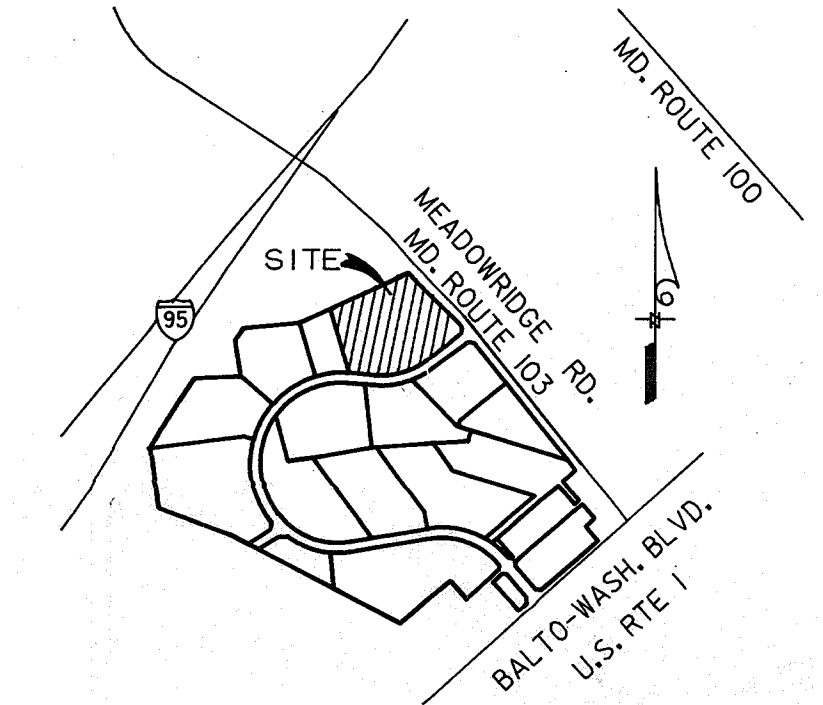


SITE DATA

SITE ZONING	M-1	
GROSS SITE ACREAGE	12.7094 AC. (553,622 S.F.)	
HEIGHT AND USE REQUIREMENTS	REQUIRED	PROVIDED
1. STRUCTURE & USE SETBACK FROM EXTERNAL PUBLIC STREET R.O.W.	50'	50'
2. STRUCTURE AND USE SETBACK FROM INTERNAL PUBLIC STREET R.O.W.	50'	50'
3. PARKING AND FENCE SETBACK	10'	10'
4. BUILDING HEIGHT MAXIMUM	50'	30.33'
BUILDING USE BREAKDOWN		
1. OFFICE AREA		5,348 S.F.
2. WAREHOUSE AREA		164,755 S.F.
ACTUAL BUILDING COVERAGE		(170,139 S.F.) 30.73%
TOTAL OFFICE AREA (5,348 S.F.)		
●●NUMBER OF EMPLOYEES @ (1 EMP./200 S.F.)	27 EMPLOYEES	
NUMBER OF PARKING SPACES @ (7 SPACES/10 EMP.)	19 SPACES	25 SPACES
TOTAL WAREHOUSE AREA (164,755 S.F.)		
●●NUMBER OF EMPLOYEES @ (1 EMP./1,000 S.F.)	165 EMPLOYEES	
NUMBER OF PARKING SPACES @ (1 SPACE/2 EMP.)	83 SPACES	89 SPACES
TOTAL PARKING SPACES OFFICE & WAREHOUSE	102 SPACES	114 SPACES
OPEN SPACE DATA		(318,528 S.F.) 57.5%
LANDSCAPED PARKING ISLANDS		
AREA OF PARKING LOT (34,057 S.F.)		
LANDSCAPED ISLANDS	(1,702.89 S.F.)	(2,620 S.F.)
●●PARKING REQUIREMENTS SAME AS APPROVED SDP 89-69 MBP PARCELS A&B	5%	7.6%

SHEET INDEX

SHEET 1	SITE DEVELOPMENT PLAN
SHEET 2	HORIZONTAL LAYOUT PLAN
SHEET 3	GRADING PLAN
SHEET 4	DETAIL SHEET
SHEET 5	DETAIL SHEET
SHEET 6	UTILITY LAYOUT PLAN
SHEET 7	UTILITY PROFILES
SHEET 8	STORM DRAIN DRAINAGE AREA MAP
SHEET 9	SEDIMENT CONTROL AND STORMWATER MANAGEMENT
SHEET 10	SEDIMENT CONTROL / S.W.M. DETAILS
SHEET 11	SEDIMENT CONTROL / S.W.M. DETAILS
SHEET 12	STORMWATER MANAGEMENT DRAINAGE AREA MAP
SHEET 13	LANDSCAPE AND SITE LIGHTING PLAN
SHEET 14	PLANTING DETAIL SHEET



VICINITY MAP
SCALE: 1" = 2000'

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Joseph W. Boylan 8/16/90
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

Donald J. Gannon 8/19/90
DIRECTOR DATE

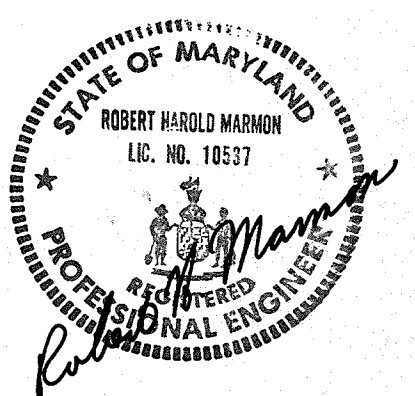
CHIEF, BUREAU OF ENGINEERING 8/19/90 DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

U.A. 9.23.90
PLANNING DIRECTOR DATE

Mark J. Smith 9/23/90
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

MEADOWBRIDGE BUSINESS PARK PARCEL M-1



S-89-03
S-89-11
P-89-44
V-89-45
GP-89-14
S-89-04
P-89-15
F-89-163, F-90-103

BEFORE BEGINNING CONSTRUCTION, CONTACT
MISS UTILITY AT 1-800-257-7777 AT LEAST
48 HOURS PRIOR TO CONSTRUCTION

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA		LOT/PARCEL	
PARCEL #	STREET ADDRESS	MEADOWBRIDGE BUSINESS PARK		NA	PARCEL 478		
M-1	6400 BUSINESS PARKWAY	PLAT NO. OR L.P.	BLOCK NO.	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.	
		9/79	22	M-1	37	1st	6012
		WATER CODE		SEWER CODE			
		R01		2153000			

OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
6790 COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 256-6400

No.	REVISION	DATE	BY

ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
(301) 296-4100

ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

SITE DEVELOPMENT PLAN
PARCEL M-1
MEADOWBRIDGE BUSINESS PARK
ZONE M-1
1st ELECTION DISTRICT

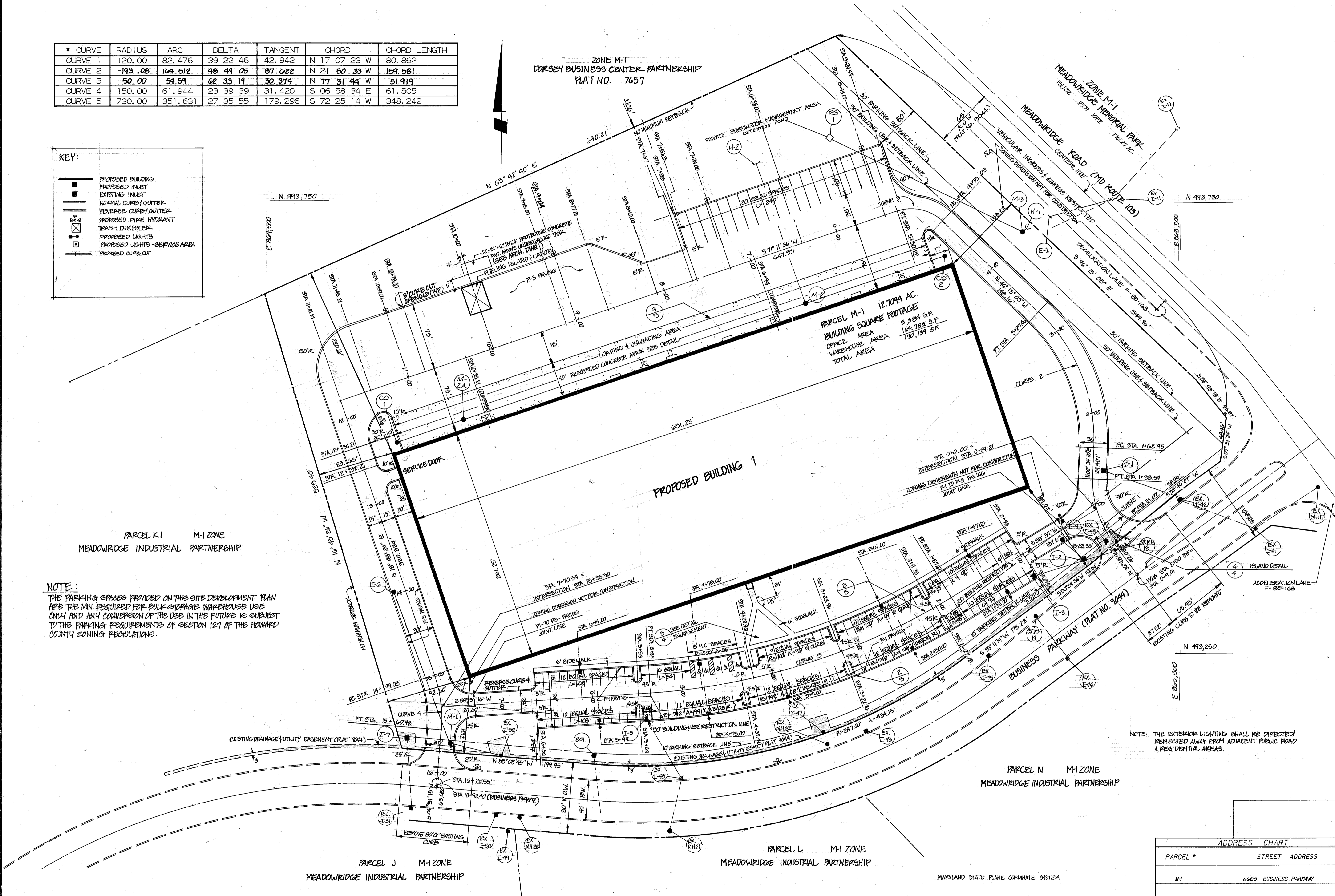
HOWARD CO., MD.
TAX/ZONE MAP 37

JLG DESIGN	SCALE
JLG DRAWN	1 OF 14
RHM CHECKED	SHEET
JAN '90 DATE	B-1155-X FILE No.
	JOB No.

CURVE	RADIUS	ARC	DELTA	TANGENT	CHORD	CHORD LENGTH
CURVE 1	120.00	82.476	39 22 46	42.942	N 17 07 23 W	80.862
CURVE 2	-193.08	104.512	48 49 05	87.022	N 21 50 33 W	159.581
CURVE 3	-50.00	54.571	62 33 19	30.374	N 77 31 44 W	51.919
CURVE 4	150.00	61.944	23 39 39	31.420	S 06 58 34 E	61.505
CURVE 5	730.00	351.631	27 35 55	179.296	S 72 25 14 W	348.242

KEY:

- PROPOSED BUILDING
- PROPOSED INLET
- EXISTING INLET
- NORMAL CURB/GUTTER
- REVERSE CURB/GUTTER
- PROPOSED FIRE HYDRANT
- PROPOSED TRASH DUMPSTER
- PROPOSED LIGHTS - SERVICE AREA
- PROPOSED CURB CUT



NOTE:
THE PARKING SPACES PROVIDED ON THIS SITE DEVELOPMENT PLAN ARE THE MIN. REQUIRED FOR BULK STORAGE WAREHOUSE USE ONLY AND ANY CONVERSION OF THE USE IN THE FUTURE IS SUBJECT TO THE PARKING REQUIREMENTS OF SECTION 127 OF THE HOWARD COUNTY ZONING REGULATIONS.

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Jesse Boyles 8/14/90
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

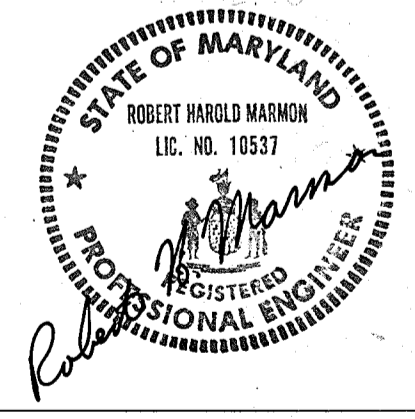
Robert J. Sporn 8/19/90
DIRECTOR DATE

William S. Ryan 8/24/90
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

W. S. Ryan 9.24.90
PLANNING DIRECTOR DATE

Mark J. Langley 9/24/90
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE



NOTE: THE EXTERIOR LIGHTING SHALL BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROAD & RESIDENTIAL AREAS.

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

ADDRESS CHART		SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
PARCEL *	STREET ADDRESS	MEADOWRIDGE BUSINESS PARK	NA	PARCEL 17B
M-1	6600 BUSINESS PARKWAY	9179	22 M-1 37	1st 6012
		WATER CODE	SEWER CODE	
		BOI		2153000

OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
6790 COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 256-6400

No.	REVISION	DATE	BY
1	REVISED NE ENTRANCE RD INSIDE 50' BURLUSE	3/19/90	JLG

ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS

GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
(301) 296-4100

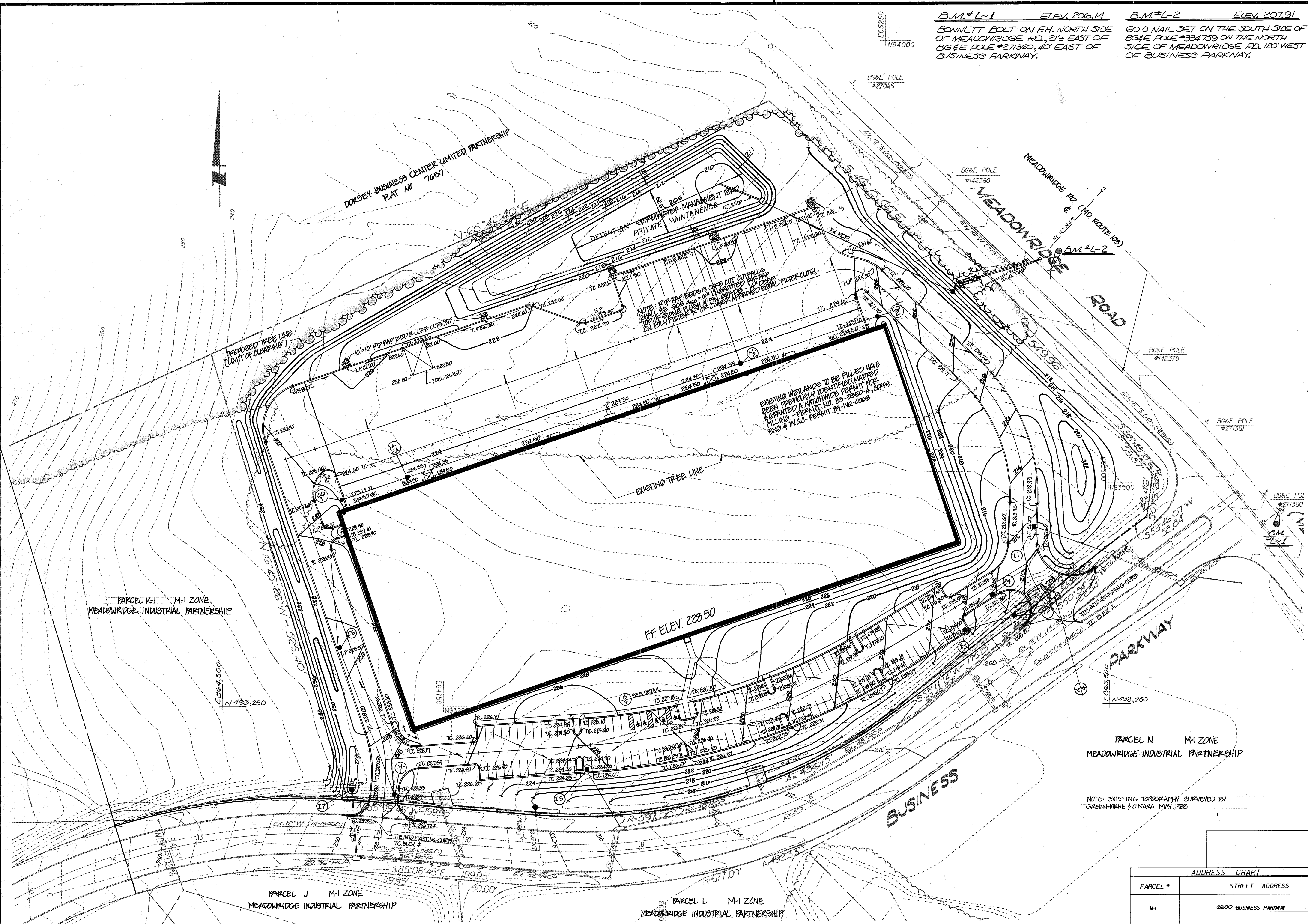
ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

HORIZONTAL LAYOUT PLAN
PARCEL M-1
MEADOWRIDGE BUSINESS PARK
ZONE M-1
1st ELECTION DISTRICT

HOWARD CO., MD.
TAX/ZONE MAP 37

JLG DESIGN	SCALE 1" = 50'
JLG DRAWN	2 OF 14
DLM CHECKED	SHEET
DATE	JAN '90
JOB No.	B-1155-X
FILE No.	

SDP 70-143



B.M.#L-1 ELEV. 206.14
 BONNETT BOLT ON FH, NORTH SIDE OF MEADOWRIDGE RD., 21' EAST OF 66&E POLE #271360, 40' EAST OF BUSINESS PARKWAY.

B.M.#L-2 ELEV. 207.91
 G.O.D. NAIL SET ON THE SOUTH SIDE OF 66&E POLE #334739 ON THE NORTH SIDE OF MEADOWRIDGE RD., 120' WEST OF BUSINESS PARKWAY.

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

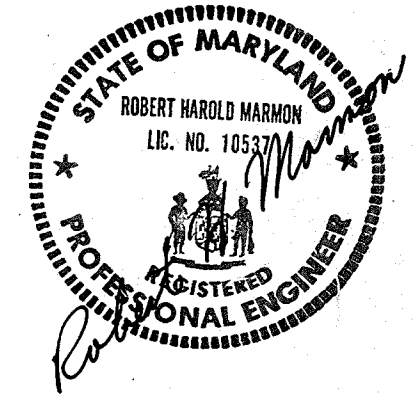
Jorge W. Jordan 8/16/90
 COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC WORKS
 HOWARD CO. DEPT. OF PUBLIC WORKS

Paul D. Seaman 8/19/90
 DIRECTOR DATE
James G. ... 8-2-90
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

W.M. 9-24-90
 PLANNING DIRECTOR DATE
Mark S. ... 7/21/91
 CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE



NOTE: EXISTING TOPOGRAPHY SURVEYED BY GREENHORNE & O'MARA MAY, 1988

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PARCEL #	STREET ADDRESS	MEADOWRIDGE BUSINESS PARK	NA		PARCEL 178
M-1	6600 BUSINESS PARKWAY	PLAT NO. OR L/F BLOCK NO. ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
		9179 2.2 M-1	37	1st	6012
		WATER CODE	SEWER CODE		
		BOI	2153000		

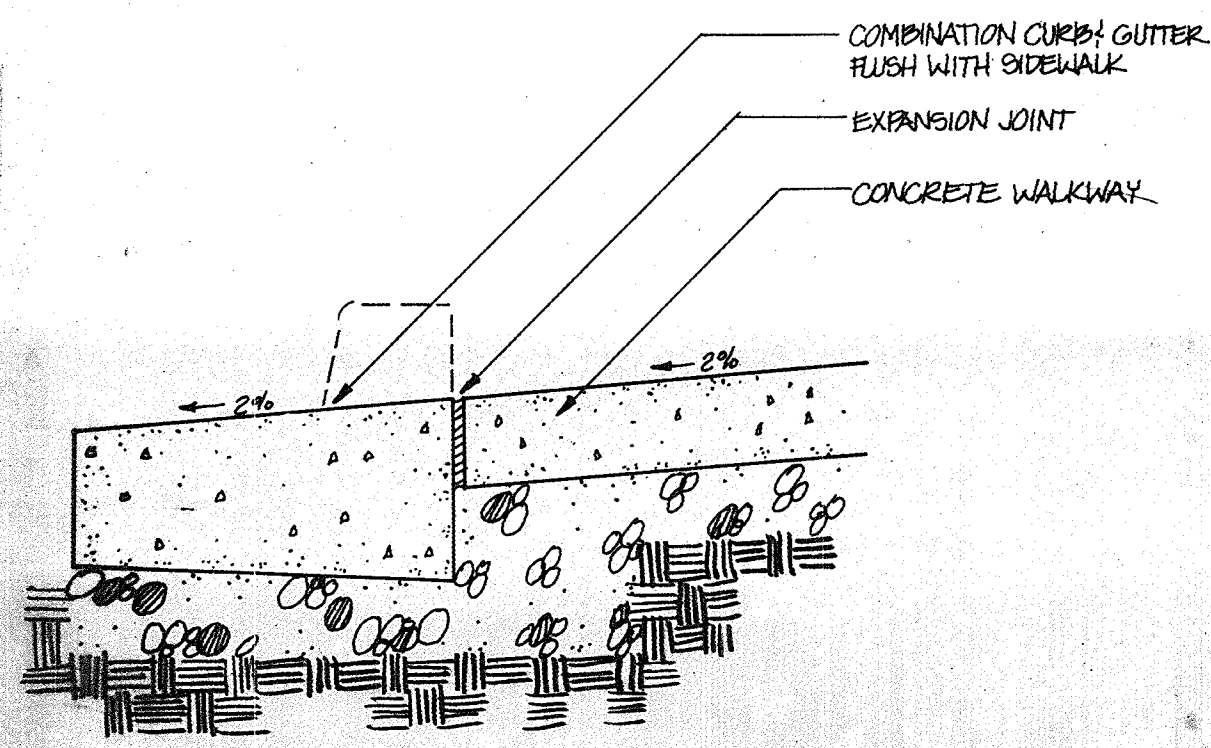
OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
 6790 COMMERCIAL DRIVE
 SPRINGFIELD, VA 22151
 (703) 256-6400

