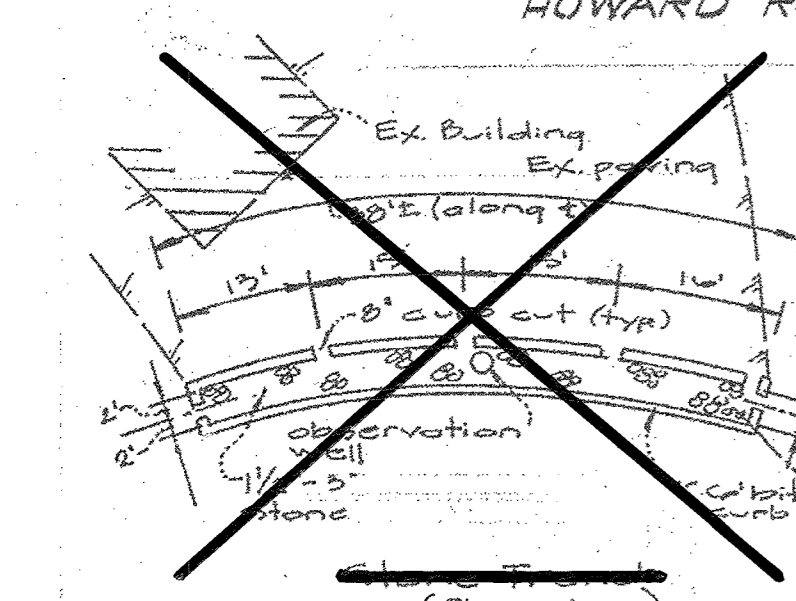
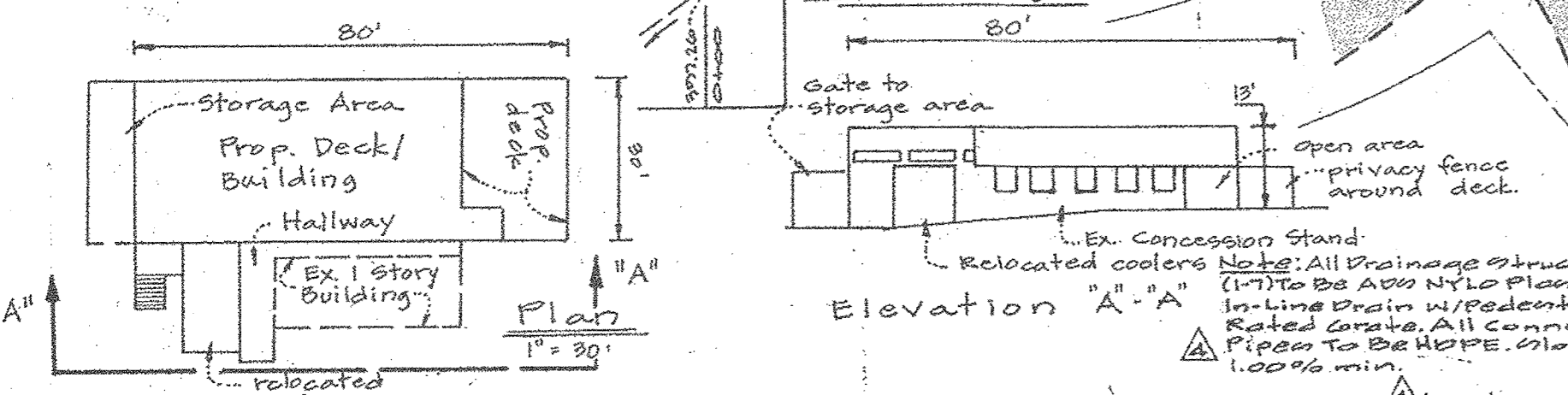
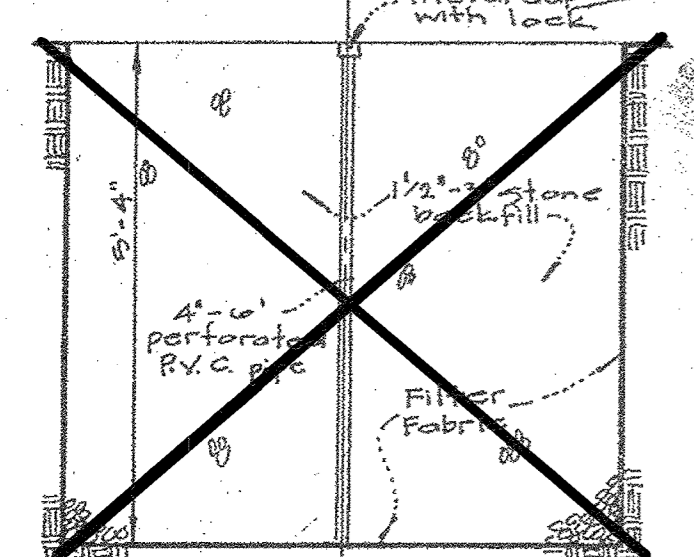


