

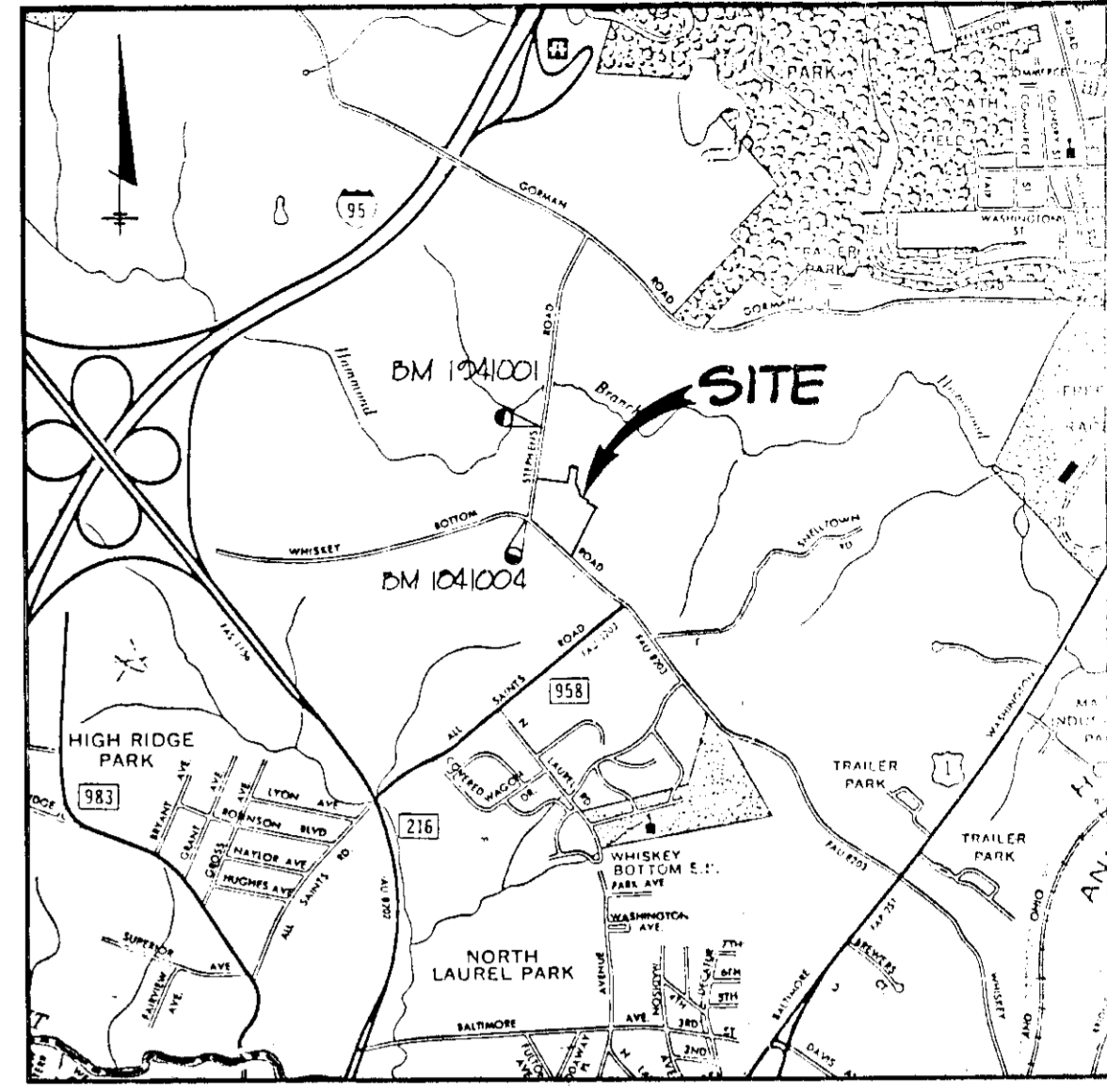
MINIMUM LOT SIZE CHART

LOT NO.	GROSS LOT AREA	EX 25% OR GREATER SLOPES TO REMAIN	PROP 25% OR GREATER SLOPES	REMAINING LOT AREA WITH 0% ALLOWANCE FOR CREATING 25% SLOPES
141	8650.13	0.0	0.0	8650.13
142	6194.31	0.0	0.0	6194.31
143	6153.75	0.0	0.0	6153.75
144	6300.00	0.0	0.0	6300.00
145	6300.00	0.0	0.0	6300.00
146	6300.00	0.0	0.0	6300.00
147	6300.00	0.0	0.0	6300.00
148	6300.00	0.0	0.0	6300.00
149	6300.00	0.0	0.0	6300.00
150	9183.95	0.0	14.0	9169.95
151	6287.03	0.0	0.0	6287.03
152	7181.58	0.0	0.0	7181.58
153	7314.49	0.0	0.0	7314.49
154	7722.35	0.0	0.0	7722.35
155	7728.81	0.0	0.0	7728.81
156	7526.32	0.0	0.0	7526.32
157	6334.02	0.0	0.0	6334.02
158	6985.95	0.0	0.0	6985.95
159	7887.50	0.0	0.0	7887.50
160	7887.50	0.0	0.0	7887.50
161	6018.74	0.0	0.0	6018.74
162	7210.39	0.0	0.0	7210.39
163	7387.62	0.0	0.0	7387.62
164	7426.50	0.0	0.0	7426.50
165	7580.81	0.0	0.0	7580.81
166	8773.62	0.0	0.0	8773.62
167	8648.96	0.0	0.0	8648.96
168	6507.84	0.0	0.0	6507.84
169	6384.97	0.0	0.0	6384.97
170	6488.96	0.0	0.0	6488.96
171	7260.37	0.0	0.0	7260.37
172	7301.35	0.0	0.0	7301.35
173	8263.53	0.0	0.0	8263.53

Certification of the following lots 14, 142, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173 hereby given: 8/1/89
Rodolph L. May, Jr. PE No. 18700 Date

