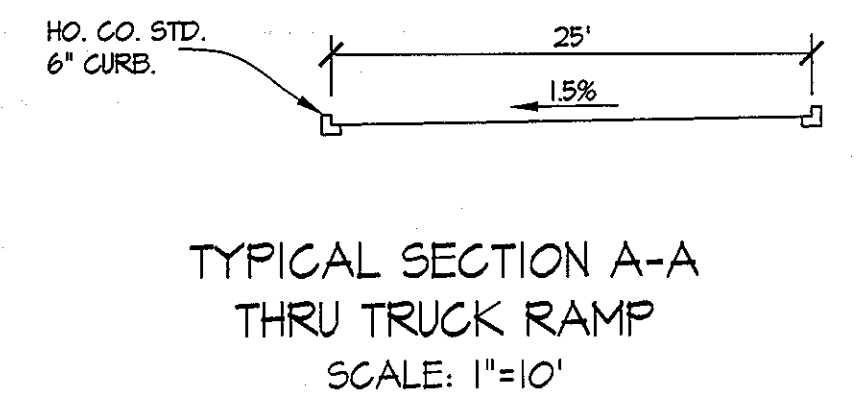
WATER RELOCATION PLAN (WATER LINE B)
SCALE: 1" = 20'



PROFILE OF WATER LINE A (PRIVATE)
HORIZ.: 1" = 50'
VERT.: 1" = 5'

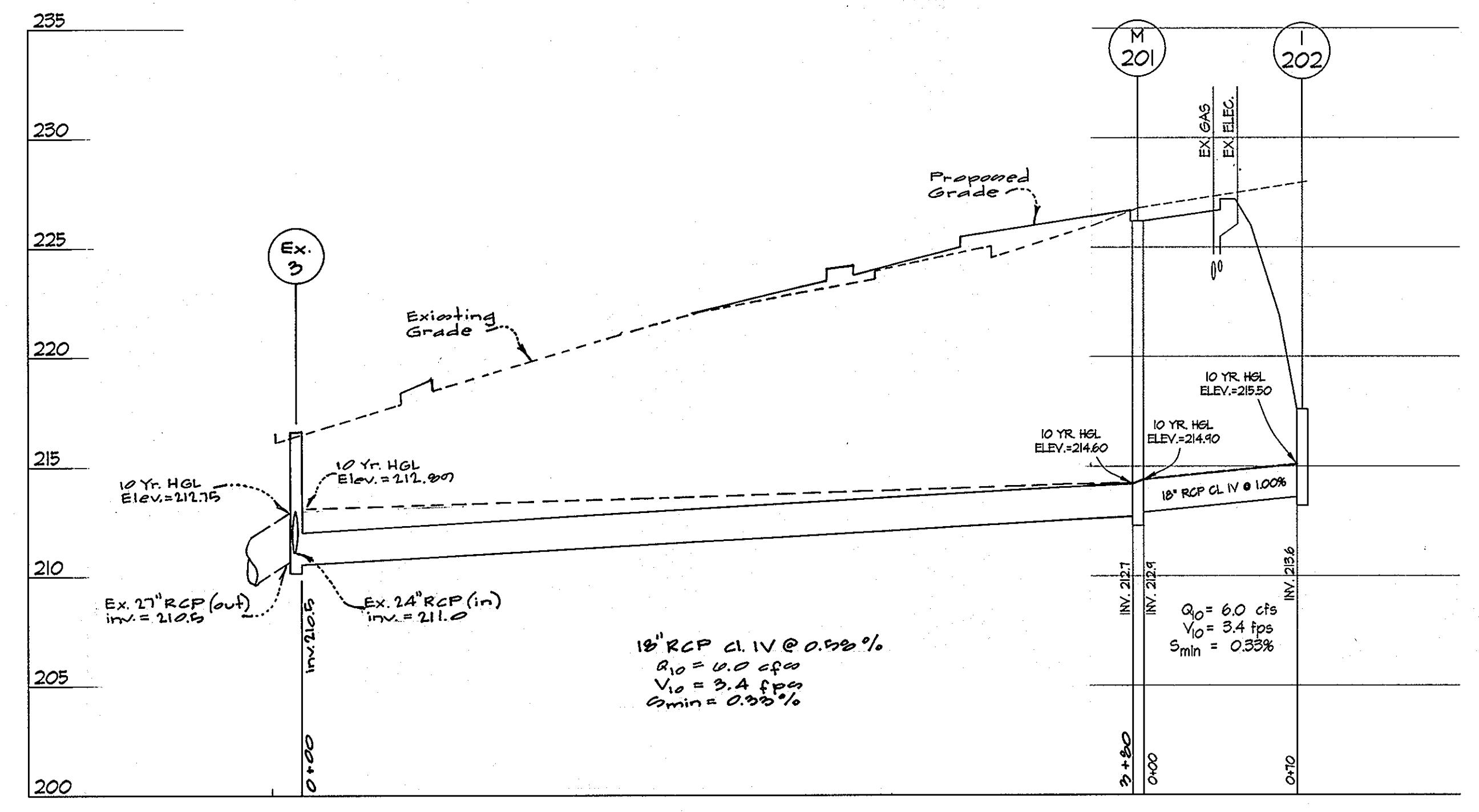


PROFILE OF RELOCATED WATER LINE B (PRIVATE)
SCALE: 1" = 20'



TYPICAL SECTION A-A
THRU TRUCK RAMP
SCALE: 1" = 10'