- SITE ANALYSIS**
- AREA: 444,223 SQ.FT./10,198 AC.
 - ZONING: NEW TOWN/OPEN SPACE SEE PDP 4-A III
 - FLOOR AREA/BUILDING COVERAGE INCREASE PER IMPROVEMENTS SHOWN THIS PLAN: 1490 SQ.FT.
 - AREA SHOWN PREVIOUSLY ON: SDP-70-55, SDP-8179, SDP-82-106, SDP-83-123
 - NO LANDSCAPING IS PROPOSED IN CONJUNCTION WITH THE IMPROVEMENTS SHOWN HEREON.
 - BUILDING NO. 4 - 2 EMPLOYEES
BUILDING NO. 7 - 5 EMPLOYEES
BUILDING NO. 1 - 2 EMPLOYEES
 - ALL PROPOSED BUILDINGS TO BE USED AS CONCESSIONS.

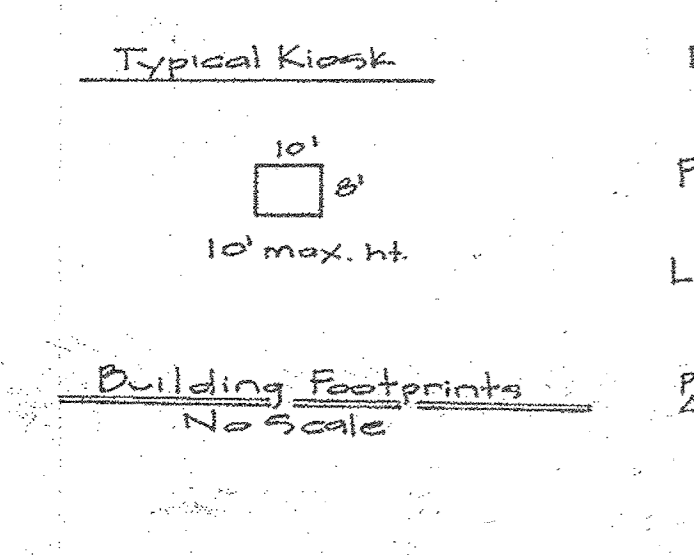
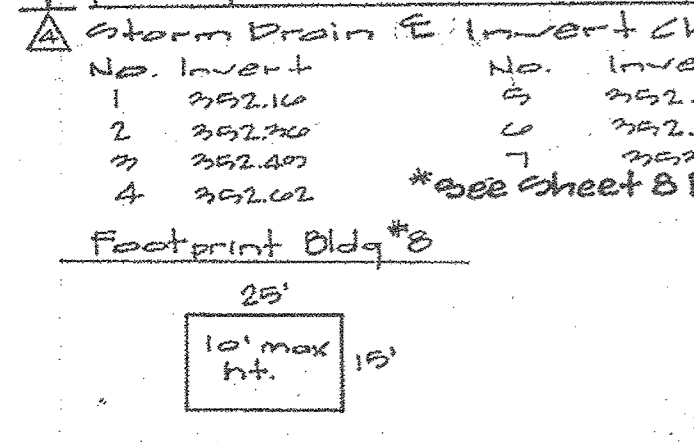


FOR IMPROVEMENTS IN THIS AREA SEE SHEET NO. 8 THRU 23. SHOWN PROVIDED VIA RAIN GARDEN, PERVIOUS PAVING & STORMCEPTOR. SEE SHEET NO. 9, 10 & 15.