ADDRESS CHART

LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS
141	9601 MILADY WAY	150	9605 JESTER COURT
142	9605 " "	151	9601 " "
143	9609 " "	160	9602 CORONET COURT
144	9613 " "	161	9606 " "
145	9617 " "	162	9610 " "
146	9621 " "	163	9614 " "
147	9625 " "	164	9618 " "
148	9629 " "	165	9622 " "
149	9633 " "	166	9626 " "
150	9600 JESTER COURT	167	9630 " "
151	9604 " "	168	9634 " "
152	9608 " "	169	9638 " "
153	9612 " "	170	9642 " "
154	9616 " "	171	9646 " "
155	9620 " "	172	9601 MILADY WAY
156	9624 " "	173	9600 " "
157	9628 " "		



SITE ANALYSIS

ZONING	R9C
UNIT TYPE	SINGLE FAMILY DETACHED
NO OF UNITS	33
MAXIMUM BLDG COVERAGE ALLOWED	40%
TOTAL AREA OF LOTS	545 AC

BENCH MARKS

1041004	ELEV 295.92
REMARK: 6" OFF SOUTH EDGE OF ROAD NEAR THE INTERSECTION OF STEPHENS ROAD AND WHISKEY BOTTOM ROAD	
N 411079.00 E 843651.810	
1041001	ELEV 271.07
REMARK: 4" WEST EDGE OF STEPHENS ROAD IN FRONT OF 0020 STEPHENS ROAD	
N 472231.99 E 0439971.540	

- GENERAL NOTES
- ALL ROADWAYS ARE PUBLIC AND EXISTING.
 - ANY DAMAGE TO COUNTY OWNED RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 - THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 992-2417 OR 992-2418.
 - THE MAXIMUM LOT COVERAGE IS 40% PER LOT.
 - TOPU TAKEN FROM FIELD RUN SURVEY BY TRACY, SCHULTE AND ASSOCIATES.
 - PUBLIC WATER AND SEWER SHOWN FOR REFERENCE ONLY. FOR MORE DETAILED INFORMATION, SEE WATER AND SEWER PLANS CONTRACT NO. 14-1855.
 - INDICATES WALKOUT BASEMENT.
 - PORCH, FIREPLACES, CHIMNEYS AND BAY WINDOWS WHICH EXTEND ACROSS THE B.R.L.L. SHALL BE IN ACCORDANCE WITH ZONING REGULATIONS SECTION 128.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
Joseph M. Boyd 8/1/89
 COUNTY HEALTH OFFICER

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James P. ... 7/31/89
 DIRECTOR

William R. ... 7-31-89
 CHIEF, BUREAU OF ENGINEERING

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING.
Robert ... 8-15-89
 PLANNING DIRECTOR

James ... 8-2-89
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

NO	DATE	REVISION
1	7-23-92	LOT 141- HOUSE TYPE (HATHAWAY)
2	8-2-91	REVISION HOUSE TYPE ON LOTS 165, 170, 171
3	11-26-90	REVISION HOUSE TYPE ON LOTS 162, 166, 168, 172

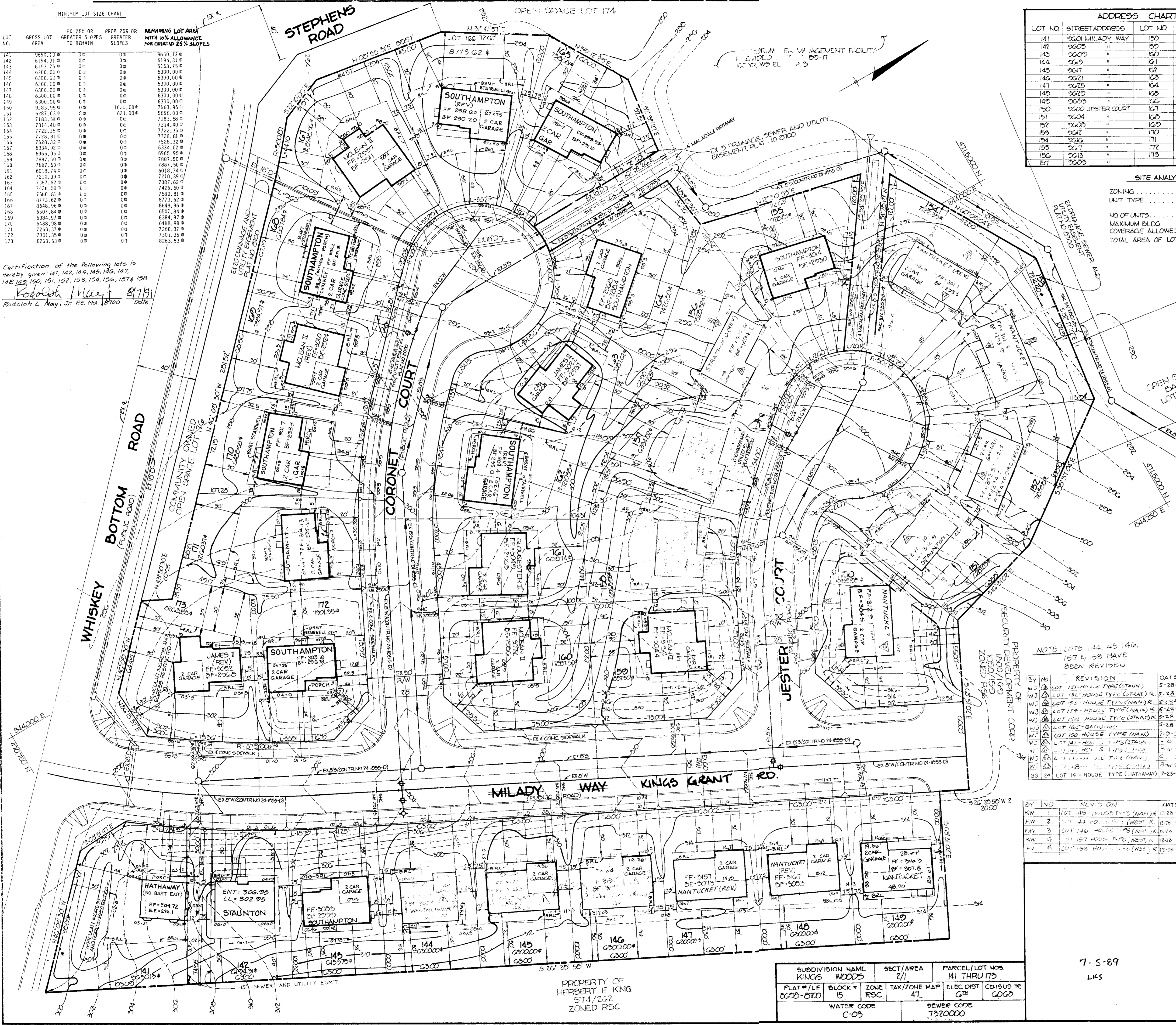
NOTE: LOTS 144, 145, 146, 157 & 158 HAVE BEEN REVISED