No.	REVISION	DATE	BY
1	ADDED STORM DRAIN AT NORTH BUILDING FACE	4/90	GLO

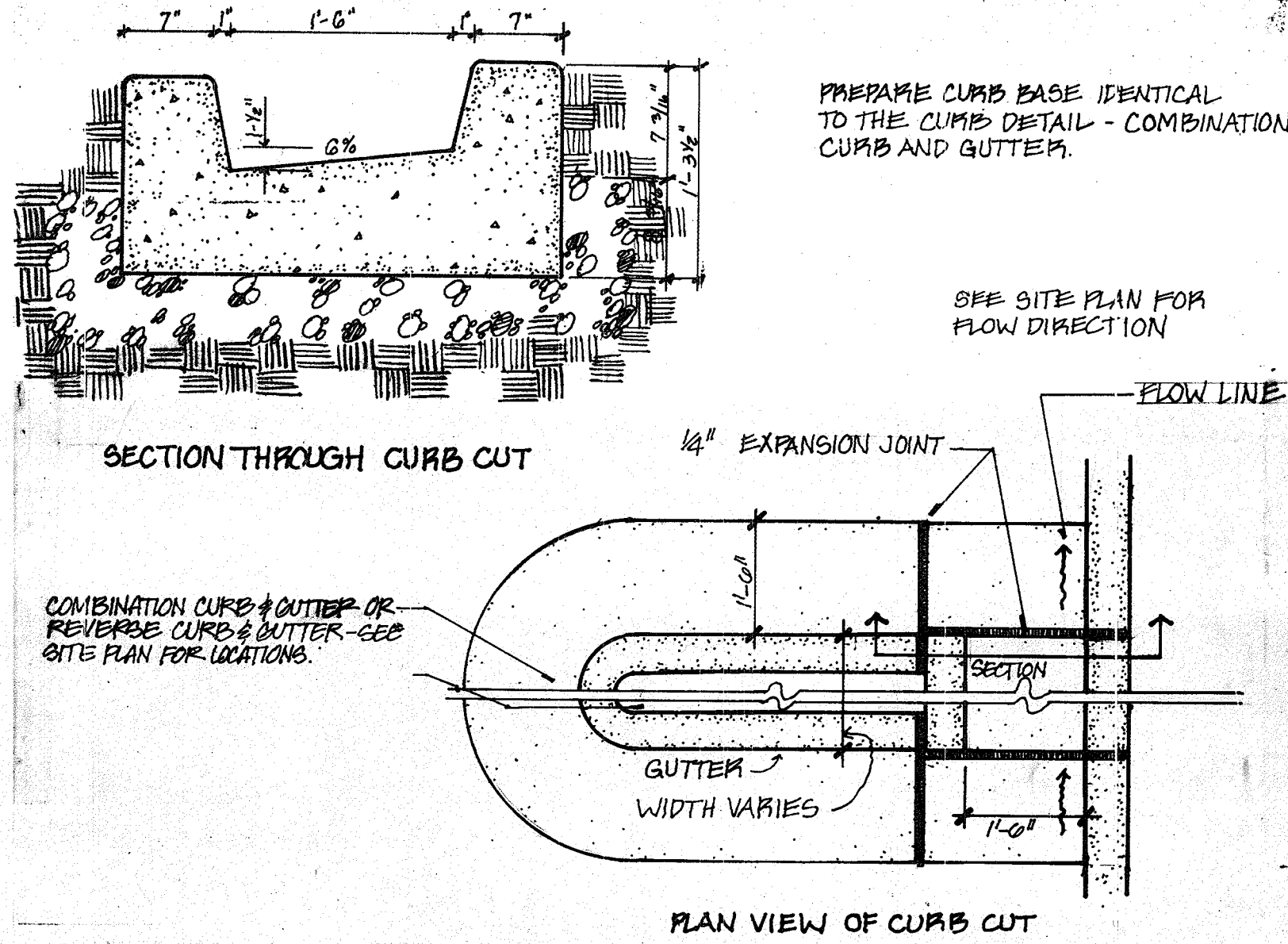
ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
 113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
 (301) 296-4100
 ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
 LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

GRADING PLAN
PARCEL M-1
MEADOWRIDGE BUSINESS PARK
 ZONE M-1 HOWARD CO., MD.
 1st ELECTION DISTRICT TAX/ZONE MAP 37

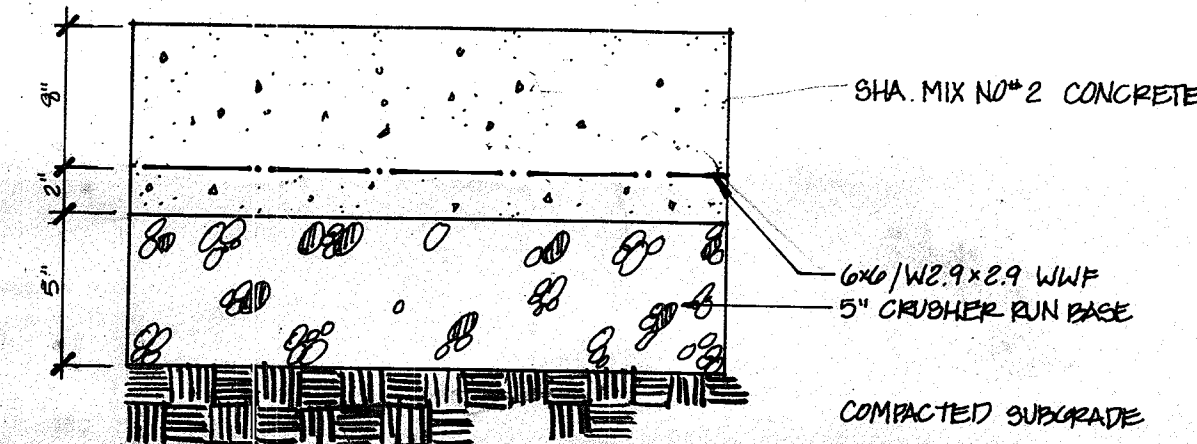
JLG DESIGN SCALE 1" = 50'
 JLG DRAWN **3 OF 14**
 RHM CHECKED SHEET
 JAN '90
 DATE JOB No. B-1155-X FILE No.



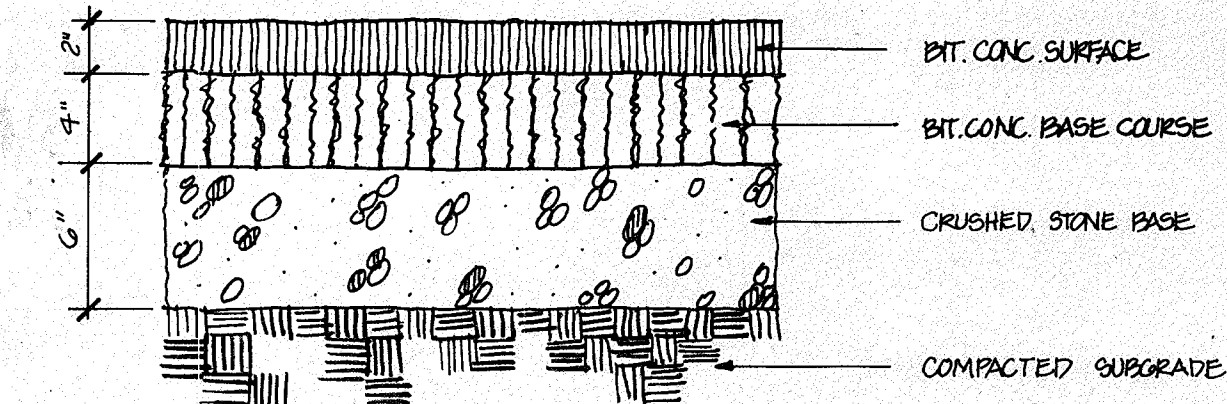
1 FLUSH CURB (HANDICAPPED ACCESS)
N.T.S.



2 CURBED ISLAND DRAINAGE SLUICE

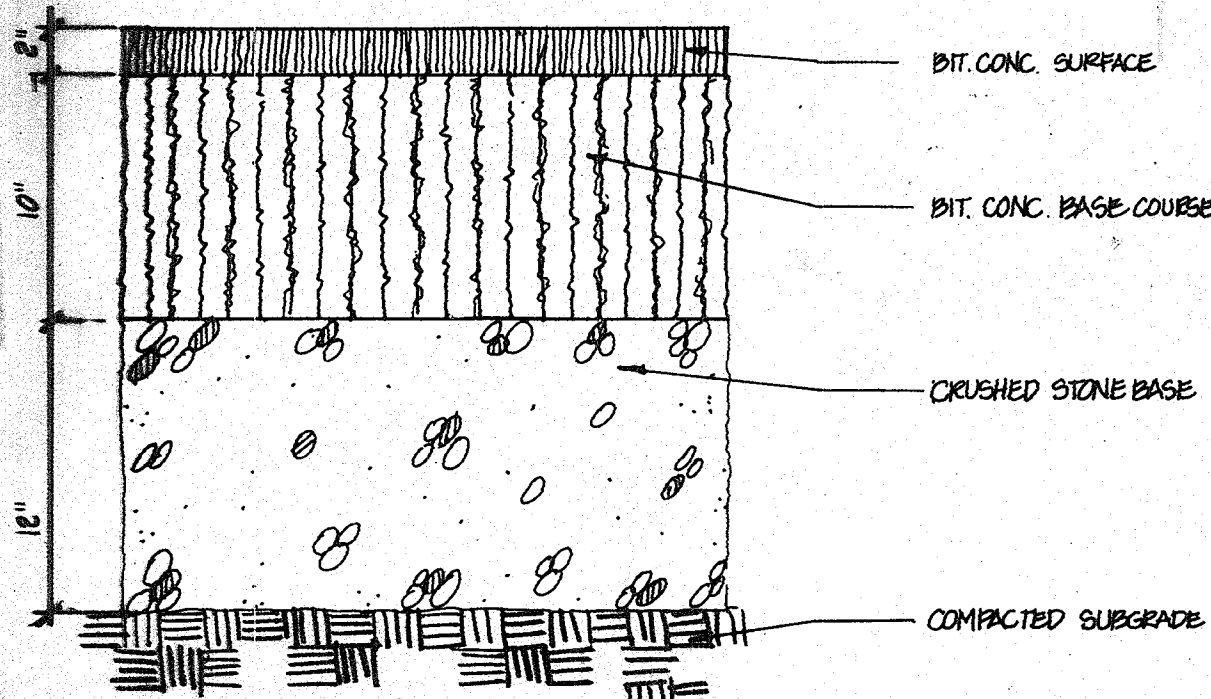


3 REINFORCED CONCRETE APRON - SEE SITE PLAN FOR LOCATION
SCALE: 1/8" = 1'-0"

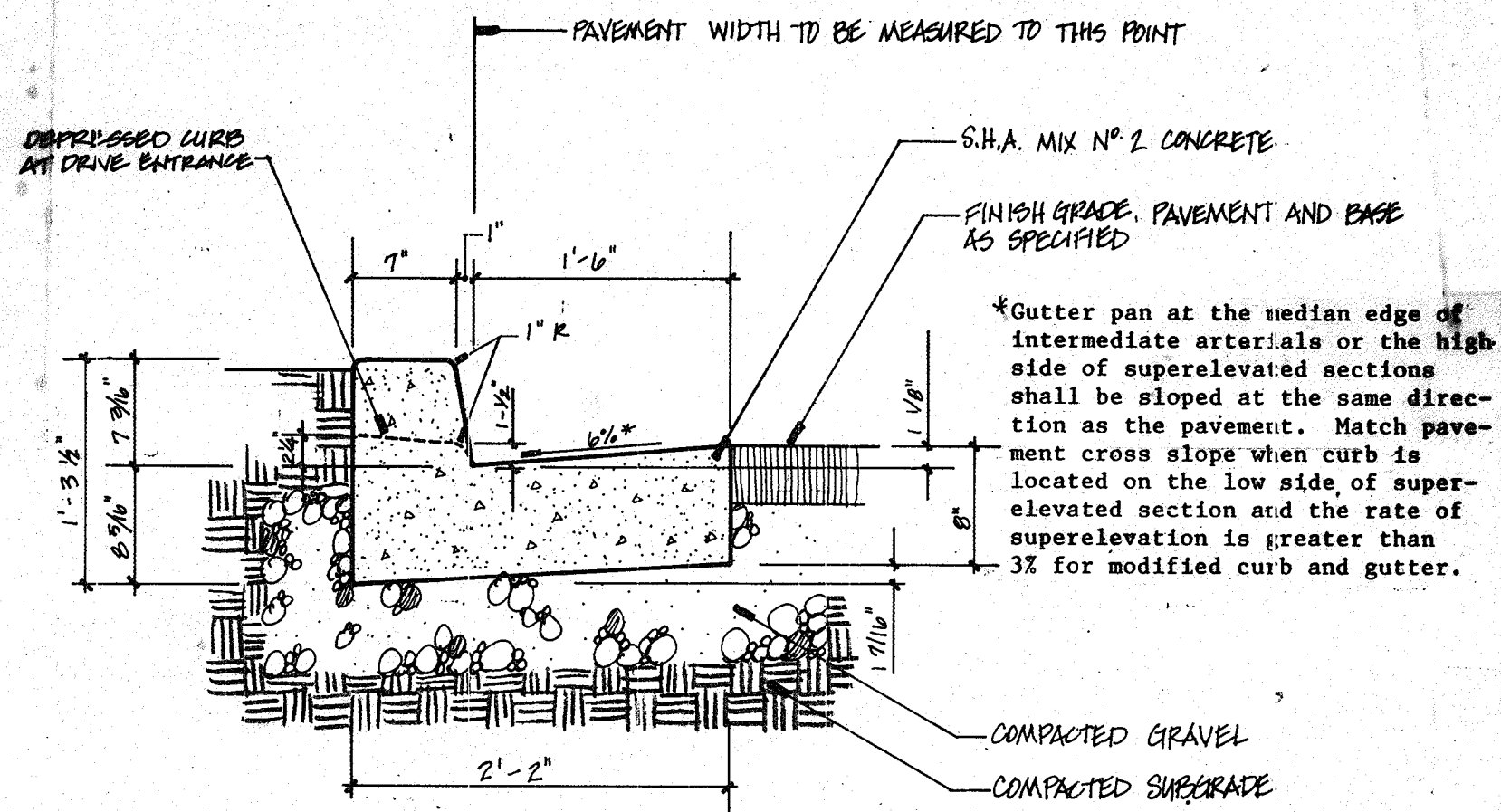


4 PAVING SECTION P-3 - USE WHERE DIRECTED BY GEO-TECH.
SCALE: 1/8" = 1'-0"

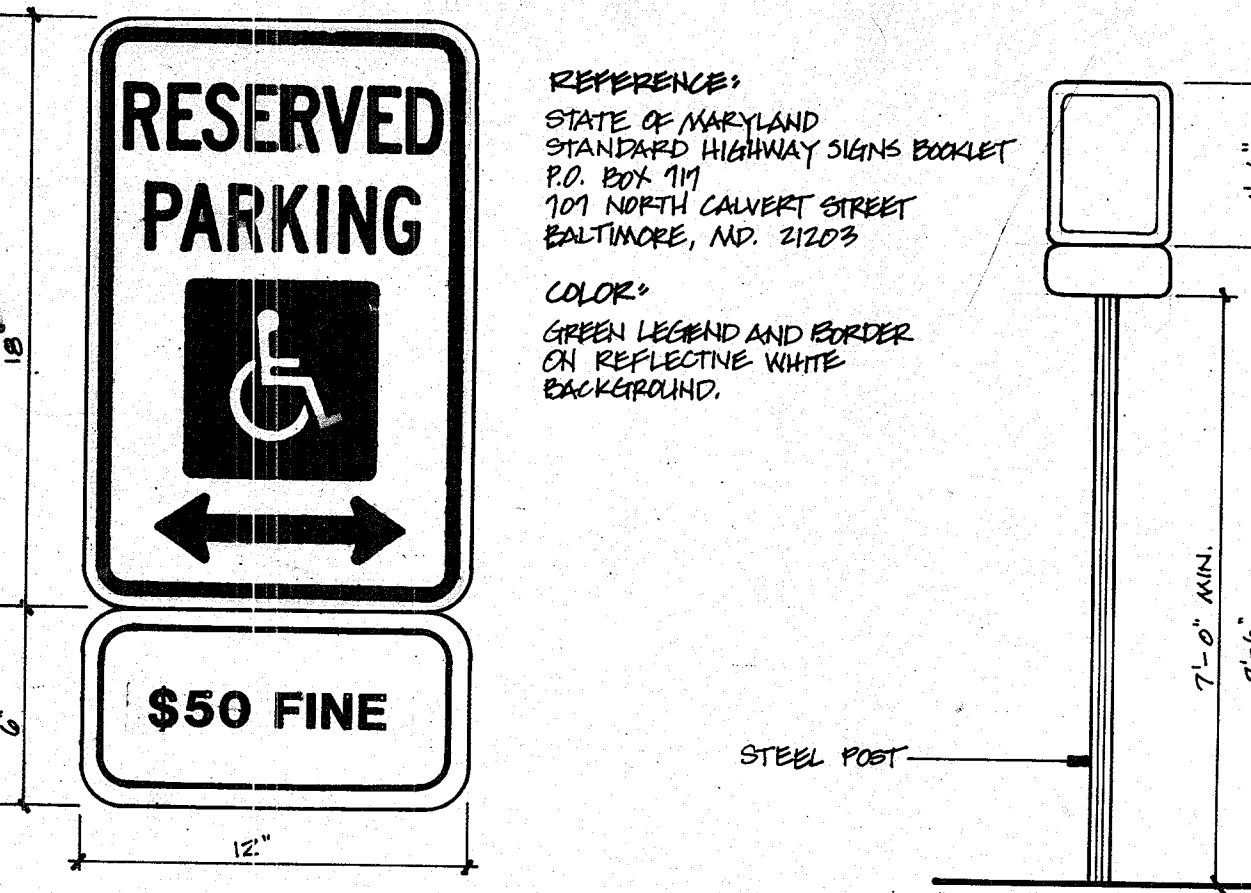
NOTE: FINING SECTION P-3 A SHALL BE PLACED IN AREAS OF SUBGRADE CONSISTING OF CLAYEY SILT/SILT CLAY (SATURATED CONDITIONS) - AS DIRECTED BY GEO-TECHNICAL ENGINEER.



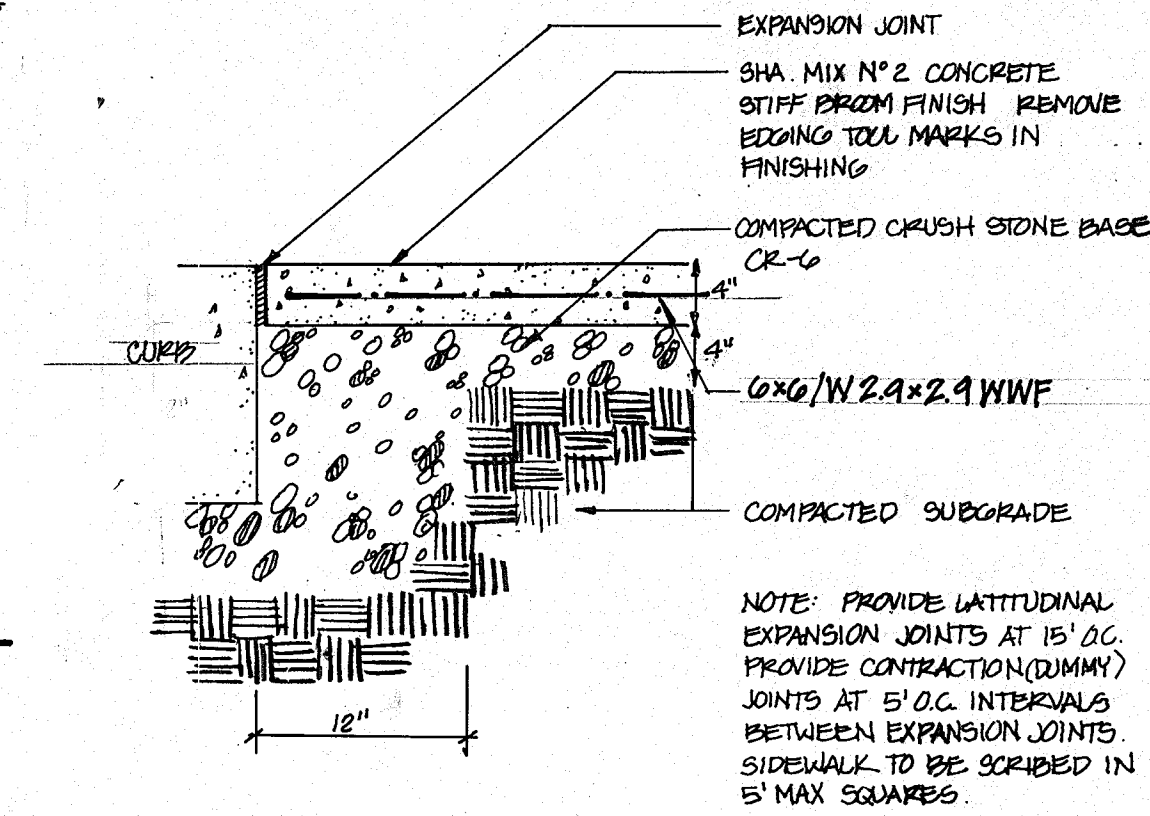
5 PAVING SECTION P-3 A - USE WHERE DIRECTED BY THE GEO-TECH.
SCALE: 1/8" = 1'-0"



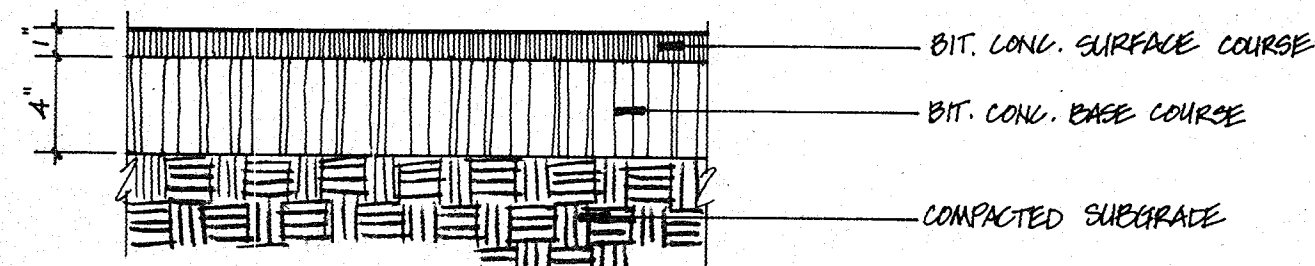
6 Combination Curb and Gutter HOWARD CO. DETAIL - P-301
SCALE: 1" = 1'-0"



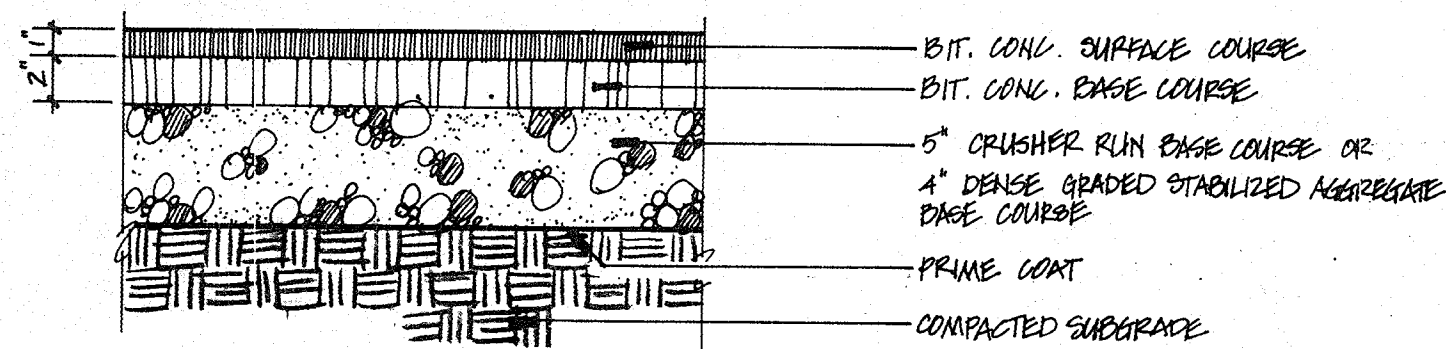
7 Handicapped Parking Sign HOWARD CO. STANDARD
N.T.S.