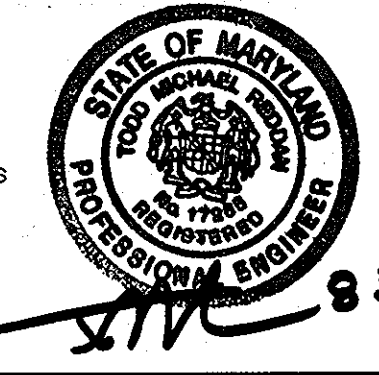
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	NOTES
			UPPER	LOWER	UPPER	LOWER		
200	STANDARD MANHOLE	48" DIA	224.4	224.0	212.2	211.8	HO-CO-STD-518	
201	STANDARD MANHOLE	48" DIA	---	226.5	212.4	212.7	HO-CO-STD-518	
202	COG-20 INLET	48" DIA	214.50	213.7	---	213.6	MD 514.62	



STORM DRAIN PROFILE
HORIZ.: 1" = 50'
VERT.: 1" = 5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark A. Lyle* 8/31/07
 Chief, Division of Land Development: *John J. ...* 8/21/07
 Chief, Development Engineering Division: *John J. ...* 8/21/07

Professional Certification
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
 Expiration Date: 03/17/2009
John J. ... 8.9.07



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

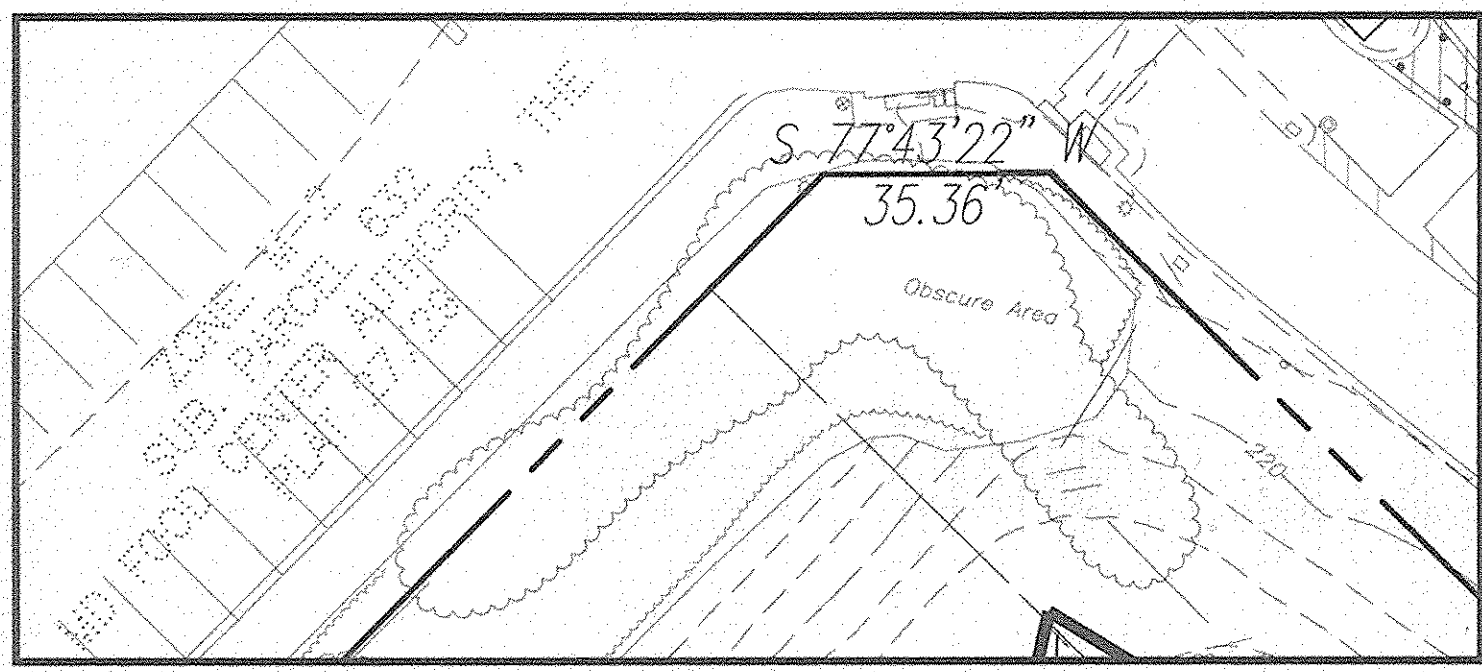
DATE	REVISION	BY	APP'R.
11-11-07	added cover line, revised to access & storm drain profile	kjp	
8-10-07	REVISED TO SHOW RELOCATED WATER LINE B THRU EXIT RAMP ON PARCEL K, WATER LINE A & SD ON PARCEL K	JW	
7-31-07	RELEASED FOR CONSTRUCTION	JW	
07-12-07	RELEASED FOR CONSTRUCTION	JW	
06-21-07	PRICING SET FOR PARCEL K	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	

PREPARED FOR:
 PARCEL 'J' OWNER: WAREX-JESSUP, INC. AND JESSUP ASSOC., LTD. PTNP
 C/O STOP-N-SHOP 1385 HANCOCK STREET QUINCY, MA 02169 JOHN HERNON
 PARCEL 'K' OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC. 3055 PROSPERITY AVE. FAIRFAX, VA 22301 DOUG VERNER

REPLACEMENT SHEET
 REVISED STORM DRAIN & WATERLINE PROFILES
JESSUP DISTRIBUTION CENTER
MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
 PARCELS J & K
 PLAT No. 19143 thru 19146
 GUILFORD ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 13 15 OF 23