INDEX OF SHEETS

NO.	TITLE
1	COMPOSITE SITE PLAN
2	DRAINAGE AREA MAP AND EROSION & SEDIMENT CONTROL
3	PARTIAL SITE PLAN
4	ELEVATIONS AND SECTIONS
5	Retaining Wall Details.
6	Sediment Control & D.A.M.
7	Sediment Control Details



Legend for 2001 improvements

- Existing 1 story building
- Proposed building & deck (see detail of footprint and elevation - site plan)
- Proposed paving per April, 2000

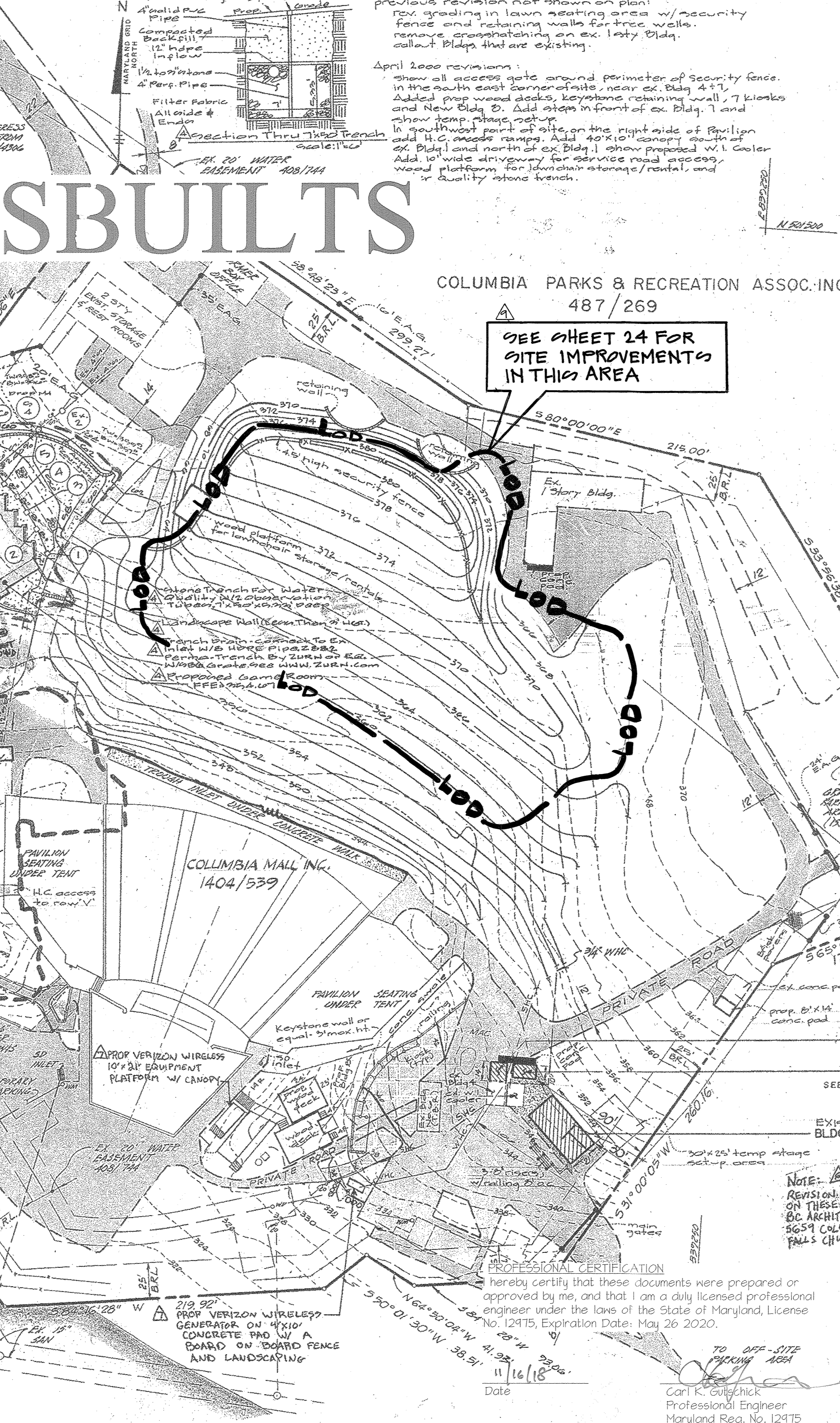
Legend

- PROPERTY LINE
- EXIST. BLDG.
- PROPOSED BLDG.
- EXIST. CONTOUR
- EXIST. ROAD
- EXIST. WATER LINE
- EXIST. SEWER
- BUILDING RESTRICT. LINE
- EXIST. LIGHT POLE

ASBUILTS

COLUMBIA PARKS & RECREATION ASSOC. INC.
487/269

SEE SHEET 24 FOR SITE IMPROVEMENTS IN THIS AREA



- GENERAL NOTES**
- ALL WATER LINES ARE PRIVATE. ALL LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE. ALL SANITARY SEWER LINES ARE PRIVATE. SEE CONTRACT NO. 172 W & S.
 - THE LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION AND DEPTH OF ANY UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SUPPLY. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEERING OFFICE, CENTURY ENGINEERING AT (301) 823-8070, IN THE EVENT OF ANY DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIPS OF FINISHED GRADES TO EXISTING GRADES, PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
 - IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
 - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK ON THE DRAWINGS:
