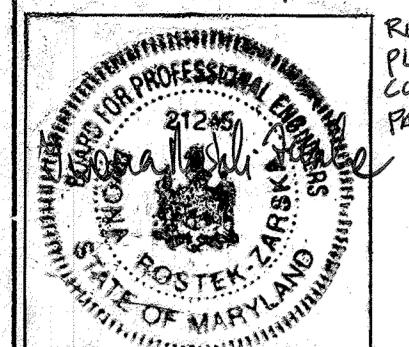


REVISION #3 PREPARED BY BLOOMING (2/7/82)

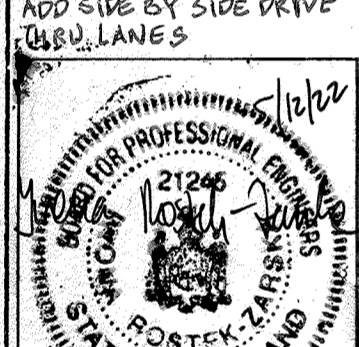


REMOVE EXISTING TRASH CORRAL. PLACE NEW TRASH/RECYCLING CORRAL IN NEW LOCATION. ADJUST PARKING TABULATION.

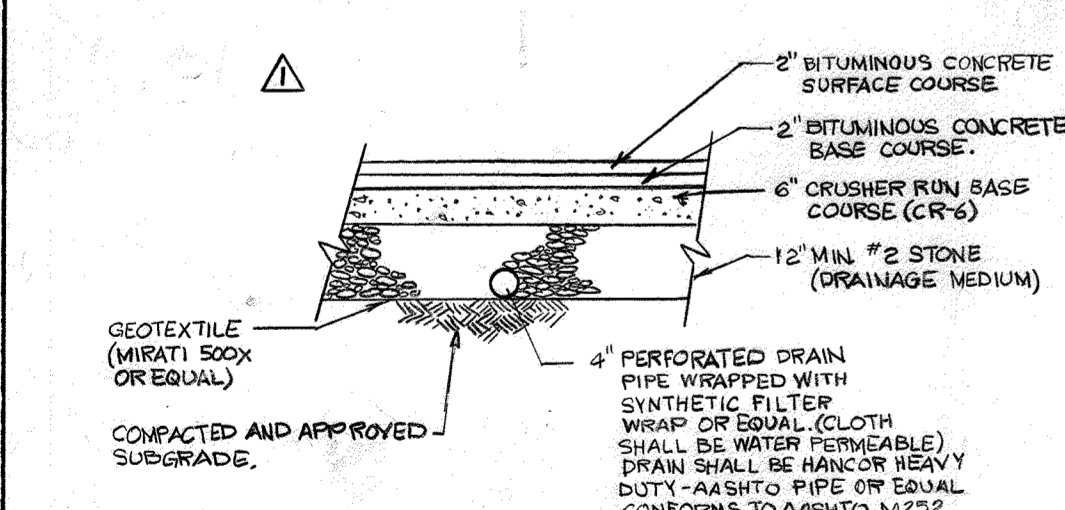
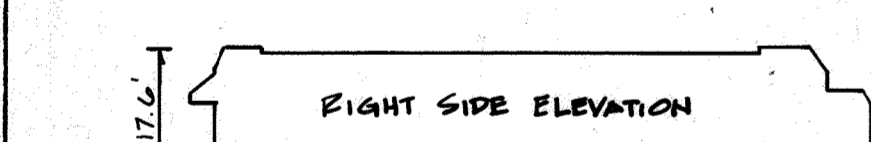
IWONA ROSTEK-ZARSKA, P.E. No. 21249, EXP. 06/01/82

BREAK OUT EXISTING INLET WALL AND INSERT 4" DRAIN PIPE. SEAL WITH NON-SHRINK GROUT TO PROVIDE A WATERTIGHT SEAL. SEE DETAIL ON THIS SHEET.

