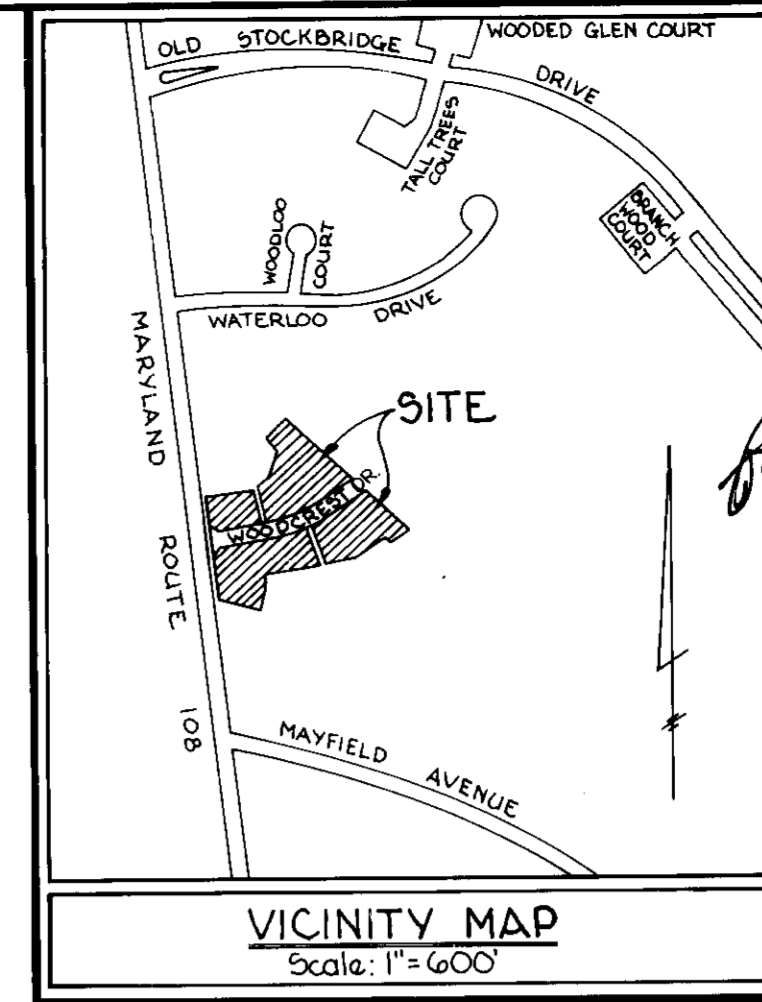
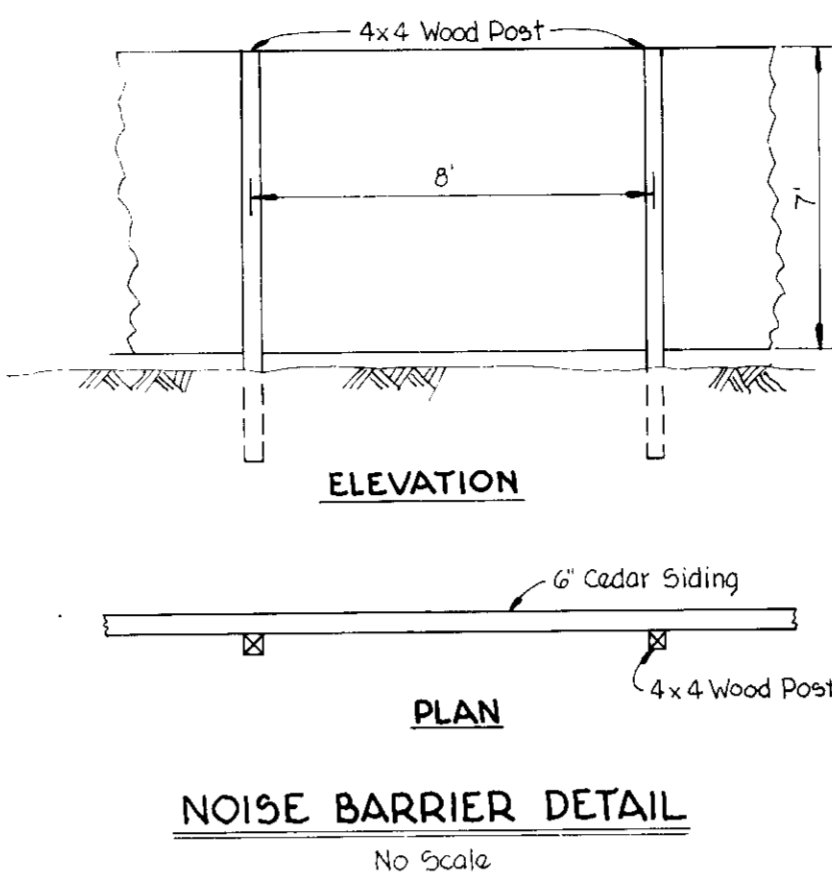


COMMON ACCESS EASEMENTS RECORDED AS FOLLOWS:
 LOTS 8 THRU 10 Liber 2034 Folio 54
 LOTS 18 AND 19 Liber 2034 Folio 57

SITE ANALYSIS
 EXISTING ZONING - R-9C
 NUMBER OF LOTS - 18
 TOTAL AREA - 3.14 ACRES



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT.
James M. Berglund 8/18/89
 COUNTY HEALTH OFFICER DATE
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE
 SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT
 OF PUBLIC WORKS.
Stanville W. Wehner 8/16/89
 DIRECTOR DATE
 APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
James S. Giam 8-16-89
 CHIEF, BUREAU OF ENGINEERING DATE
 APPROVED
John 9/14/89
 PLANNING DIRECTOR DATE
Mark S. D'Angelo 9/1/89
 CHIEF, DIVISION OF COMMUNITY
 PLANNING AND LAND DEVELOPMENT DATE



- GENERAL NOTES**
- RECORDING REFERENCE FOR LOTS 1 AND 2, 4 THRU 10 AND 12 THRU 20 ARE PLATS 5754 AND 5755.
 - WATER AND SEWER FACILITIES ARE TO BE PROVIDED (PUBLICLY OWNED).
 - MINIMUM SETBACK FROM THE PUBLIC STREET SHALL BE 20' UNLESS OTHERWISE APPROVED BY THE HOWARD COUNTY PLANNING BOARD.
 - STORMWATER MANAGEMENT FOR THESE LOTS HAS BEEN PROVIDED UNDER GP-88-63A AND F-89-14.
 - GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY IN ACCORDANCE WITH SECTION 127-B.2.D.(18) OF THE HOWARD COUNTY ZONING REGULATIONS.
 - REFERENCE: SKETCH PLAN 5-88-10, PRELIMINARY PLAN P-88-43, GRADING PLAN GP-88-63A AND FINAL PLANS FP-89-14.