L:\CADD\DRAWINGS\06083\Design\Parcel K\86044SD-PR.dwg 8/9/2007 1:02:53 PM EDT



THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

J. M. [Signature]
NATURAL RESOURCE CONSERVATION SERVICE DATE 8/21/07

DEVELOPER'S/BUILDER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

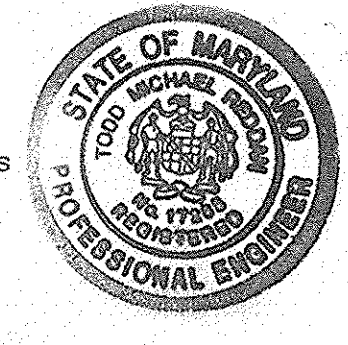
[Signature] 8.9.07
SIGNATURE OF DEVELOPER/BUILDER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 8/21/07
HOWARD S.C.D. DATE

Professional Certification
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285.
Expiration Date: 03/17/2009

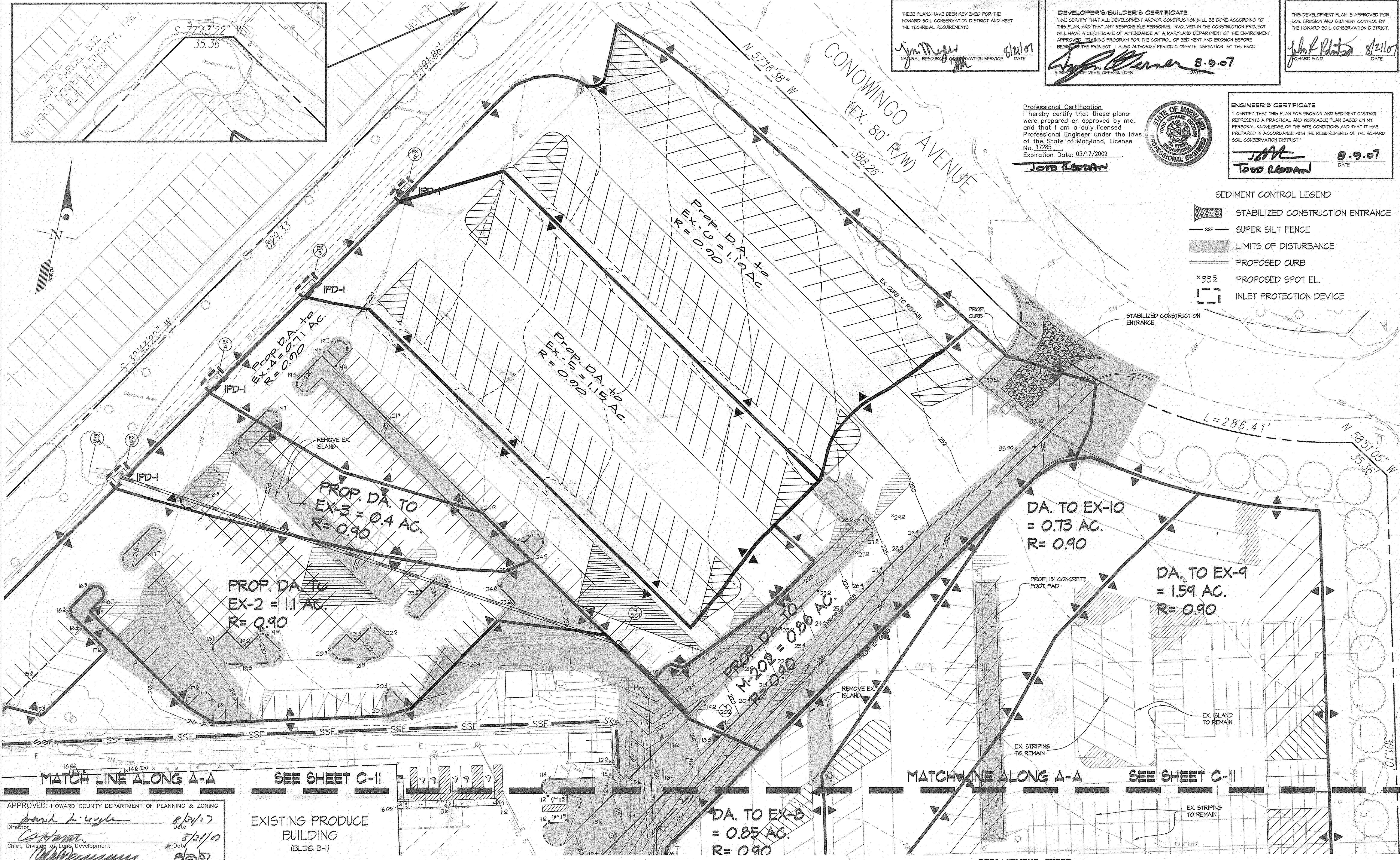
Jord Loban



ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

JMA 8.9.07
TOOD LOBAN DATE

- SEDIMENT CONTROL LEGEND**
- STABILIZED CONSTRUCTION ENTRANCE
 - SUPER SILT FENCE
 - LIMITS OF DISTURBANCE
 - PROPOSED CURB
 - PROPOSED SPOT EL.
 - INLET PROTECTION DEVICE



MATCH LINE ALONG A-A

SEE SHEET C-11

MATCH LINE ALONG A-A

SEE SHEET C-11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 8/21/07
 Chief, Division of Land Development: *[Signature]* Date: 8/21/07
 Chief, Development Engineering Division: *[Signature]* Date: 8/23/07

EXISTING PRODUCE BUILDING (BLDG B-1)

11-11-07 Parcel K - revised tractor trailer storage area

8-10-07	PARCEL J - REMOVED PREV. PROP. STRIPING, PARCEL K - ADDED EXIT RAMP	JW
7-31-07	RELEASED FOR CONSTRUCTION	JW
07-12-07	RELEASED FOR CONSTRUCTION	JW
6-22-07	PRICING SET PARCEL J	
6-21-07	PRICING SET PARCEL K	
4-11-07	PRICING SET	JW
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW
	REVISION	BY APPR.