8 CONCRETE WALKWAY
SCALE: 1" = 1'-0"

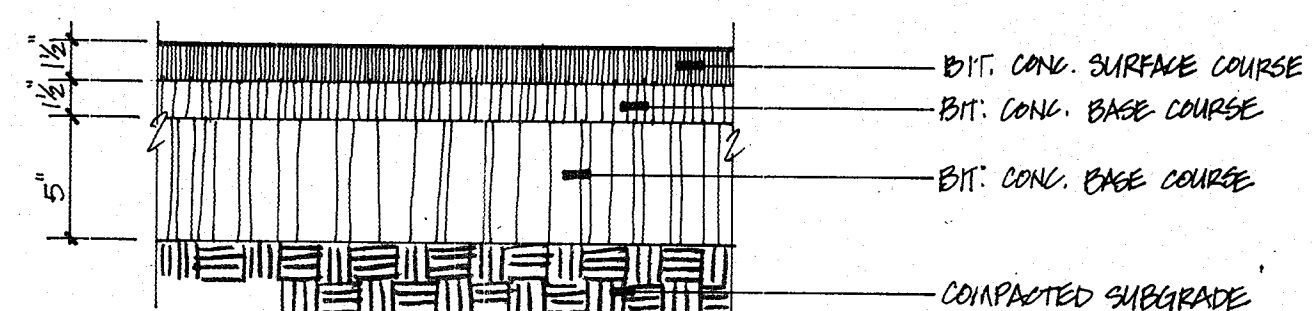


9 FULL DEPTH BIT. CONC. ALTERNATE

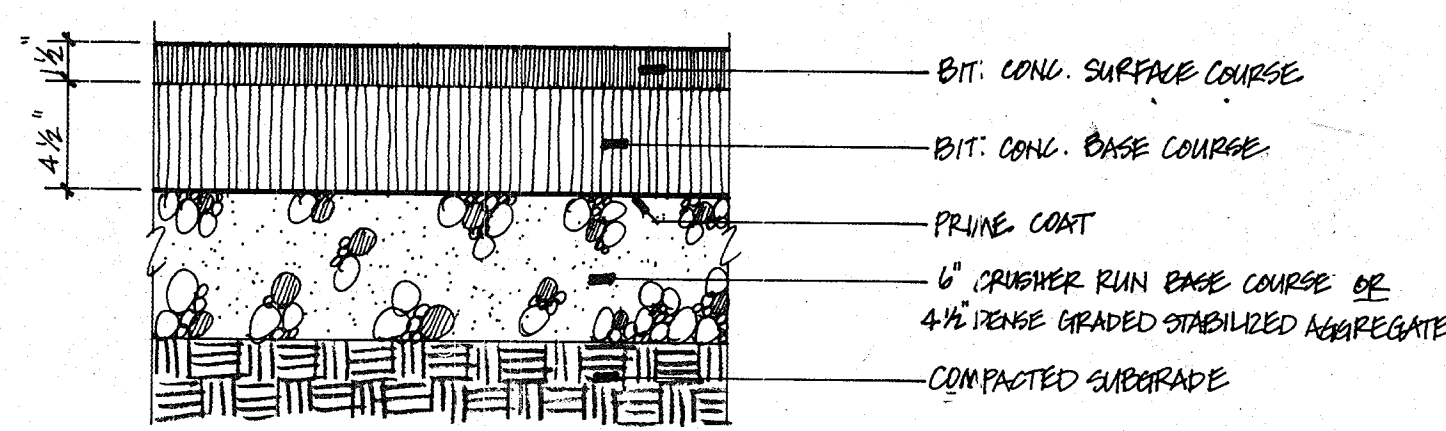


10 GRANULAR BASE ALTERNATE

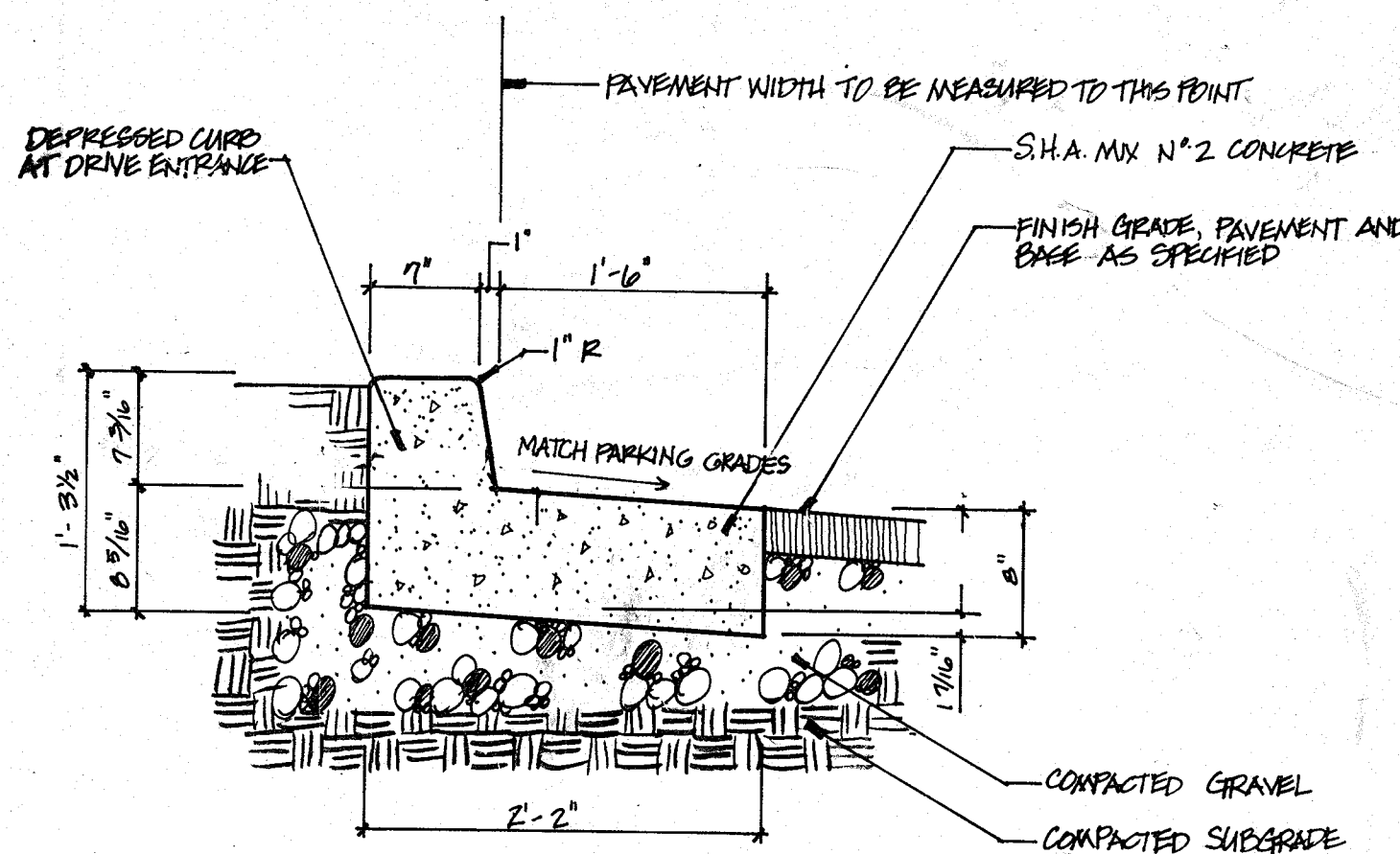
NOTE: BIT. CONCRETE MIXES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS.



11 FULL DEPTH BIT. CONC. ALTERNATE



12 GRANULAR BASE ALTERNATE



13 Reverse Curb and Gutter
SCALE: 1" = 1'-0"

9 Paving Sections: P-1 HOWARD CO. DETAIL R-201
SCALE: 1 1/2" = 1'-0"
PARKING AREAS

10 Paving Sections: P-3 HOWARD CO. DETAIL R-201
SCALE: 1 1/2" = 1'-0"
LOADING, ACCESS DRIVES

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

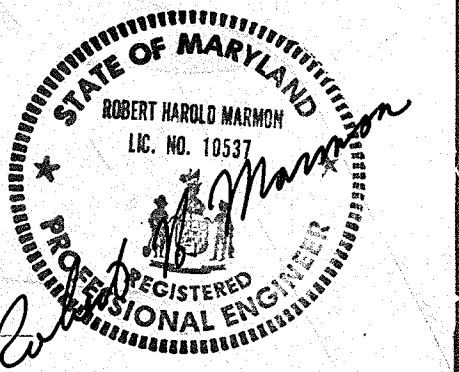
Joseph Boylston 8/16/90
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

Paul Sapan 8/19/90
DIRECTOR DATE
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF
PLANNING & ZONING

Walt 9.24.90
PLANNING DIRECTOR DATE
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE



BEFORE BEGINNING CONSTRUCTION, CONTACT
MISS UTILITY AT 1-800-257-7777 AT LEAST
48 HOURS PRIOR TO CONSTRUCTION

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PARCEL #	STREET ADDRESS	MEADOWRIDGE BUSINESS PARK	NA		PARCEL 178
M-1	6600 BUSINESS PARKWAY	PLAT NO. OR L.P. BLOCK NO. ZONE	TAX/ZONE MAP ELEC. DIST. CENSUS TR.		
		9179 2.2 M-1	37 1st 602		
		WATER CODE	SEWER CODE		
		801	253000		

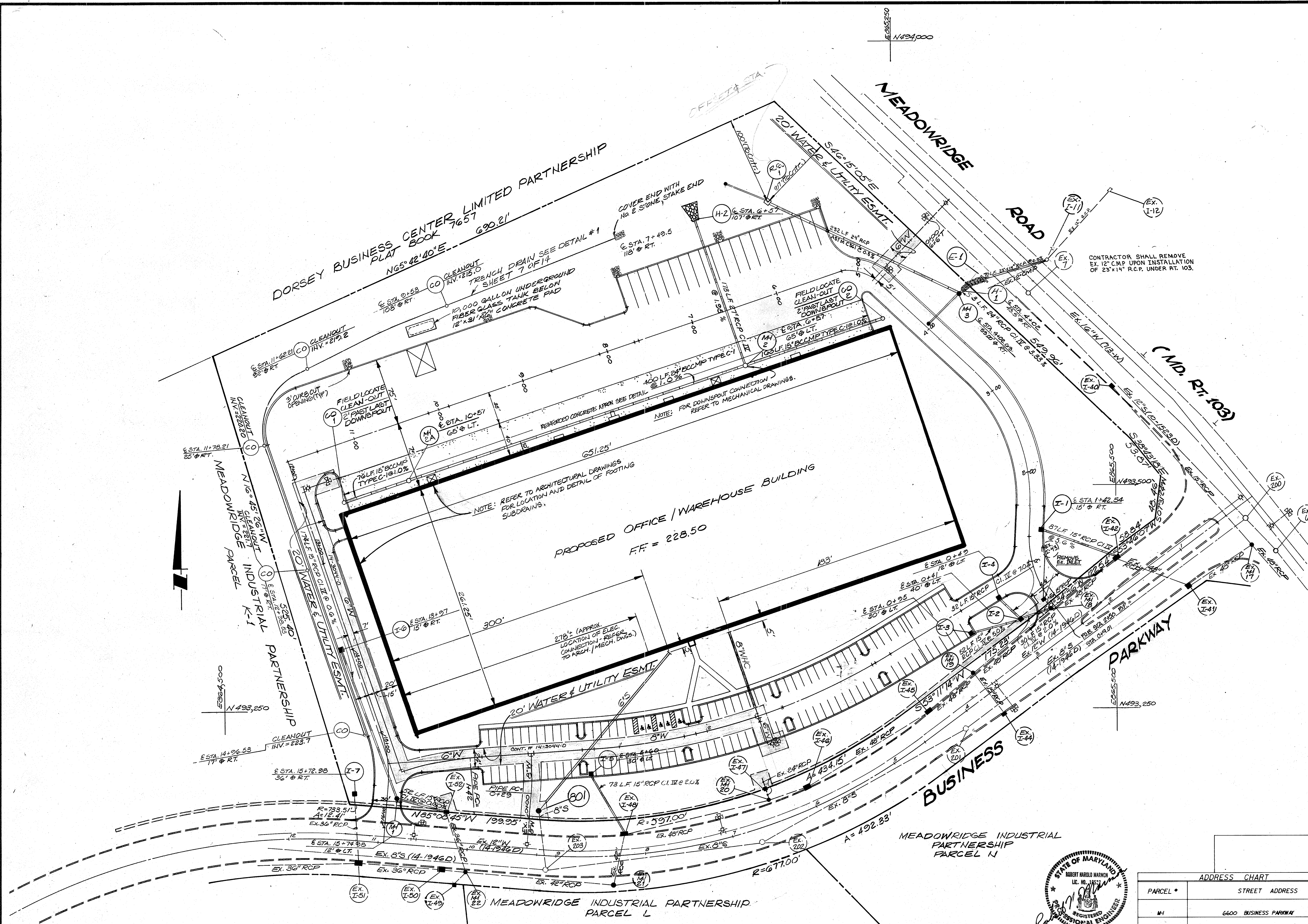
OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
6790 COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 256-6400

No.	REVISION	DATE	BY

ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
(301) 296-4100
ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

DETAIL SHEET
PARCEL M-1
MEADOWRIDGE BUSINESS PARK
ZONE M-1 HOWARD CO., MD.
1st ELECTION DISTRICT TAX/ZONE MAP 37

LLH DESIGN	SCALE: AS SHOWN
JLG DRAWN	5 OF 74
RHM CHECKED	SHEET
JAN '90 DATE	B-1155-X FILE No.
	JOB No.



APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Joseph Baglio 8/16/90
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

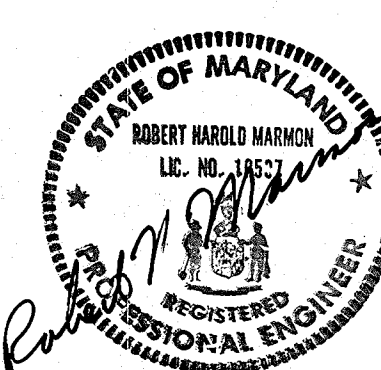
Paulo Lopez 8/19/90
DIRECTOR DATE

James J. Ryan 8-2-90
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Mark S. Taylor 9-24-90
PLANNING DIRECTOR DATE

Mark S. Taylor 9/2/90
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE



ADDRESS CHART		SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PARCEL *	STREET ADDRESS	MEADOWRIDGE BUSINESS PARK		NA	PARCEL 178
M-1	6600 BUSINESS PARKWAY	PLAT NO. OR L/P	BLOCK NO. ZONE	TAX/ZONE MAP	ELEC. DIST. CENSUS TR.
		9119	2.2 M-1	37	1st 602
WATER CODE		SEWER CODE			
BOI				2153000	

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
6790 COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 256-6400

No.	REVISION	DATE	BY

ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
(301) 296-4100
ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

UTILITY LAYOUT PLAN
PARCEL M-1
MEADOWRIDGE BUSINESS PARK
ZONE M-1
1st ELECTION DISTRICT
HOWARD CO., MD.
TAX/ZONE MAP 37

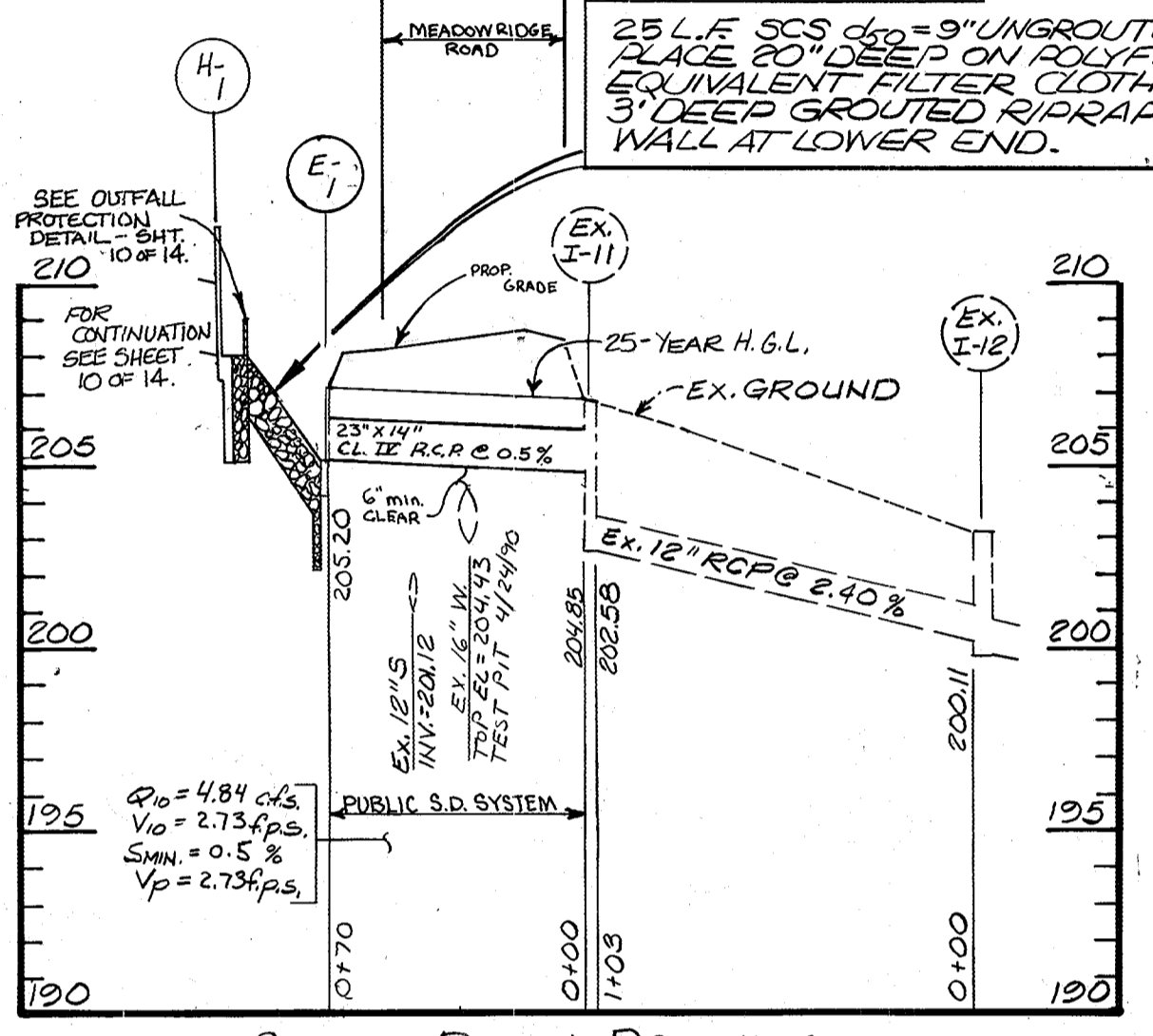
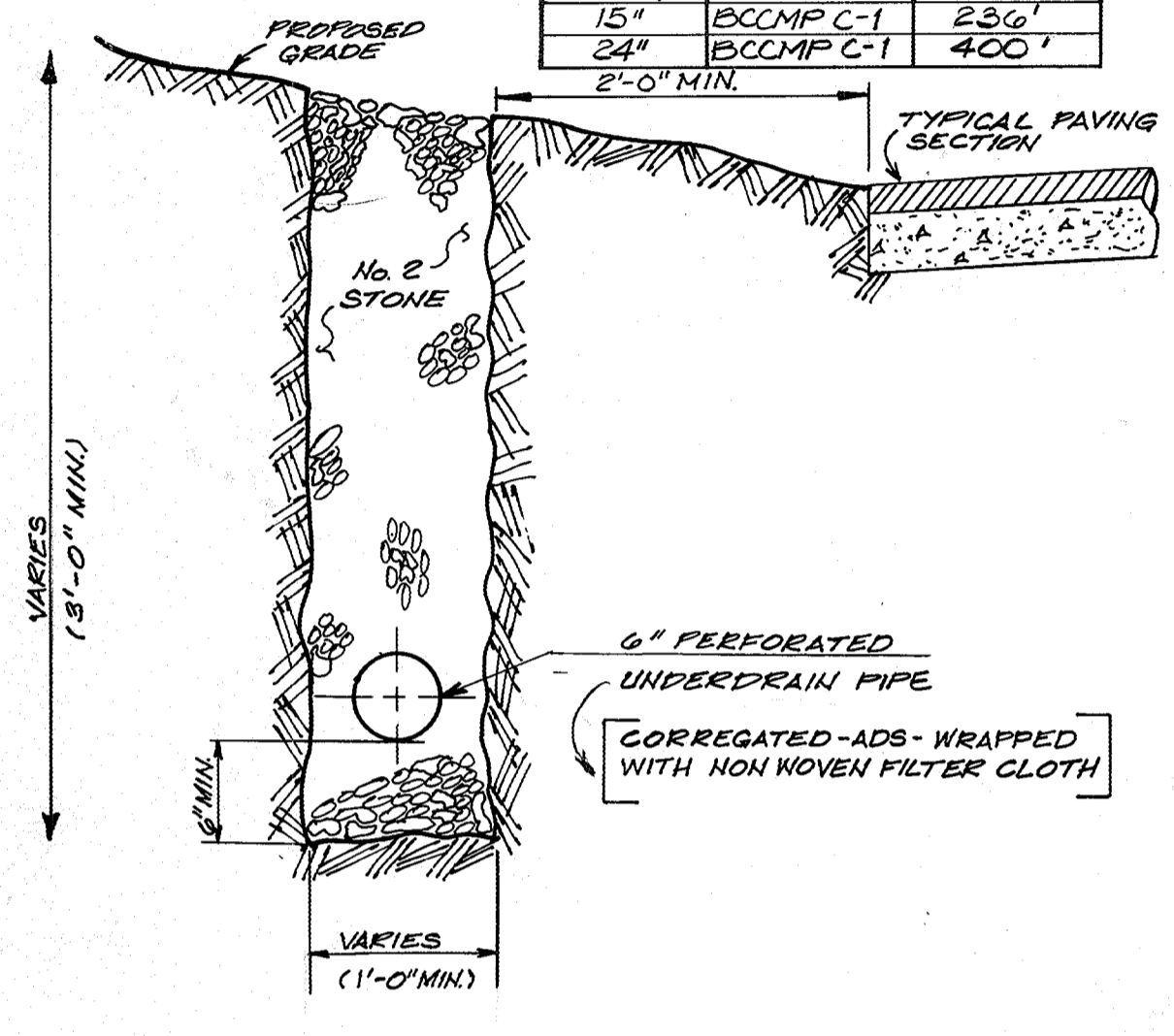
CIB / JDP DESIGN
SCALE 1" = 50'
DTW DRAWN
RHM
CHECKED SHEET
JAN '90
DATE
JOB No.
FILE No.
6 OF 14
B-1155-X

STRUCTURE SCHEDULE

NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-1	WR	203.70	—	206.25	SEE HO. CO. STD. DETAIL #SD-4.35
I-2	K	207.00	208.50	203.30	" " #SD-4.12
I-3	WR	213.40	—	206.10	" " #SD-4.35
I-4	WR	212.40	—	205.74	" " #SD-4.35
I-5	WR	223.60	—	214.61	" " #SD-4.35
I-6	WR	225.50	—	221.54	" " #SD-4.35
I-7	K	228.00	—	223.73	" " #SD-4.12
M-1	4' PRECAST	228.00	220.47	220.27	SEE HO. CO. STD. DETAIL #G-5.12
M-2	5' PRECAST	230.70	213.70	213.70	" " #G-5.13
H-2	X-CIRCULAR HW	215.75	212.00	212.00	" " #SD-3.11
M-3	4' BRICK MH	214.50	208.50	208.10	" " #G-5.01
M-4	SHALLOW MH	208.45	206.84	206.01	SEE HO. CO. STD. DETAIL #M-2.00
E-1	12" ENDWALL	207.20	205.10	205.10	" " #MP-355.01
H-1	X-CIRCULAR HW	211.50	208.00	208.00	SEE HO. CO. STD. DETAIL #SD-3.11
M-2A	5' PRECAST	224.63	218.70	217.95	SEE HO. CO. STD. DETAIL #G-5.12