DATE: 6-24-89

MARK BUILDING COMMUNITIES, INC.
 OWNER AND DEVELOPER
 P. O. BOX 1272
 COLUMBIA, MARYLAND 21044

WHITMAN, REQUARDT AND ASSOCIATES
 ENGINEERS
 2315 SAINT PAUL STREET
 BALTIMORE, MARYLAND 21218
Thomas J. Shafer
 SIGNATURE

ADDRESS CHART

LOT NO.	STREET ADDRESS
1	6203 WOODCREST DRIVE
2	6207 " "
4	6219 " "
5	6223 " "
6	6227 " "
7	6231 " "
8	6235 " "
9	6239 " "
10	6243 " "

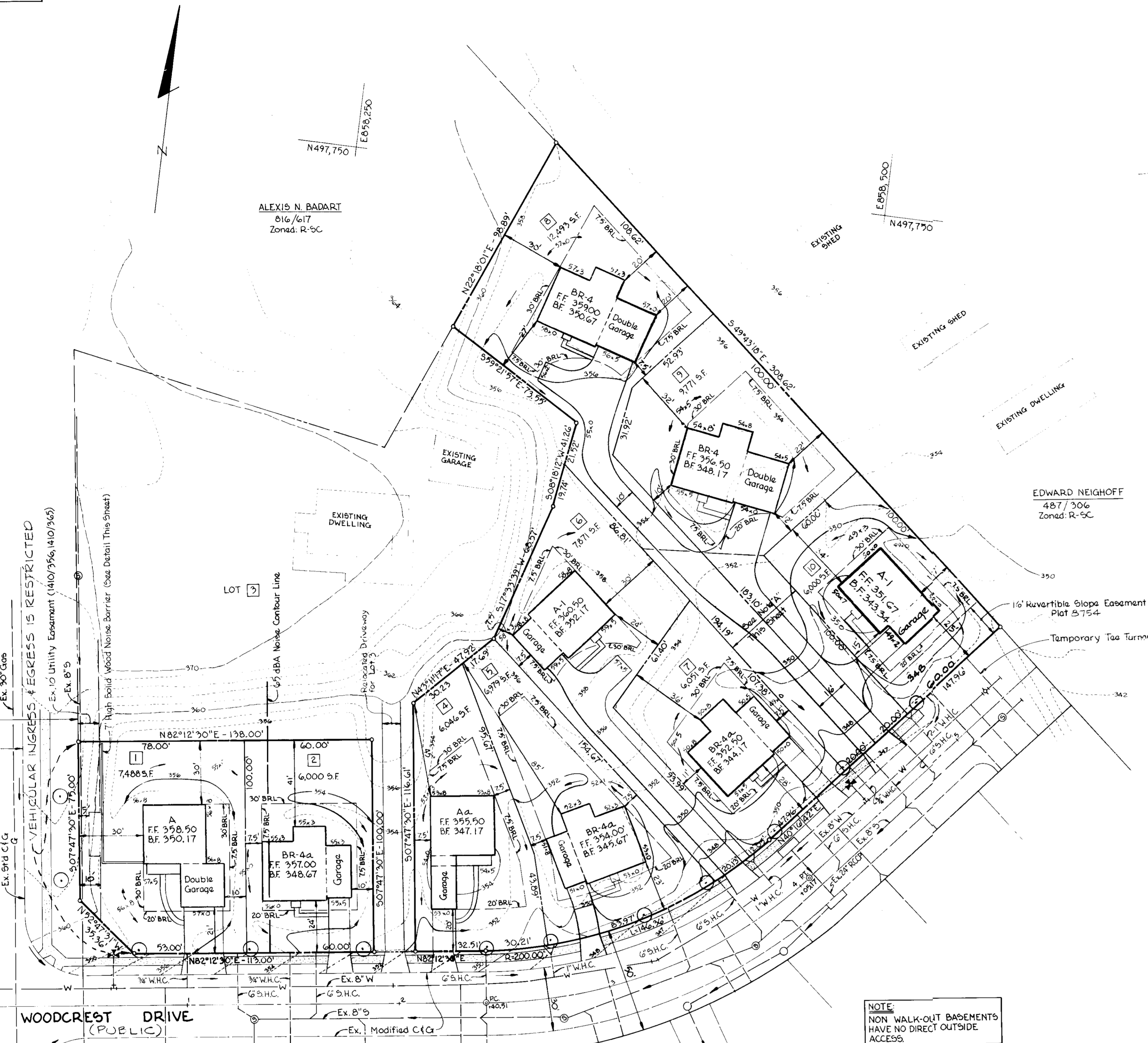
- LEGEND**
- 420 - PROPOSED CONTOURS (2' INTERVALS)
 - 420 - EXISTING CONTOURS (2' INTERVALS)
 - BR-3 - BUILDING TYPE
 - 10 - LOT NUMBER
 - RW - RETAINING WALL
 - HR - HANDICAPPED RAMP
 - CONCRETE WALK
 - FIRE HYDRANT
 - LIGHT FIXTURE
 - TREES TO REMAIN
 - PROPOSED STREET TREES
 - B.R.L. - BUILDING RESTRICTION LINE
 - W.G. - WALK-OUT BASEMENT

SUBDIVISION NAME: WOODCREST				SECTION/AREA SECTION 1	LOTS 1 AND 2 4 THRU 10 12 THRU 20
PLAT # 5754 & 5755	BLOCK # 14	ZONE R-9C	TAX/ZONE MAP 37	ELECT. DIST. 1	CENSUS 6011
WATER CODE D05			SEWER CODE 2610000		