BY	NO	REVISION	DATE
W.S.	1	LOT 151- HOUSE TYPE (STANTON)	5-28-91
W.S.	2	LOT 152- HOUSE TYPE (STANTON)	5-28-91
W.S.	3	LOT 153- HOUSE TYPE (STANTON)	5-28-91
W.S.	4	LOT 154- HOUSE TYPE (STANTON)	5-28-91
W.S.	5	LOT 155- HOUSE TYPE (STANTON)	5-28-91
W.S.	6	LOT 156- HOUSE TYPE (STANTON)	5-28-91
W.S.	7	LOT 157- HOUSE TYPE (STANTON)	5-28-91
W.S.	8	LOT 158- HOUSE TYPE (STANTON)	5-28-91
W.S.	9	LOT 159- HOUSE TYPE (STANTON)	5-28-91
W.S.	10	LOT 160- HOUSE TYPE (STANTON)	5-28-91
W.S.	11	LOT 161- HOUSE TYPE (STANTON)	5-28-91
W.S.	12	LOT 162- HOUSE TYPE (STANTON)	5-28-91
W.S.	13	LOT 163- HOUSE TYPE (STANTON)	5-28-91
W.S.	14	LOT 164- HOUSE TYPE (STANTON)	5-28-91
W.S.	15	LOT 165- HOUSE TYPE (STANTON)	5-28-91
W.S.	16	LOT 166- HOUSE TYPE (STANTON)	5-28-91
W.S.	17	LOT 167- HOUSE TYPE (STANTON)	5-28-91
W.S.	18	LOT 168- HOUSE TYPE (STANTON)	5-28-91
W.S.	19	LOT 169- HOUSE TYPE (STANTON)	5-28-91
W.S.	20	LOT 170- HOUSE TYPE (STANTON)	5-28-91
W.S.	21	LOT 171- HOUSE TYPE (STANTON)	5-28-91
W.S.	22	LOT 172- HOUSE TYPE (STANTON)	5-28-91
W.S.	23	LOT 173- HOUSE TYPE (STANTON)	5-28-91

TRACY, SCHULTE & ASSOCIATES INC.
 planning • architecture • engineering
 8480 Baltimore National Pike • Ellicott City, Maryland 21043 • (301) 465-6105

OWNER SECURITY DEVELOPMENT CORP 8400 BALTIMORE NATIONAL PIKE SUITE 415 ELICOTT CITY, MARYLAND 21043	PROJECT KINGS WOODS SECTION 2 AREA 1 LOTS 141 THRU 173
DEVELOPER NV HOMES ONE BELTWAY NORTH, SUITE 203 02020 NEW HAMPSHIRE AVENUE SILVER SPRING, MARYLAND 20903	LOCATION TAX MAP 140 47 PARCEL 158 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE SITE DEVELOPMENT PLAN (SINGLE FAMILY DETACHED DWELLINGS)	DATE MAY 1, 1989 JULY 13, 1989
DES. DAM	DRN. JLT
SCALE 1" = 30'	DRAWING 1 OF 2

SUBDIVISION NAME KINGS WOODS	SECT./AREA 2/1	PARCEL/LOT NOS. 141 THRU 173
PLAT #/LF 8620-0100	BLOCK # 15	ZONE R9C
TAX/ZONE MAP C-05	ELCC. DIST. GTH	CEHSUS TR. G0G3
WATER CODE C-05	SEWER CODE 7320000	





**STONE OUTLET
SEDIMENT TRAP NO. 1 DATA**

DRAINAGE AREA	0.8 AC
VOLUME REQUIRED	1440 CUFT
VOLUME PROVIDED	1540 CUFT
CREST ELEV	291.0
TOP ELEV	292.0
BOTTOM ELEV	287.0
CLEANOUT ELEV	288.5
CREST WIDTH	4'
BOTTOM DIMENSION	10'x24'
DEPTH	3'

LEGEND

---	LIMIT OF DISTURBANCE
---	EARTH DIKE
---	TEMPORARY SWALE
---	SILT FENCE
---	DRAINAGE AREA DIVISION
---	STABILIZED CONSTRUCTION ENTRANCE

SEQUENCE OF CONSTRUCTION

- DAY 1 1. OBTAIN A GRADING PERMIT.
- DAY 2-6 2. INSTALL SEDIMENT CONTROL DEVICES.
- DAY 7-21 3. GRADE SITE AND STABILIZE ALL SLOPES IN ACCORDANCE WITH PERMANENT SEEDED NOTES.
- DAY 22-222 4. COMPLETE CONSTRUCTION ON ALL LOTS.
- DAY 223-227 5. UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE IN ACCORDANCE WITH PERMANENT SEEDED NOTES.
- NOTE: STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED UNDER KINGS WOODS SECTION 2, AREA 1 F-89-17.

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

James K. Tracy 7/17/89
ENGINEER: JAMES K. TRACY, P.E. DATE

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Paul Grady 6/1/89
DEVELOPER: N.V. HOMES PAUL GRADY DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John P. Kibeton 7/9/89
HOWARD S.C.D. DATE

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

James M. Hester 7/24/89
U.S. SOIL CONSERVATION SERVICE DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

Joyce M. Boyd 8/1/89
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Samuel J. Lewis 7/31/89
DIRECTOR DATE

William B. Reed 7-31-89
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING.

