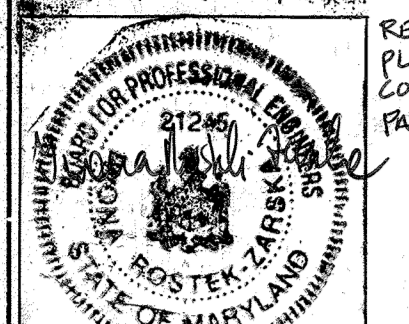
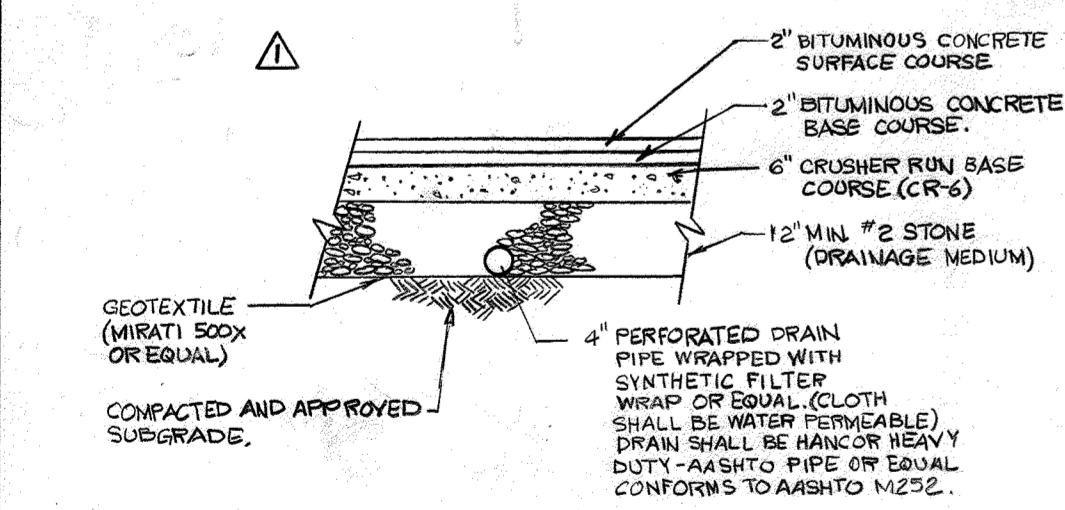
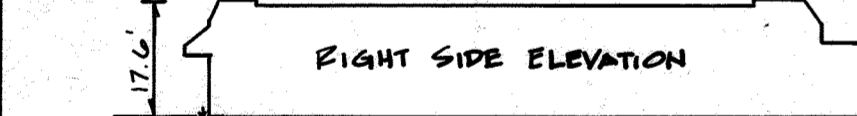