2	9/14/88	Revised Driveway for Lot 3
1	7/23/89	As per Planning, DPW & SCC Comments
NO.	DATE	REVISION

-SITE DEVELOPMENT PLANS-
 FOR
 WOODCREST
 LOTS 1 AND 2, 4 THRU 10 AND 12 THRU 20
 (SINGLE FAMILY DETACHED DWELLINGS)
GRADING PLAN
 SHEET 1 OF 3
 ELECTION DISTRICT NO. 1
 HOWARD COUNTY, MARYLAND
 TAX MAP: 37
 DATE: 6/5/89
 SCALE: AS SHOWN

MARYLAND ROUTE 108



NOTE:
 NON WALK-OUT BASEMENTS
 HAVE NO DIRECT OUTSIDE
 ACCESS

OFF-STREET PARKING SPACES
 REQUIRED: 18 DWELLINGS @ 2 SPACES = 36
 PROPOSED: 36 SPACES = 18 IN DRIVEWAYS
 18 IN GARAGES

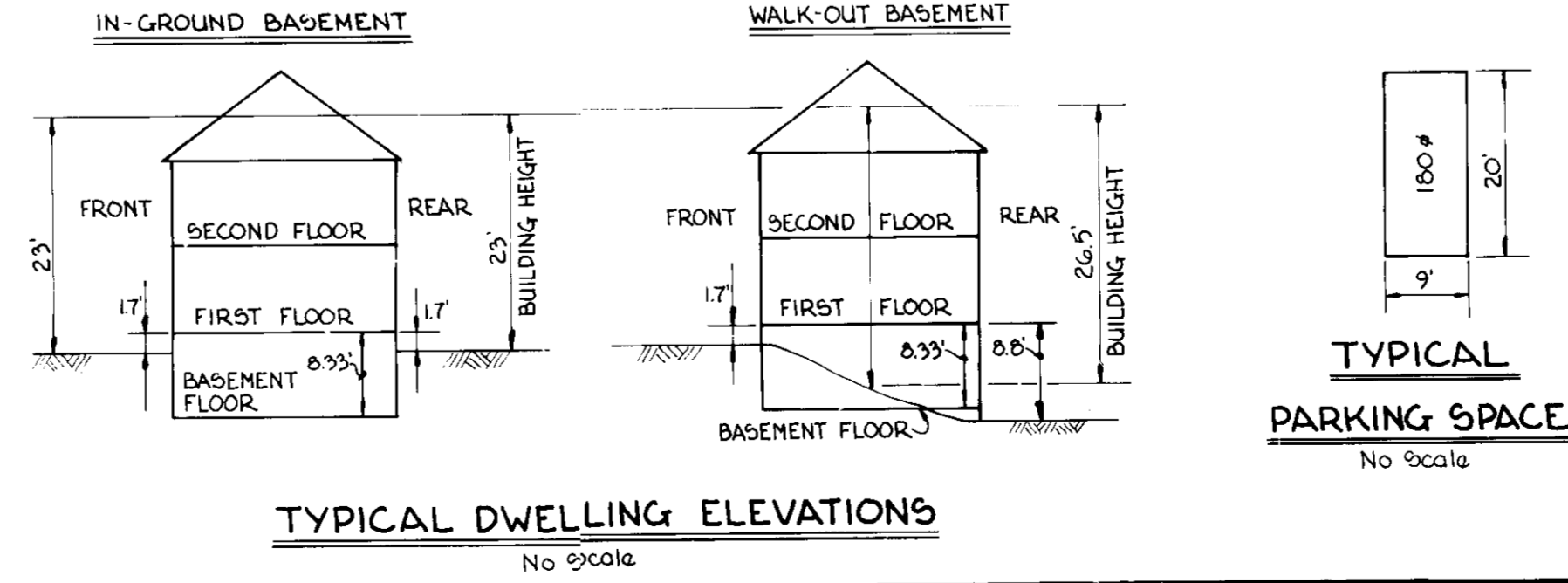
ELEVATIONS - SEWER HC

LOT NO.	INVERT	LOT NO.	INVERT
1	348.14	7	339.16
2	344.06	8	339.46
4	338.54	9	339.71
5	338.72	10	339.61
6	339.68		

BUILDING COVERAGE

LOT NO.	LOT AREA S.F.	HOUSE AREA S.F.	% LOT COVERAGE
1	7488	1,450	19.4
2	6,000	1,300	21.7
4	6,046	1,340	22.2
5	6,979	1,300	18.6
6	7,871	1,230	15.6
7	6,051	1,300	21.5
8	12,493	1,550	12.4
9	9,771	1,550	15.9
10	6,000	1,230	20.5

* Includes Garages - See Architectural Plans for Details



NOTES:
 1. PUBLIC WATER AND SEWER MAINS WERE CONSTRUCTED UNDER CONTRACT NO. 14-1896-D
 2. PUBLIC ROADS WERE CONSTRUCTED FROM ROAD CONSTRUCTION DRAWINGS F-89-14

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT.