Wayne Smith 8/15/89
PLANNING DIRECTOR DATE

Wayne Smith 8/2/89
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE LKS

NO.	DATE	REVISION

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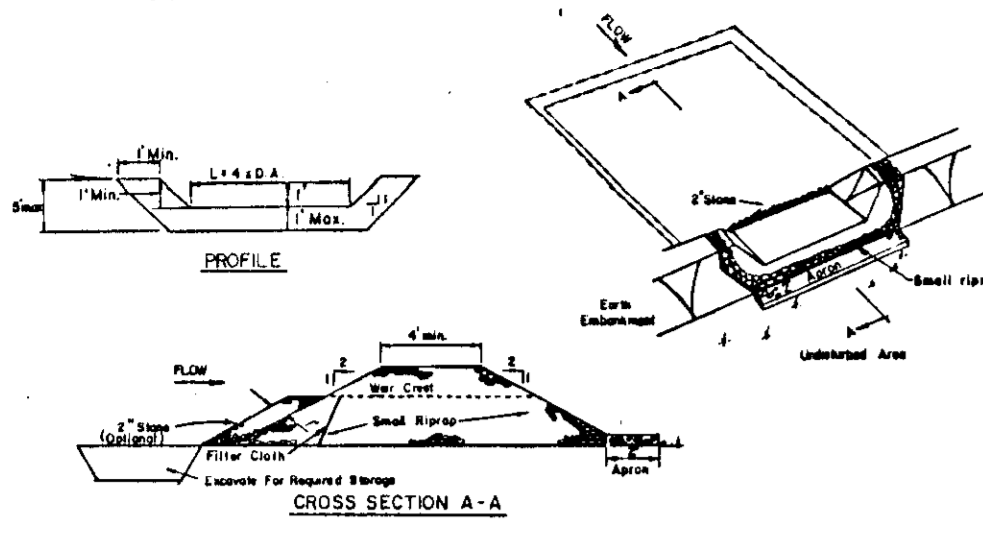
James K. Tracy

OWNER SECURITY DEVELOPMENT CORP. 6400 BALTIMORE NATIONAL PIKE SUITE 415 ELICOTT CITY, MARYLAND 21043	PROJECT KINGS WOODS SECTION 2 AREA 1 LOTS 141 THRU 173 TAX MAP NO. 47 PARCEL 100 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DEVELOPER N.V. HOMES ONE BELTWAY NORTH, SUITE 209 10220 NEW HAMPSHIRE AVENUE SILVER SPRING, MARYLAND 20910	TITLE SITE DEVELOPMENT PLAN (SINGLE FAMILY DETACHED DWELLINGS) 5-88-89 5-88-80 F-89-17 SDP-89-243
DES. D.A.M.	DRN. D.A.M.
DATE JUNE 1, 1989	PROJECT NO 0101
SCALE 1"=30'	DRAWING 2 OF 3

7-5-89 LKS

BY	NO.	REVISION	DATE
KW	1	LOT 145 - HOUSE TYPE (NAN REV)	10-28-80
KW	2	LOT 144 - HOUSE TYPE (WEST REV)	10-28-80
KW	3	LOT 140 - HOUSE TYPE (NAN REV)	10-28-80
J.W	4	LOT 157 - HOUSE TYPE (WEST REV)	10-28-80
KW	5	LOT 158 - HOUSE TYPE (WEST REV)	10-28-80
WJ	13	LOT 150 - HOUSE TYPE (NAN)	7-2-81

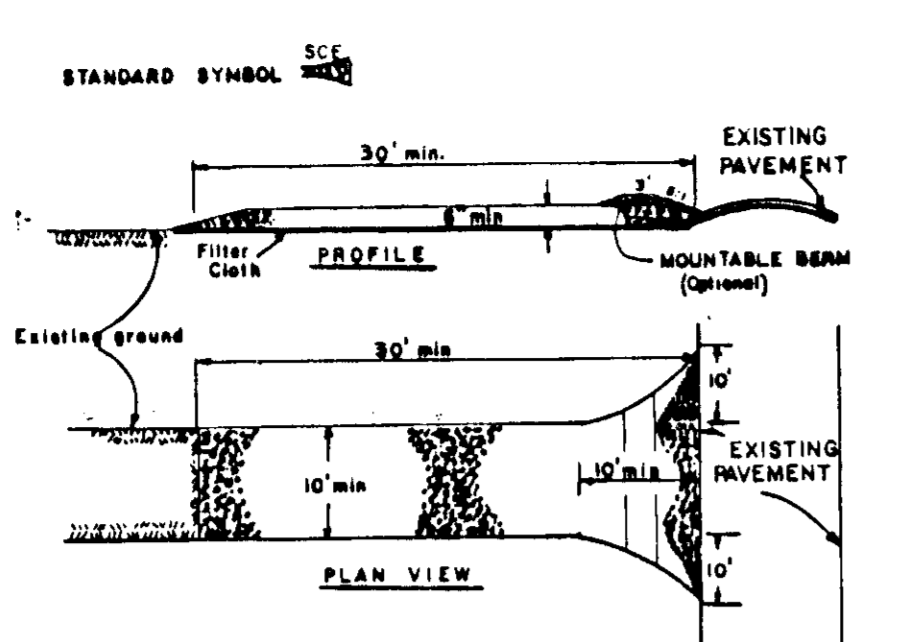
PROPERTY OF HERBERT F. KING
574/262



OPTION: A one foot layer of 2" stone may be placed on the upstream side of the riprap in place of the embedded filter cloth.

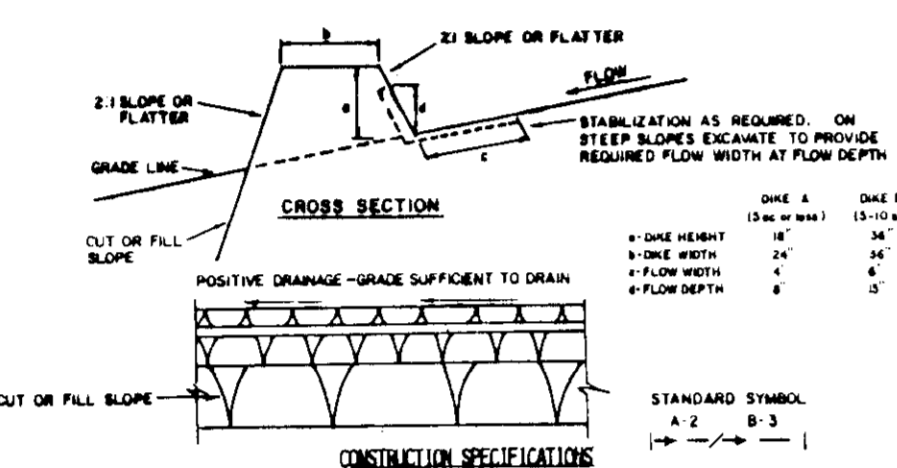
- CONSTRUCTION SPECIFICATIONS FOR ST-1**
- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
 - The fill material for the embankment shall be free of roots and other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by tamping with equipment while it is being constructed.
 - All cut and fill slopes shall be 2:1 or flatter.
 - The stone used in the outlet shall be small riprap 4"-8" along with a 1" thickness of 2" aggregate placed on the up-grade side on the small riprap embedded filter cloth in the outlet.
 - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
 - The structure shall be inspected after each rain and repairs made as needed.
 - Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 - The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