REVISION #4 PREPARED BY BLOOMING (4/20/82)



IWONA ROSTEK-ZARSKA, P.E. No. 21249 EXP. 06/01/82



THE RBA GROUP
RBA PROJECT ENGINEER
JOHN M. CHRISTMAN, P.E.
5560 STERRETT PLACE
SUITE 300
COLUMBIA, MD 21044

OWNER/DEVELOPER
MCDONALD'S CORPORATION
MCDONALD'S CENTER
3015 WILLIAMS DRIVE
FAIRFAX, VA 22031

RESPONSIBLE PERSONNEL CERTIFICATION
"I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."
Signature: Eugene J. Flanni
DATE: 6/10/89

CERTIFICATION BY THE ENGINEER
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Signature: John M. Christman
DATE: 6-7-89

CERTIFICATION BY THE DEVELOPER
"I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS DEEMED NECESSARY."
Signature: Eugene J. Flanni
DATE: 6/10/89

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED: James M. Allen
DATE: 9/29/89
REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
APPROVED: [Signature]
DATE: 9/29/89
U.S. SOIL CONSERVATION SERVICE

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING APPROVED:
Signature: [Signature]
DATE: 11/20/89
DIRECTOR
Signature: [Signature]
DATE: 11/20/89
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
HOWARD COUNTY HEALTH DEPARTMENT APPROVED: FOR PUBLIC WATER, AND PUBLIC SEWERAGE SYSTEMS.
Signature: [Signature]
DATE: 11-6-89
COUNTY HEALTH OFFICER

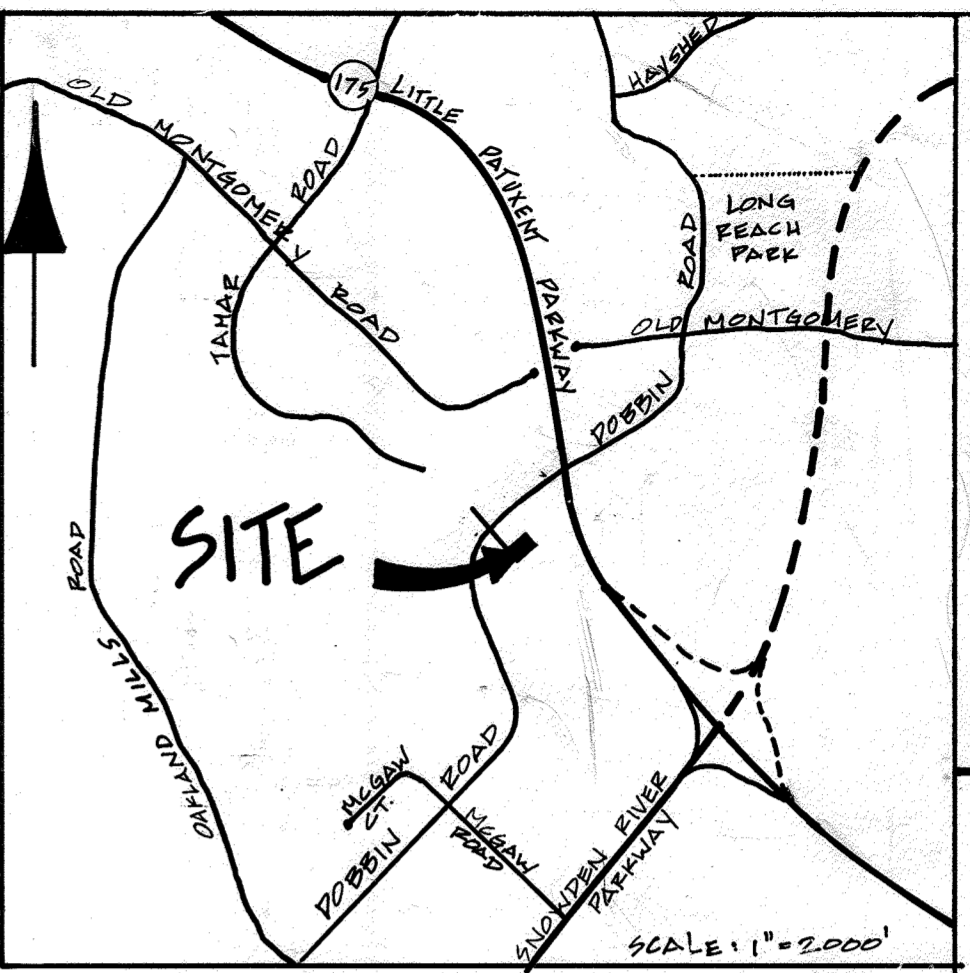
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE SYSTEMS, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
Signature: [Signature]
DATE: 11/2/89
DIRECTOR
Signature: [Signature]
DATE: 11-2-89
CHIEF, BUREAU OF ENGINEERING

LIMIT OF DISTURBANCE
REVISION #3 LIMIT OF DISTURBANCE 1,975 S.F.
REVISION #4 LIMIT OF DISTURBANCE 3,110 S.F.
TOTAL: 4,685 S.F.