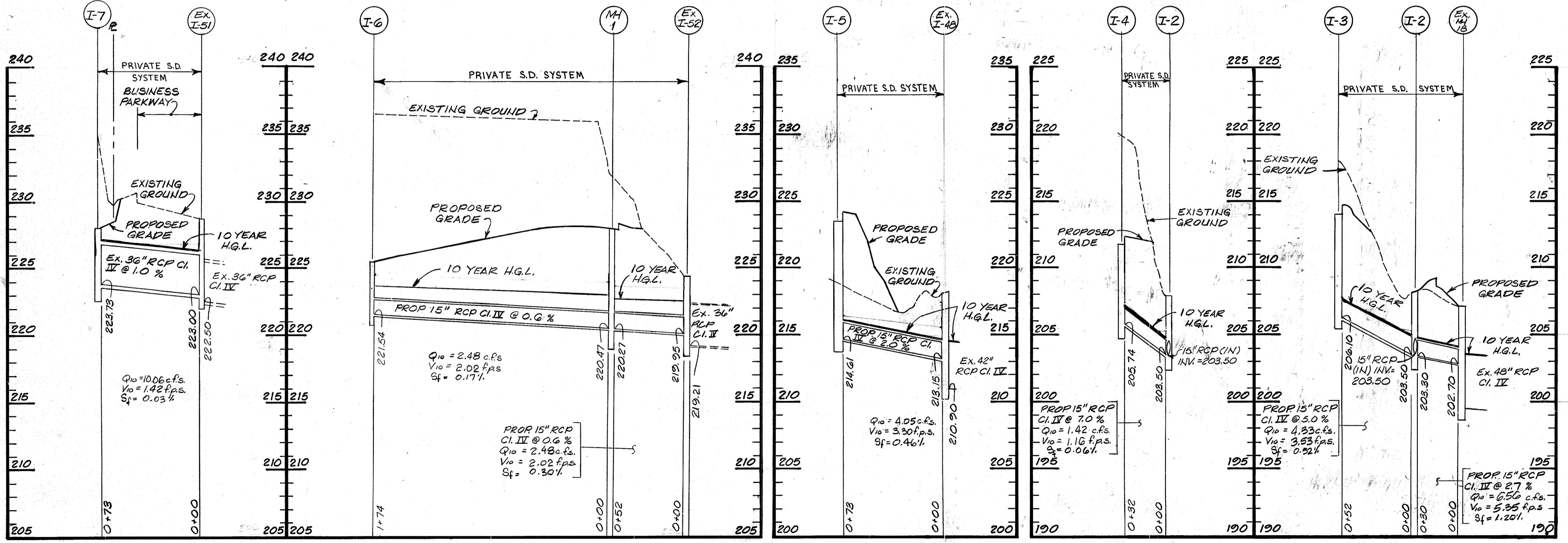
PIPE SCHEDULE

SIZE	TYPE	LENGTH
15"	RCP CI. II	440'
27"	RCP CI. II	173'
18"	RCP CI. II	34'
24"	RCP CI. II	208'
23"x14"	RCP CI. II	70'
15"	BCCMP C-1	236'
24"	BCCMP C-1	400'



TRENCH DRAIN DETAIL #1
SCALE: 1"=1'-0"

STORM DRAIN PROFILE (CULVERT UNDER MEADOWRIDGE ROAD)
SCALE: HOR. 1"=50' VERT. 1"=5'



OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
6790 COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 256-6400

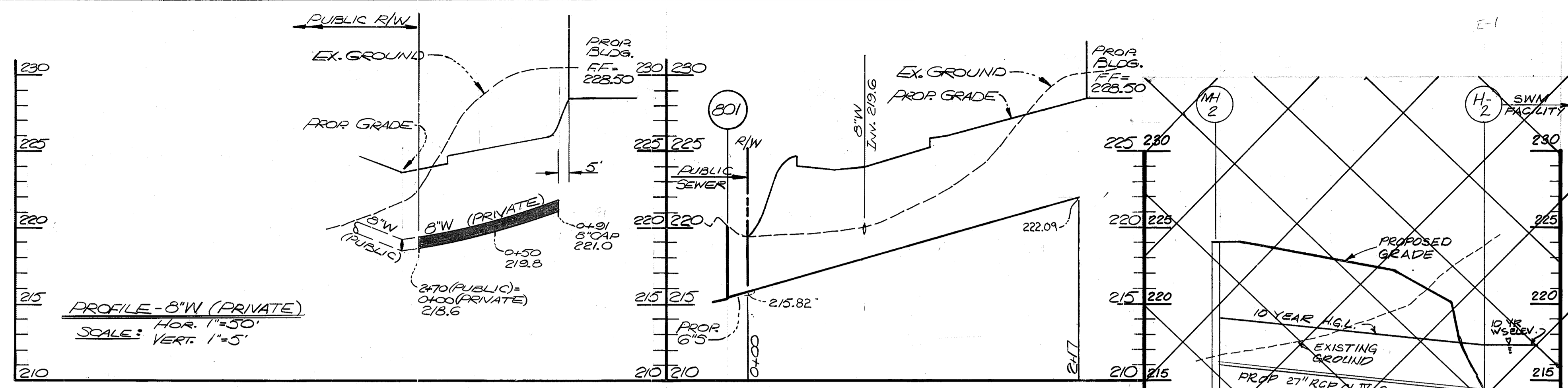
No.	REVISION	DATE	BY

ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
(301) 296-4100
ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

PROFILES
PARCEL M-1
MEADOWRIDGE BUSINESS PARK
ZONE M-1
1st ELECTION DISTRICT

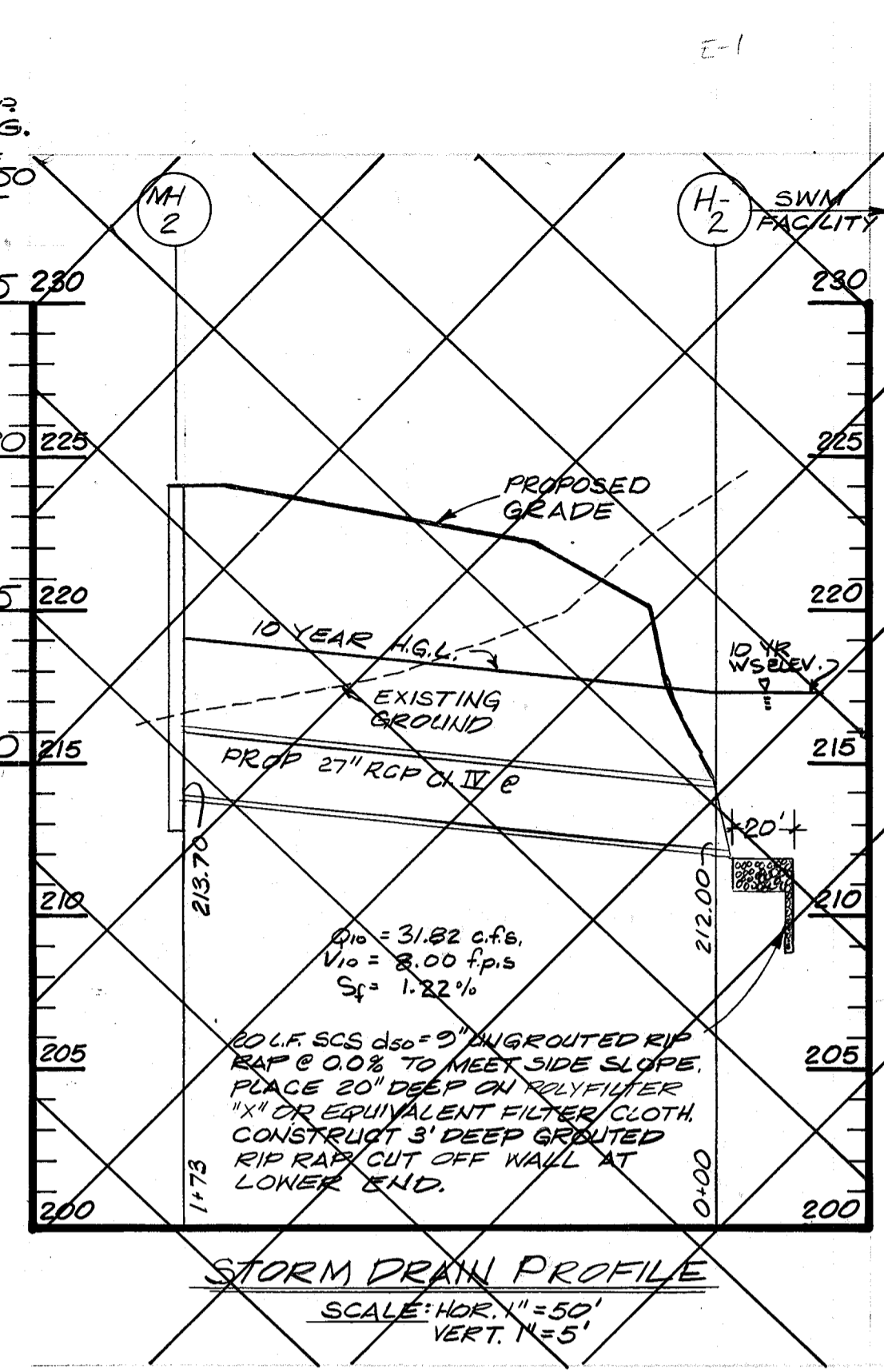
HOWARD CO., MD.
TAX/ZONE MAP 37

CIB/JDP DESIGN	SCALE AS SHOWN
DTW DRAWN	7 OF 14
RHM CHECKED	SHEET
JAN '90 DATE	8-1155-X FILE No.
JOB No.	



PROFILE - 8" W (PRIVATE)
SCALE: HOR. 1"=50' VERT. 1"=5'

PROFILE - 6" S (PRIVATE)
SCALE: HOR. 1"=50' VERT. 1"=5'



- ### GENERAL STORM DRAIN NOTES
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOL. IV, DETAILS AND SPECIFICATIONS FOR CONSTRUCTION.
 - ALL UTILITY COMPANIES SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF CONSTRUCTION.
 - ALL INLETS SHALL BE HOWARD COUNTY STANDARD UNLESS OTHERWISE SHOWN.
 - ALL STREET CURB RETURNES SHALL HAVE A 30.0" RADIUS UNLESS OTHERWISE NOTED.
 - STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL TEST ALL EXISTING UTILITIES WHERE DIRECTED BY THE ENGINEER A MINIMUM OF TWO WEEKS IN ADVANCE OF ANY CONSTRUCTION.
 - TEMPORARY COMPACTED 10' HIGH EARTH FILL DIVERSION DIKES SHALL BE CONSTRUCTED ABOUT THE TOES OF FILL SLOPES ON THE R.O.W. CONCURRENTLY WITH THE INITIAL GRADING AND DIRECTED TO UNDISTURBED SOIL AREAS AT THE END OF EACH DAY.
 - CONTRACTOR TO NOTIFY THE HOWARD COUNTY DEPT. OF INSPECTIONS AND PERMITS AT LEAST 3 DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS. TELEPHONE NO. 992-2436.
 - DISTURBED SLOPE AREA TO BE STABILIZED AS SOON AS GRADING IS COMPLETED.
 - ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM 20 DAY STRENGTH OF 3500 P.S.I.
 - ALL SWALES AND SLOPES SHALL BE PERMANENTLY SEEDED. SEE THE SPECIFICATIONS.
 - TRAFFIC CONTROL DEVICES AND THEIR INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1991 REVISED EDITION.
 - POLY-FILTERBAGS OR EQUAL SHALL BE PLACED UNDER ALL STONE RIP RAP (MUL WIDTH AND LENGTH OF STONE).
 - STONE FOR RIP RAP SHALL BE AS SPECIFIED ON THE DRAWINGS. ALL RIP RAP SHALL BE UNPAVED UNLESS OTHERWISE NOTED.
 - STUDS FOR 6" P.V.C. UNDERDRAIN PIPE TO BE INSTALLED AT CENTER OF EACH WALL OF EVERY INLET.
 - CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
STATE HIGHWAY ADMINISTRATION - 531-5533
BALTIMORE GAS & ELECTRIC COMPANY - UNDERGROUND ELECTRIC DISTRIBUTION CUSTOMER SERVICE - 685-0123
BALTIMORE GAS & ELECTRIC COMPANY - UNDERGROUND GAS DISTRIBUTION CUSTOMER SERVICE - 685-0123
BUREAU OF UTILITIES, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS - 992-2266
GIBBSBARKER & POTOMAC TELEPHONE COMPANY - 725-9976
AMERICAN TELEPHONE & TELEGRAPH - CABLE LOCATION DIVISION 393-3555
MISS UTILITY - 705-1390
 - ALL S.D. SYSTEMS WITHIN THE BOUNDARY OF PARCEL M-1 SHALL BE PRIVATELY OWNED AND MAINTAINED.

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Joseph Boyle 8/16/90
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

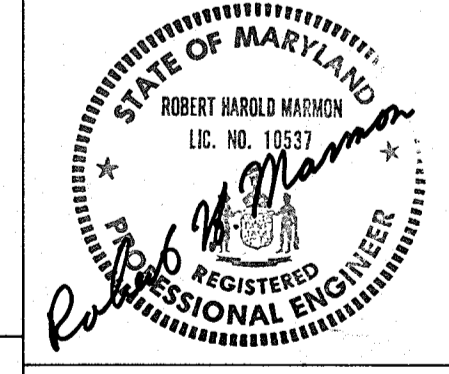
Paul W. Seaman 8/19/90
DIRECTOR DATE

Paul W. Seaman 8-2-90
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF
PLANNING & ZONING

U. R. ... 9.24.90
PLANNING DIRECTOR DATE

David ... 7/24/90
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE



BEFORE BEGINNING CONSTRUCTION, CONTACT
MISS UTILITY AT 1-800-257-7777 AT LEAST
48 HOURS PRIOR TO CONSTRUCTION

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PARCEL #	STREET ADDRESS	MEADOWRIDGE BUSINESS PARK		NA	PARCEL 178
MH	6600 BUSINESS PARKWAY	9179	22	M-1	37 1st 6012
WATER CODE		SEWER CODE			
BOI		2153000			

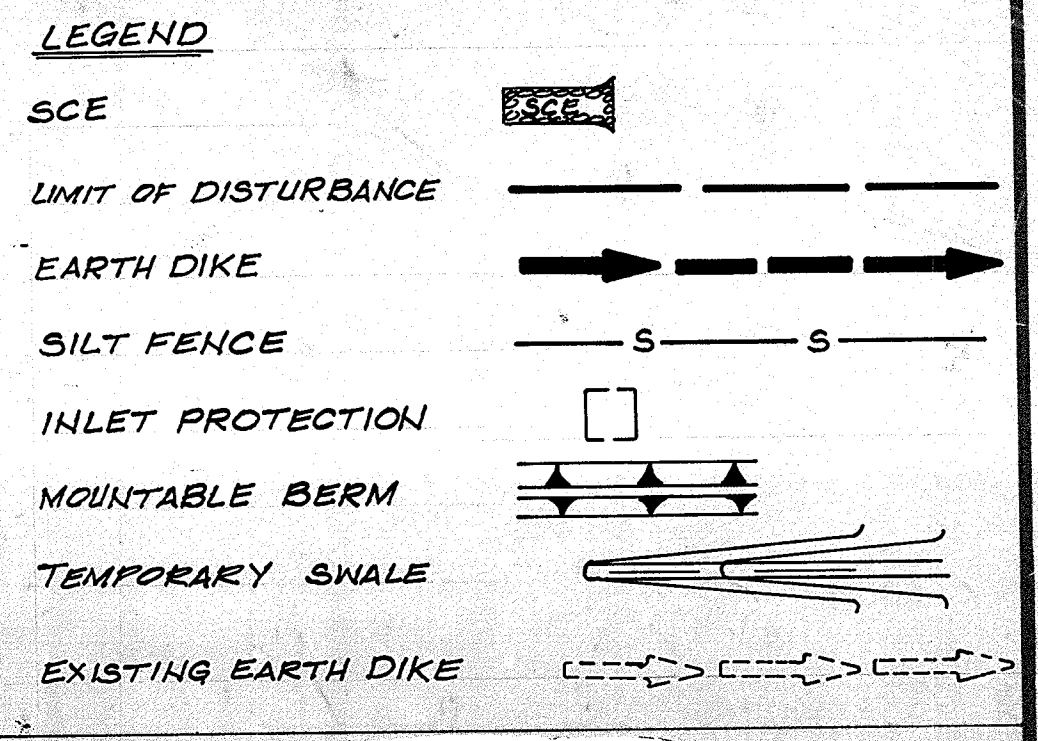
- SEQUENCE OF CONSTRUCTION
- Obtain necessary permits.
 - Hold pre-construction meeting on site with Howard County Sediment Control Inspector.
 - Clear and grub site for sediment control measures only. Restore existing earth dikes as needed, installed per GP 89-4 and F 89-16.3.
 - Remove existing curb and gutter on the north side of Business Parkway to construct stabilized construction entrance/mountable berm as shown on plan, at the west entrance only.
 - Place silt fence as per plan, then construct permanent 8'-wide along west property line and install storm drain system I-7 to existing I-5. Utilizing the existing stub installed previously. Permanent 8'-wide along west property line to be constructed prior to any site grading as a sediment control device.
 - Upon completion of 8'-wide, install SWM release system including the dewatering device for the temporary sediment basin/permanent SWM basin. Install second dewatering device as shown on plan. The concrete release structure shall be bound up to elevation 225.00 and the low flow orifice (invert 224.00) shall be plugged (see detail sheet 01 of 14). Construct embankment along Meadowridge Road, graded as shown on plan.
 - Excavate remainder of temporary sediment control/permanent stormwater management basin.
 - Place silt fence along Business Parkway then construct stone outlet sediment trap #2 and earth dike to the trap. Remove existing earth dikes.
 - Begin grading operations. As building pad area is being graded, maintain positive grade to sediment control basin. The contractor shall inspect and provide necessary maintenance on the sediment and erosion control structures shown hereon after each rainfall and on a daily basis. Sediment shall be removed from the temporary sediment control/permanent SWM basin when the clearout elevation (215.50) is reached.
 - Construct utilities (except the storm drain I-1) to existing I-42, under drain and inlet protection as per plan.
 - Install building foundation.
 - Upon completion of utilities, construct curb and gutter. Fine grade and stabilize all remaining disturbed areas.
 - Begin paving operations.
 - Remove stone outlet sediment trap, install I-42 to existing I-42 and complete the curb and gutter and paving operations in this area.
 - Upon final stabilization of the site and on a five day dry weather forecast, regrade the SWM facility to final dimensions and remove accumulated sediment. Replace the permanent dewatering device. If deemed necessary by the sediment control inspector, construct the remainder of the release structure, upgrading the low flow orifice (invert 224.00).
 - With the approval of Howard County Sediment Control Inspector remove sediment control measures.

SWM DESIGN SUMMARY

Design Storm	Allow. Rel. Rate	Facil. Inflow	Facil. Discharge	WSEL	Stor. Vol. (Ac. ft.)
2 Year	12.23 cfs	26.70 cfs	1.26 cfs	215.28 ft	1.40 Ac. ft.
10 Year	35.62 cfs	46.95 cfs	1.48 cfs	217.37 ft	2.35 Ac. ft.
100 Year	66.22 cfs	69.46 cfs	2.70 cfs	218.81 ft	3.11 Ac. ft.

DETENTION POND W/PRIVATE MAINTENANCE

Structure Classification	A
Storage-Height Product	39.24
Watershed Area to Facility	9.84 AC
Level of Management Provided by Facility	2,10
Height of Dam	10.30 FT
Top Width of Dam	10.00 FT
Side Slopes of Dam	2:1
Volume Provided	220.00
Volume Required	213.12 OF
Bottom of Pond	209.70
Avg. Bottom Dimension	52.5' X 205'
Cleanout Elevation	211.50
Top of Dam	220.00
Pond Bottom	209.70



APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

John Bowler 8/16/90
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

Donald J. Spinn 8/19/90
DIRECTOR DATE

Robert V. Mamon 8/22/90
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

W. J. ... 9/29/90
PLANNING DIRECTOR DATE

Wanda S. ... 9/29/90
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

SEDIMENT CONTROL AND POND CONSTRUCTION

By the Developer:

"I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certification of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We will provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Will G. Ell 7/21/1990
Signature of Developer Date

By the Engineer:

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion."

Robert V. Mamon 2/7/90
Signature of Engineer Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

James H. ... 6/28/90
U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Robert Zielinski 6/28/90
Howard Soil Conservation Service Date



BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

TEMPORARY SEDIMENT CONTROL BASIN

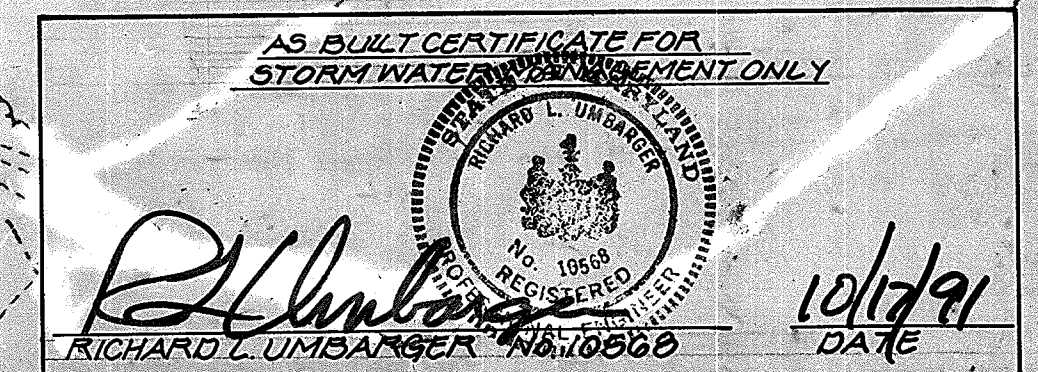
DRAINAGE AREA TO BASIN	11.84 AC
BASIN CLASS	A
HEIGHT OF DAM	10.00 FT
TOP WIDTH OF DAM	10.00 FT
SIDE SLOPES	2:1
VOLUME REQUIRED	213.12 OF
VOLUME PROVIDED	558.05 OF
TOP OF DAM	220.00
BOTTOM OF POND	209.70
AVG. BOTTOM DIMENSION	52.5' X 205'
CLEANOUT ELEVATION	211.50
TOP RELEASE STRUCTURE	215.00

STONE OUTLET TRAP #2 ST-V

DRAINAGE AREA	499 AC
REQUIRED STORAGE	8982 CF
STORAGE PROVIDED	9680 CF
STORAGE DEPTH	4 FT
BOTTOM ELEVATION	206.0
CREST ELEVATION	211.0
CREST LENGTH	22 FT
TOP OF EMBANKMENT	212.0
CLEANOUT ELEVATION	208.0
AVG. BOTTOM DIMENSION	54' X 30'
MAXIMUM SIDE SLOPE	2:1

AS-BUILT ADDRESS CHART

PARCEL #	STREET ADDRESS	SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
M-1	6600 BUSINESS PARKWAY	MEADOWRIDGE BUSINESS PARK	NA	PARCEL 178
		PLAY NO. OR L/P/BLOCK NO./ZONE	TAX/ZONE MAP ELEC. DIST. CENSUS TR.	
		9179	22 M4 37	1# 602
		WATER CODE	SEWER CODE	
		801	253000	



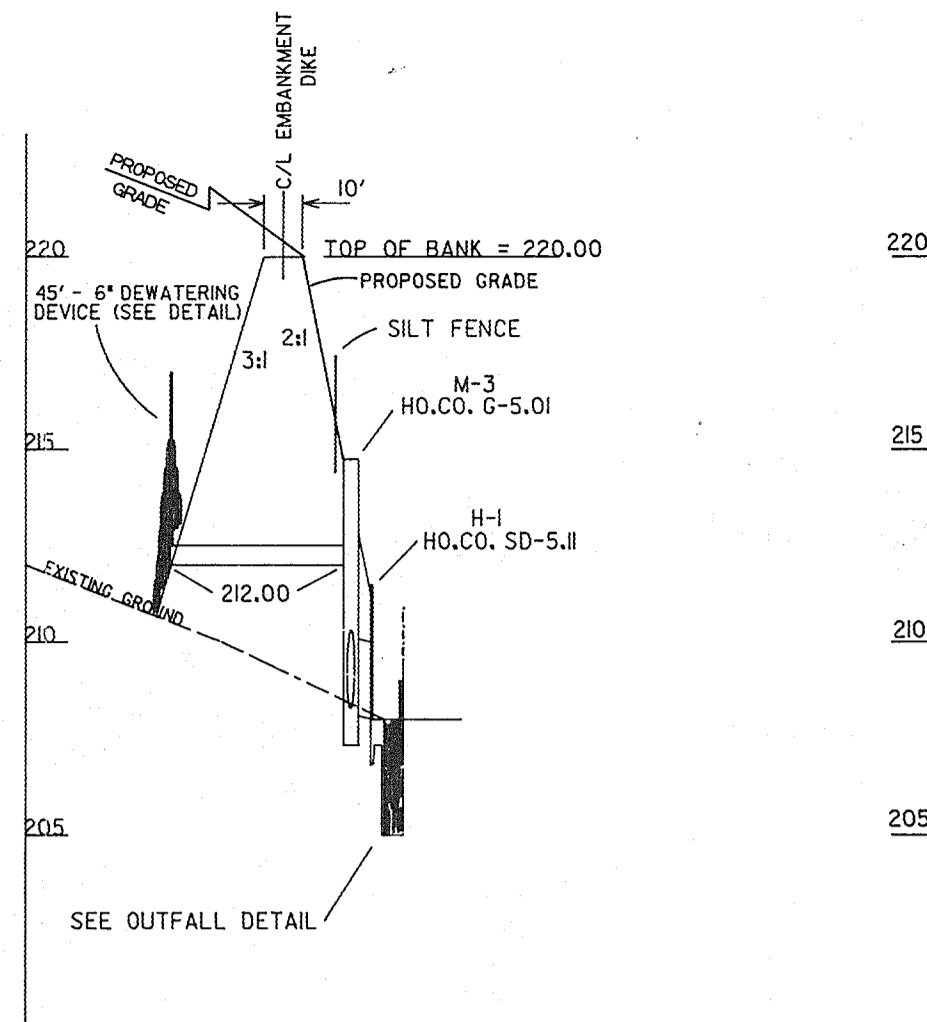
OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
6790 COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 256-6400