PREPARED FOR:

PARCEL 'J'
OWNER: WAREX-JESSUP, INC. AND JESSUP'S ASSOC., LTD. PTNP
C/O STOP-N-SHOP
1385 HANCOCK STREET
QUINCY, MA 02169
JOHN HERNON

PARCEL 'K'
OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC.
3055 PROSPERITY AVE.
FAIRFAX, VA 22031
DOUG VERNER

REVISED SEDIMENT CONTROL FOR TRACTOR AND TRAILER STORAGE

**JESSUP DISTRIBUTION CENTER
MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1**

PARCELS J & K
PLAT No. 1943 thru 1946
REPLACEMENT SHEET

GUILFORD ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 12 14 OF 23

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE FURTHER ON-SITE INSPECTION BY THE HSCD.

[Signature] 8.9.07
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

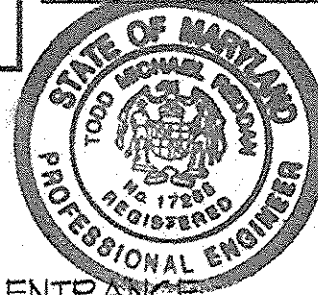
HOWARD S.C.D. DATE

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

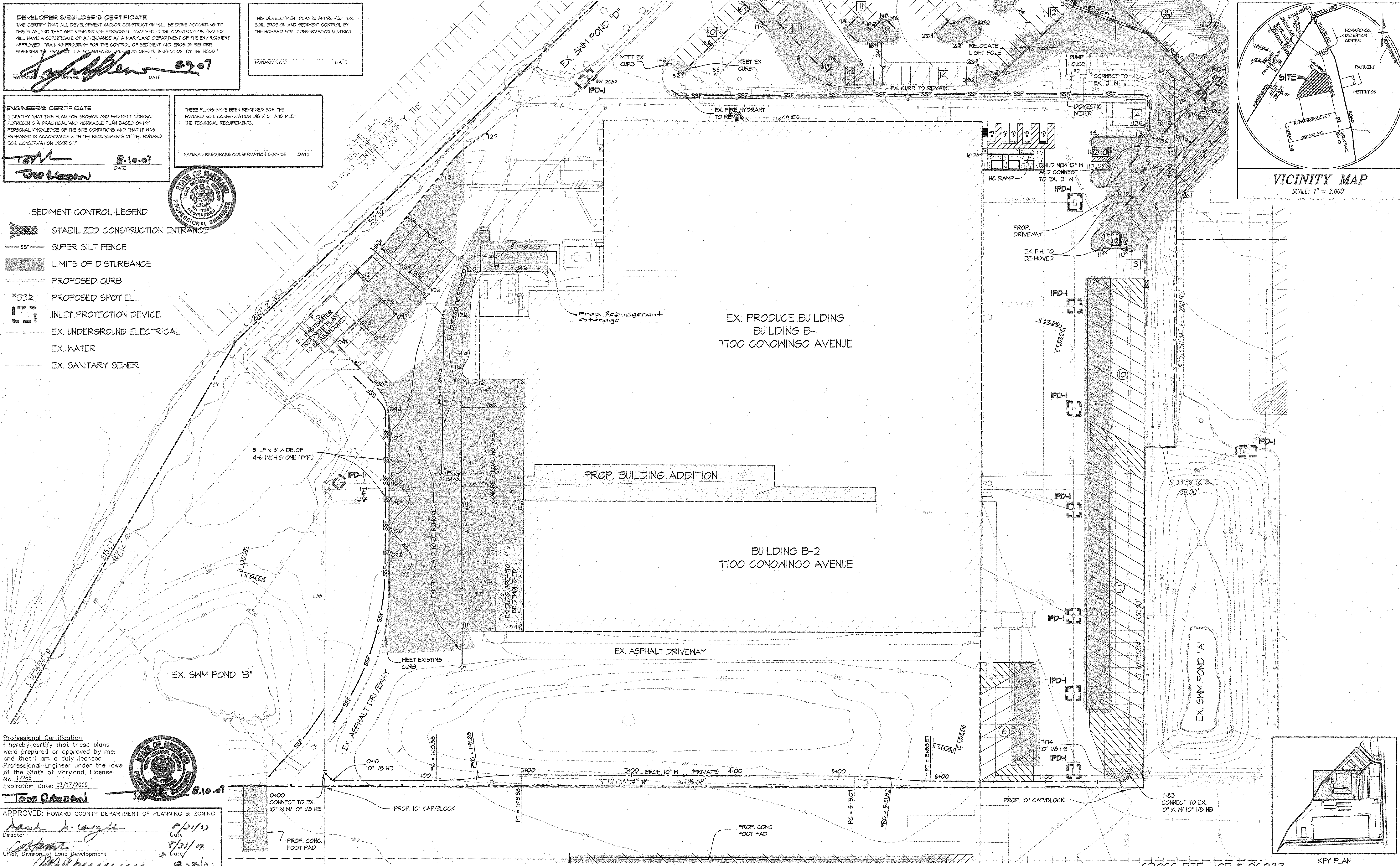
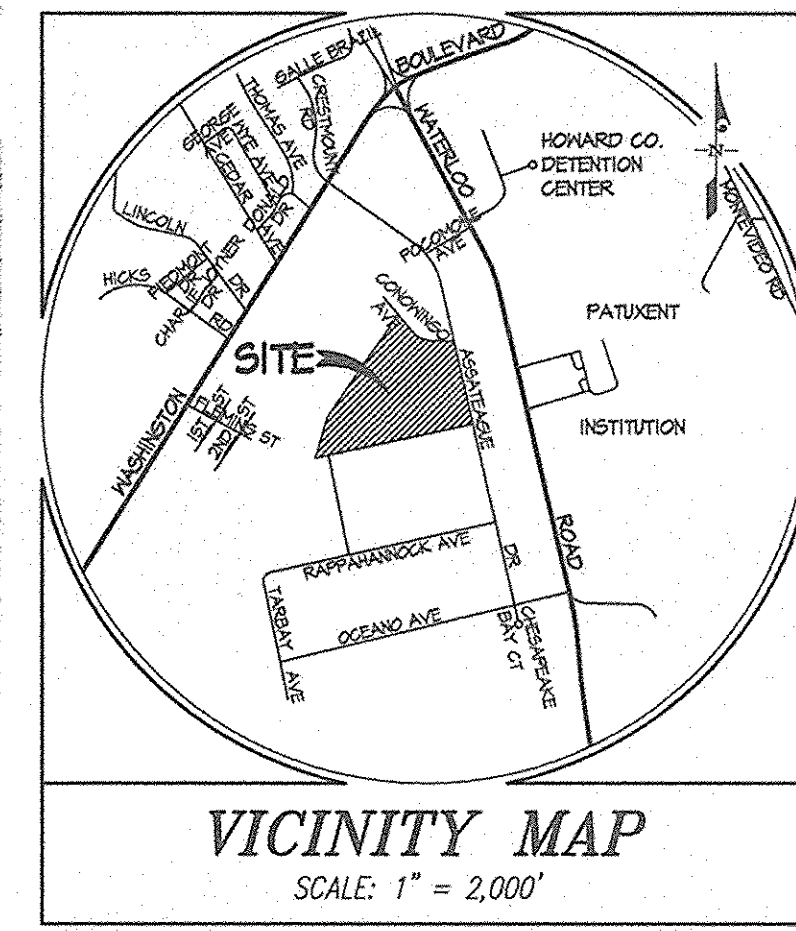
[Signature] 8.10.07
 DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCES CONSERVATION SERVICE DATE