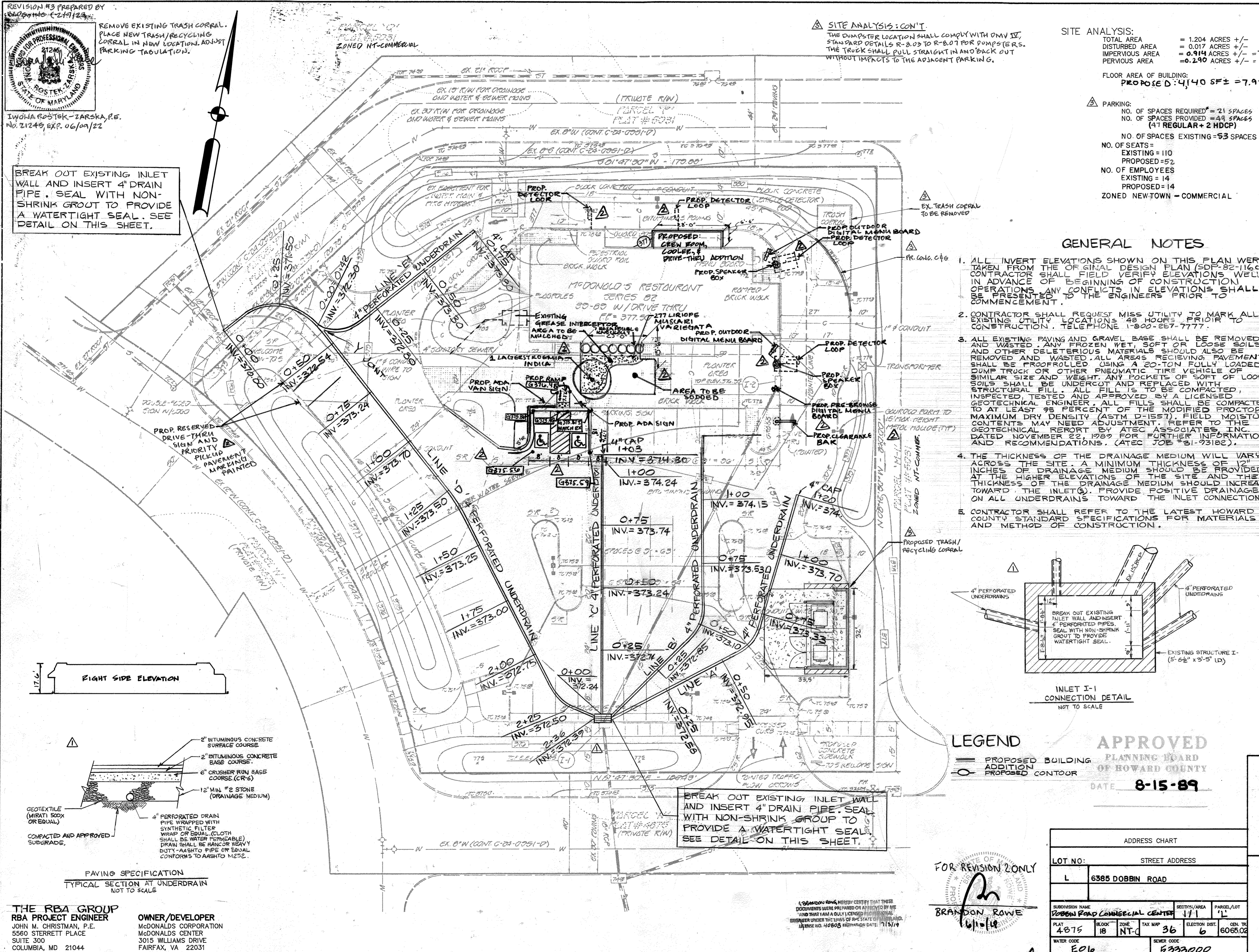
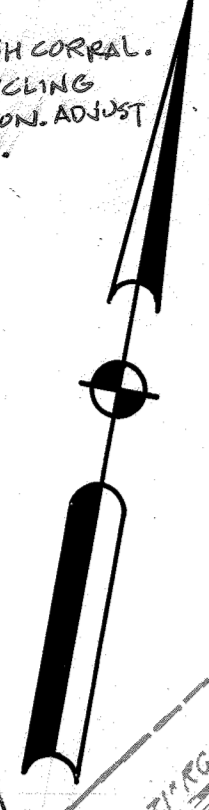