No.	REVISION	DATE	BY

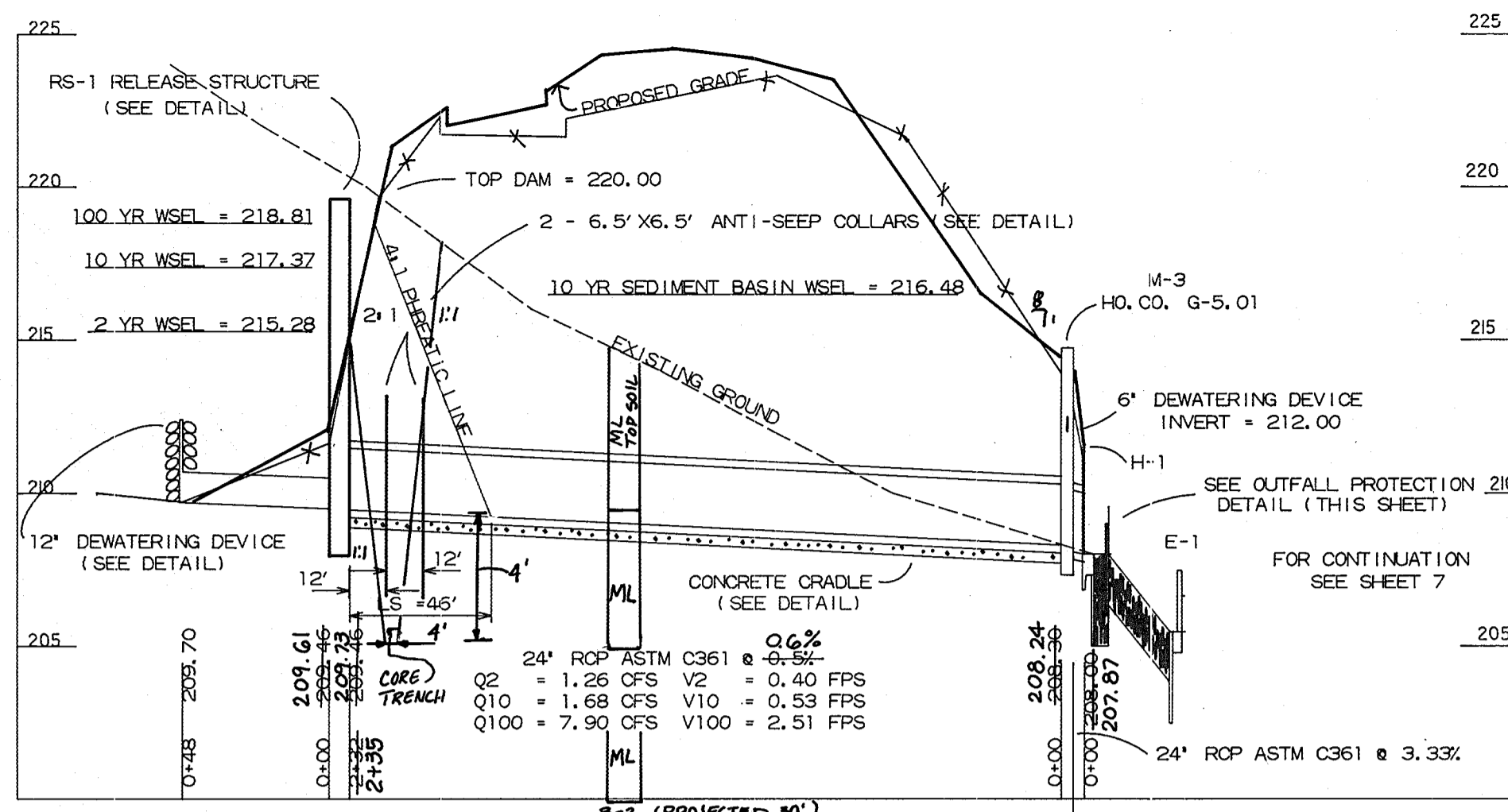
ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
(301) 296-4100
ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • COLLEGE PARK, MD • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

SEDIMENT CONTROL AND STORMWATER MANAGEMENT PLAN
PARCEL M-1
MEADOWRIDGE BUSINESS PARK
ZONE M-1 HOWARD CO., MD.
1st ELECTION DISTRICT TAX/ZONE MAP 37

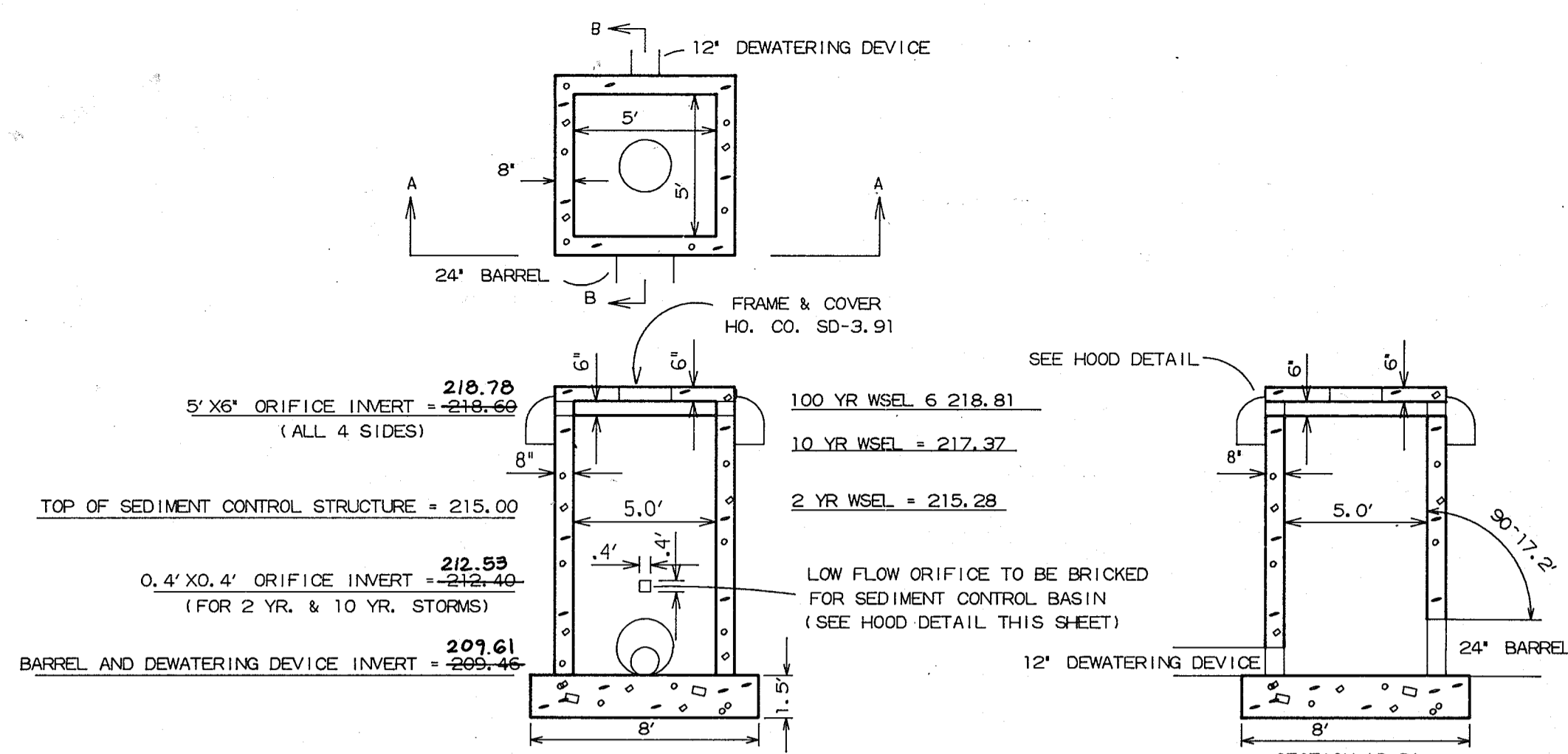
TJW DESIGN SCALE: 1" = 50'
JLG/TJW
DRAWN RHM
CHECKED SHEET
JAN '90 DATE
SDP 90-183



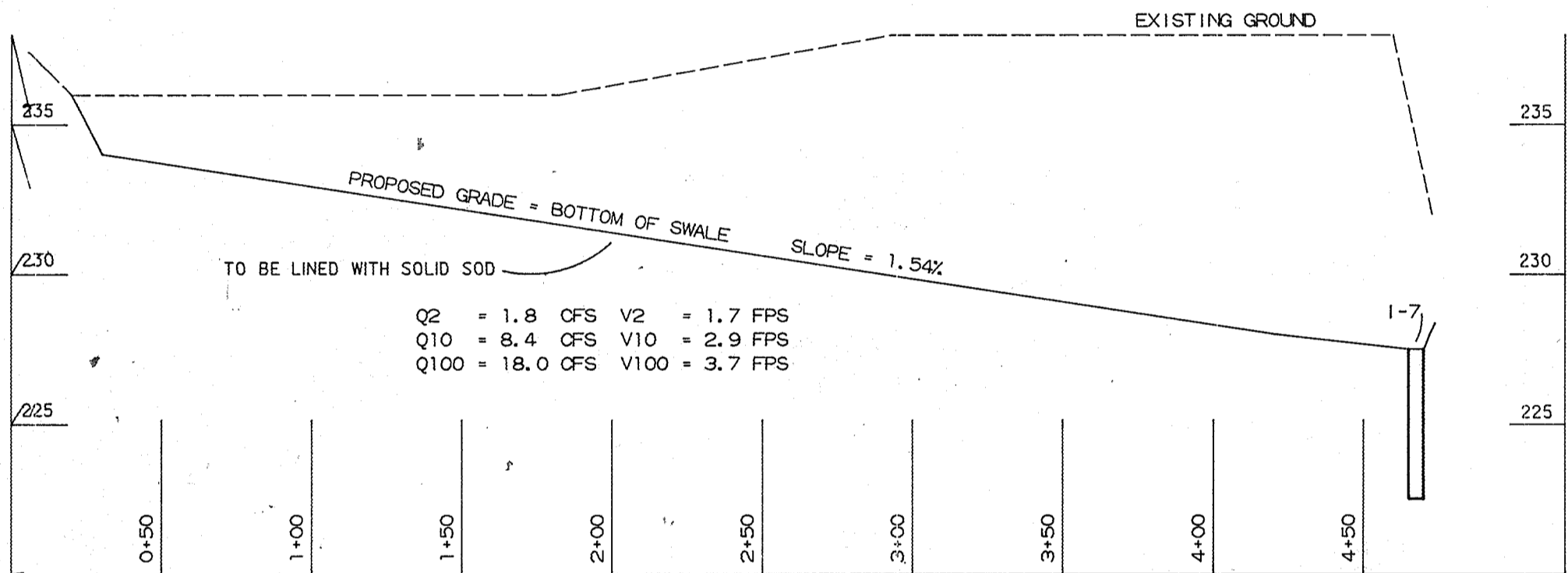
EMBRANKMENT DIKE
SECTION 'A-A'
HORIZ. 1" = 50'
VERT. 1" = 5'



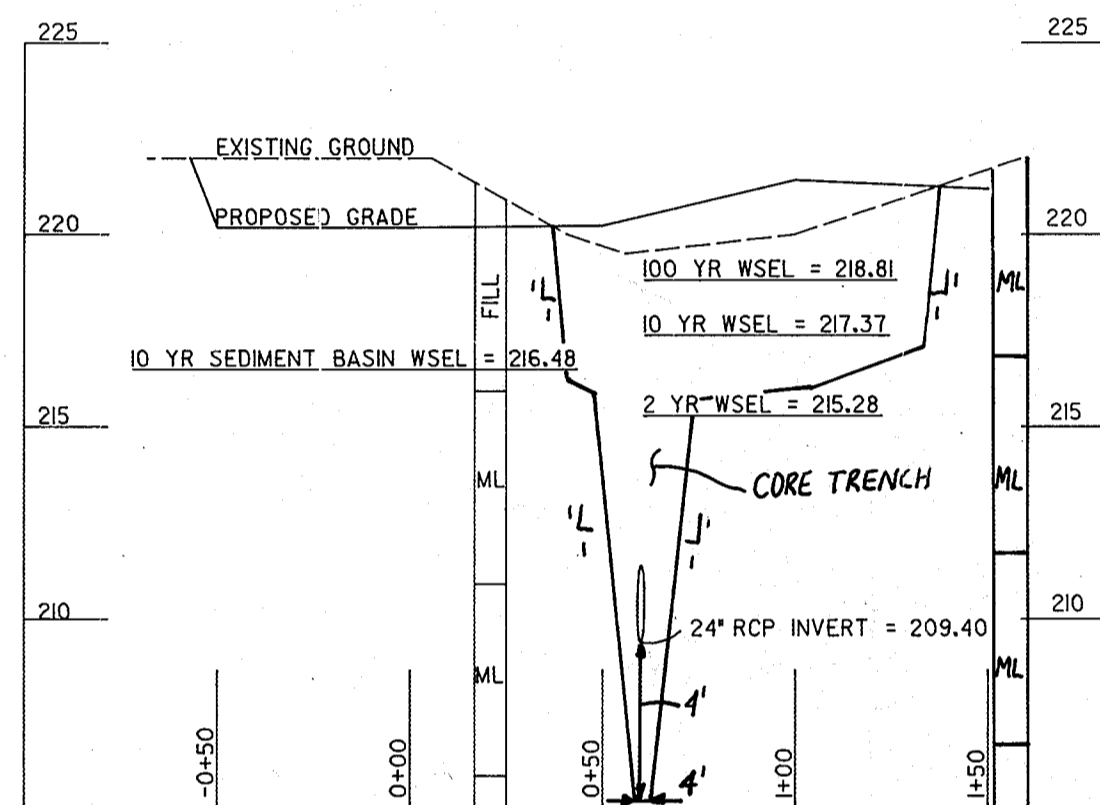
PROFILE THROUGH PRINCIPAL SPILLWAY
SECTION 'B-B'
HORIZ. 1" = 50'
VERT. 1" = 5'



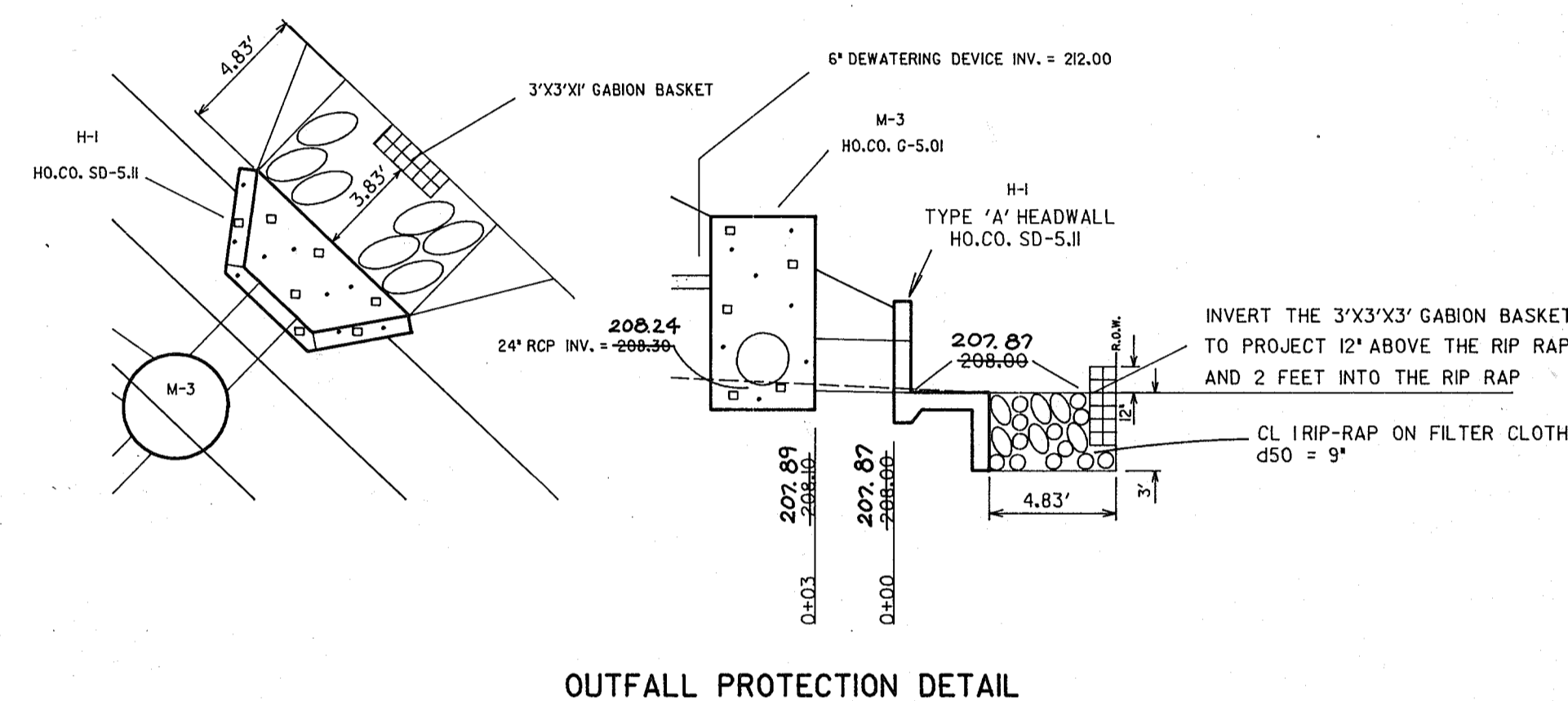
CONCRETE RELEASE STRUCTURE DETAIL (RS-1)
1" = 5'



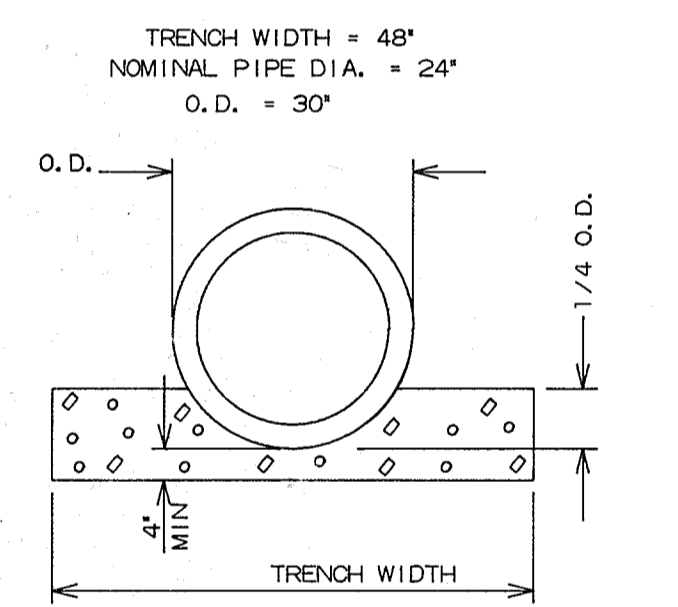
B-ISWALE ALONG WEST PROPERTY LINE
SECTION 'C-C'
HORIZ. 1" = 50'
VERT. 1" = 5'



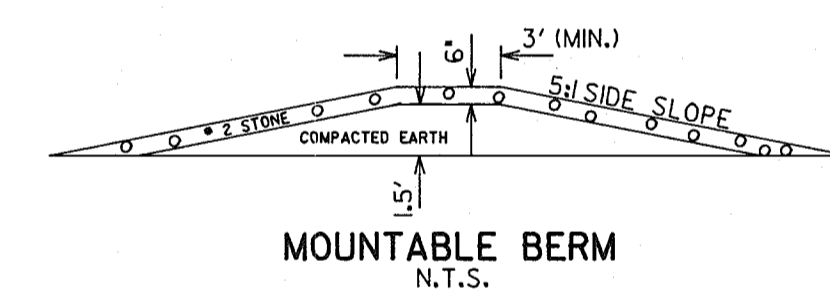
PROFILE ALONG CENTERLINE OF DAM
SECTION 'D-D'
HORIZ. 1" = 50'
VERT. 1" = 5'



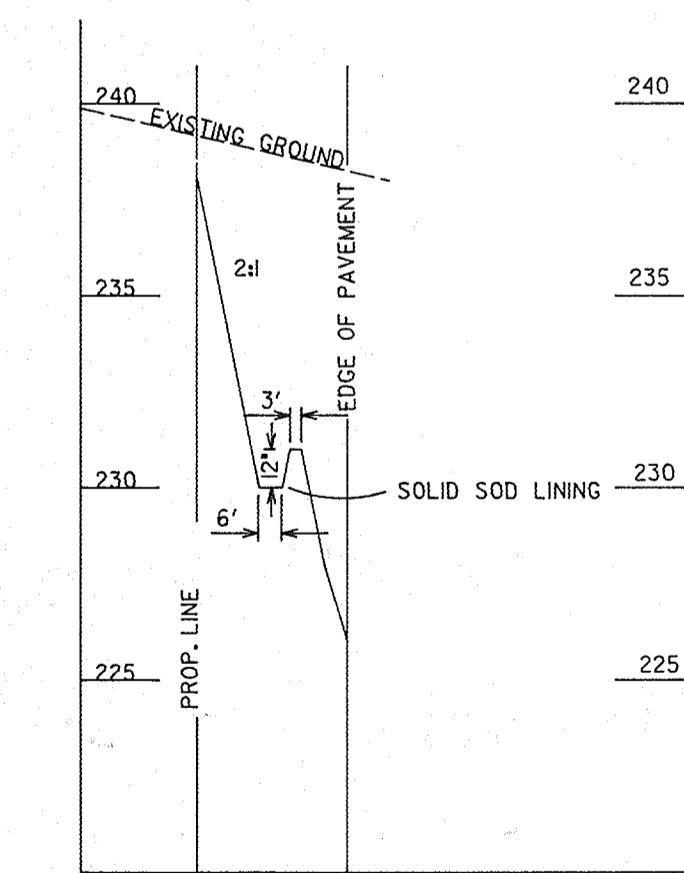
OUTFALL PROTECTION DETAIL
1" = 6'



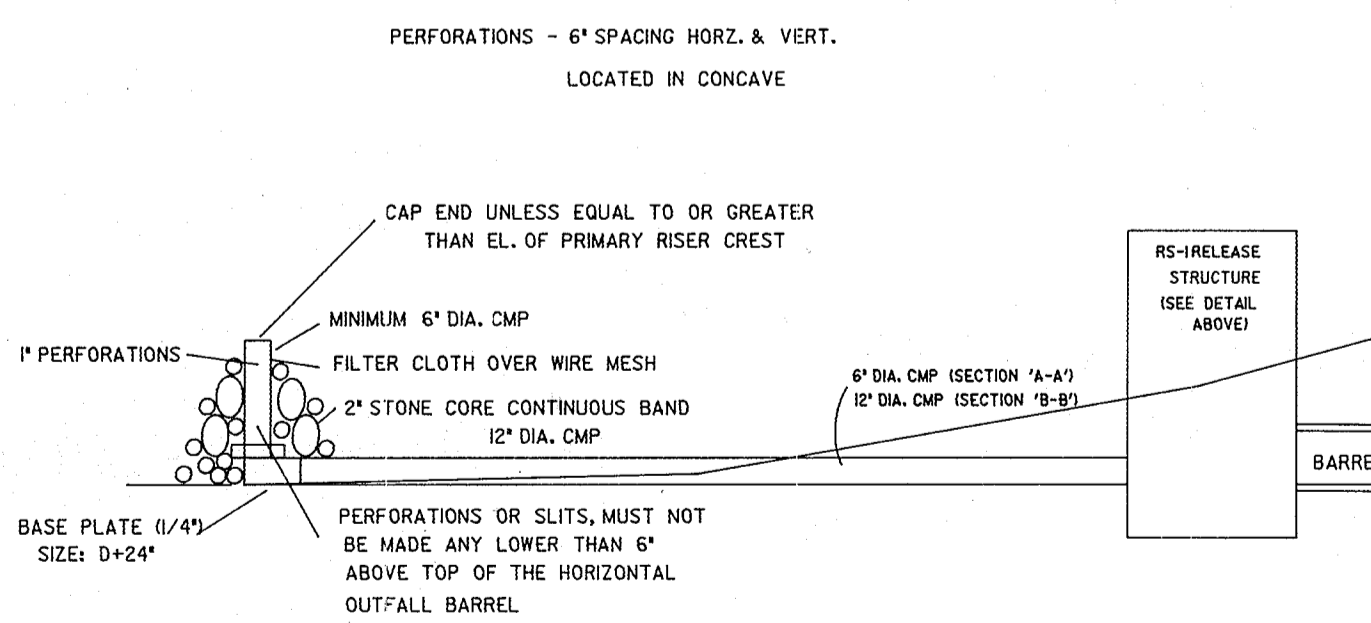
LOW CONCRETE CRADLE HO.CO. G-2.02
N.T.S.