- SEDIMENT CONTROL LEGEND**
- STABILIZED CONSTRUCTION ENTRANCE
 - SUPER SILT FENCE
 - LIMITS OF DISTURBANCE
 - PROPOSED CURB
 - PROPOSED SPOT EL.
 - INLET PROTECTION DEVICE
 - EX. UNDERGROUND ELECTRICAL
 - EX. WATER
 - EX. SANITARY SEWER



Professional Certification
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285.
 Expiration Date: 03/17/2009.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 8/21/07
 Director Date

[Signature] 8/23/07
 Chief, Division of Land Development Date

[Signature] 8/23/07
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-6024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
11-11-07	Parcel K - added priv sewer, refrigerant storage, rev HC access		
8-10-07	SUBMIT TO HO. CO. FOR APPROVAL. BUILDING INFILL/DEMO ADDED, FUEL PUMP ISLAND, AND TRUCK LOADING DOCK	JW	
7-31-07	RELEASED FOR CONSTRUCTION	JW	
07-12-07	RELEASED FOR CONSTRUCTION	JW	
06-21-07	PRICING SET FOR PARCEL K		

PREPARED FOR:

PARCEL 'J' OWNER: WAREX-JESSUP, INC. AND JESSUPS ASSOC., LTD. P/TNP
 C/O STOP-N-SHOP
 1385 HANCOCK STREET
 QUINCY, MA 02169
 JOHN HERVON

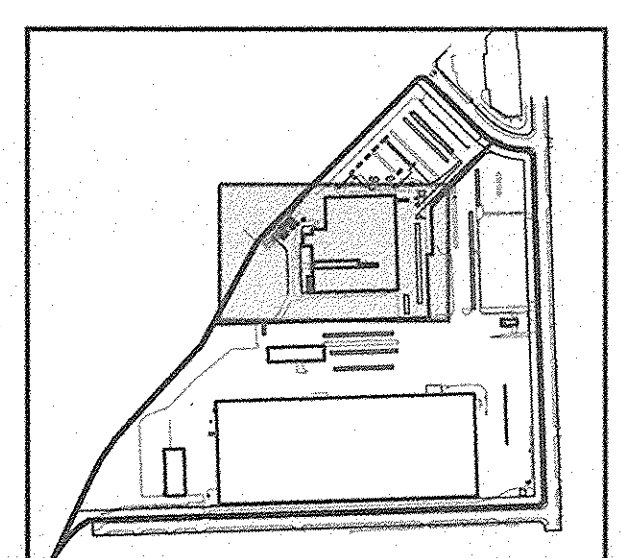
PARCEL 'K' OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC.
 3055 PROSPERITY AVE.
 FAIRFAX, VA 22301
 DOUG VERNER

REVISED SEDIMENT CONTROL PLAN FOR FREEZER CONVERSION TO WAREHOUSE

JESSUP DISTRIBUTION CENTER
 MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
 PARCELS J & K
 PLAT No. 19143 thru 19146
 REPLACEMENT SHEET