REVISION #3 PREPARED BY
 8/21/89 C-211123



IWOHA ROSTOK-ZARSKA, P.E.
 No. 21249, Exp. 06/01/92

BREAK OUT EXISTING INLET WALL AND INSERT 4" DRAIN PIPE. SEAL WITH NON-SHRINK GROUT TO PROVIDE A WATERTIGHT SEAL. SEE DETAIL ON THIS SHEET.



THE RBA GROUP
 RBA PROJECT ENGINEER
 JOHN M. CHRISTMAN, P.E.
 5560 STERRETT PLACE
 SUITE 300
 COLUMBIA, MD 21044

OWNER/DEVELOPER
 McDONALD'S CORPORATION
 McDONALD'S CENTER
 3015 WILLIAMS DRIVE
 FAIRFAX, VA 22031

RESPONSIBLE PERSONNEL CERTIFICATION

I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

Signature: James J. Flannery
 DATE: 6/10/89

CERTIFICATION BY THE ENGINEER

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: John M. Christman
 DATE: 6-7-89

CERTIFICATION BY THE DEVELOPER

I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS DEEMED NECESSARY.

Signature: James J. Flannery
 DATE: 6/10/89

FOR REVISION ONLY

Signature: Brandon Rowe
 DATE: 6/10/89

Signature: James M. Allen
 DATE: 9/29/89

Signature: [Signature]
 DATE: 9/29/89

SITE ANALYSIS: CON'T.

THE DUMPSTER LOCATION SHALL COMPLY WITH DMV 117, STANDARD DETAILS R-8.03 TO R-8.07 FOR DUMPSTERS. THE TRUCK SHALL FULLY STRAIGHTEN AND BACK OUT WITHOUT IMPACTS TO THE ADJACENT PARKING.