James M. Boyd 8/15/89
COUNTY HEALTH OFFICER DATE

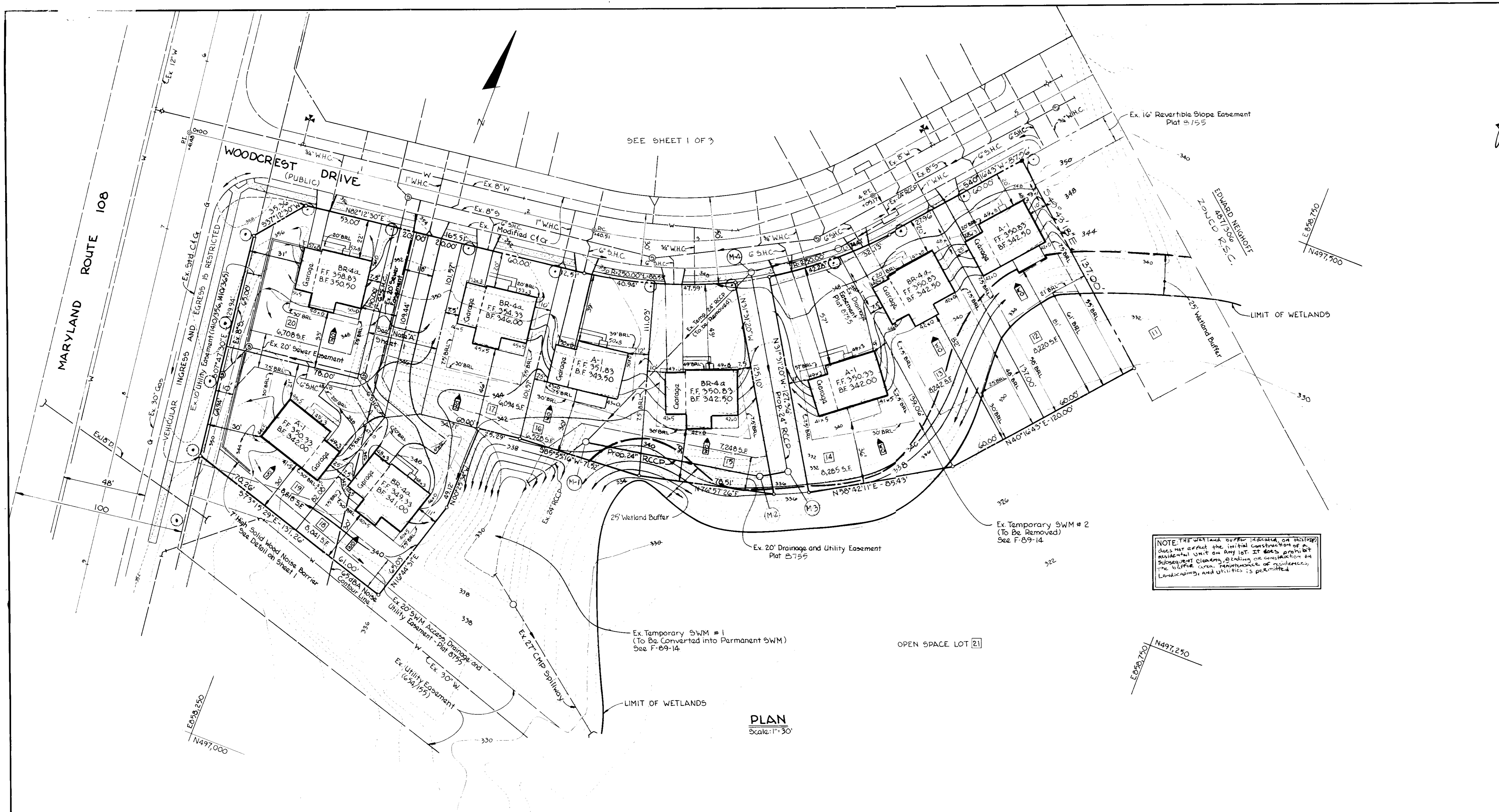
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

Granville W. Welland 8/16/89
DIRECTOR DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

W.A. 9/14/89
PLANNING DIRECTOR DATE

Frank V. J. Boyd 9/15/89
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE



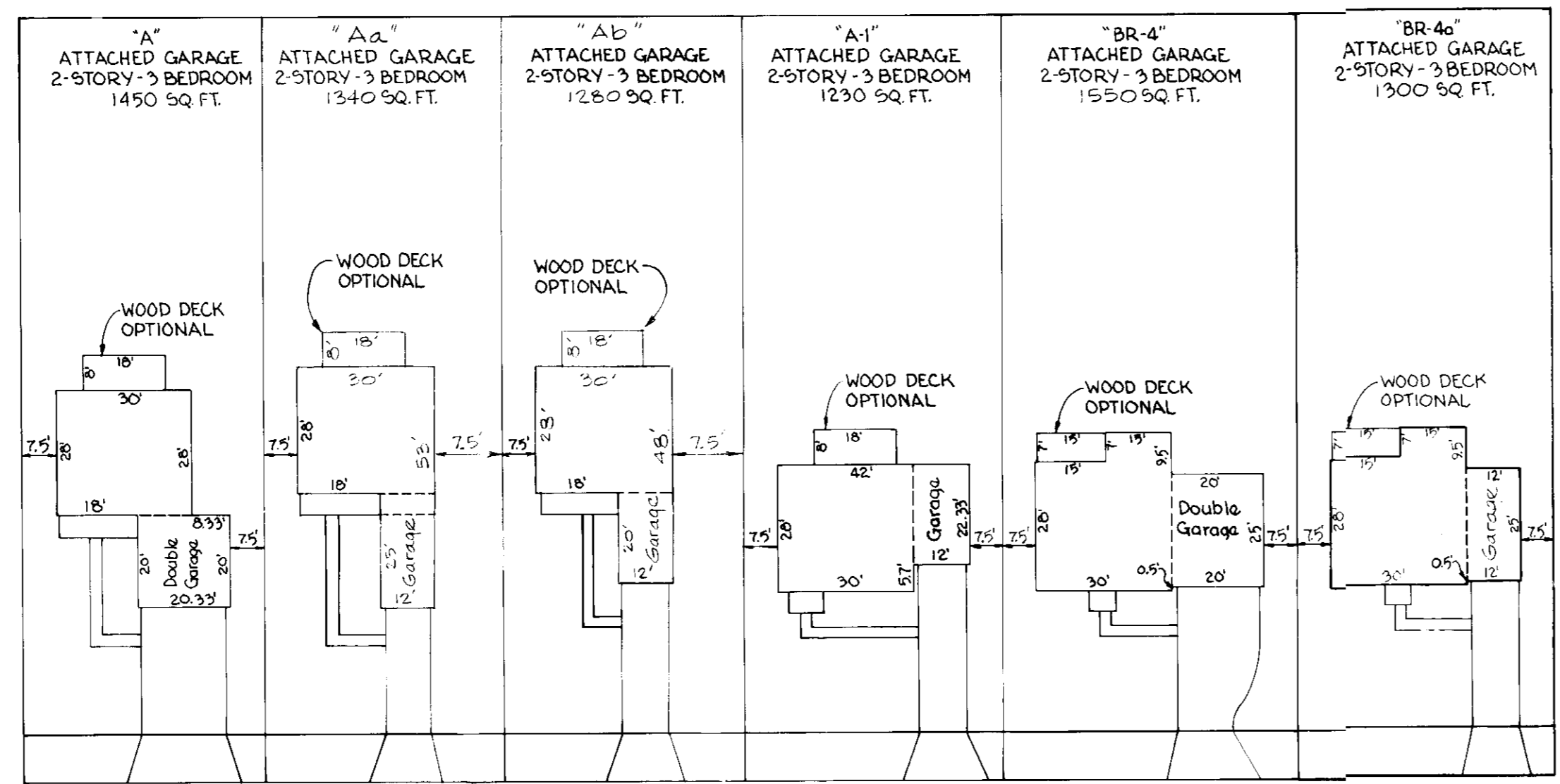
PLAN
Scale: 1" = 30'