STONE OUTLET SEDIMENT TRAP
NO SCALE



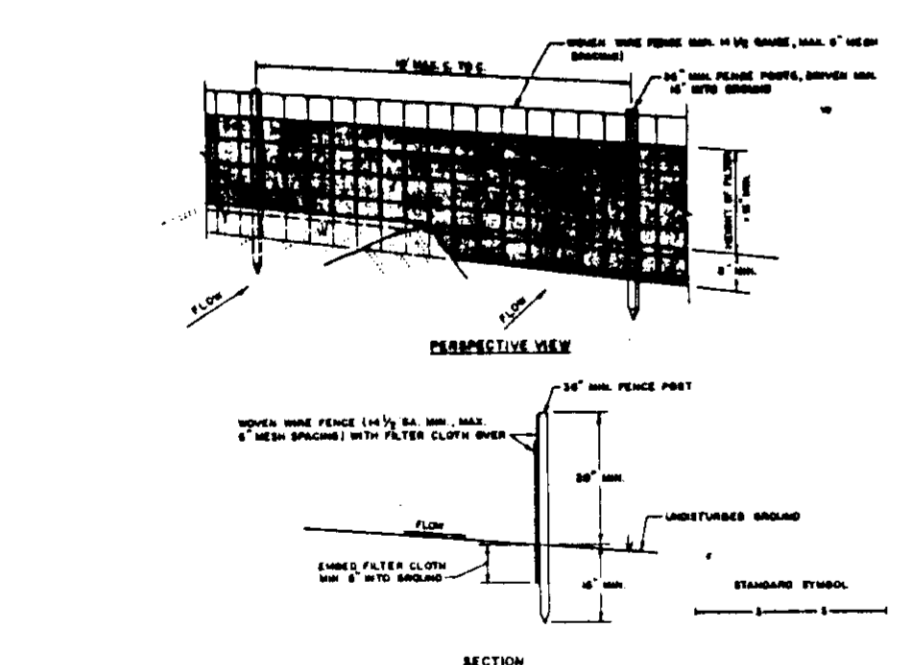
- CONSTRUCTION SPECIFICATIONS**
- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length - As required, but not less than 30 feet (except on a single residence lot where a 30 foot minimum length would apply).
 - Thickness - Not less than six (6) inches.
 - Width - Ten (10) foot minimum, but not less than the full width at points where ingress of water occurs.
 - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 - Surface Water - All surface water flowing or directed toward construction entrances shall be placed across the entrance. If piping is impractical, a mountable berm with 3:1 slope will be permitted.
 - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as well as periodic weed and debris removal. All sediment spilled, dropped, washed or tracked into public rights-of-way must be removed immediately.
 - Warning - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 - Periodic Inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE
NO SCALE



- CONSTRUCTION SPECIFICATIONS**
- All dikes shall be compacted by earthmoving equipment.
 - Dikes shall have positive drainage to an outlet.
 - Flow width may be wider and side slopes may be flatter if desired to facilitate drainage by construction equipment.
 - Field location shall be adjusted as needed to utilize a stabilized save outlet.
 - Earth dikes shall have an outlet that functions with a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or sediment basin which drains into the site channel. The drainage area above the dike will not be immediately stabilized.
 - Stabilization shall be: (a) in accordance with standard specifications for seed and straw mulch or straw mulch if not in seeding season, (b) film channel as per the chart below.
- | TYPE OF TREATMENT | CHANNEL TYPE | DIKE A | DIKE B |
|-------------------|--------------|-----------------------------------|--|
| 1 | 5-3-0E | SEED AND STRAW MULCH | SEED AND STRAW MULCH |
| 2 | 3-1-5-0E | SEED AND STRAW MULCH | SEED USING ASHES, OR EXCELLENT SOU. OF STONE |
| 3 | 5-1-4-0E | SEED WITH MULCH, OR SOU. OF STONE | LINED RIP-RAP 4-8" |
| 4 | 8-1-2-0E | LINED RIP-RAP 4-8" | ENGINEERING DESIGN |
- STONE TO BE 2" INCH STONE, OR RECYCLED CONCRETE EQUIVALENT. IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PREPARED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.
 - RIP-RAP TO BE 4" INCHES IN A LAYER AT LEAST 3 INCHES THICKNESS AND PREPARED INTO THE SOIL.
 - APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.
 - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

EARTH DIKE
NO SCALE



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- REMOVE WIRE FENCE TO BE FASTENED REGULARLY TO POLE POSTS WITH WIRE TIES OR STRAPS.
 - FILTER CLOTH TO BE FASTENED REGULARLY TO WOOD POLE POSTS WITH TIE SPICES FASTENED AT TOP AND MID SECTION.
 - MINIMUM NUMBER OF FILTER CLOTHS SHOULD BE DETERMINED BY SOIL TYPE AND APPROVED BY THE DISTRICT ENGINEER.
 - MAINTENANCE SHALL BE PROVIDED AS NEEDED TO PREVENT FAILURE OF THE FENCE.
- PREPARED UNIT:** GRAVEL, SAND, OR APPROVED EQUIVALENT.