SITE ANALYSIS:

TOTAL AREA = 1.204 ACRES +/-
 DISTURBED AREA = 0.017 ACRES +/-
 IMPERVIOUS AREA = 0.914 ACRES +/- = 75.9%
 PERVIOUS AREA = 0.280 ACRES +/- = 24.1%

FLOOR AREA OF BUILDING:
 PROPOSED: 4,140 SF ± = 7.9%

PARKING:

NO. OF SPACES REQUIRED = 21 SPACES
 NO. OF SPACES PROVIDED = 41 SPACES
 (17 REGULAR + 2 HDCP)

NO. OF SPACES EXISTING = 53 SPACES

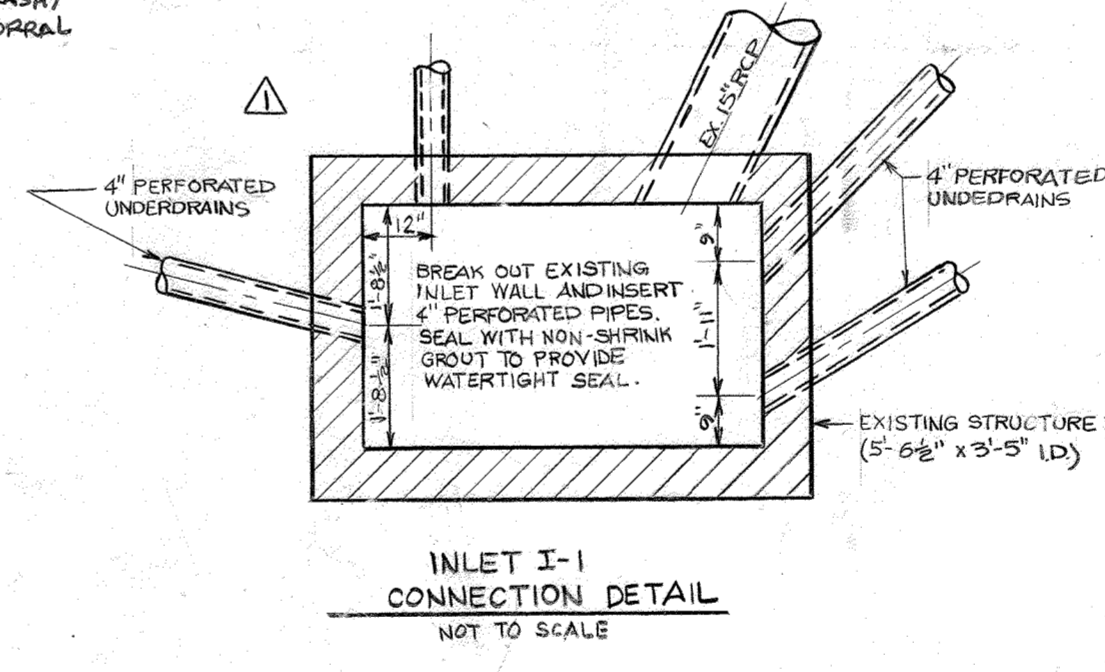
NO. OF SEATS = 110
 PROPOSED = 52

NO. OF EMPLOYEES
 EXISTING = 14
 PROPOSED = 14

ZONED NEWTOWN - COMMERCIAL

GENERAL NOTES

- ALL INVERT ELEVATIONS SHOWN ON THIS PLAN WERE TAKEN FROM THE ORIGINAL DESIGN PLAN (SDP-82-116C). CONTRACTOR SHALL FIELD VERIFY ELEVATIONS WELL IN ADVANCE OF BEGINNING OF CONSTRUCTION OPERATIONS. ANY CONFLICTS IN ELEVATIONS SHALL BE RESOLVED TO THE ENGINEER'S PRIORITY.
- CONTRACTOR SHALL REQUEST MISS UTILITY TO MARK ALL EXISTING UTILITY LOCATIONS 48 HOURS PRIOR TO CONSTRUCTION. TELEPHONE 1-800-257-7777.
- ALL EXISTING PAVING AND GRAVEL BASE SHALL BE REMOVED AND WASTED. ANY FRICTION WET SORT OR LOOSE SOILS AND OTHER DELETERIOUS MATERIALS SHOULD ALSO BE REMOVED AND WASTED. ALL AREAS RECEIVING PAVEMENT SHALL BE PROFFERED USING A 20-TON FULLY LOADED DUMP TRUCK OR OTHER PNEUMATIC TIRE VEHICLE OF SIMILAR SIZE AND WEIGHT. ANY POCKETS OF SOFT OR LOOSE SOILS SHALL BE UNDERCUT AND REPLACED WITH STRUCTURAL FILL. ALL FILL IS TO BE COMPACTED, INSPECTED, TESTED AND APPROVED BY A LICENSED GEOTECHNICAL ENGINEER. ALL