 - MISS UTILITY 559-0100
 - C & P TELEPHONE COMPANY 728-9976
 - HOWARD COUNTY BUREAU OF UTILITIES 992-2366
 - AT&T CABLE LOCATION DIV. 393-3533
 - BALTIMORE GAS & ELECTRIC COMPANY 443-1123
 - STATE HIGHWAY ADMINISTRATION 531-5533
 - HOWARD COUNTY CONSTRUCTION INSPECTION SURVEY DIVISION 792-7272
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - ALL HORIZONTAL CONTROLS ARE BASED ON MARYLAND STATE GRID COORDINATES.
 - ALL VERTICAL CONTROLS ARE BASED ON U.S.G.S. DATUM EXCEPT AS NOTED.
 - CLEAR ALL UTILITIES BY A MINIMUM OF 6". CLEAR ALL POLES BY 2'-0" MINIMUM OR TUNNEL AS REQUIRED.
 - EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PITS HAVE NOT BEEN DUG SHALL BE LOCATED BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS AT HIS OWN EXPENSE.
 - TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO MAXIMUM EXTENT.
 - CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG LINE OF EXCAVATION.
 - ALL SEWER HOUSE CONNECTIONS SHALL BE 6" D.I.P. CL. 52 UNLESS OTHERWISE NOTED.
 - STORMWATER MANAGEMENT IS NOT PROVIDED ON THIS SITE. ALL RUNOFF IS MANAGED IN LAKE KITTAMAQUUNDI.
 - STORMWATER MANAGEMENT IS NOT REQUIRED. DISTURBED AREA DOES NOT EXCEED 5000 SQUARE FEET.
 - PARKING DURING PERFORMANCES IS PROVIDED ON (1) ADJACENT FIELD ACCESSIBLE FROM SYMPHONY WOODS ROAD, AND COLUMBIA MALL PARKING LOT AND (2) THE HOUSE BUILDING PARKING LOT.
 - Stormwater Management Plan revision 4 is provided by a separate drawing under Redevelopment criteria.