SILT FENCE
NO SCALE

- SEDIMENT CONTROL NOTES**
- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (392-2437).
 - ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
 - ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
 - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (Sec. 51) SOU (Sec. 54), TEMPORARY SEEDING (Sec. 50) AND MULCHING (Sec. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
 - ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 - SITE ANALYSIS:**
TOTAL AREA OF SITE: 8.45 ACRES
AREA DISTURBED: 5.4 ACRES
AREA TO BE MULCHED OR PAVED: 1.0 ACRES
AREA TO BE VEGETATIVELY STABILIZED: 2.0 ACRES
TOTAL CUT: 10,936.7 CU. YDS.
TOTAL FILL: 2774.6 CU. YDS.
OFFICE WASTE/BORROW AREA LOCATION: [Blank]
 - ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
 - ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPT. SEDIMENT CONTROL INSPECTOR.
 - ALL SEDIMENT TRAPS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

PERMANENT SEEDBED PREPARATION

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED** - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (42 lbs/1000 sq ft) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 lbs/1000 sq ft) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREA-FORM FERTILIZER (9 lbs/1000 sq ft).
- ACCEPTABLE** - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (42 lbs/1000 sq ft) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (22 lbs/1000 sq ft) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30 AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 lbs/1000 sq ft) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.2 lbs/1000 sq ft) OF KEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOU. OPTION (3) - ED WITH 60 LBS PER ACRE - KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS PER ACR. OF WELL ANCHORED STRAW.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 lbs/1000 sq ft) OF UNKNOTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 gal/1000 sq ft) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FT OR HIGHER, USE 348 GALLONS PER ACRE (6 gal/1000 sq ft) FOR ANCHORING.

TEMPORARY SEEDBED PREPARATION

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

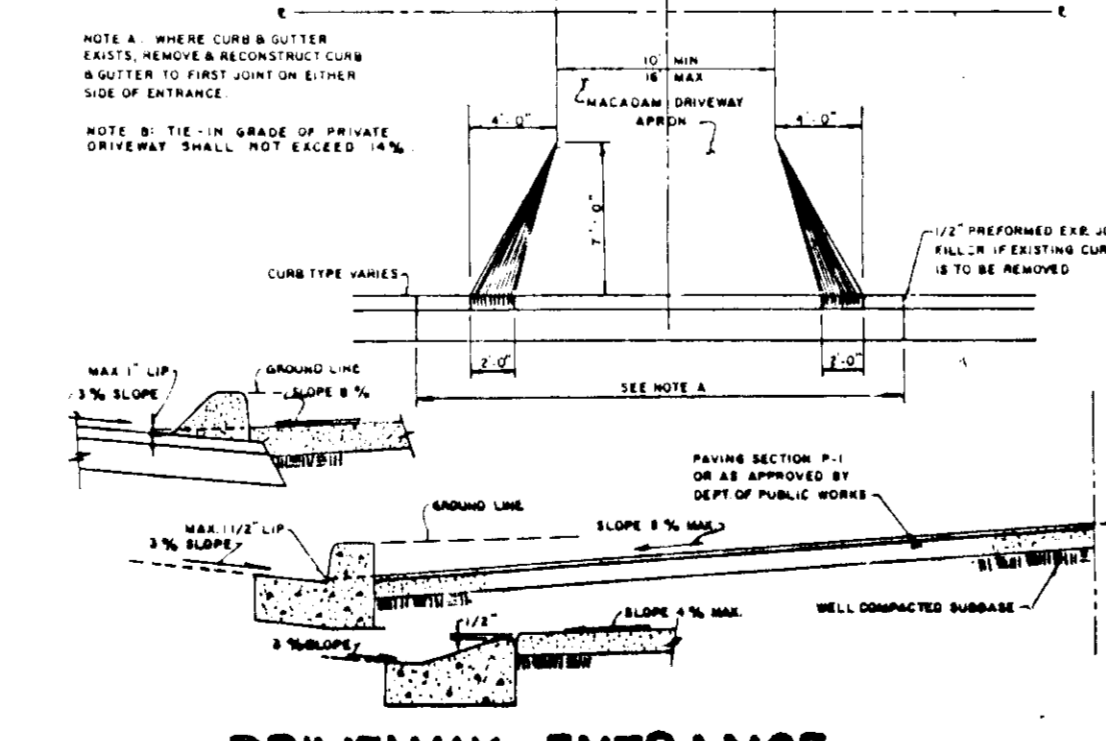
SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 lbs/1000 sq ft).