FILLS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557). FIELD MOISTURE CONTENTS MAY NEED ADJUSTMENT. REFER TO THE GEOTECHNICAL REPORT BY ATEC ASSOCIATES, INC. DATED NOVEMBER 22, 1989 FOR FURTHER INFORMATION AND RECOMMENDATIONS. (ATEC JOB #31-73182).
- THE THICKNESS OF THE DRAINAGE MEDIUM WILL VARY ACROSS THE SITE. A MINIMUM THICKNESS OF 12" INCHES OF DRAINAGE MEDIUM SHOULD BE PROVIDED AT THE HIGHER ELEVATION OF THE SITE AND THE THICKNESS OF THE DRAINAGE MEDIUM SHOULD INCREASE TOWARD THE INLET(S). PROVIDE POSITIVE DRAINAGE ON ALL UNDERDRAINS TOWARD THE INLET CONNECTIONS.
- CONTRACTOR SHALL REFER TO THE LATEST HOWARD COUNTY STANDARD SPECIFICATIONS FOR MATERIALS AND METHOD OF CONSTRUCTION.



LEGEND

— PROPOSED BUILDING ADDITION
 ○ PROPOSED CONTOUR

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: 8-15-89

ADDRESS CHART	
LOT NO:	STREET ADDRESS
L	6385 DOBBIN ROAD
SUBDIVISION NAME: DOBBIN ROAD COMMERCIAL CENTER	
SECTION/AREA: 1/1	PANEL/LOT: 1
PLAT: 4875	BOOK: 18
ZONE: NT-C	TAX MAP: 36
ELECTION DIST: 6	ELECTION DIST: 6068.02
WATER CODE: E06	SEWER CODE: 6933000

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING APPROVED:

Signature: [Signature]
 DIRECTOR
 DATE: 11/20/89

Signature: [Signature]
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
 DATE: 11/20/89

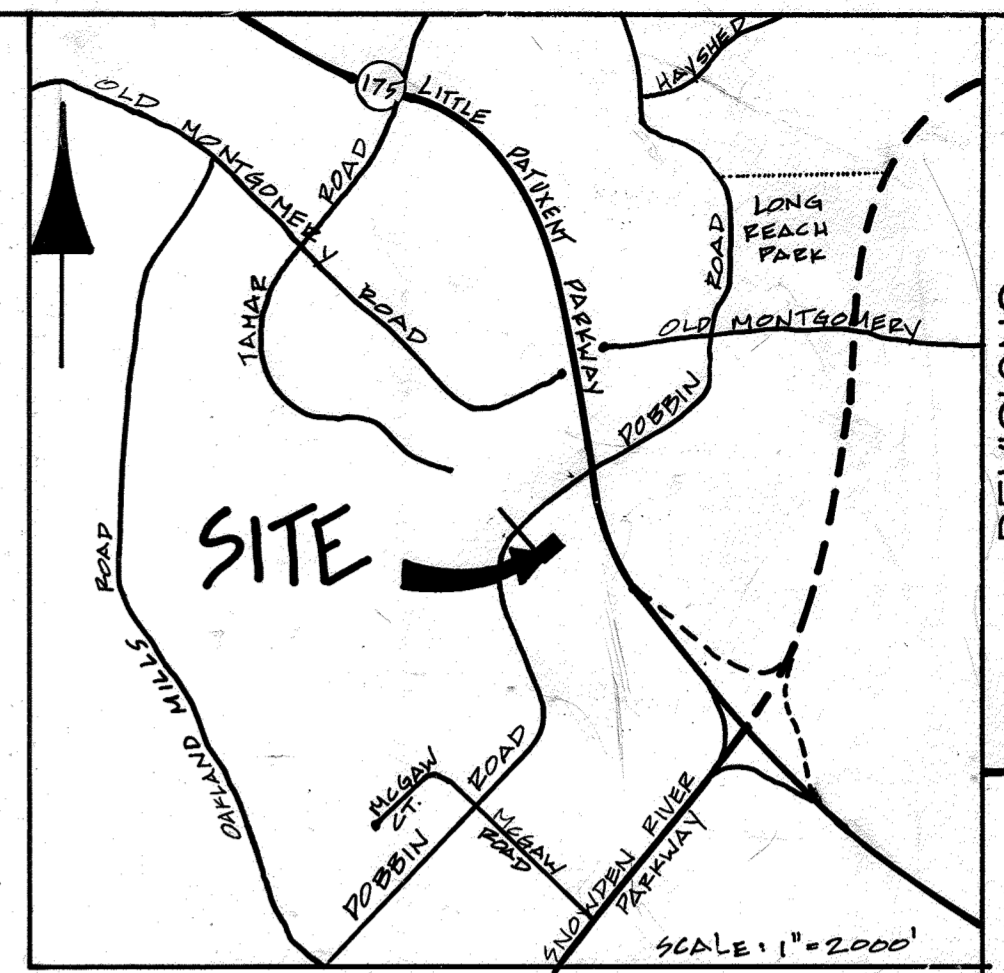
HOWARD COUNTY HEALTH DEPARTMENT APPROVED: FOR PUBLIC WATER, AND PUBLIC SEWERAGE SYSTEMS.