MARK BUILDING COMMUNITIES, INC.
OWNER AND DEVELOPER
P. O. BOX 1272
COLUMBIA, MARYLAND 21044

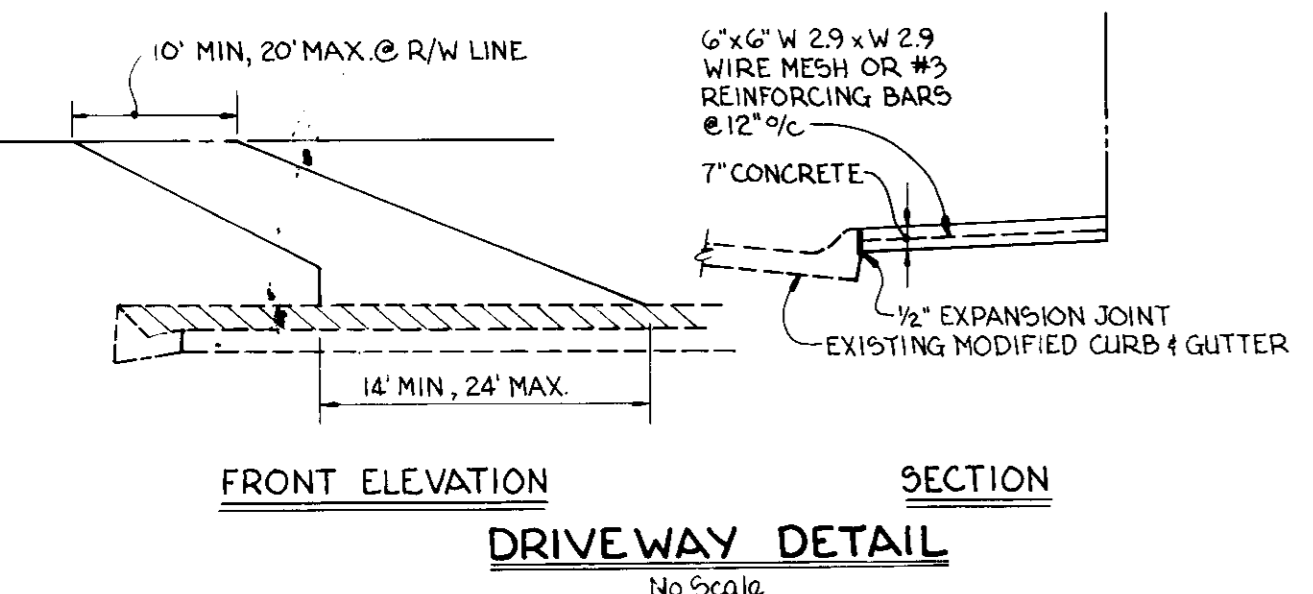
WHITMAN, REQUARDT AND ASSOCIATES
ENGINEERS
2315 SAINT PAUL STREET
BALTIMORE, MARYLAND 21218

Thomas J. Shalen
SIGNATURE

ADDRESS CHART		
LOT NO.	STREET ADDRESS	
12	6238	WOODCREST DRIVE
13	6234	" "
14	6230	" "
15	6222	" "
16	6218	" "
17	6214	" "
18	6210	" "
19	6206	" "
20	6202	" "



TYPICAL PLOT PLANS
No Scale



ELEVATIONS - SEWER H.C.			
LOT NO.	INVERT	LOT NO.	INVERT
12	338.91	16	337.56
13	338.50	17	341.10
14	337.94	18	335.95
15	337.60	19	336.80
		20	346.50

BUILDING COVERAGE			
LOT NO.	LOT AREA SF	HOUSE AREA SF	% LOT COVERAGE
12	8,220	1,230	14.9
13	8,242	1,300	15.8
14	8,285	1,230	14.8
15	7,248	1,300	17.9
16	6,528	1,230	18.8
17	6,094	1,300	21.3
18	8,041	1,300	16.2
19	8,818	1,230	13.9
20	6,708	1,300	19.4

*Includes Garages - See Architectural Plans for Details.

NO.	DATE	REVISION
1	7/13/89	As per Planning, DPW & SCE Comments

-SITE DEVELOPMENT PLANS-
FOR
WOODCREST
LOTS 1 AND 2, 4 THRU 10 AND 12 THRU 20
(SINGLE FAMILY DETACHED DWELLINGS)
GRADING PLAN
SHEET 2 OF 3