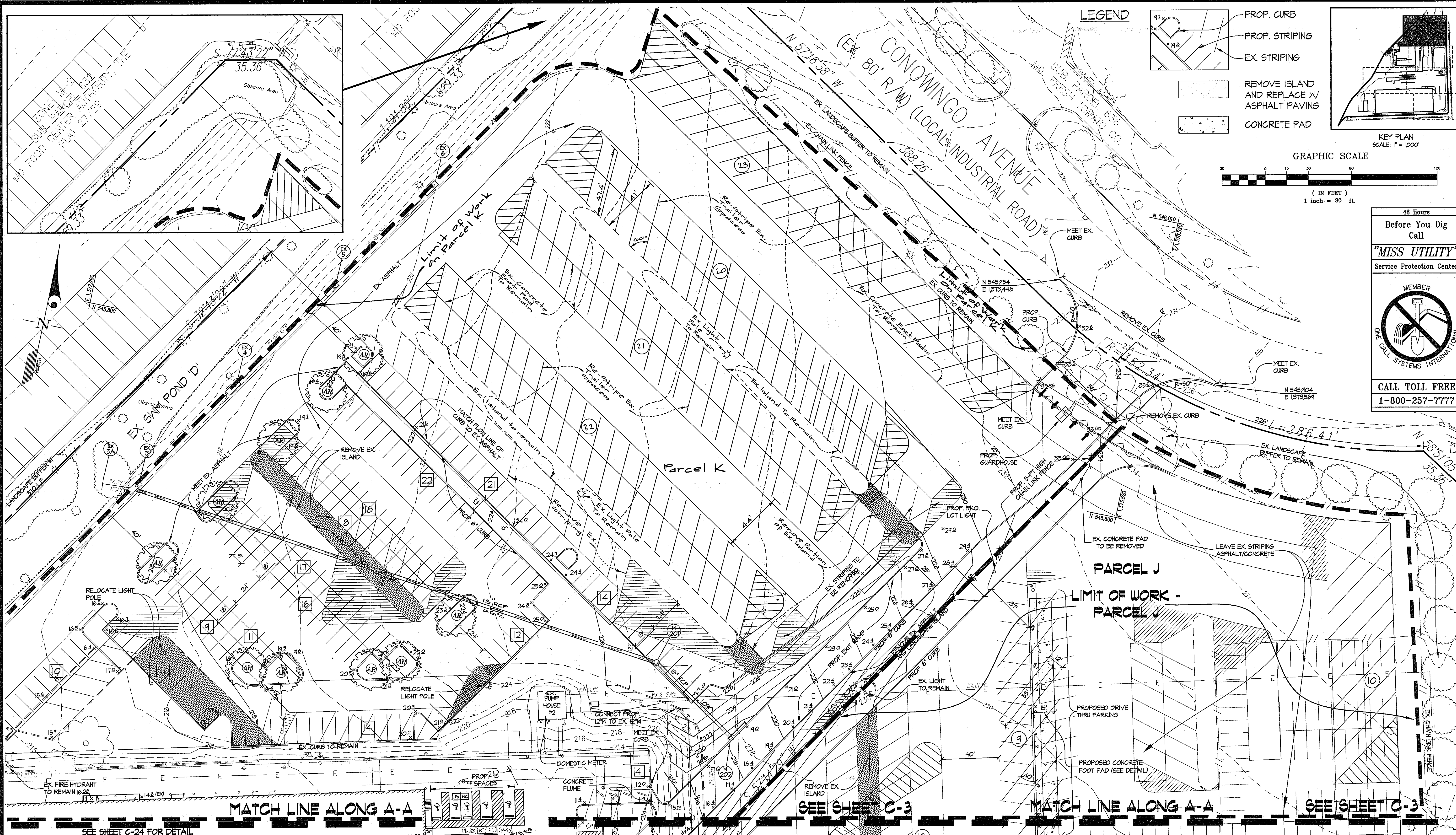
GUILFORD ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE No.
1"=40'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 7A 9 OF 23



KEY PLAN
 SCALE: 1" = 1000'

L:\CAD\DRAWINGS\86044\Design\86044SCP5.dwg DES. TMR DRN. JW CHK.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark L. Uyle Director Date: 8/10/07

Steve Chief, Division of Land Development Date: 8/10/07

Michael Chief, Development Engineering Division Date: 8/10/07

DEVELOPER'S / BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY A WRITTEN ONE-YEAR GUARANTEE OF PLANT MATERIAL, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME OF DEVELOPER(S) / BUILDER(S): *Par. K - rev tractor trailer storage, etc. Parcel 201-100* DATE: *8.9.07*

Professional Certification

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17283. Expiration Date: 03/17/2009.

Tom Quinn 8.10.07

STATE OF MARYLAND PROFESSIONAL ENGINEER

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866

L:\CADD\DRAWINGS\86044\Design\86044SP.dwg DES. TMR DRN. JW CHK.

DATE	REVISION	BY	APPR.
8-10-07	PARCEL J - REMOVED PREV. PROP. STRIPING, PARCEL K - ADDED EXIT RAMP	JW	
7-31-07	RELEASED FOR CONSTRUCTION	JW	
07-12-07	RELEASED FOR CONSTRUCTION	JW	
6-22-07	PRICING SET FOR PARCEL J	JW	
6-21-07	PRICING SET FOR PARCEL K	JW	
4-11-07	PRICING SET	JW	
4-2-07	REVISED TRACTOR/TRAILER & AUTOMOBILE STRIPING, REVISED DRIVEWAY ENTRANCE	JW	

PREPARED FOR:

PARCEL 'J'
 OWNER: WAREX-JESSUP, INC. AND JESSUP'S ASSOC., LTD. PTNP
 C/O STOP-N-SHOP
 1385 HANCOCK STREET
 QUINCY, MA 02169
 JOHN HERNON

PARCEL 'K'
 OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC.
 3055 PROSPERITY AVE.
 FAIRFAX, VA 22301
 DOUG VERNER