Signature: [Signature]
 COUNTY HEALTH OFFICER
 DATE: 11-6-89

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE SYSTEMS, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

Signature: [Signature]
 DIRECTOR
 DATE: 11/2/89

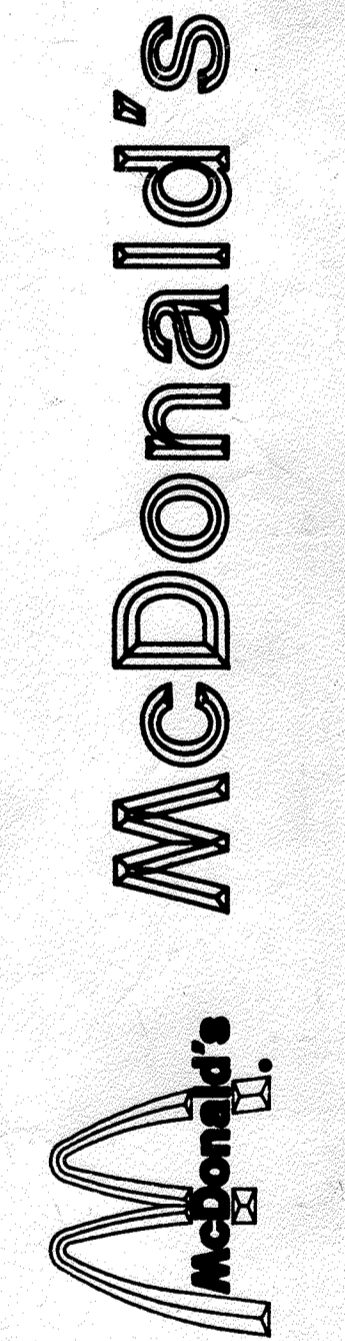
Signature: [Signature]
 CHIEF, BUREAU OF ENGINEERING
 DATE: 11-2-89



GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE CIVIL ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- ADJUSTMENTS TO THE SEQUENCE OF CONSTRUCTION ON SHEET SHALL BE APPROVED BY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO SUCH ADJUSTMENTS.
- CONTRACTOR IS TO REFER TO ARCHITECTS PLANS FOR SPECIFIC BUILDING AND SUPPORT FACILITY FEATURES PRIOR TO AND DURING CONSTRUCTION.
- APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO ALSO COMPLY WITH SEDIMENT CONTROL NOTES AS DOCUMENTED ON SHEET.
- THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR LOCATIONS SHOWN AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND NOTIFY THE ENGINEER.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 "MISS UTILITY" 1-(800) 257-7777
 BALTIMORE GAS & ELECTRIC COMPANY (301) 234-5691
 C & P TELEPHONE COMPANY (301) 393-3648
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL OBTAIN THE NECESSARY BUILDING PERMITS FOR CONSTRUCTION.
- ALL UTILITIES ARE TO BE RETAINED UNLESS MARKED OTHERWISE AND APPURTENANCES ARE TO BE ADJUSTED TO FINISHED GRADE.
- THE CONTRACTOR SHALL REPAIR AND MAINTAIN EXISTING SEDIMENT CONTROL DEVICES UNTIL ALL AREAS WITHIN THE LIMIT OF CONSTRUCTION ARE STABILIZED. AT THAT POINT, ALL SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND AREAS RESTORED AND STABILIZED.
- THE MEASURES REQUIRED IN THE APPROVED SEDIMENT CONTROL PLAN SHALL APPLY AS IF SHOWN ON THIS PLAN.
- THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION INSPECTION/SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 992-2417 OR 992-2418.
- PREVIOUS SITE DEVELOPMENT PLAN FOUND IN SDP 82-116.