ELECTION DISTRICT NO. 1
HOWARD COUNTY, MARYLAND

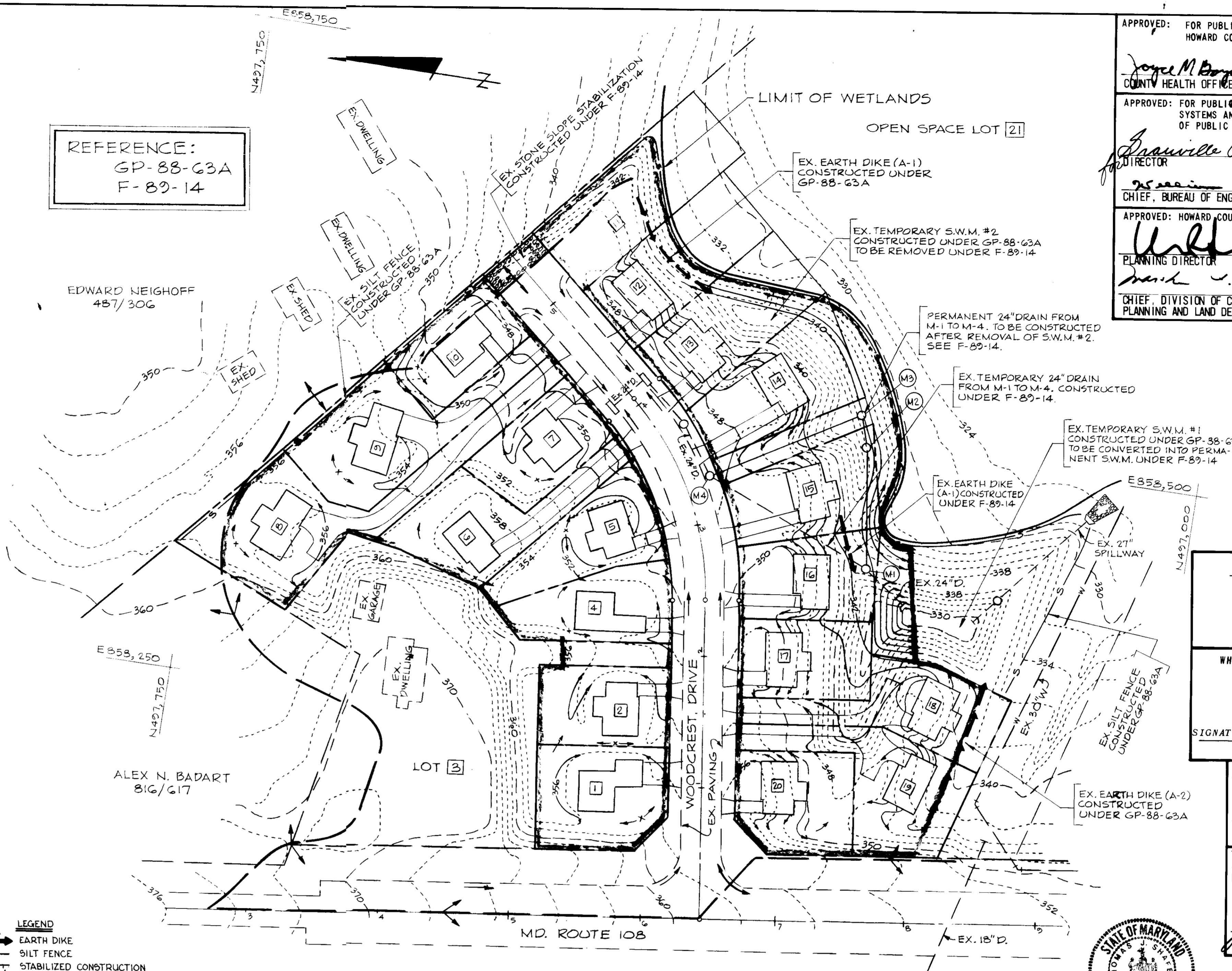
TAX MAP: 37
DATE: 6/5/89

SCALE AS SHOWN

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- SEDIMENT CONTROL AND INTERIM STORMWATER MANAGEMENT FEATURES ARE IN PLACE IN ACCORDANCE WITH GP-88-63A AND F-89-14. THESE EXISTING FEATURES ARE NOT TO BE DISTURBED DURING HOUSE CONSTRUCTION EXCEPT AS NOTED.
- GRADE LOTS 1 AND 2 AND 4 THRU 10 AND CONSTRUCT HOUSES, STOCKPILE EXCESS EXCAVATION ON LOTS 16, 17 AND 20.
- FINE GRADE AND SEED LOTS 1 AND 2 AND 4 THRU 10.
- GRADE THE FRONT PORTIONS OF LOTS 12 THRU 15 NECESSARY FOR HOUSE CONSTRUCTION.
- CONSTRUCT HOUSES ON LOTS 12 THRU 15. FINE GRADE AND SEED FRONT YARDS.
- REMOVE TEMPORARY STORMWATER MANAGEMENT #2 IN ACCORDANCE WITH CONSTRUCTION SEQUENCE ON SHEET 6 OF 7 OF F-89-14.
- INSTALL PERMANENT STORM DRAIN SYSTEM FROM MH-1 TO MH-4.
- FINE GRADE AND SEED REAR YARDS OF LOTS 12 THRU 15.
- GRADE THE PORTIONS OF LOTS 18, 19 AND 20 NECESSARY FOR HOUSE CONSTRUCTION.
- CONSTRUCT HOUSES ON LOTS 18, 19 AND 20. FINE GRADE AND SEED AS MUCH YARD AREA AS POSSIBLE.
- CONVERT TEMPORARY STORMWATER MANAGEMENT #1 TO A PERMANENT FACILITY IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE ON SHEET 6 OF 7 OF F-89-14.
- INSTALL SILT FENCE AROUND THE PERMANENT FACILITY BETWEEN IT AND THE UPSTREAM LOTS.
- CONSTRUCT THE HOUSES ON LOTS 16 AND 17 AND THE COMMON DRIVEWAY FOR LOTS 18 AND 19.
- FINE GRADE AND SEED ALL REMAINING YARD AREAS.
- PROVIDE SNOW FENCE OR EQUAL BARRIER ALONG WETLAND LIMITS.

REFERENCE:
GP-88-63A
F-89-14



NOTE:
PERMISSION IS HEREBY GRANTED MARK BUILDING COMMUNITIES, INC. TO USE EXISTING SEDIMENT CONTROLS CONSTRUCTED BY US UNDER F-89-14.