REVISI... SHEET

REVISI... SHEET

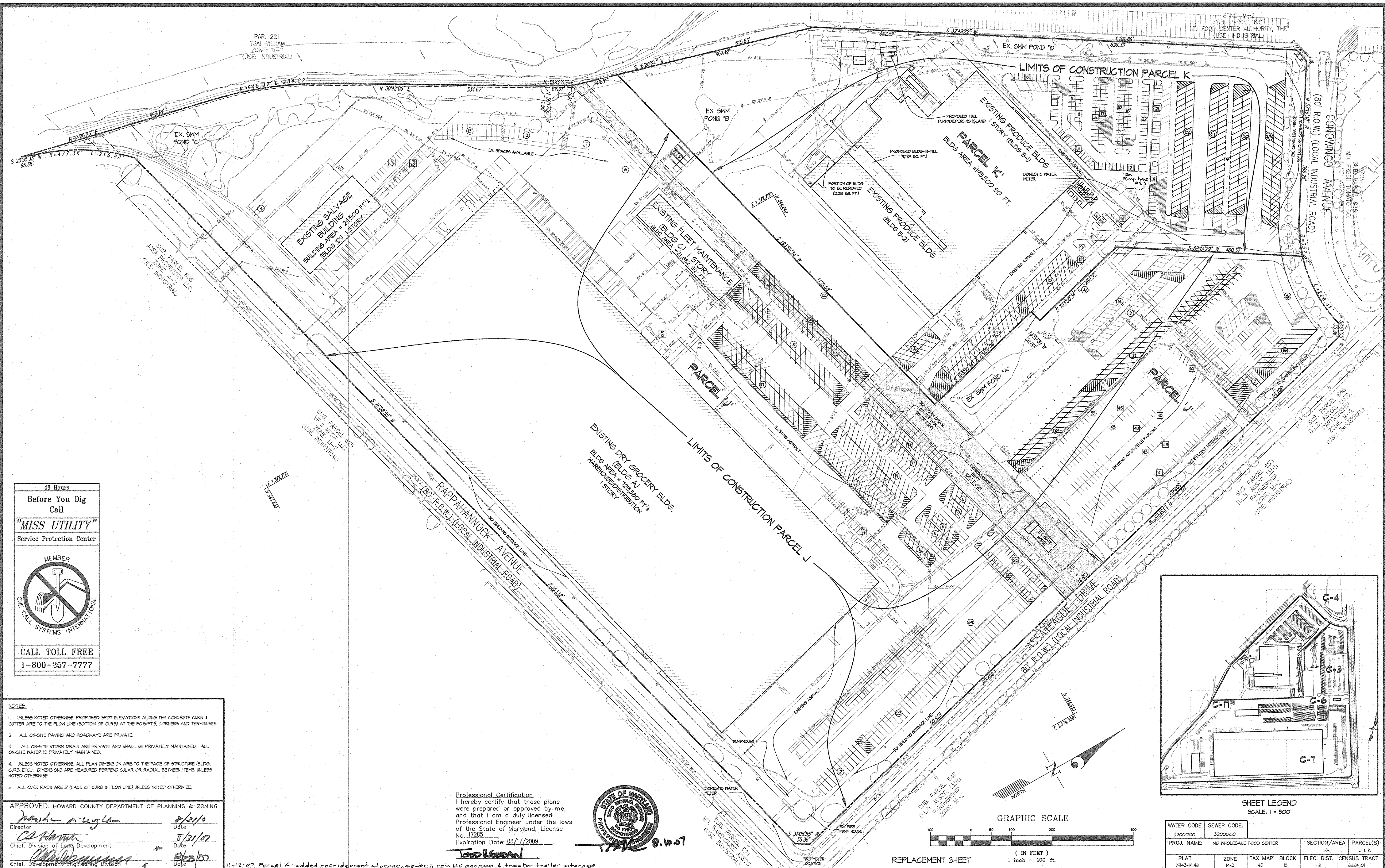
JESSUP DISTRIBUTION CENTER
MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1
 PARCELS J & K
 PLAT No. 19143 thru 19146
 REPLACEMENT SHEET

GUILFORD ELECTION DISTRICT No. 6

HOWARD COUNTY

SCALE	ZONING	G. L. W. FILE No.
1"=30'	M-2	86-044
DATE	TAX MAP - GRID	SHEET
MAY, 2007	43	C - 4 5 OF 23

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48 Hours
Before You Dig
Call

"MISS UTILITY"
Service Protection Center

MEMBER
ONE CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE
1-800-257-7777

- NOTES:
- UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE POS/PTS, CORNERS AND TERMINUSES.
 - ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
 - ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. ALL ON-SITE WATER IS PRIVATELY MAINTAINED.
 - UNLESS NOTED OTHERWISE, ALL PLAN DIMENSION ARE TO THE FACE OF STRUCTURE (BLDG, CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
 - ALL CURB RADII ARE 5' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

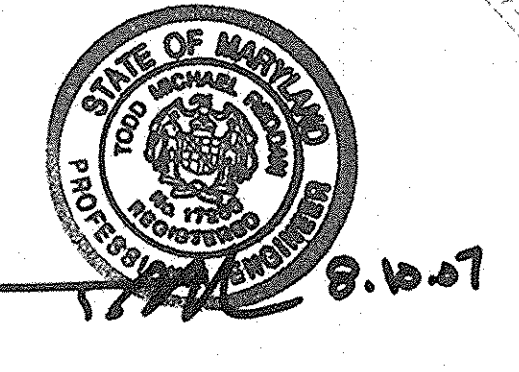
Director: *Howard A. Cuyler* Date: 8/21/07

Chief, Division of Land Development: *Chris Hanna* Date: 8/21/07

Chief, Development Engineering Division: *Chris Hanna* Date: 8/21/07

Professional Certification
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 17285
Expiration Date: 03/17/2009

Lawrence



DATE	REVISION	BY	APPR.
11-12-07	Parcel K - added refrigerant storage, sewer & rev. WC access & tractor trailer storage		
8-10-07	REVISED TRACTOR AND TRAILER LAYOUT. REMOVED PREVIOUSLY PROPOSED EMPLOYEE PARKING AND DRIVEWAY ENTR.	JW	
7-31-07	RELEASED FOR CONSTRUCTION	JW	
07-12-07	RELEASED FOR CONSTRUCTION	JW	
06-22-07	PARCEL J PRICING SET	JW	
06-21-07	PARCEL K PRICING SET		
04-11-07	PRICING SET		
4-2-07	REVISED TRACTOR / TRAILER / AUTOMOBILE PARKING LAYOUT	JW	