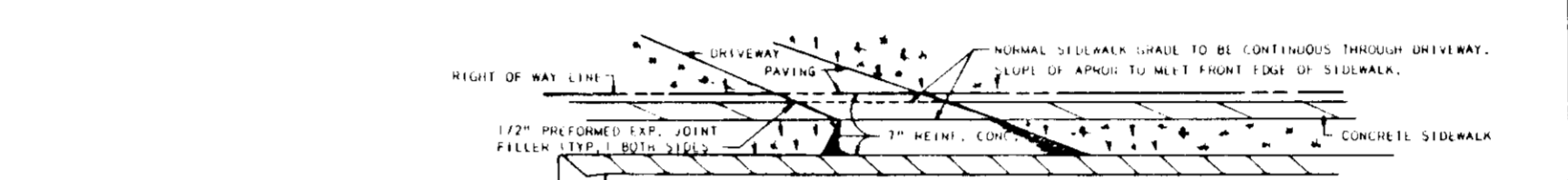
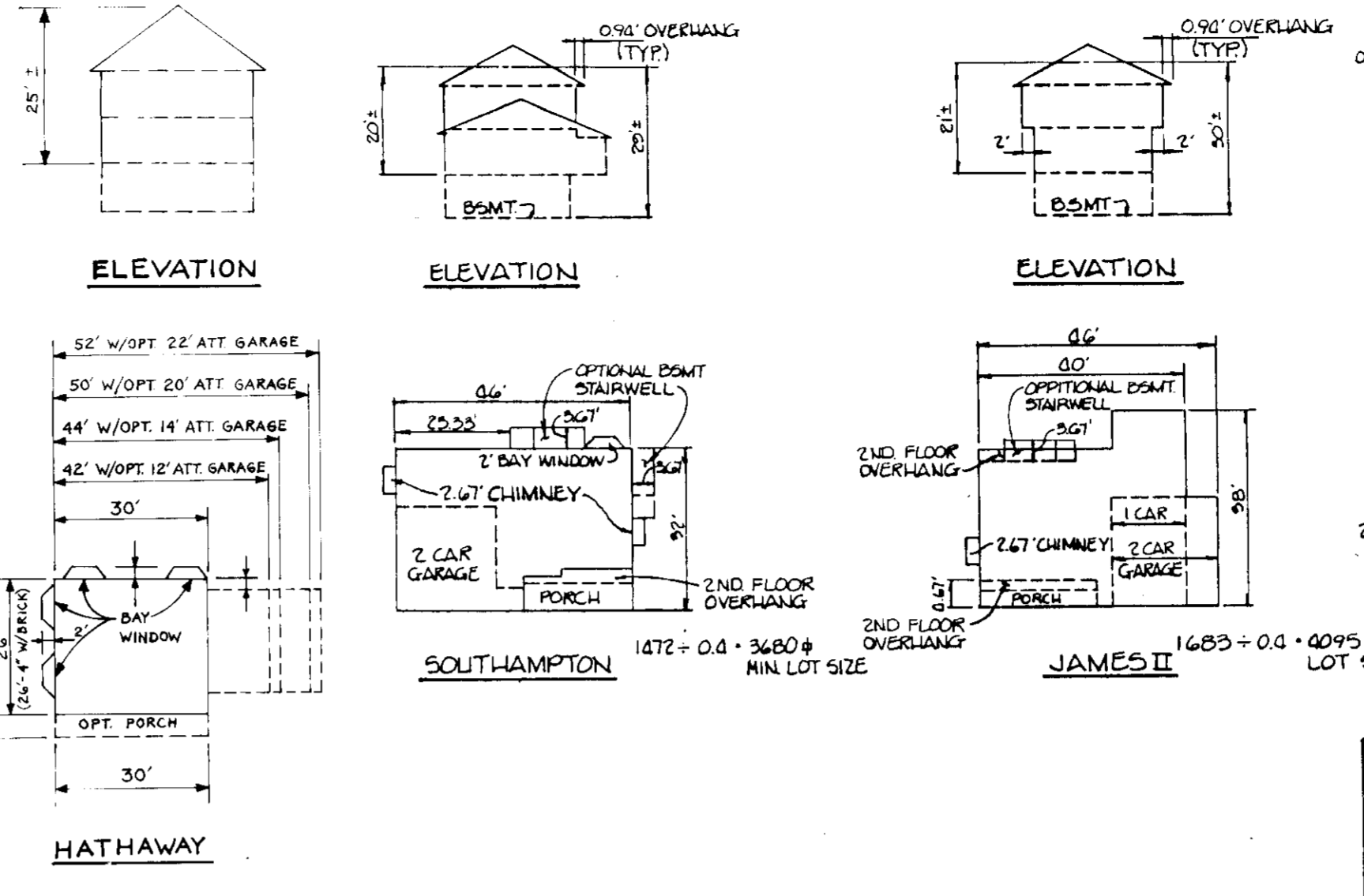
SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.2 lbs/1000 sq ft). FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.2 lbs/1000 sq ft) OF KEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOU.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 lbs/1000 sq ft) OF UNKNOTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 gal/1000 sq ft) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FT OR HIGHER, USE 348 GALLONS PER ACRE (6 gal/1000 sq ft) FOR ANCHORING.

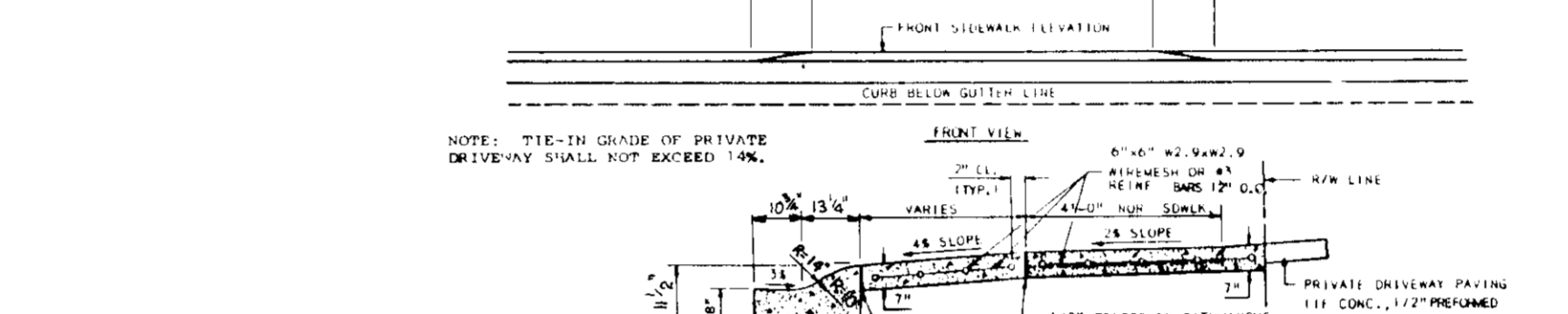
REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.



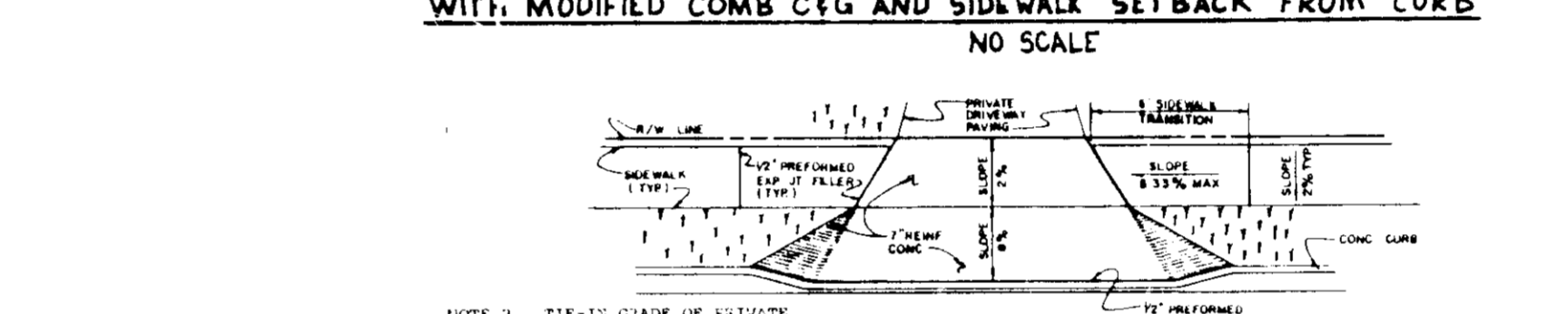
DRIVEWAY ENTRANCE
ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK
NO SCALE