NOTE: REVISION MADE 7/16/13 AS INDICATED ON THESE PLANS ARE BY: MORRIS AND RITCHIE ASSOCIATES, INC. 1830-C EAST JOPPA ROAD SUITE 505 TOWSON, MARYLAND 21286

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Wesley Fisher 1-5-90
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Joseph R. Smith 1/10/90
PLANNING DIRECTOR DATE

Barbara J. S. Taylor 1/10/90
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Franklin W. McEachern 1/10/90
DIRECTOR DATE

APPROVED DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT HOWARD COUNTY, MARYLAND

Carl K. Gutschick 11/16/16
PROFESSIONAL ENGINEER Maryland Reg. No. 12475

REVISIONS MADE 7/16/13 AS INDICATED ON THESE PLANS ARE BY: MORRIS AND RITCHIE ASSOCIATES, INC. 1830-C EAST JOPPA ROAD SUITE 505 TOWSON, MARYLAND 21286

DATE: 11/16/16

ADDRESS CHART

LOT NO.	ADDRESS
13	10475 LITTLE PATUXENT PKY.

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL NO.
COLUMBIA TOWN CENTER	1/1	LOT 13

PLAT NO. BLOCK NO.	ZONE	TAX/ZONE MAP	ELECT. DIST.	CENSUS TRACT
4305/4306	1 & 2	NEW TOWN OPEN SPACE	36	6053.02

BY THE ENGINEER:

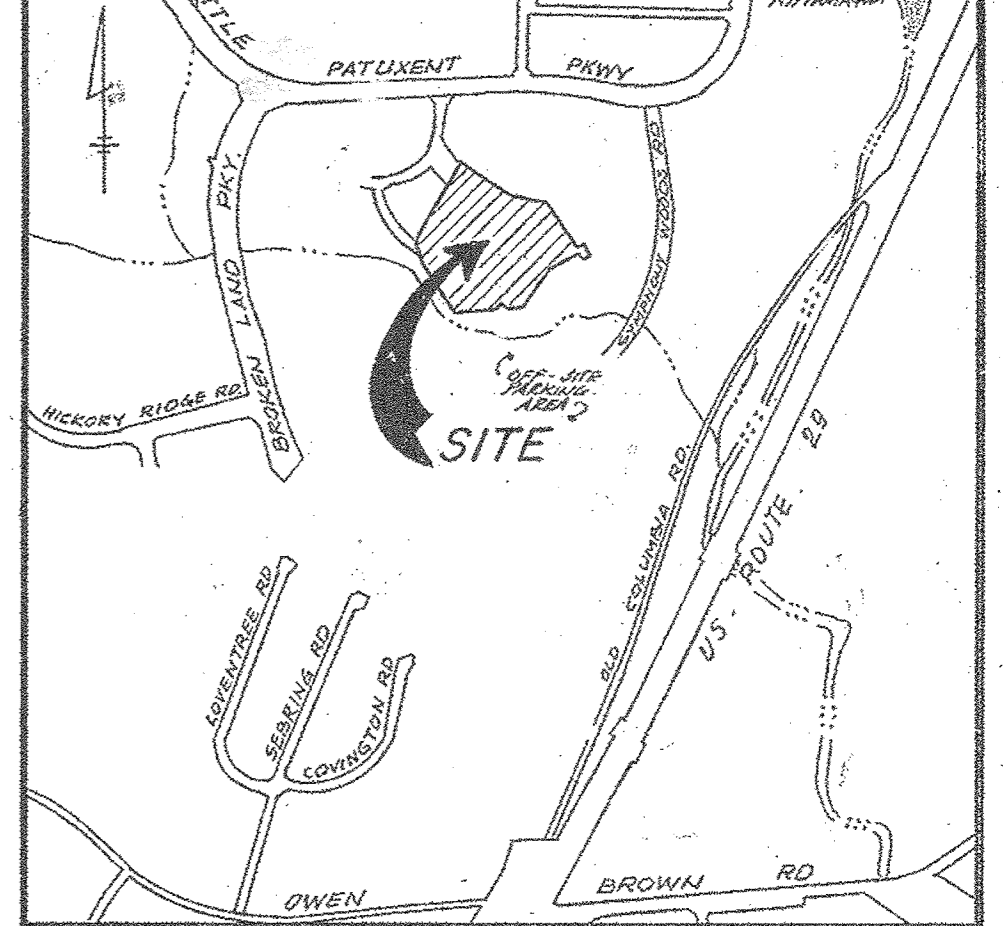
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT. SEE NOTE ABOVE.