PARCEL A PLAT #5051 ZONED NT-COMMERCIAL

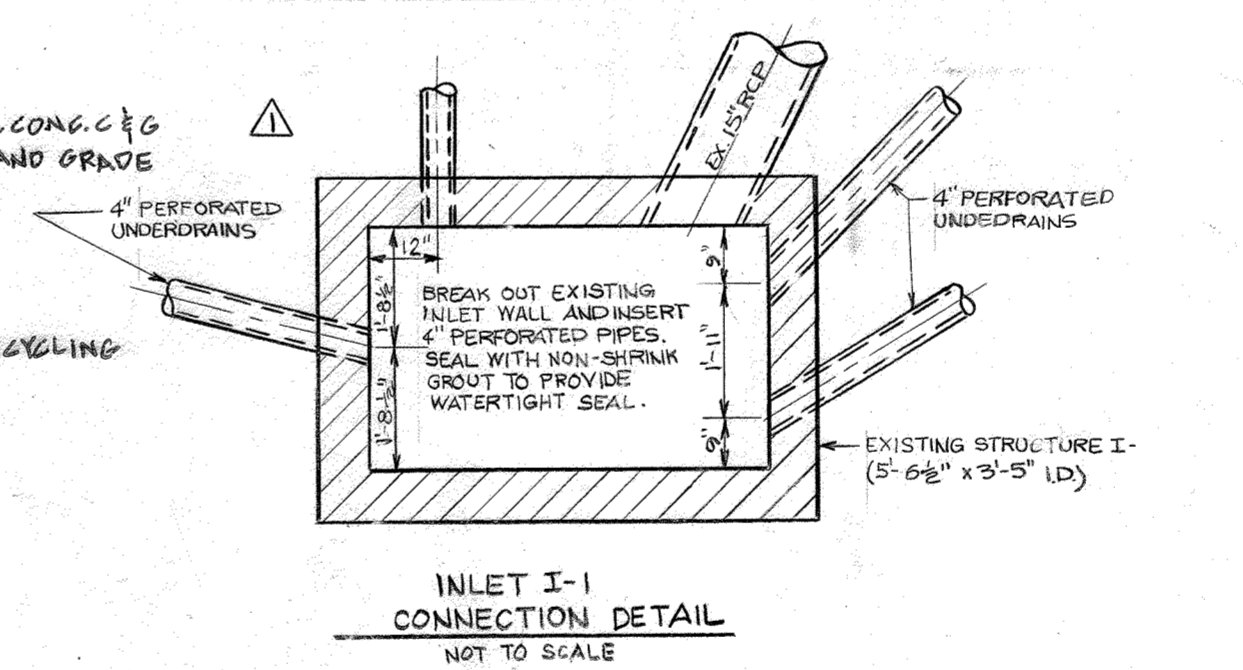
SITE ANALYSIS: CONT.
THE COMPUTER LOCATION SHALL COMPLY WITH DMV 12, STANDARD DETAILS R-8.09 TO R-8.01 FOR DRIVE ETERS. THE TRUCK SHALL PULL STRAIGHT IN AND BACK OUT WITHOUT IMPACTS TO THE ADJACENT PARKING.