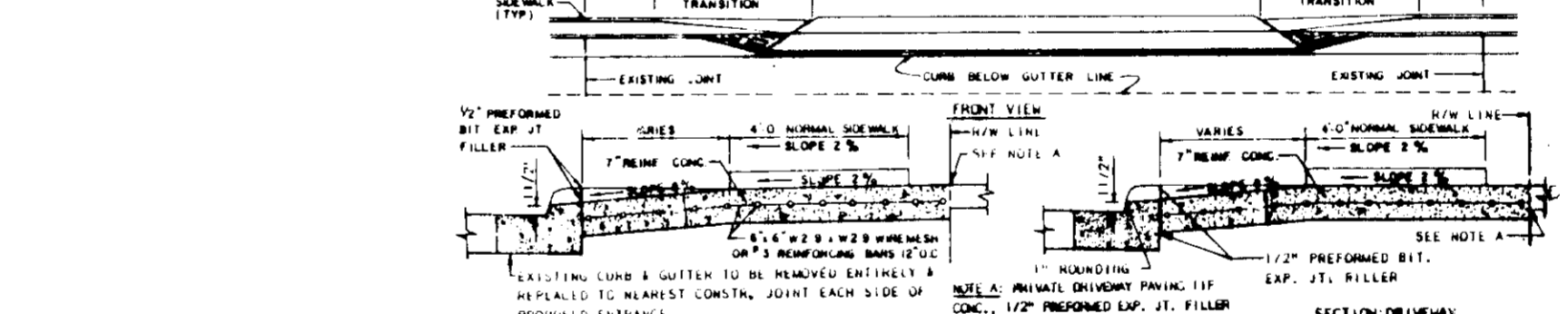
DRIVEWAY ENTRANCE
WITH MODIFIED COMB C&G AND SIDEWALK SETBACK FROM CURB
NO SCALE



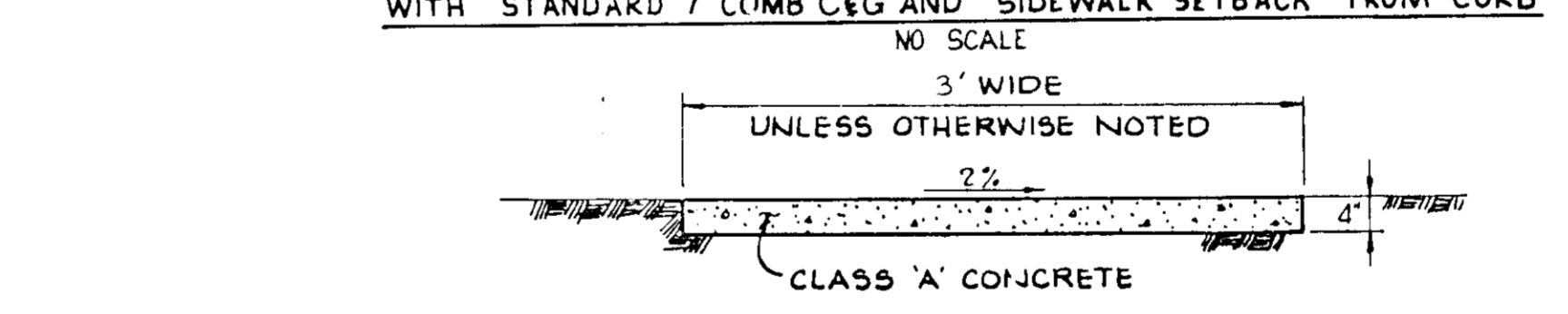
DRIVEWAY ENTRANCE
WITH STANDARD 7" COMB C&G AND SIDEWALK SETBACK FROM CURB
NO SCALE



DRIVEWAY ENTRANCE
WITH STANDARD 7" COMB C&G AND SIDEWALK SETBACK FROM CURB
NO SCALE



DRIVEWAY ENTRANCE
WITH STANDARD 7" COMB C&G AND SIDEWALK SETBACK FROM CURB
NO SCALE



SIDEWALK DETAIL
NO SCALE

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
Paul Grady
DEVELOPER: NV HOMES PAUL GRADY
6/1/89 DATE

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
James K. Tracy
ENGINEER: JAMES K. TRACY, P. E.
7-12-89 DATE
REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
James K. Tracy
U.S. SOIL CONSERVATION SERVICE
7/24/89 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John P. Roberts
HOWARD S.O.D.
7/24/89 DATE
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
Joyce M. Boydland per R. Sm.
COUNTY HEALTH OFFICER
8/1/89 DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Samuel G. Martin
DIRECTOR
7/31/89 DATE
William S. Ryan
CHIEF, BUREAU OF ENGINEERING
7-31-89 DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING.
Joseph R. Kettle
PLANNING DIRECTOR
8/12/89 DATE
Joseph R. Kettle
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
8/2/89 DATE
LKS

7-23-92	ADDED HATHAWAY HOUSE SCHEMATIC
NO DATE	REVISION

TRACY, SCHULTE & ASSOCIATES INC.
planning • architecture • engineering
8480 Baltimore National Pike • Ellicott City, Maryland 21043 • (301) 465-6105

OWNER SECURITY DEVELOPMENT CORP 8480 BALTIMORE NATIONAL PIKE SUITE 415 ELICOTT CITY, MARYLAND 21043	PROJECT KINGS WOODS SECTION 2 AREA 1 LOTS 141 THRU 173
DEVELOPER NV HOMES ONE BELTWAY NORTH, SUITE 203 10230 NEW HAMPSHIRE AVENUE SILVER SPRING, MARYLAND 21043	LOCATION TAX MAP NO. 47 PARCEL 198 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE DETAILS (SINGLE FAMILY DETACHED DWELLINGS) 5-28-89 P-28-50 F-28-17 SDP-28-243	DATE JUNE 1, 1989 JULY 13, 1989
DES DAM DRN EJS	SCALE AS SHOWN DRAWING 3 OF 3