Thomas J. Shafer 8/9/89
CHATEAU BUILDERS, INC. DATE

TEMPORARY SEEDING NOTES

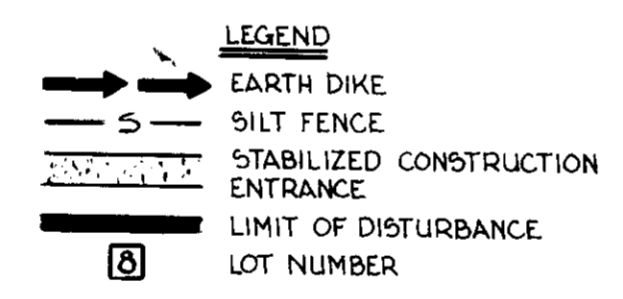
Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeding Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendment: In lieu of soil test recommendations, use one of the following schedules:
 1) Fescue - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) before seeding, and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.
 2) Ryegrass - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) before seeding, and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.
 3) Ryegrass - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) before seeding, and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding.
 4) Ryegrass - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) before seeding, and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding.

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (592-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS - 2 SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 14 days for all other disturbed or graded areas on the project site.
- All sediment traps/basins shall be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 53) and (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 Total Area of Site: 3.4 Acres
 Area Disturbed: 3.0 Acres
 Area to be vegetatively stabilized: 2.9 Acres
 Total Cut: 4,200 cu. yds.
 Total Fill: 4,200 cu. yds.
 Offsite waste/borrow area: 0.0 Acres
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.



PLAN
Scale: 1" = 50'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT.

Joyce M. Boyd per *John* 8/18/89
COUNTY HEALTH OFFICER DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

James W. Weiland 8/16/89
DIRECTOR DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

William E. Ryan 8-16-89
CHIEF, BUREAU OF ENGINEERING DATE

William E. Ryan 8-16-89
PLANNING DIRECTOR DATE

Mark J. Shafer 8/16/89
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED
DATE 6-28-89

MARK BUILDING COMMUNITIES, INC.
OWNER AND DEVELOPER
P.O. BOX 1272
COLUMBIA, MARYLAND 21044

WHITMAN, REQUARDT AND ASSOCIATES
-ENGINEERS-
2315 SAINT PAUL STREET
BALTIMORE, MARYLAND 21218

SIGNATURE: *Thomas J. Shafer*

REVIEWED FOR HOWARD S.C.D. AND MEETS THE TECHNICAL REQUIREMENTS.

John J. Whitman 8/19/89
HOWARD S.C.D. DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John J. Whitman 8/19/89
HOWARD S.C.D. DATE