John R. Heinrichs 9-8-89
DATE

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

John R. Heinrichs 11/30/89
DATE



VICINITY MAP
SCALE: 1" = 1000'

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

U.S. CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Wesley Fisher 1-5-90
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Joseph R. Smith 1/10/90
PLANNING DIRECTOR DATE

Barbara J. S. Taylor 1/10/90
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Franklin W. McEachern 1/10/90
DIRECTOR DATE

REVISIONS

Date	No.	Revision Description
1/10/90	1	set detailed summary at top of sheet
1/10/90	2	Prop. Grading & Add sheets 5-7

OWNER: COLUMBIA MALL INC. THE HOUSE BUILDING 10275 LITTLE PATUXENT PKY. COLUMBIA, MARYLAND 21044

DEVELOPER: OGDEN ALLIED FOOD SERVICE CORPORATION

MERRIWEATHER POST PAVILION

CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS
32 WEST ROAD
TOWSON, MARYLAND 21204

AREA: TOWN CENTER SECTION 13 TAX MAP 36 LOT 13 PARCEL 452 5 th. ELECTION DIST. OF HOWARD COUNTY, MD.

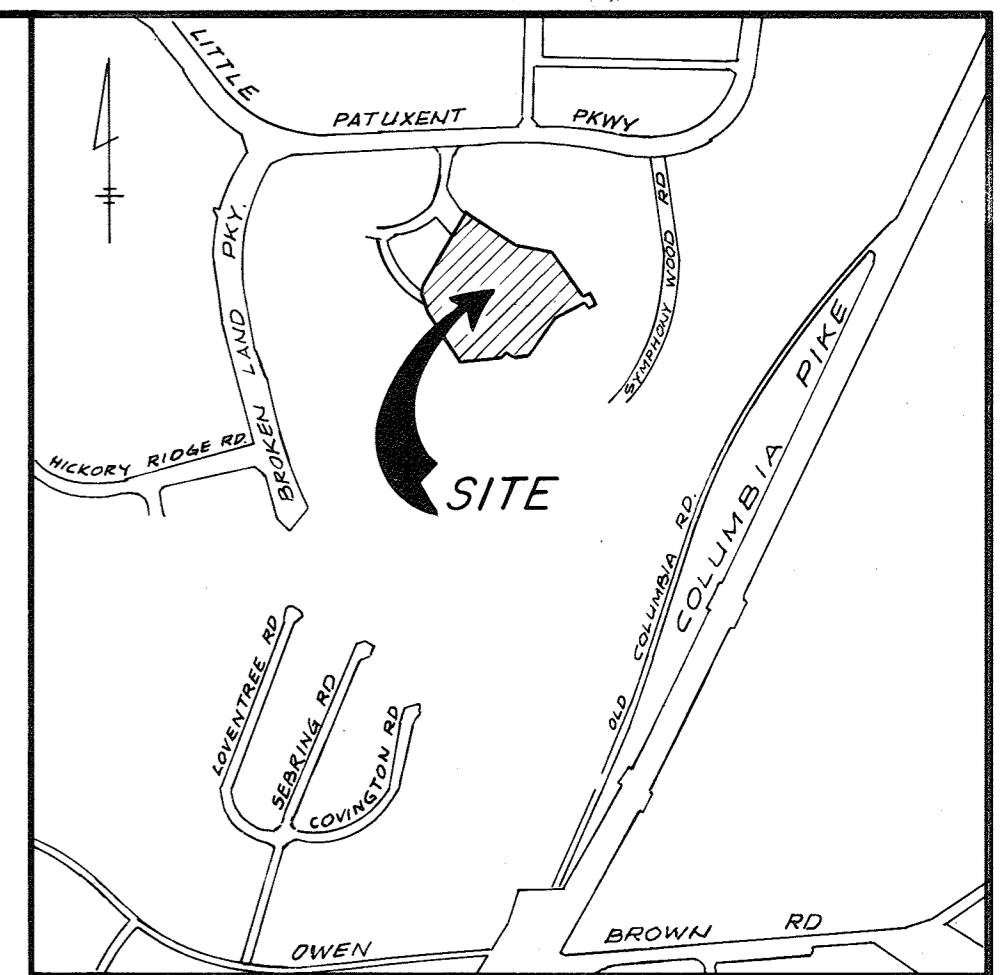
TITLE: COMPOSITE SITE PLAN ASBUILT SHEET 1 OF 3