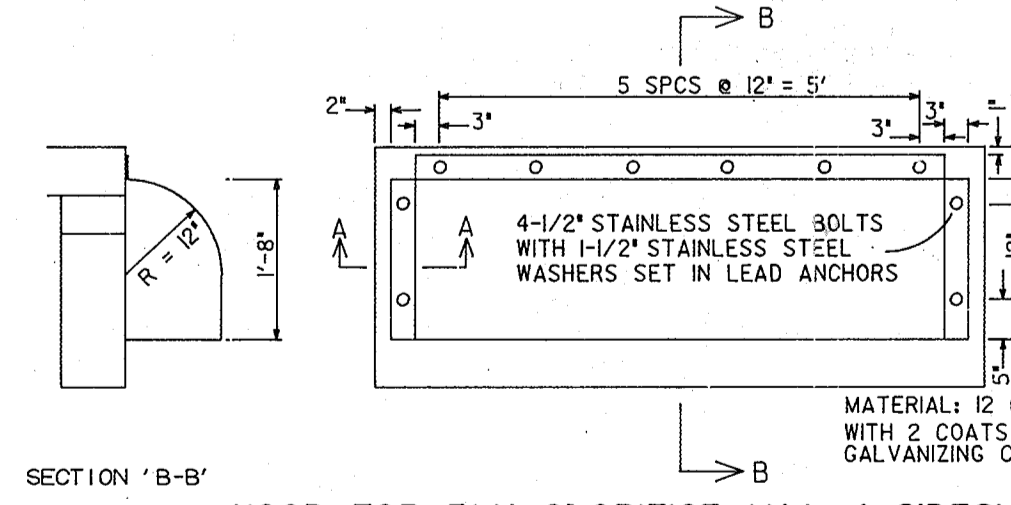
MOUNTABLE BERM
N.T.S.



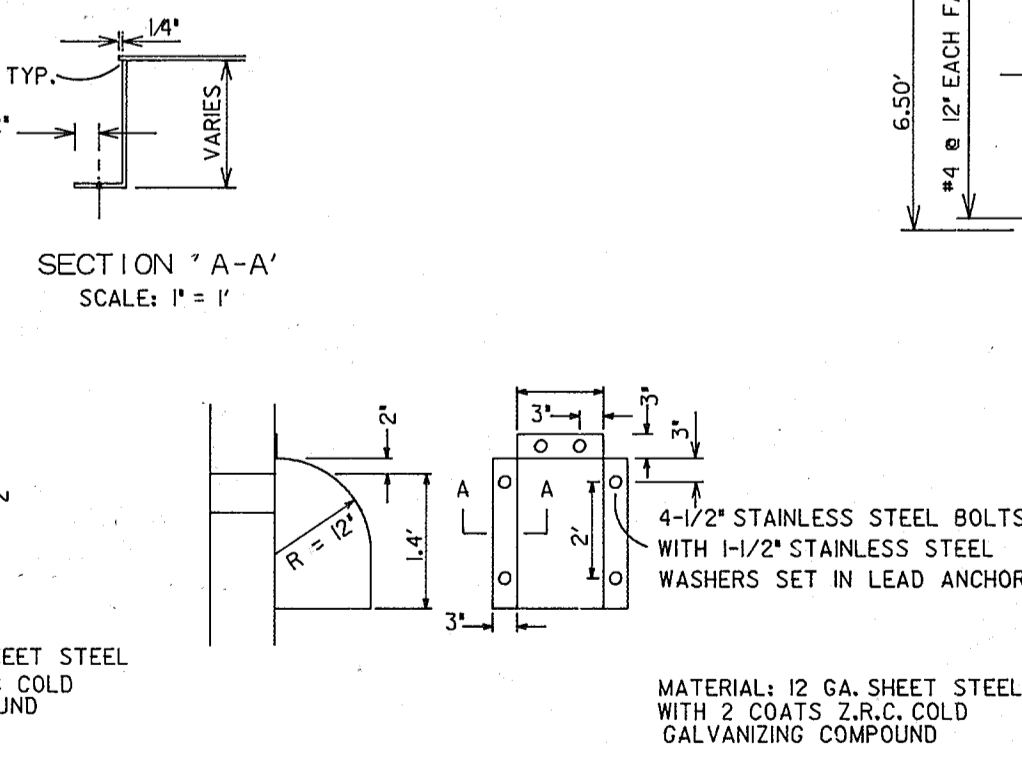
PROFILE THROUGH B-ISWALE
SECTION 'E-E'
HORIZ. 1" = 50'
VERT. 1" = 5'



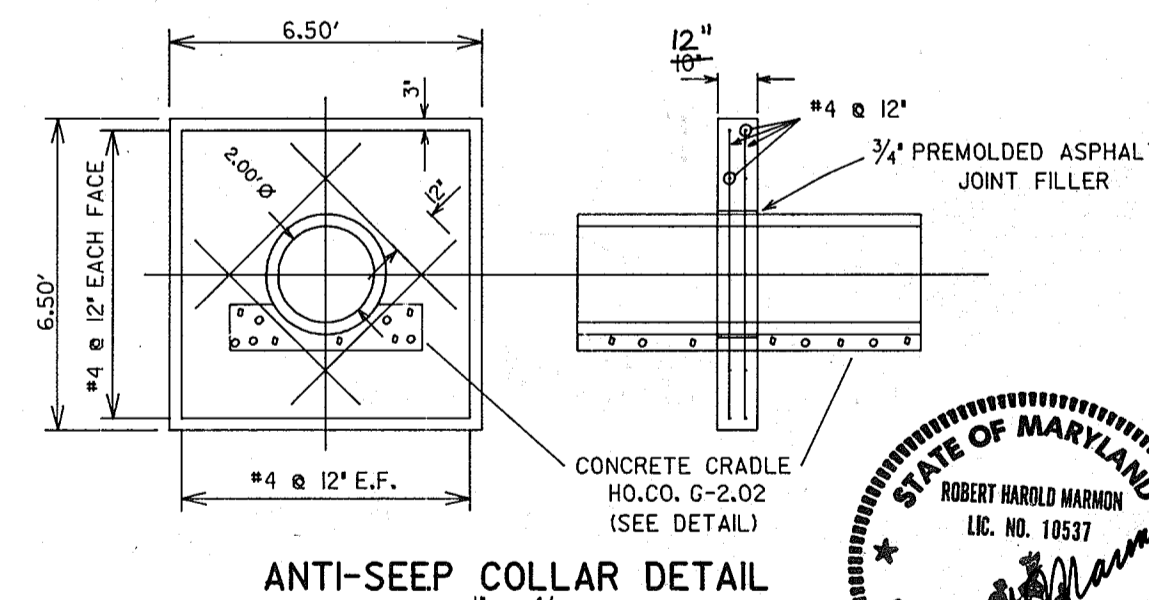
WATER QUALITY DEWATERING DEVICE



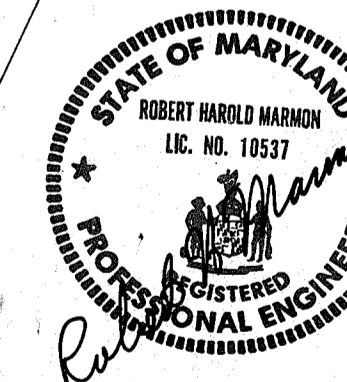
HOOD FOR 5' X 6' ORIFICE (ALL 4 SIDES)
SCALE: 1" = 2'



HOOD FOR 0.4' X 0.4' ORIFICE
SCALE: 1" = 2'



ANTI-SEEP COLLAR DETAIL
1" = 4'



AS-BUILT

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

James J. ... 8/16/90
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

Robert H. Marmon 8/2/90
DIRECTOR DATE
... 8-2-90
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF
PLANNING & ZONING

... 9-2-90
PLANNING DIRECTOR DATE
... 9/2/90
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

SEDIMENT CONTROL AND POND CONSTRUCTION

By the Developer:
*I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certification of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Will Bell 3/1/90
Signature of Developer DATE

By the Engineer:
*I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion.

Robert H. Marmon 2/7/90
Signature of Engineer DATE

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

... 6/28/90
Howard Soil Conservation Services DATE

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Robert H. Marmon 6/28/90
Howard Soil Conservation Services DATE

AS BUILT CERTIFICATE FOR
STORM WATER MANAGEMENT ONLY

Richard L. Umbarger 10/12/91
REGISTERED PROFESSIONAL ENGINEER DATE

BEFORE BEGINNING CONSTRUCTION, CONTACT
MISS UTILITY AT 1-800-257-7777 AT LEAST
48 HOURS PRIOR TO CONSTRUCTION

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PARCEL #	STREET ADDRESS	MEADOWRIDGE BUSINESS PARK	NA	PARCEL 17B	
M-1	6600 BUSINESS PARKWAY	9179	22	M-1	37
WATER CODE		SEWER CODE		2151000	

OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
6790 COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 256-6400

No.	REVISION	DATE	BY



ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
(301) 296-4100
ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

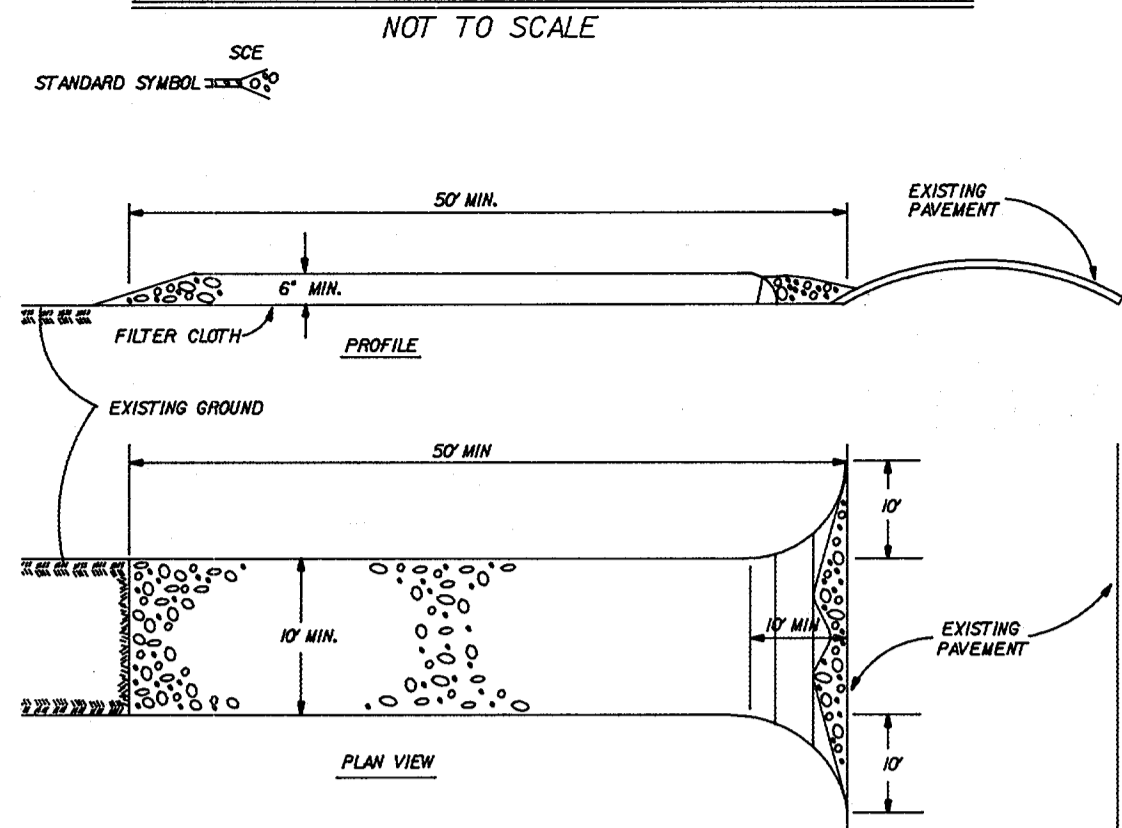
SEDIMENT CONTROL/S.W.M. DETAILS
PARCEL M-1
MEADOWRIDGE BUSINESS PARK
ZONE M-1
1st ELECTION DISTRICT

HOWARD CO., MD.
TAX/ZONE MAP 37

T/JW DESIGN	SCALE AS SHOWN
T/JW DRAWN	10 OF 14
RHM CHECKED	SHEET
JAN '90 DATE	B-1155-X FILE No.

SDP 90-1433

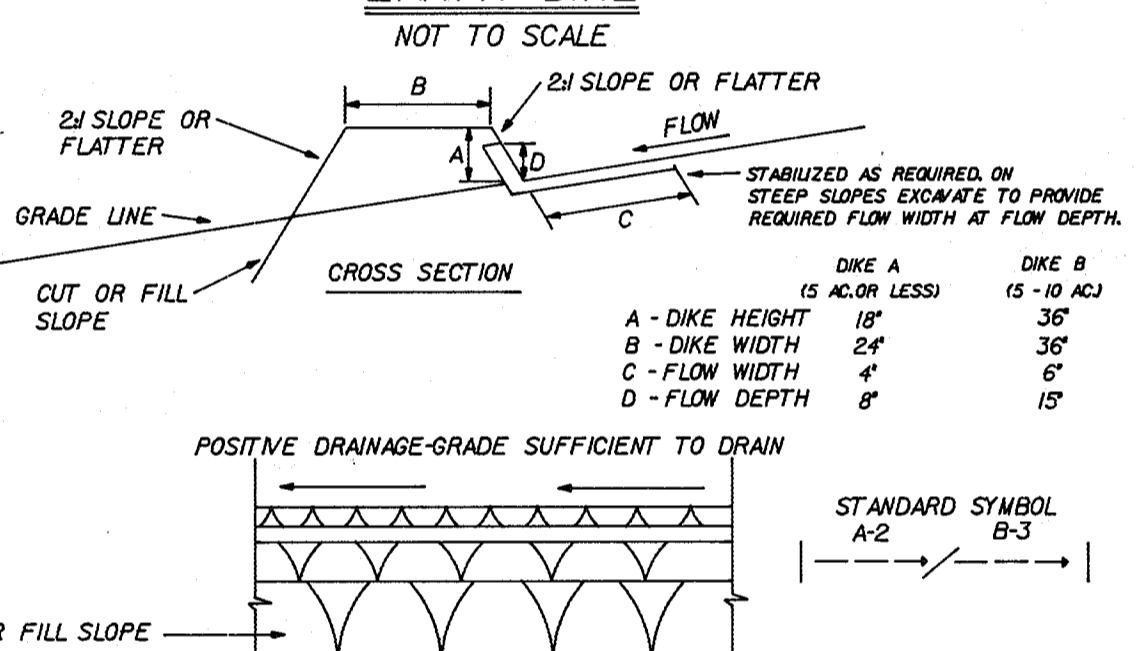
STABILIZED CONSTRUCTION ENTRANCE



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS NOT LESS THAN SIX (6) INCHES.
- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY WEAR MEASURES USED TO TRAP SEDIMENT. SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

EARTH DIKE



CONSTRUCTION SPECIFICATIONS

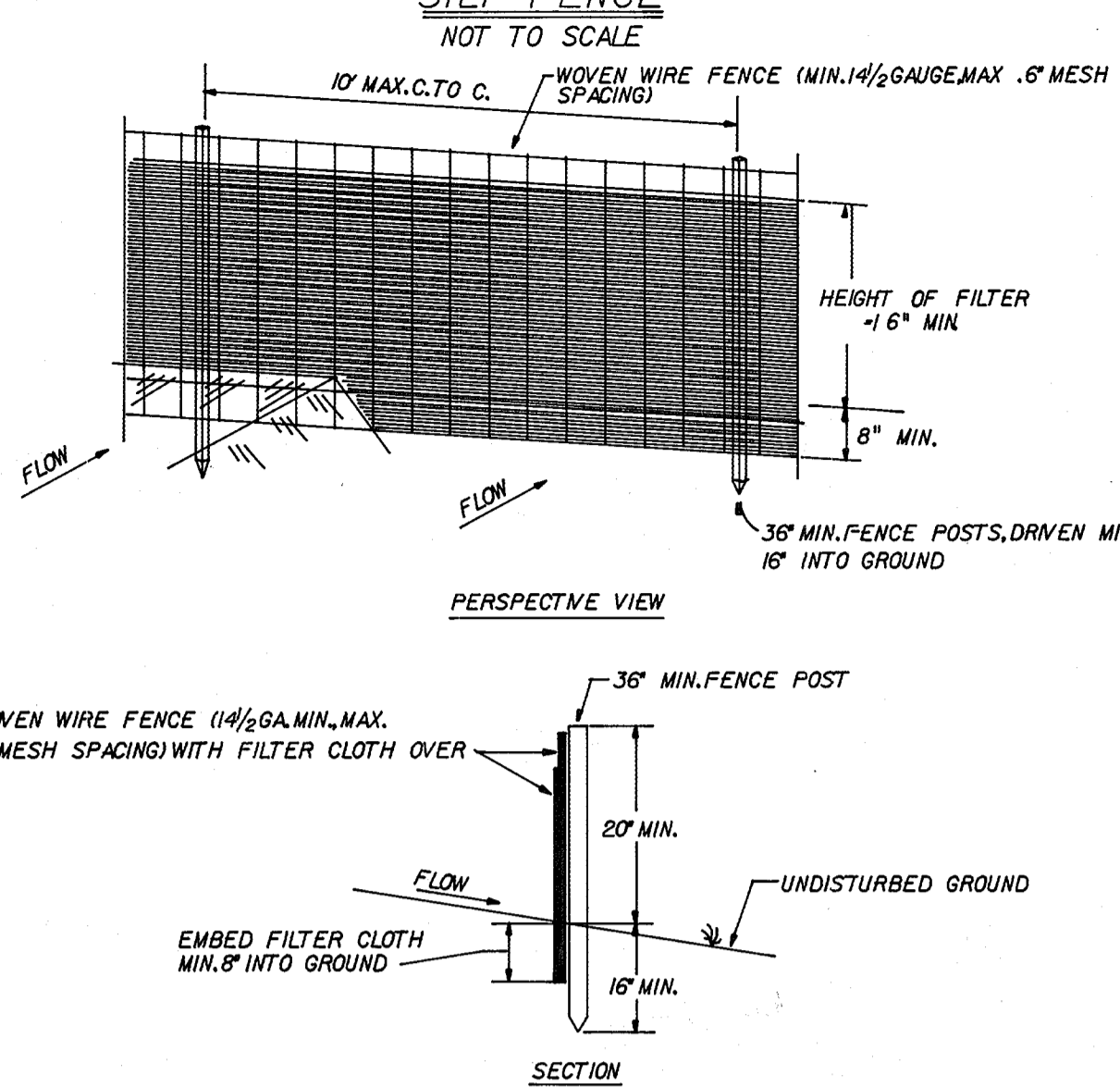
- ALL DIKES SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
- ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
- TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRUCKS.
- FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
- EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT ADEQUATELY STABILIZED.
- STABILIZATION SHALL BE, (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON; (B) FLOW CHANNEL AS PER THE CHART BELOW.

FLOW CHANNEL STABILIZATION

TYPE OF TREATMENT	CHANNEL GRADE	DIKE A (5 AC OR LESS)	DIKE B (5 - 10 AC)
1	5.0X-3.0X	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.0X-5.0X	SEED AND STRAW MULCH	SEED USING JUTE OR 2" STONE
3	5.0X-8.0X	SEED WITH JUTE OR 2" STONE	LINED RIP-RAP 4-8"
4	8.0X-20X	LINED RIP-RAP 4-8"	ENGINEERING DESIGN

A. STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.
 B. RIP-RAP TO BE 4-8 INCHES IN A LAYER AT LEAST 6 INCHES THICKNESS AND PRESSED INTO THE SOIL.
 C. APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.
 7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

SILT FENCE



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
 Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
 Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
 1. Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/100 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/100 sq ft) before seeding. Harrow or disc into upper three inches of soil.
 2. Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/100 sq ft) before seeding. Harrow or disc into upper three inches of soil.
 Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (1 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 50 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
 Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool of 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
 Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
 Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.
 Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
 Seeding: For period March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
 Mulching: Apply 1 1/2 to 2 tons per acre & 70 to 90 lbs/1000 sq ft of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR rate and methods not covered.