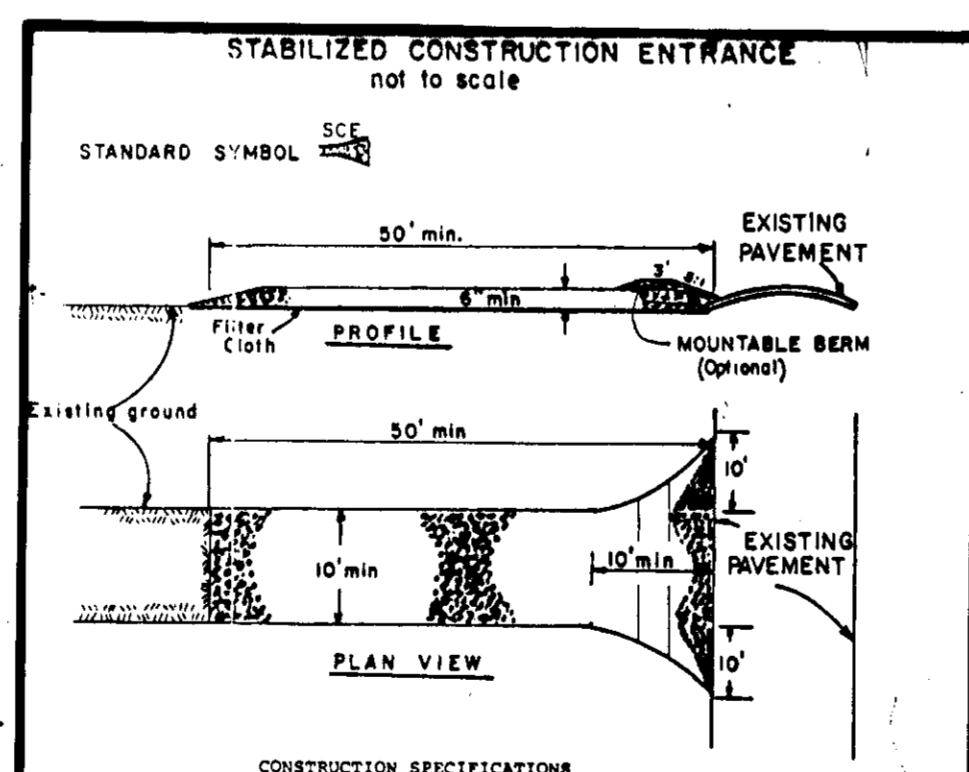


BY THE DEVELOPER:
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

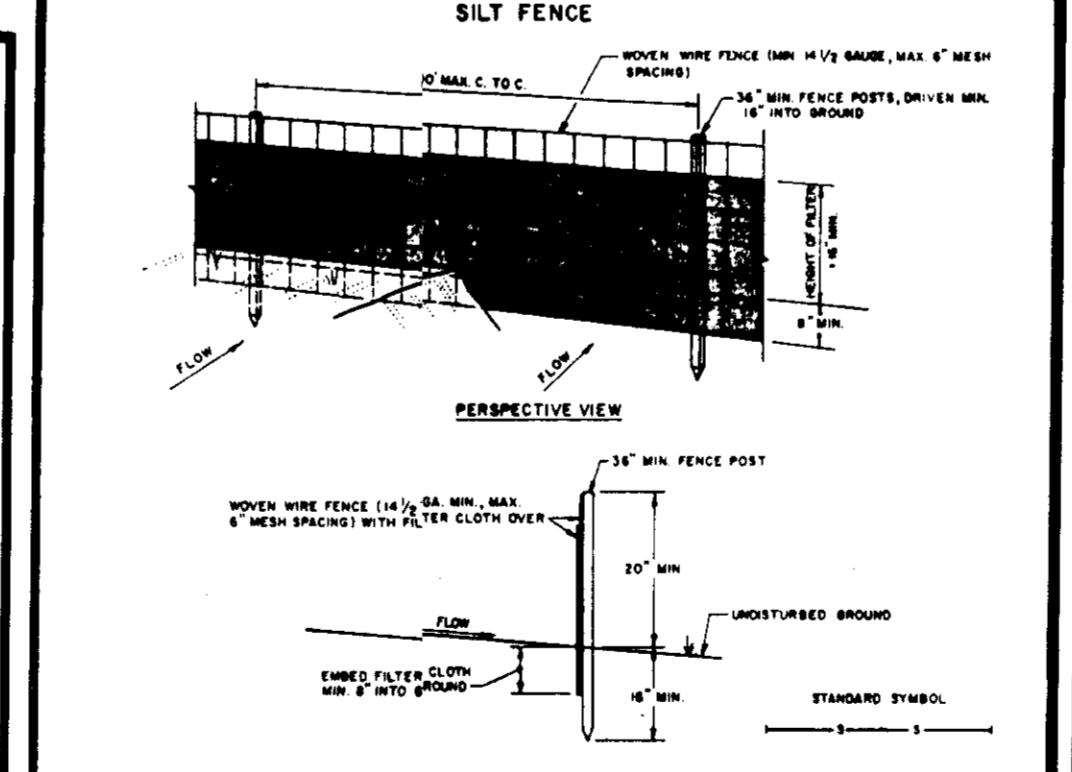
Lawrence I. Rosenberg 6-5-89
LAWRENCE I. ROSENBERG DATE

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

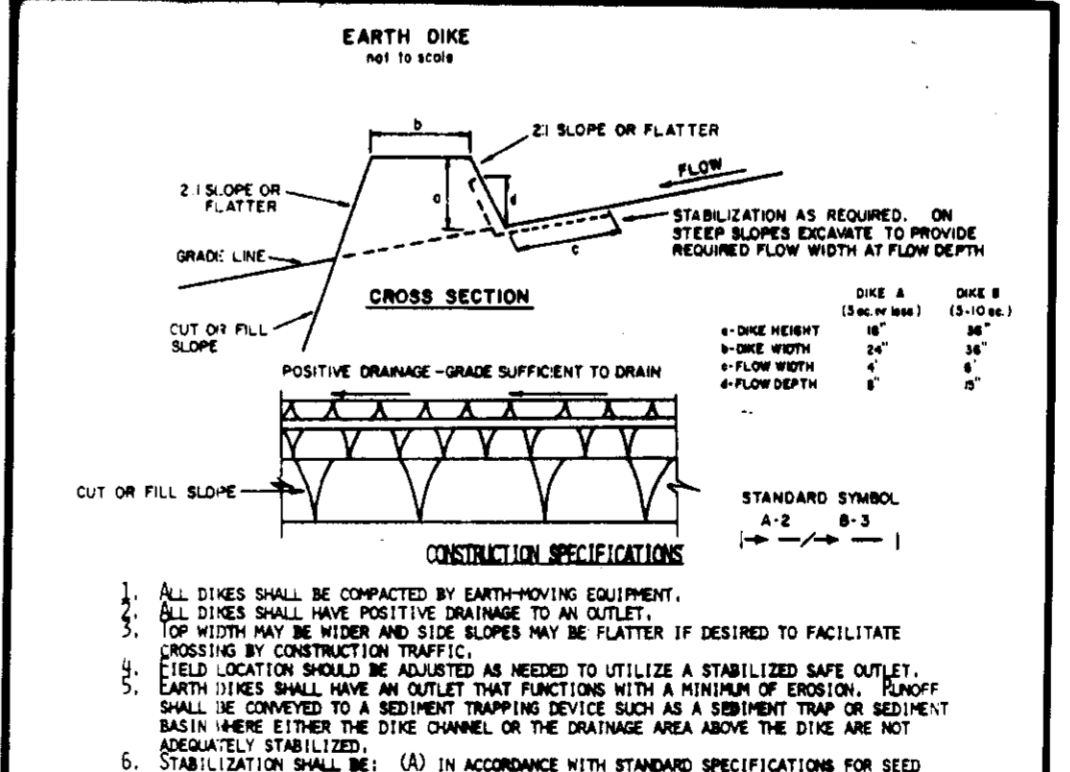
Thomas J. Shafer 6-5-89
THOMAS J. SHAFER, P.E. # 8457 DATE



- CONSTRUCTION SPECIFICATIONS
- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length - As required, but not less than 30 feet (except on a single residential lot where a 30 foot minimum length would apply).
 - Thickness - Not less than six (6) inches.
 - Width - Two (2) foot minimum, but not less than the full width at points where inlets or outlets occur.
 - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter cloth will not be required on a single family residence lot.
 - Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mounded berm with 5:1 slopes will be permitted.
 - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment applied, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 - Warning - Vehicles shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area established with stone and which drains into an approved sediment trapping device.
 - Periodic inspection and needed maintenance shall be provided after each rain.



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE
- Woven wire fence to be fastened regularly to fence posts with nine ties or staples.
 - Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section.
 - When the sections of filter cloth added each other they shall be overlapped by six inches and pinned.
 - Maintenance shall be performed as needed and material removed when it begins to develop in the silt fence.



- CONSTRUCTION SPECIFICATIONS
- All dikes shall be compacted by earthmoving equipment.
 - All dikes shall have positive drainage to an outlet.
 - Top of dike may be wider and side slopes may be flatter if desired to facilitate crossing by construction traffic.
 - FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET. EARTH DICES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVERTED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR RUNOFF BASIN (WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT SUBJECT TO STABILIZATION).
 - STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON; (B) FLOW CHANNEL AS PER THE CURVE TABLE.

NO.	DATE	REVISION
1	7/10/89	As per SCS Comments

-SITE DEVELOPMENT PLANS-
FOR
WOODCREST
LOTS 1 AND 2, 4 THRU 10 AND 12 THRU 20
(SINGLE FAMILY DETACHED DWELLINGS)
SEDIMENT CONTROL PLAN

SHEET 3 OF 3
ELECTION DISTRICT NO. 1
HOWARD COUNTY, MARYLAND
TAX MAP: 37
DATE: 6/5/89
SCALE AS SHOWN