PREPARED FOR:

PARCEL 'J' OWNER: WAREX-JESSUP, INC. AND JESSUPS ASSOC., LTD. PTNP C/O STOP-N-SHOP 1385 HANCOCK STREET QUINCY, MA 02169 JOHN HERON	PARCEL 'K' OWNER: 7700 CONOWINGO BUSINESS TRUST C/O GUEST SERVICES, INC. 3055 PROSPERITY AVE. FAIRFAX, VA 22301 DOUG VERNER
---	---

REPLACEMENT SHEET

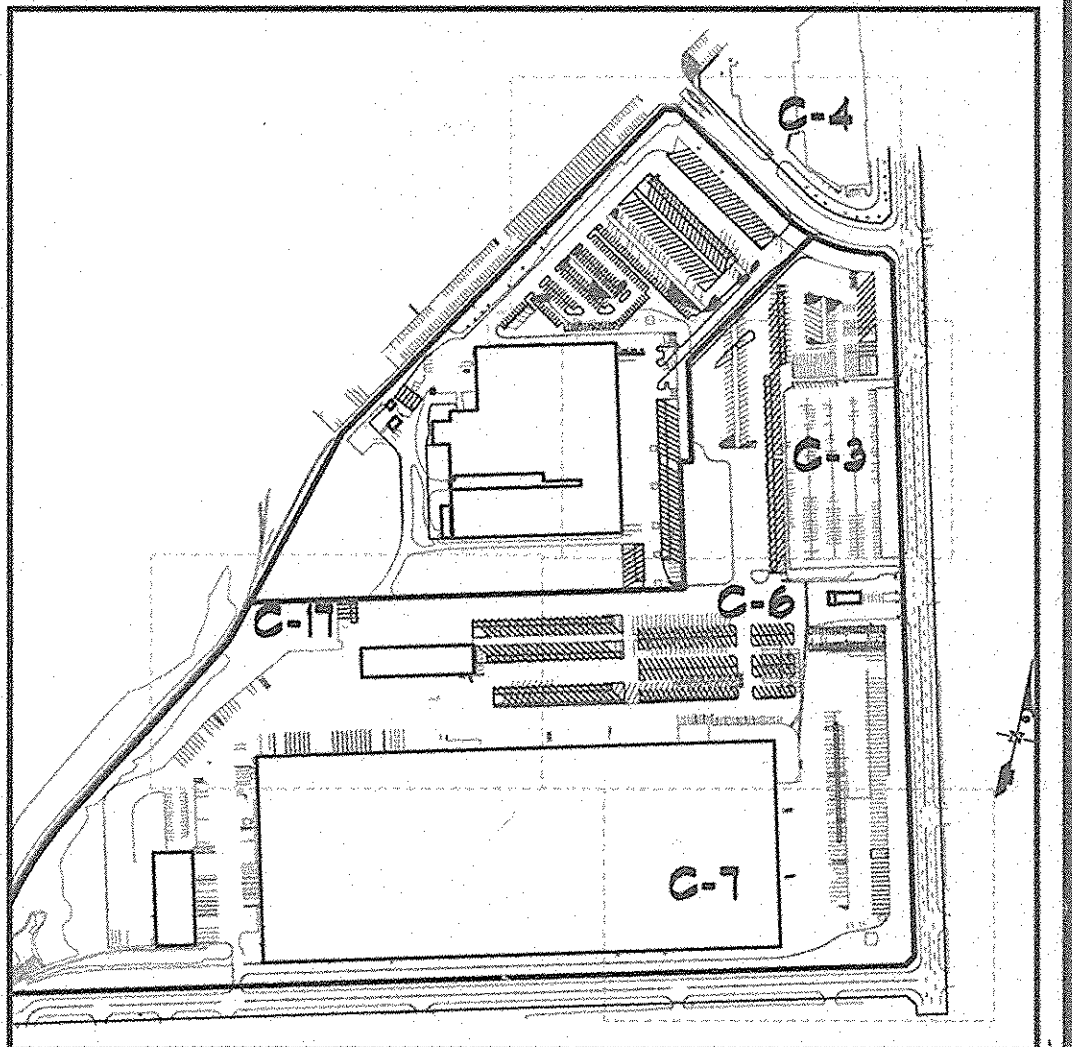
GRAPHIC SCALE
1 inch = 100 ft.

REVISION MASTER PLAN FOR TRACTOR AND TRAILER STORAGE

JESSUP DISTRIBUTION CENTER
MD WHOLESALE FOOD CENTER BLOCK A, SECTION 1

PARCELS J & K
PLAT No. 19143 thru 19146
REPLACEMENT SHEET

GUILFORD ELECTION DISTRICT No. 6



WATER CODE: 3200000	SEWER CODE: 3200000	SECTION/AREA: 1/A	PARCEL(S): J & K
PROJ. NAME: MD WHOLESALE FOOD CENTER	TAX MAP: 43	BLOCK: 15	ELEC. DIST.: 6
PLAT: 19143-19146	ZONE: M-2	TAX MAP - GRID: 43	CENSUS TRACT: 608421
SCALE: 1"=100'	ZONING: M-2	G. L. W. FILE No.: 86-044	SHEET: C-1B
DATE: MAY, 2007	TAX MAP - GRID: 43	GUILFORD ELECTION DISTRICT No. 6	SHEET: 2 OF 23

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