NO.	REVISIONS	DATE
1	ADDED UNDERDRAIN SYSTEM	8/21/89
2	REMOVED ATRIUM AND UPDATED SIGNAGE	8/21/89
3	REMOVED TRASH RECYCLING CORRAL	8/21/89



LAYOUT, GRADING & LANDSCAPE

PARCEL 1
 DOBBIN ROAD COMMERCIAL CENTER
 SECTION 1 / AREA 1
 TAX MAP NO. 36

Sixth Election District of HOWARD COUNTY, MD

SCALE: 1" = 20'

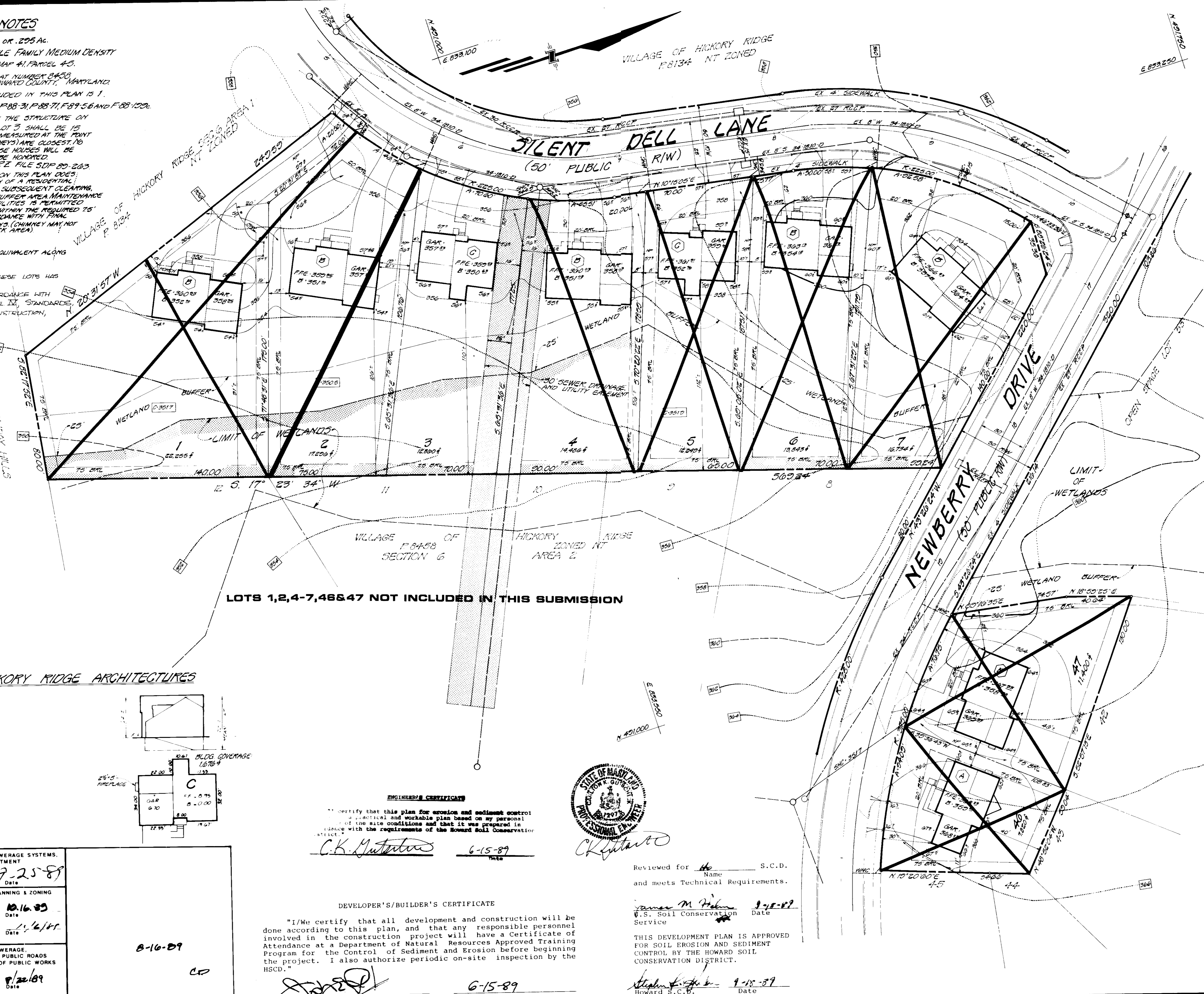
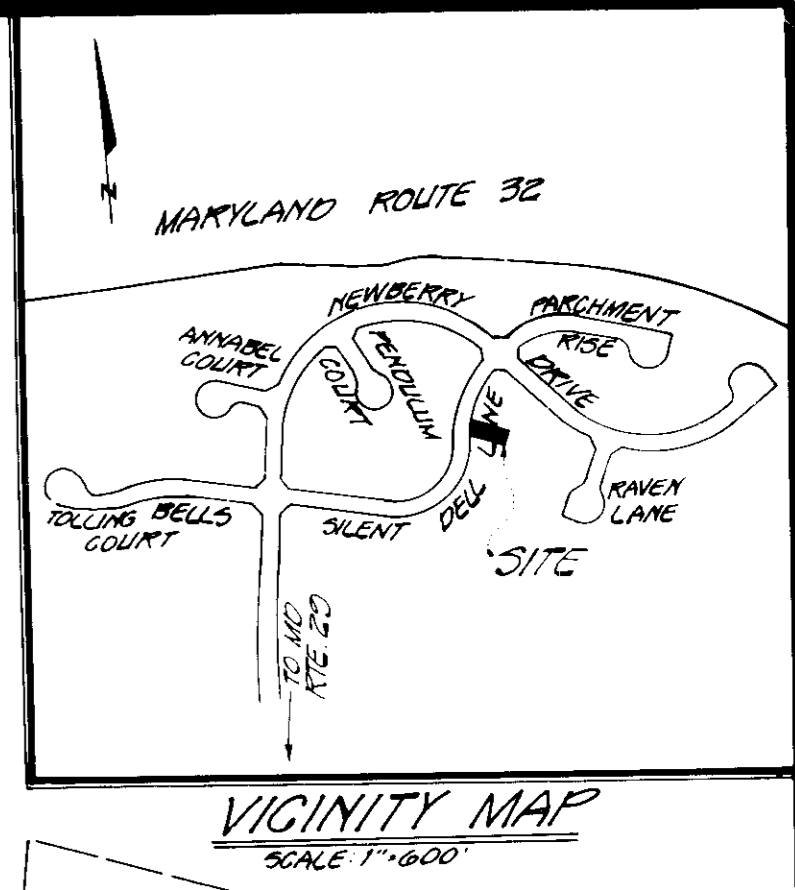
DRAWN: AKL
 CHECKED: AKL