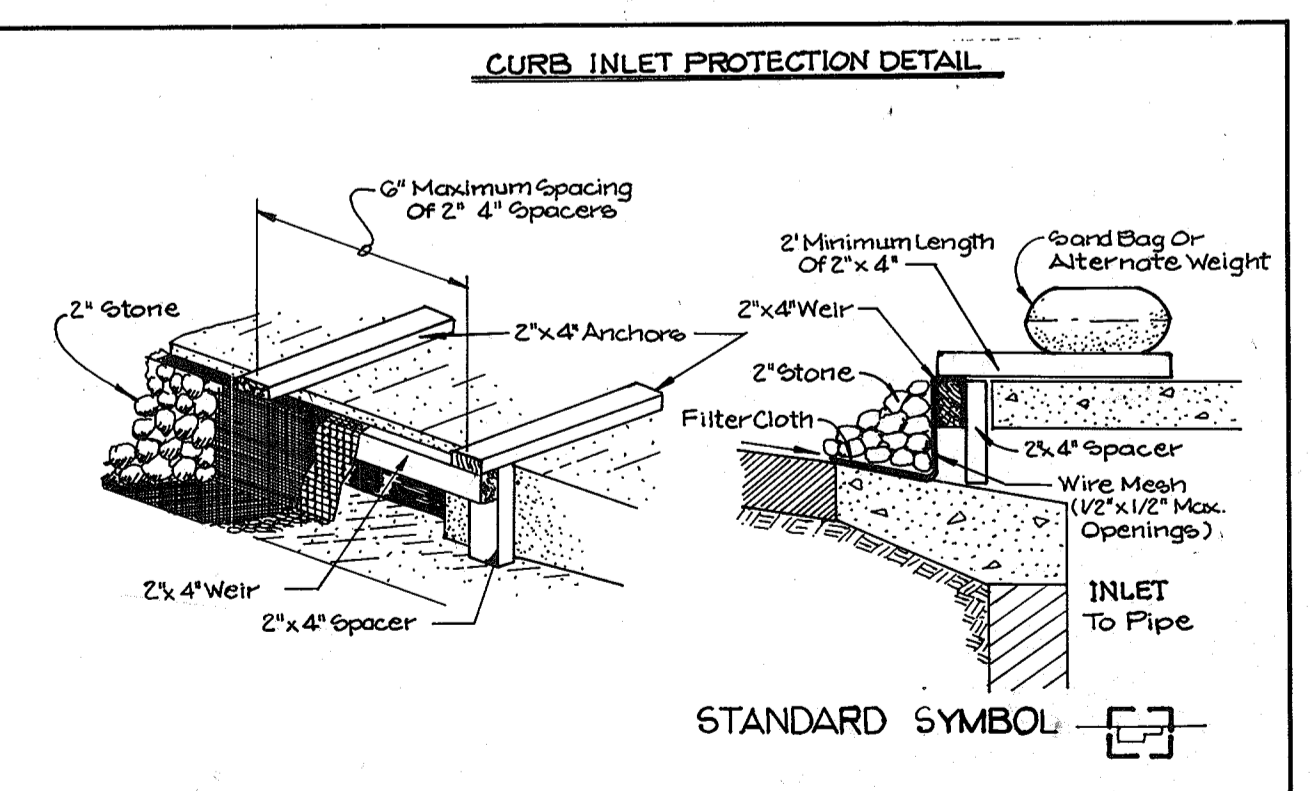
SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A 7 CALENDAR DAYS FOR ALL PERMANENT SEDIMENT CONTROL STRUCTURES, DIKES, PERMANENT SLOPES AND ALL SLOPES GREATER THAN 3:1 B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52) TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 TOTAL AREA OF SITE 12.71 ACRES
 AREA DISTURBED 12.50 ACRES
 AREA TO BE ROOFED OR PAVED 7.37 ACRES
 AREA TO BE VEGETATIVELY STABILIZED 5.13 ACRES
 TOTAL CUT 24800 CU. YDS.
 TOTAL FILL 23400 CU. YDS.
 OFFSITE WASTE/ AREA LOCATION:
 8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
 9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

CONSTRUCTION SPECIFICATIONS

- SITE PREPARATION**
 The fill area and borrow area shall be cleared and grubbed to remove all trees, vegetation, roots and other objectionable material. The topsoil from the embankment area and borrow area shall be removed and stockpiled. The topsoil shall be spread on the completed fill area.
- EARTH FILL**
 A) FILL MATERIAL shall be obtained from on-site under the supervision of a soils engineer. It shall be free from roots, stumps, wood rubbish, oversized stones, frozen or other objectionable material. Fill areas shall be constructed to the elevation shown on the plan to allow for anticipated settlement.
 B) PLACEMENT: Areas on which fill will be placed shall be scarified prior to placement of fill. Fill materials shall be placed in layers of 12\"/>

NOTE: SUITABLE MATERIAL SHALL BE USED FOR THE EMBANKMENT AND ROLLED TO A MINIMUM DEGREE OF COMPACTION OF 95% OF THE DRY UNIT WEIGHT AS DETERMINED BY AASHTO-T-99. CONSTRUCTION OF SW POND SHALL BE PERFORMED UNDER STRICT SUPERVISION OF A SOILS ENGINEER.



APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

Signature: [Signature]
 COUNTY HEALTH OFFICER
 DATE: 8/16/90

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
 HOWARD CO. DEPT. OF PUBLIC WORKS

Signature: [Signature]
 DIRECTOR
 DATE: 8/2/90

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Signature: [Signature]
 PLANNING DIRECTOR
 DATE: 8/2/90

Signature: [Signature]
 CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT
 DATE: 8/2/90

By the Developer:
 Signature: [Signature]
 DATE: 8/2/90

*I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certification of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature: [Signature]
 Signature of Developer
 DATE: Feb 1, 1990

By the Engineer:
 *I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an as-built plan of the pond within 30 days of completion.

Signature: [Signature]
 Signature of Engineer
 DATE: 2/7/90

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

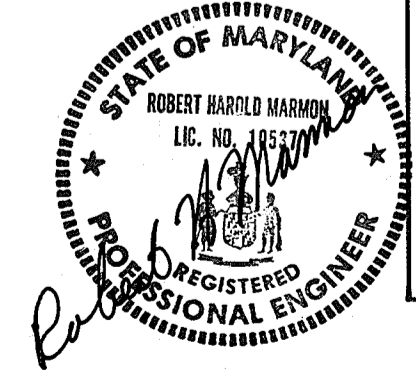
Signature: [Signature]
 U.S. Soil Conservation Service
 DATE: 6/28/90

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Signature: [Signature]
 Howard Soil Conservation Service
 DATE: 6/28/90

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL
MEADOWRIDGE BUSINESS PARK	NA	PARCEL 178
PLAT NO. OR L.F./BLOCK NO./ZONE	TAX/ZONE MAP ELEC. DIST.	CENSUS TR
9/179	22 M-1 37	1st 6002
WATER CODE	SEWER CODE	
801	2153000	



ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS

GREENHORNE & O'MARA, INC.

113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
 (301) 296-4100

ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
 LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

SEDIMENT CONTROL/S.W.M. DETAILS
 PARCEL M-1
 MEADOWRIDGE BUSINESS PARK
 ZONE M-1
 1st ELECTION DISTRICT

HOWARD CO., MD.
 TAX/ZONE MAP 37

T/W DESIGN	SCALE
T/W DRAWN	11 OF 14
RHM CHECKED	SHEET
JAN '90 DATE	8-1155-X FILE No.
	JOB No.

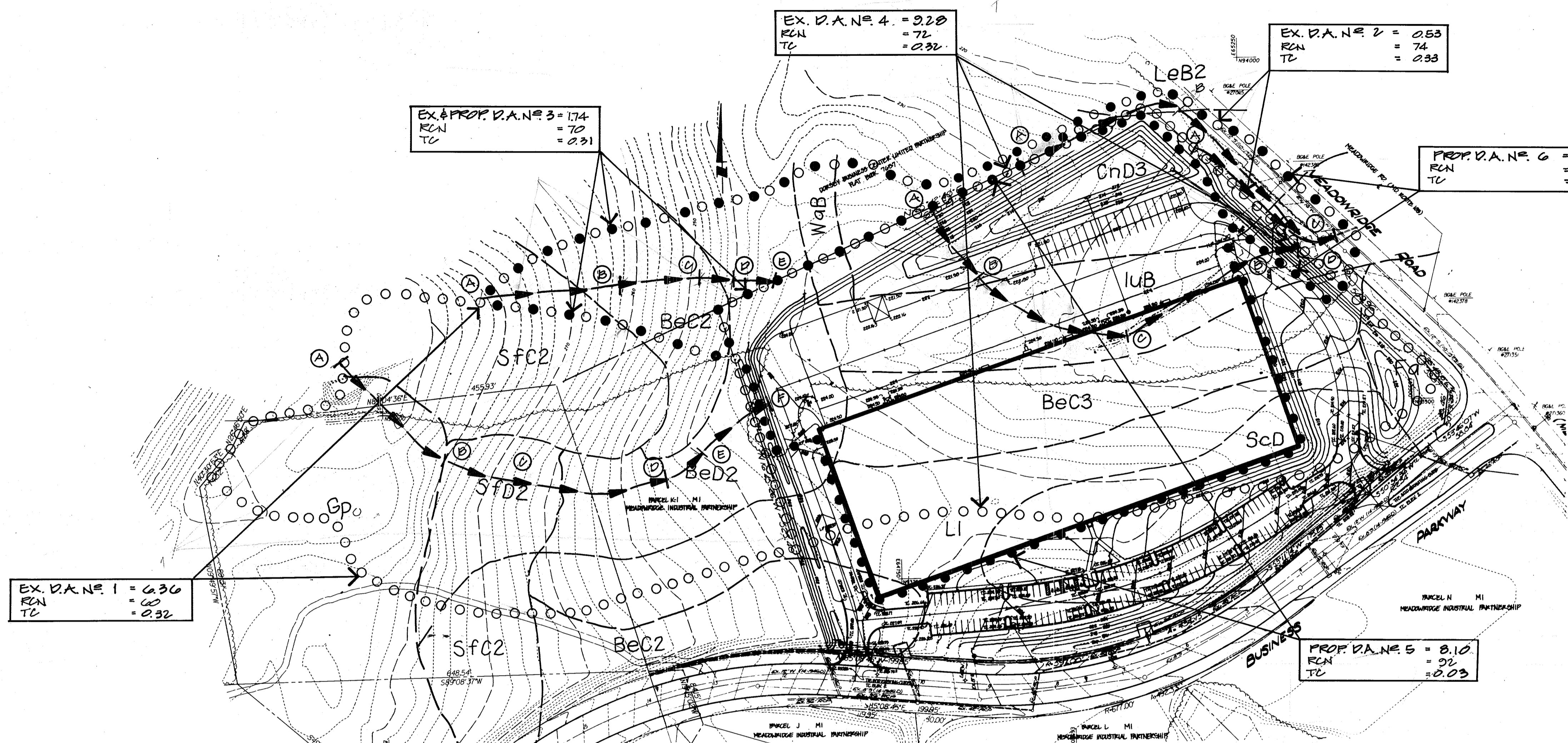
OWNER/DEVELOPER

THE SAVAGE GROUP, INC.

6790 COMMERCIAL DRIVE
 SPRINGFIELD, VA 22151
 (703) 256-6400

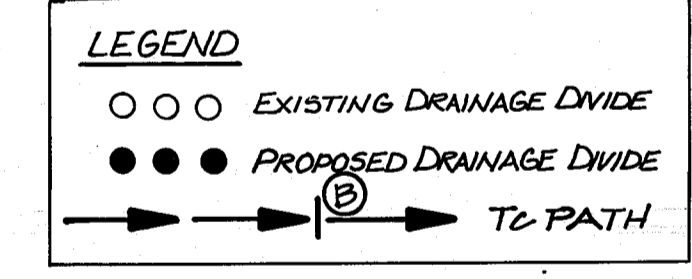
No.	REVISION	DATE	BY

NOTE: 1/3 OF PARCEL M-1 (4.24 AC.) DRAINS INTO SWM FACILITY LOCATED IN PARCEL P.



MAP SYMBOL	SOILS NAME	SOIL GROUP
BeC2, BeC3, BeD2	Beltville silt loam	C
CnD3	Chillum-Fairfax loams	C
*Fa	Fallingston loam	D
Gp	Gravel pits and quarries	B
luB	Iuka loam	C
LeB2	Legor silt loam	C
*L1	Leondtown silt loam	D
ScD, ScE	Sandy and clayey land	D
Sfc2, Sfd2	Sassafras gravely sandy loam	B
*WaB	Watchung silt loam	D

* Hydric Soil



NOTE: EXISTING TOPOGRAPHY FIELD SURVEYED BY GREENHORNE AND O'MARA MAY, 1988. A PORTION OF THE OFF-SITE TOPOGRAPHY WAS OBTAINED FROM HOWARD COUNTY TOPOGRAPHIC MAP, COPYRIGHT 1977.



APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Joyce Boyle 5/16/90
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS
HOWARD CO. DEPT. OF PUBLIC WORKS

Donald J. Sporn 8/9/90
DIRECTOR DATE

Patricia S. Sporn 8/9/90
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

U.P.S. 9/26/90
PLANNING DIRECTOR DATE

Frank J. Taylor 3/12/90
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PARCEL *	STREET ADDRESS	MEADOWRIDGE BUSINESS PARK		NA	PARCEL 17B
M-1	6600 BUSINESS PARKWAY	22	M-1	37	1st 6012
		WATER CODE		SEWER CODE	
		B01		2153000	

OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
6790 COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 256-6400

No.	REVISION	DATE	BY

ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
(301) 296-4100
ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

STORMWATER MANAGEMENT DRAINAGE AREA MAP
PARCEL M-1
MEADOWRIDGE BUSINESS PARK
ZONE M-1
1st ELECTION DISTRICT

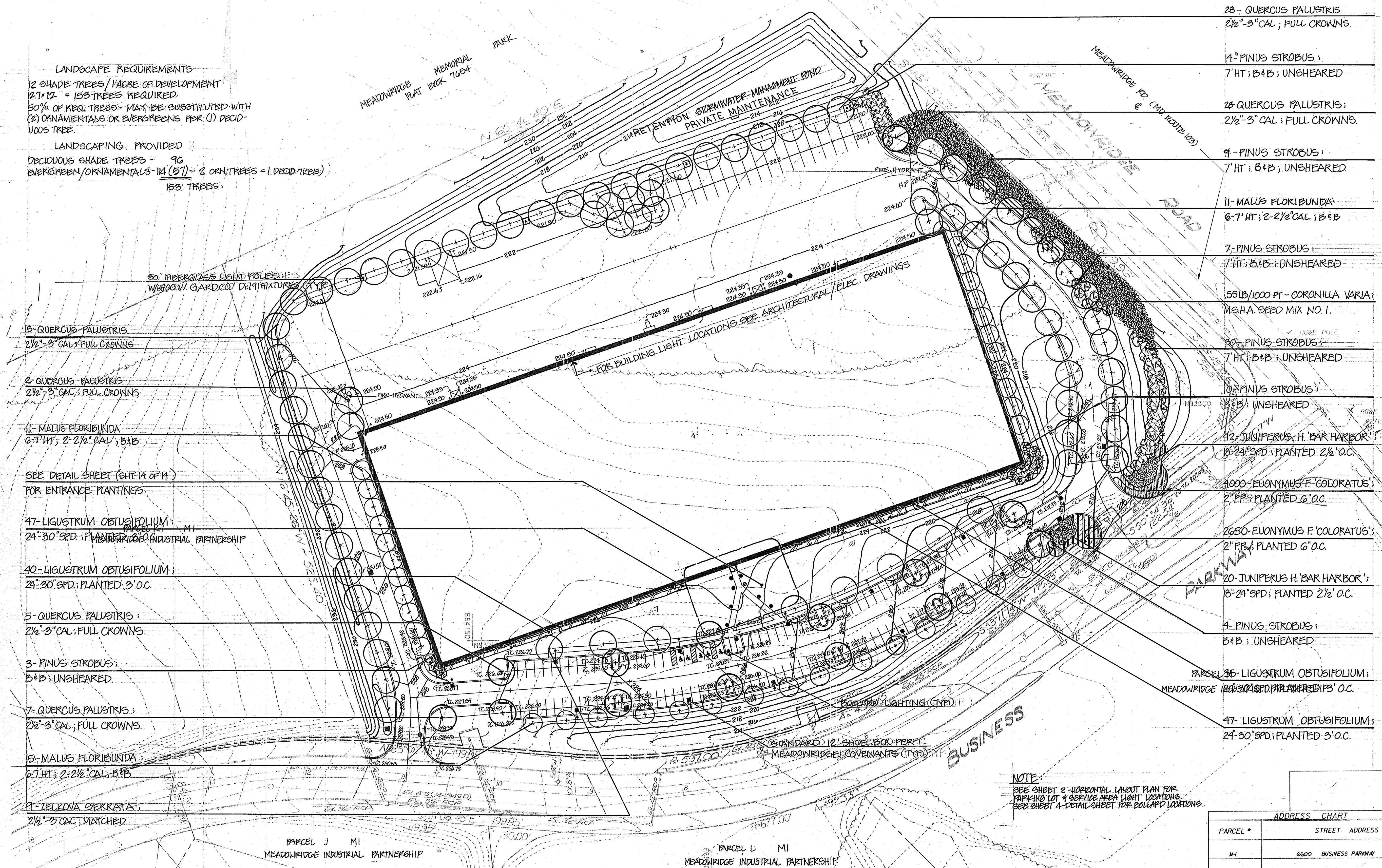
HOWARD CO., MD.
TAX/ZONE MAP 37

JCH DESIGN
JLG DRAWN
RHM CHECKED
JAN '90 DATE
SCALE 1"=100'
12 OF 14
SHEET
JOB No. B-1155-X
FILE No.

SDP 90-143

LANDSCAPE REQUIREMENTS
 12 SHADE TREES/1/ACRE OF DEVELOPMENT
 12.7 x 12 = 153 TREES REQUIRED
 50% OF REQ. TREES - MAY BE SUBSTITUTED WITH
 (2) ORNAMENTALS OR EVERGREENS PER (1) DECID-
 UOUS TREE

LANDSCAPING PROVIDED
 DECIDUOUS SHADE TREES - 96
 EVERGREEN/ORNAMENTALS - 14 (57) - 2 ORN. TREES = 1 DECID. TREE
 153 TREES



- 15- QUERCUS PALUSTRIS
2 1/2" - 3" CAL; FULL CROWNS
- 2- QUERCUS PALUSTRIS
2 1/2" - 3" CAL; FULL CROWNS
- 11- MALUS FLORIBUNDA
6-7' HT; 2-2 1/2" CAL; B&B
- SEE DETAIL SHEET (SHT. 14 OF 14)
FOR ENTRANCE PLANTINGS
- 47- LIGUSTRUM OBUSIFOLIUM
24'-30" SPD; PLANTED 3' O.C.
- 40- LIGUSTRUM OBUSIFOLIUM
24'-30" SPD; PLANTED 3' O.C.
- 5- QUERCUS PALUSTRIS
2 1/2" - 3" CAL; FULL CROWNS
- 3- PINUS STROBUS
B&B; UNSHEARED
- 7- QUERCUS PALUSTRIS
2 1/2" - 3" CAL; FULL CROWNS
- 15- MALUS FLORIBUNDA
6-7' HT; 2-2 1/2" CAL; B&B
- 9- TELLOVA OERKRATA
2 1/4" - 3" CAL; MATCHED

- 28- QUERCUS PALUSTRIS
2 1/2" - 3" CAL; FULL CROWNS
- 11- PINUS STROBUS
7' HT; B&B; UNSHEARED
- 28- QUERCUS PALUSTRIS
2 1/2" - 3" CAL; FULL CROWNS
- 9- PINUS STROBUS
7' HT; B&B; UNSHEARED
- 11- MALUS FLORIBUNDA
6-7' HT; 2-2 1/2" CAL; B&B
- 7- PINUS STROBUS
7' HT; B&B; UNSHEARED
- 55 LB/1000 FT - CORONILLA VARIA
M.S.H.A. SEED MIX NO. 1
- 20- PINUS STROBUS
7' HT; B&B; UNSHEARED
- 10- PINUS STROBUS
B&B; UNSHEARED
- 12- JUNIPERUS H. BAR HARBOR
8'-24" SPD; PLANTED 2 1/2' O.C.
- 4000- EUONYMUS F. COLORATUS
2" PR; PLANTED 6" O.C.
- 2650- EUONYMUS F. COLORATUS
2" PR; PLANTED 6" O.C.
- 20- JUNIPERUS H. BAR HARBOR
8'-24" SPD; PLANTED 2 1/2' O.C.
- 4- PINUS STROBUS
B&B; UNSHEARED
- PARCEL 35- LIGUSTRUM OBUSIFOLIUM
MEADOWRIDGE COVENANTS (TYPE) 18'-30" SPD; PLANTED 3' O.C.
- 47- LIGUSTRUM OBUSIFOLIUM
24'-30" SPD; PLANTED 3' O.C.

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

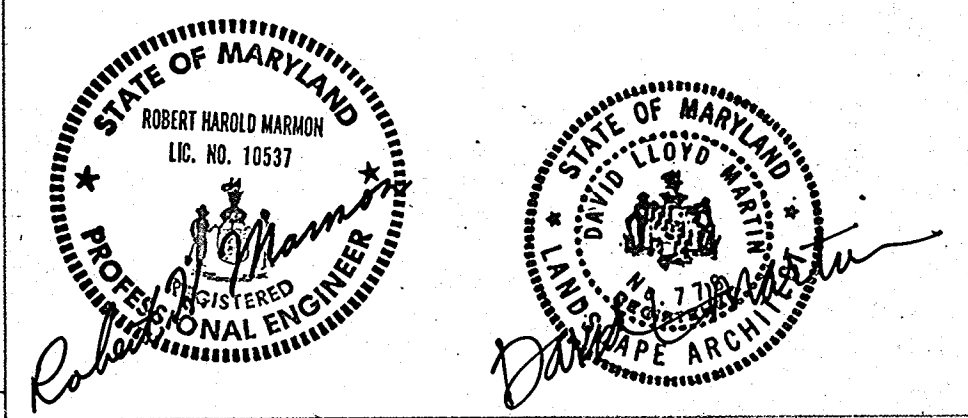
Joyce Boyle 8/16/90
 COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE,
 STORM DRAINAGE SYSTEMS & PUBLIC ROADS
 HOWARD CO. DEPT. OF PUBLIC WORKS

Rubio Spain 8/9/90
 DIRECTOR DATE
William Egan 8/28/90
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF
 PLANNING & ZONING

W. H. ... 9.24.90
 PLANNING DIRECTOR DATE
David S. ... 7/25/90
 CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE 2.B.



NOTE:
 SEE SHEET 2 - HORIZONTAL LAYOUT PLAN FOR
 PARKING LOT & SERVICE AREA LIGHT LOCATIONS.
 SEE SHEET 4 - DETAIL SHEET FOR BOLLARD LOCATIONS.