SITE ANALYSIS:
TOTAL AREA = 1.204 ACRES +/-
DISTURBED AREA = 0.017 ACRES +/-
IMPERVIOUS AREA = 0.268 ACRES +/- = 22.2%
PERVIOUS AREA = 0.919 ACRES +/- = 75.9%
FLOOR AREA OF BUILDING: PROPOSED: 41,40 SF ± = 7.9%
PARKING:
NO. OF SPACES REQUIRED* = 21 SPACES
NO. OF SPACES PROVIDED = 41 SPACES (41 REGULAR + 2 HDPC)
NO. OF SEATS = EXISTING = 110 PROPOSED = 52
NO. OF EMPLOYEES EXISTING = 14 PROPOSED = 14
ZONED NEWTOWN - COMMERCIAL



GENERAL NOTES

- ALL INVERT ELEVATIONS SHOWN ON THIS PLAN WERE TAKEN FROM THE ORIGINAL DESIGN PLAN (SDP-82-116C). CONTRACTOR SHALL FIELD VERIFY ELEVATIONS WELL IN ADVANCE OF BEGINNING OF CONSTRUCTION OPERATIONS. ANY CONFLICTS IN ELEVATIONS SHALL BE PRESENTED TO THE ENGINEERS PRIOR TO COMMENCEMENT.
- CONTRACTOR SHALL REQUEST MISS UTILITY TO MARK ALL EXISTING UTILITY LOCATIONS 48 HOURS PRIOR TO CONSTRUCTION. TELEPHONE 1-800-257-7777.
- ALL EXISTING PAVING AND GRAVEL BASE SHALL BE REMOVED AND WASTED. ANY FROZEN WET, SOFT OR LOOSE SOILS AND OTHER DELETERIOUS MATERIALS SHOULD ALSO BE REMOVED AND WASTED. ALL AREAS RECEIVING PAVEMENT SHALL BE PROFFERED USING A 20-TON FULLY LOADED DUMP TRUCK OR OTHER PNEUMATIC TIRE VEHICLE OF SIMILAR SIZE AND WEIGHT. ANY POCKETS OF SOFT OF LOOSE SOILS SHALL BE UNDERCUT AND REPLACED WITH STRUCTURAL FILL ALL FILL IS TO BE COMPACTED, INSPECTED, TESTED AND APPROVED BY A LICENSED GEOTECHNICAL ENGINEER. ALL FILLS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557). FIELD MOISTURE CONTENTS MAY NEED ADJUSTMENT. REFER TO THE GEOTECHNICAL REPORT BY ATEC ASSOCIATES, INC. DATED NOVEMBER 22, 1989 FOR FURTHER INFORMATION AND RECOMMENDATIONS. (ATEC JOB # 21-23182).
- THE THICKNESS OF THE DRAINAGE MEDIUM WILL VARY ACROSS THE SITE. A MINIMUM THICKNESS OF 12" INCHES OF DRAINAGE MEDIUM SHOULD BE PROVIDED AT THE HIGHER ELEVATION OF THE SITE AND THE THICKNESS OF THE DRAINAGE MEDIUM SHOULD INCREASE TOWARD THE INLET(S). PROVIDE POSITIVE DRAINAGE ON ALL UNDERDRAINS TOWARD THE INLET CONNECTIONS.
- CONTRACTOR SHALL REFER TO THE LATEST HOWARD COUNTY STANDARD SPECIFICATIONS FOR MATERIALS AND METHOD OF CONSTRUCTION.



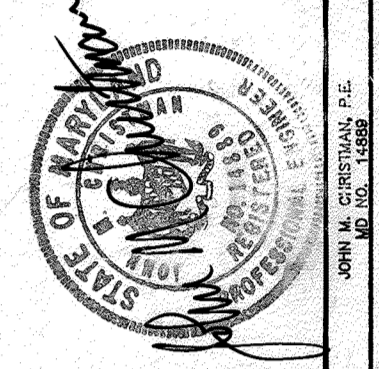
LEGEND

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: 8-15-89

LOT NO.	STREET ADDRESS
L	6385 DOBBIN ROAD

FOR REVISION ONLY
Signature: [Signature]
BRANDON ROWE

REVISIONS
ADDED UNDERDRAIN SYSTEM
REMOVE ATMUM AND REPAIR SIGNAGE
RECYCLING CORRAL



McDonald's
McDonald's

LAYOUT, GRADING & LANDSCAPE
PARCEL 1
DOBBIN ROAD COMMERCIAL CENTER
SECTION 1 AREA 1
TAX MAP NO. 36
Sixth Election District of HOWARD COUNTY, MD