PROJECT NO.: 9129
 DATE: 9-21-89

SHEET: 1 of 1

GENERAL NOTES

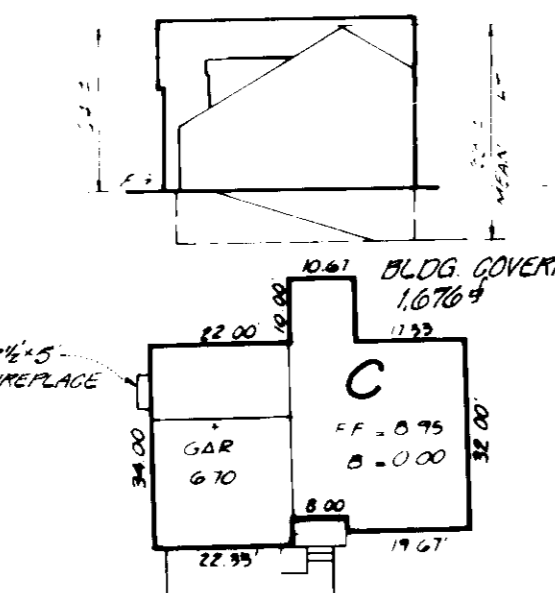
1. AREA OF SITE (LOT 3) 12,800 ± OR .295 AC.
2. SITE IS ZONED NEW TOWN SINGLE FAMILY MEDIUM DENSITY
3. AREA SHOWN IS LOCATED ON TAX MAP #1, PARCEL #5.
4. AREA SHOWN IS RECORDED AS PLAT NUMBER 8450 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.
5. THE TOTAL NUMBER OF LOTS INCLUDED IN THIS PLAN IS 1.
6. REFER TO O.P.Z. FILES: S-87-13, P-88-31, P-88-71, F-89-56 AND F-88-102.
7. THE MINIMUM DISTANCE BETWEEN THE STRUCTURE ON LOT 2 AND THE STRUCTURE ON LOT 3 SHALL BE 15 (FIFTEEN) FEET. DISTANCE IS TO BE MEASURED AT THE POINT WHERE THE HOUSES (INCLUDING CHIMNEYS) ARE CLOSEST. NO ADDITIONS OR MODIFICATIONS TO THESE HOUSES WILL BE PERMITTED IF THE 15 FEET CANNOT BE MAINTAINED.
8. FROM LOTS 12, 4, 7, 6, 1, 4, 7, 3, 5, O.P.Z. FILE SDP 90-203
9. THE WETLAND BUFFER INDICATED ON THIS PLAN DOES NOT EFFECT THE INITIAL CONSTRUCTION OF A RESIDENTIAL UNIT ON ANY LOT. IT DOES PROHIBIT SUBSEQUENT CLEARING, GRADING OR CONSTRUCTION IN THE BUFFER AREA MAINTENANCE OF RESIDENCES, LANDSCAPING AND UTILITIES IS PERMITTED.
10. ALL CHIMNEYS LOCATED WITHIN THE REQUIRED 75' SIDE YARD C/L, SHALL BE IN ACCORDANCE WITH FINAL DEVELOPMENT PLAN JOB REGULATIONS. CHIMNEY MAY NOT PROJECT MORE THAN 3' INTO SETBACK AREA.
11. INSTALL SNOW FENCE OR APPROVED EQUIVALENT ALONG LIMIT OF WETLANDS
12. PLAT REFERENCE NO 8457
13. STORMWATER MANAGEMENT FOR THESE LOTS HAS BEEN ADDRESSED BY F-89-55
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD CO DESIGN MANUAL, VOL III, STANDARDS, SPECIFICATIONS & DETAILS FOR CONSTRUCTION, 1987 AMENDMENTS.
15. PLANNING BOARD GRANTED APPROVAL ON AUG. 16, 1989 FOR THE CONSTRUCTION OF ONE SINGLE FAMILY DWELLING TO INFILTRATE INTO THE 610E 1.5 FT. BEL BY 3.5 FT.



ADDRESS CHART

LOT	STREET	ADDRESS
1	SILENT DELL LANE	
2	SILENT DELL LANE	
3	6971 SILENT DELL LANE	
4	SILENT DELL LANE	
5	SILENT DELL LANE	
6	SILENT DELL LANE	
7	SILENT DELL LANE	
8	NEWBERRY DRIVE	

VILLAGE OF HICKORY RIDGE ARCHITECTURES



ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control is a practical and workable plan based on my personal attendance at the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 C.K. M... 6-15-89



Reviewed for S.C.D. Name and meets Technical Requirements.
 James M. H... 9-18-89
 U.S. Soil Conservation Service

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."
 Signature of Developer/Builder Date 6-15-89

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer Date 7-25-89
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 Director Date 10-16-89
 Chief, Division of Community Planning and Land Development Date 11-16-89
APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director Date 8-22-89
 Chief Bureau of Engineering Date 9-22-89

LEGEND
 - - - - - EXISTING CONTOUR
 - - - - - PROPOSED CONTOUR
 - - - - - MIN CELLAR WIN 1FT OF BASEMENT SLAB

SUBDIVISION NAME	SECT AREA	LOT/PARCEL #
VILLAGE OF HICKORY RIDGE	G/2	3
PLAT #	BLOCK # ZONING	TAX MAP # ELECT. DIST. CENSUS TR.
8450	6 NT	41 5 6051
WATER CODE	SEWER CODE	
EGG # HO3	8480000 # 5758200	

GLW GUTSCHICK LITTLE & WEBER, P.A.
 ENGINEERS, PLANNERS, SURVEYORS
 3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
 TELEPHONE: (301) 421-4024

PREPARED FOR

HALLMARK BUILDERS
 P.O. Box 1018 Columbia, MD 21044 • (301) 964-4440

SITE DEVELOPMENT PLAN
VILLAGE OF HICKORY RIDGE
 SECTION 6 AREA 2 LOT 3
 5TH ELECTION DISTRICT OF HOWARD COUNTY
 COLUMBIA, MARYLAND

SCALE	ZONING	G.L.W. FILE No.
1" = 30'	NT	89-047
DATE	TAX MAP No.	SHEET
MAY 1987	41	1 OF 2

DES. MBT	DRN. HK	CHK. MBT	DATE	REVISION	BY	APP'R.

SDP-90-01