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PARCEL #	STREET ADDRESS	MEADOWRIDGE BUSINESS PARK	NA		PARCEL 178
M-1	6600 BUSINESS PARKWAY	9/79	22	M-1	37
		WATER CODE	SEWER CODE		
		B01	2153000		

BEFORE BEGINNING CONSTRUCTION, CONTACT
 MISS UTILITY AT 1-800-257-7777 AT LEAST
 48 HOURS PRIOR TO CONSTRUCTION

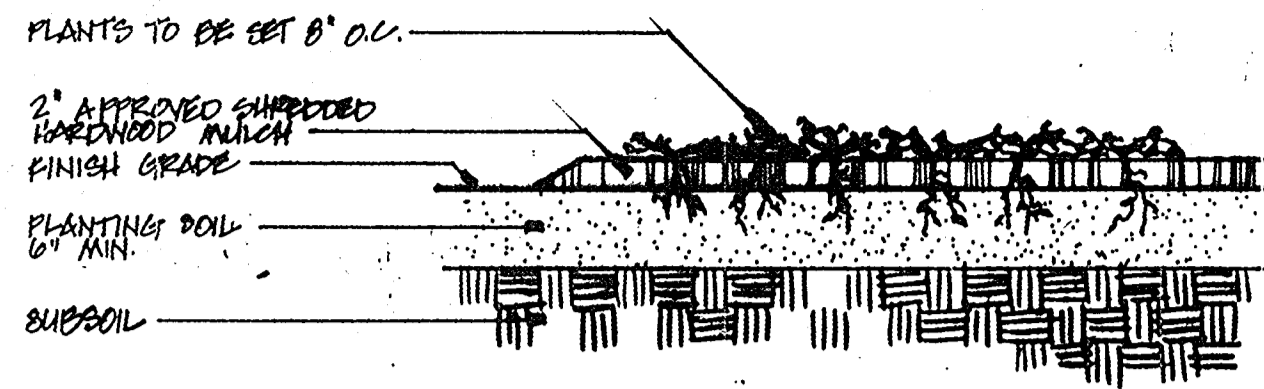
OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
 6790 COMMERCIAL DRIVE
 SPRINGFIELD, VA 22151
 (703) 256-6400

No.	REVISION	DATE	BY

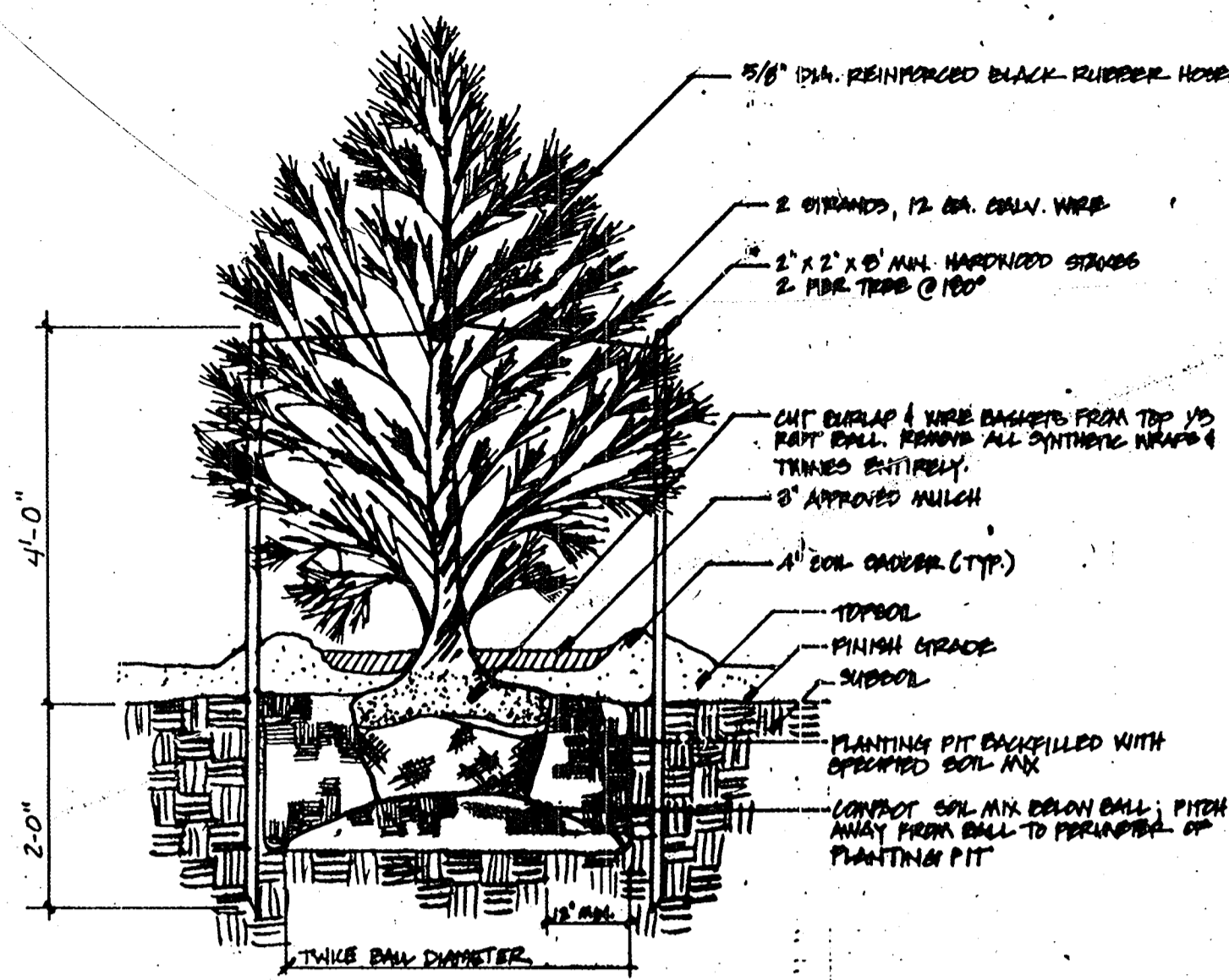
ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS
GREENHORNE & O'MARA, INC.
 113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
 (301) 296-4100
 ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
 LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

LANDSCAPE AND SITE LIGHTING PLAN
 PARCEL M-1
MEADOWRIDGE BUSINESS PARK
 ZONE M-1 HOWARD CO., MD.,
 1st ELECTION DISTRICT TAX/ZONE MAP 37

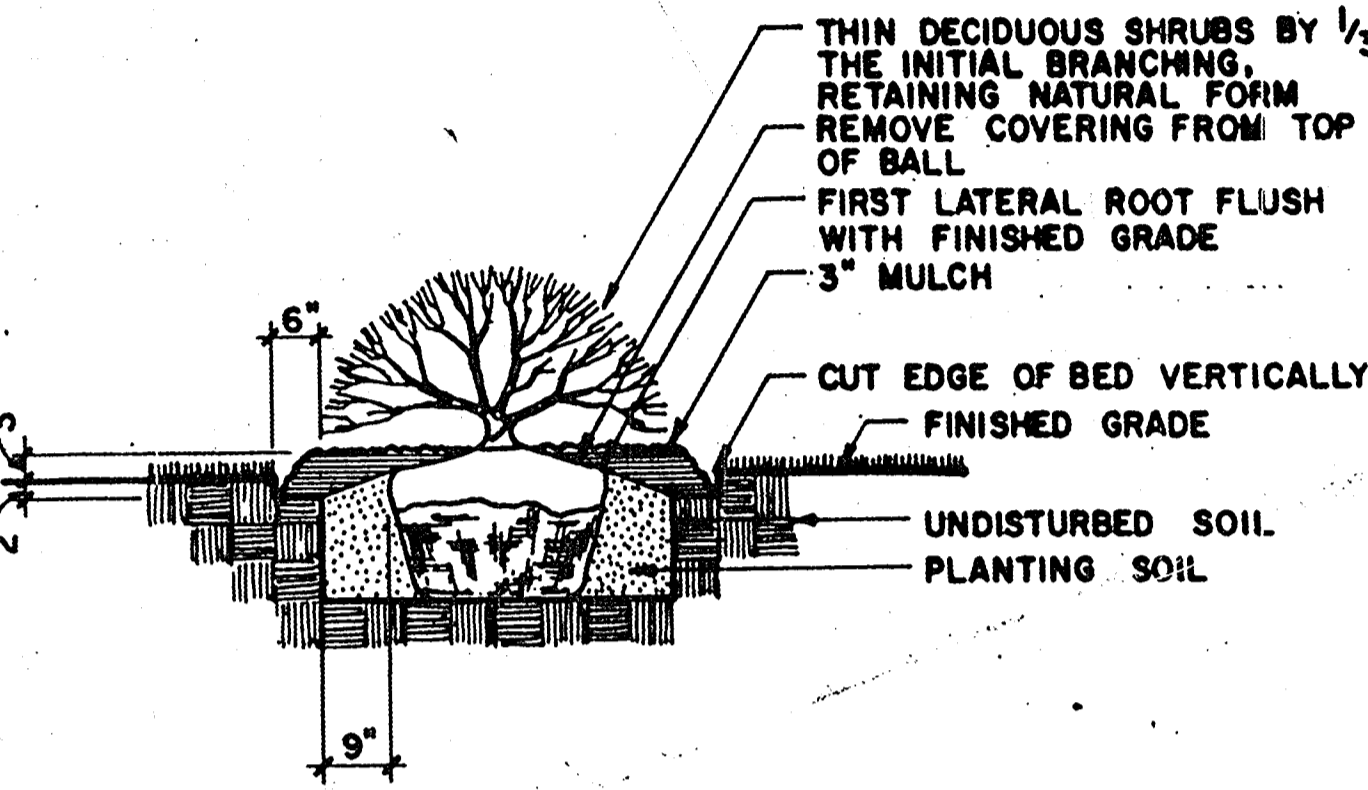
JCH DESIGN	SCALE 1"=50'
JLG DRAWN	13 OF 14
RHM CHECKED	
JAN '90 DATE	B-1155-X FILE No.
JOB No.	



Groundcover Planting
NO SCALE



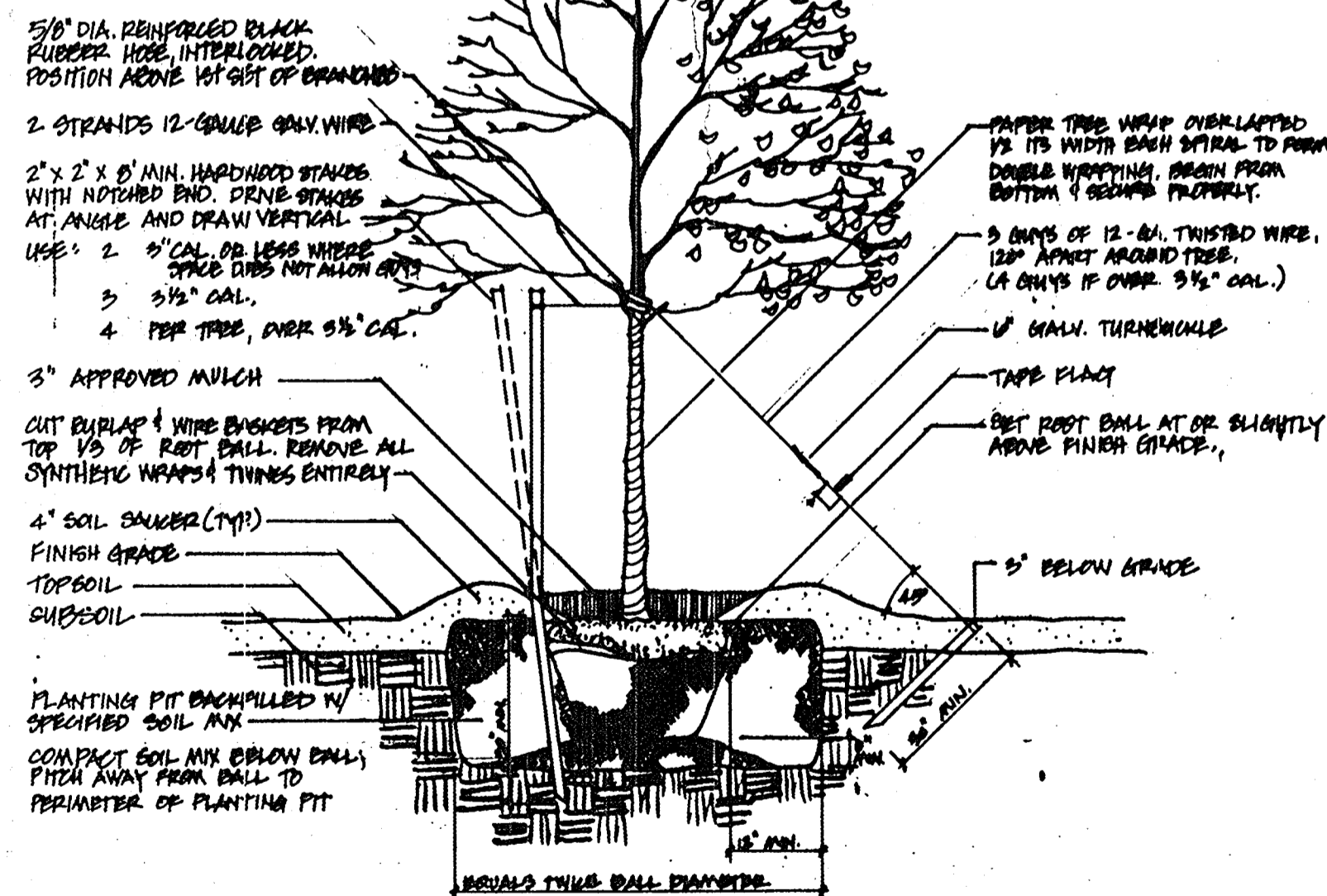
Evergreen Tree Detail
NO SCALE



SHRUB DETAIL
N.T.S.

PRUNING SHALL BE IN ACCORDANCE WITH APPROPRIATE HORTICULTURAL STANDARDS IN ORDER TO PRESERVE THE NATURAL FORM OF THE SPECIFIC PLANT. IF APPLICABLE AND APPROVED BY THE LANDSCAPE ARCHITECT, ONE-SIDED THINNING AS THE WIND DRIVES SHALL BE PERMITTED TO BALANCE ROOT LOSS DUE TO TRANSPANTING.

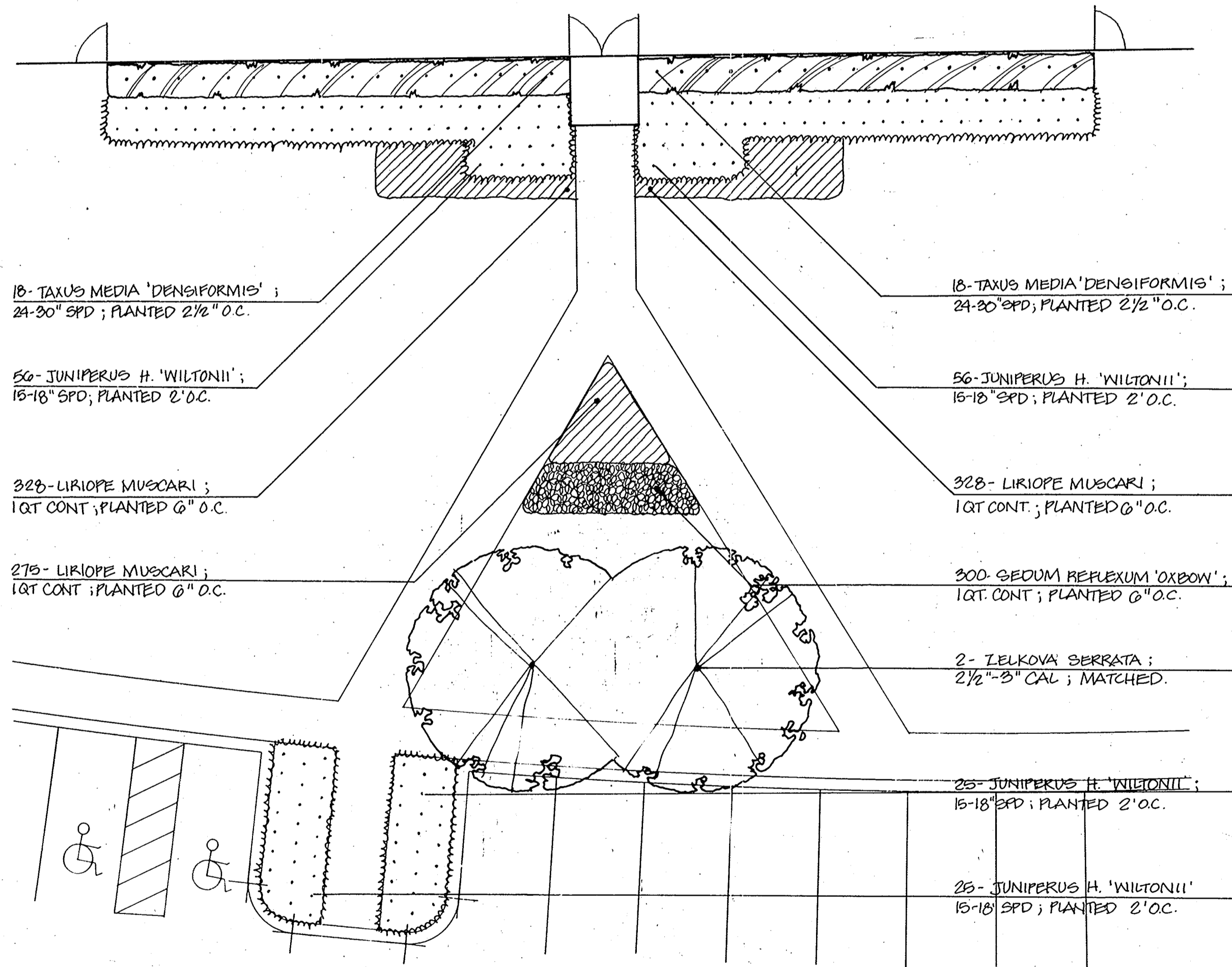
NOTE: WHERE PLANT PITS ARE DAM WITH HARDENED SURFACES, GLASS SIDES OR HARDENED SURFACES SHALL BE SCAFFOLD FROM TO PLANTING.



STAKING. DECIDUOUS TREES 3\"/>

GUYING. DECIDUOUS TREES OVER 3\"/>

Tree Planting
NO SCALE



ENTRANCE PLANTING DETAIL
SCALE: 1\"/>

- PLANTING NOTES**
- Botanical names shall prevail over common names.
 - No plant substitutions shall be made without prior written approval of the Landscape Architect.
 - All plant material shall be nursery grown, no collected materials shall be accepted, unless specifically indicated.
 - Plants shall conform with the American Association of Nurserymen standards in all ways including dimensions.
 - All plants are to be approved and/or tagged by the Landscape Architect. The Landscape Architect has the right to reject any plant materials upon delivery to the project. Selection by the Landscape Architect does not waive the right of rejection.
 - All replacements shall be plants of the same kind and size as specified in the plant list, or as is necessary to match surviving plants of the same planting group. All costs shall be borne by the Landscape Contractor except for replacements resulting from loss or damage due to vandalism or acts of neglect on the part of others, physical damage by animals, vehicles, fire, etc., as may be determined by the Landscape Architect.
 - All plant materials shall be balled and burlapped or container grown or as specified. Any deviation from these specifications will be rejected.
 - All plant materials shall be placed, or locations staked, on the site as shown on the planting plan prior to commencement of plant excavation for the Landscape Architect's approval. The Contractor must notify the Landscape Architect of all planting operations a minimum of 48 hours in advance.
 - All plant materials shall be balled and burlapped or container grown or as otherwise specified. No constructed balls shall be accepted. Remove synthetic 'burlap' and synthetic twines and ropes. Remove top 1/3 of metal baskets from root balls when the root ball has been positioned in the planting pit; provide support as necessary to protect the root ball from injury during this operation.
 - All plant materials are to be set with the top of root ball even with or slightly above the finished grade.
 - Planting soil shall consist of 5 parts topsoil (or excavated soil if approved by the Landscape Architect), one part sphagnum moss, one part dehydrated cow manure.
 - All plant beds except as specifically noted, are to be topped with a 3\"/>
- TYPE I** **TYPE II** **TYPE III**
- | | | | |
|--------------------------------|-----|------------------|-----|
| Perennial Ryegrass | 25I | F-31 Tall Fescue | 80I |
| Kentucky Bluegrass | 50I | Annual Ryegrass | 20I |
| Creeping Red or Pennine Fescue | 25I | | |
- Seeding of lawn areas shall be at the rate of at least 5 lbs. per 1000 square feet. All lawn areas shall be Type I seed mix unless otherwise designated.
 - All lawn areas shall be fertilized with a complete fertilizer, at least half of the nitrogen of which is derived from a natural organic source. It shall be of a 1:1:1 ratio in the spring using a minimum analysis of 10:10:10 and a 1:2:1 ratio in the fall using a minimum analysis of 5:10:5.
 - All lawn areas shall be mulched with salt hay or equal as approved by the Landscape Architect. Straw hay is not permitted.
 - Report any discrepancies to the Landscape Architect immediately for decision.
 - Maintenance shall begin immediately after each plant is planted, and shall continue until acceptance. Plants shall be watered, mulched, weeded, pruned, sprayed, fertilized, cultivated, and otherwise maintained and protected until acceptance of work. Settled plants shall be reset to a proper grade and position, planting saucers restored, and dead material removed. Guys shall be tightened and repaired. Defective work shall be corrected as soon as possible after it becomes apparent, when weather and season permit. Upon completion of planting and prior to acceptance the Landscape Contractor shall remove from the site excess soil and debris and repair disturbed lawn areas and any other damage resulting from planting operations. Dangerous conditions shall be repaired immediately.
 - Upon completion of all landscaping operations, an inspection will be made to determine the acceptability of the job. At this time, a one year guarantee period shall begin, to be culminated by a final inspection. Immediately prior to final inspection, unless otherwise directed, the Contractor shall remove soil saucers, hose, guy wires, wrapping material and stakes. Only those materials found to be alive and in a vigorous, healthy condition at that time will be granted final acceptance. All other material shall be replaced at the Contractor's expense. A sum to cover potential replacements may be withheld if so desired by the owner. The Landscape Architect will be the sole judge of plant material acceptability.
- * Planting after Nov. 21 to be guaranteed thru 2nd spring's leafing.

PLANT LIST

QTY	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CALIPER	REMARKS
DECIDUOUS TREES					
85	Quercus palustris / Pin Oak	12-14'		2-3"	B&B full crowns
11	Zelkova serrata / Japanese Zelkova	12-14'		2-3"	B&B; matched crowns
EVERGREEN TREES					
5	Pinus strobus / Eastern White Pine	4'			B&B; unshaded
7		3'			B&B; unshaded
65		7'			B&B; unshaded
4	Ficus sibirica / Norway Spruce	6-7'			B&B; unshaded
ORNAMENTAL TREES					
27	Malus floribunda / Flowering Crabapple	6-7'		2-2"	B&B
SHRUBS					
62	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Juniper	18-24"			Containers; heavy specimens planted 2' o.c.
169	Ligustrum obtusifolium / Border Privet	24-30"			B&B; planted 3' o.c.
36	Taxus media 'densiformis' / Dense Yew	24-30"			B&B; planted 2' o.c.
GROUNDCOVERS					
650	Eunonymus fortunei 'coloratus' / Purpleleaf Wintercreeper				2' pps planted 6" o.c.
602	Juniperus horizontalis 'wiltonii' / Blue Rug Juniper	15-18"			Containers; planted 2' o.c.
281	Liriope muscari / Liriope				1 qt. containers; planted 8" o.c.
200	Sedum reflexum 'oxbow' / Stone crop				1 qt. containers; planted 8" o.c.
609	Coronilla virginica / 1000H Crown Vetch				Leguminous seed to be used with a seed mix no. 1 seed fertilizer

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Jaynes Byrd 8/16/90
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC WORKS
HOWARD CO. DEPT. OF PUBLIC WORKS

Donald J. Saper 8/19/90
DIRECTOR DATE

W. J. Saper 8/2/90
CHIEF, BUREAU OF ENGINEERING DATE

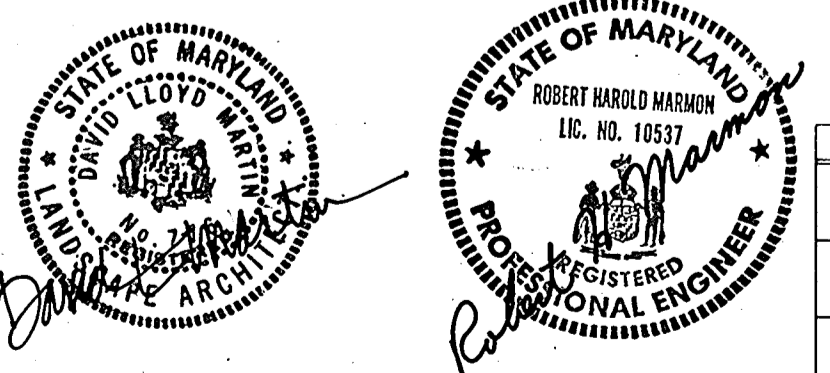
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

PLANNING DIRECTOR DATE

W. J. Saper 8/16/90
CHIEF, DIV. OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

BEFORE BEGINNING CONSTRUCTION, CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA	LOT/PARCEL
PARCEL #	STREET ADDRESS	MEADOWRIDGE BUSINESS PARK	NA	PARCEL 17B	
M-1	6600 BUSINESS PARKWAY	9179	22	M-1	1st 6012
		WATER CODE		SEWER CODE	2153000



OWNER/DEVELOPER
THE SAVAGE GROUP, INC.
6790 COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 256-6400

No.	REVISION	DATE	BY

ENGINEERS • ARCHITECTS • PLANNERS • SCIENTISTS • SURVEYORS • PHOTOGRAMMETRISTS

GREENHORNE & O'MARA, INC.
113 WEST ROAD, SUITE 208, BALTIMORE, MARYLAND 21204
(301) 296-4100

ANNAPOLIS, MD • ATLANTA, GA • AURORA, CO • CULPEPER, VA • DULUTH, GA • EXPORT, PA • FAIRFAX, VA • GREENBELT, MD
LEESBURG, VA • MANASSAS, VA • ORLANDO, FL • RALEIGH, NC • ROCKVILLE, MD • TAMPA, FL • WEST PALM BEACH, FL

PLANTING DETAIL SHEET
PARCEL M-1
MEADOWRIDGE BUSINESS PARK
ZONE M-1
1st ELECTION DISTRICT

HOWARD CO., MD.
TAX/ZONE MAP 37

LL'D DESIGN	SCALE AS SHOWN
JLG DRAWN	14 OF 14
RHM CHECKED	SHEET
JAN '90 DATE	JOB No.
	B-155-X FILE No.