Des. By: G. B. Z. Scale: 1" = 50' Proj. No: 89-084
Dwn. By: A.B. Date: 9/8/89 NOV. 2010
Chk. By: J.R.H. Approved: [Signature]

- Sequence Of Construction For Revision 4**
1. Obtain Grading Permit and Arrange Pre-Construction Meeting with Inspector. (1 day)
 2. Install Stabilized Construction Entrance & Super Silt Fence. (2 days)
 3. Grade Building Pad. (1 week)
 4. Begin Building Construction. (1 day)
 5. Complete Grading & Install Utilities. (1 week)
 6. Stabilize Site w/ Building, Paving and Grass Seed & Mulch. (1 week)
 7. Complete Building Construction. (2 weeks)
 8. When The Site Has Been Stabilized & Permission Has Been Granted By The Sediment Control Inspector, Remove Super Silt Fence & Stabilize Remaining Area. (1 day)

HOWARD RESEARCH & DEVELOPMENT
CORP. 409/8 202.33.Ac. P.81

COLUMBIA PARKS & RECREATION
ASSOC. INC. 487/269.



VICINITY MAP
SCALE: 1" = 1000'

Drainage Area Table

No.	DA (ac)	IMPV. Area (ac)	% Impv.	C
1	302	298	98.7	0.80
2	1,057	738	69.8	0.70
3	2,104	1,173	54.2	0.60
4	1,534	1,030	67.5	0.60
5	1,868	1,095	58.0	0.60
6	1,741	924	53.1	0.60
7	1,058	281	26.2	0.42
RD1	1,148	1,148	100	0.90
RD2	2,514	2,514	100	0.90
Ex.	22,971	11,412	49.7	0.57

Site Analysis For Revision 4
Limit of Disturbed Area = 21,411 sq. ft. or 0.49 ac.
Area Vegetatively Stabilized = 0.21 ac.
Impervious Area = 0.15 ac.
Area Cut = Area Fill = 1,800 cu. yd.

Note: Spill From Installation of Water House Connection is to be Placed on the Uphill Side of The Trench & That Trenching is to be Limited to That Which can be Backfilled & Stabilized in One Working Day.

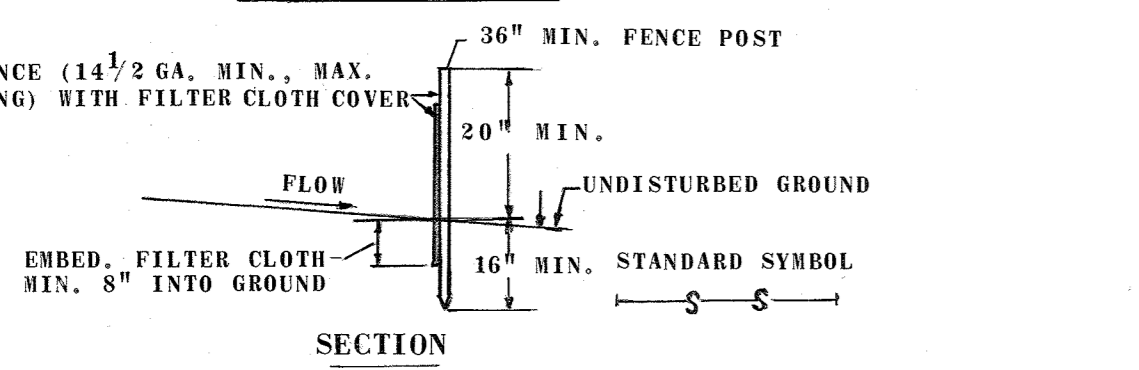
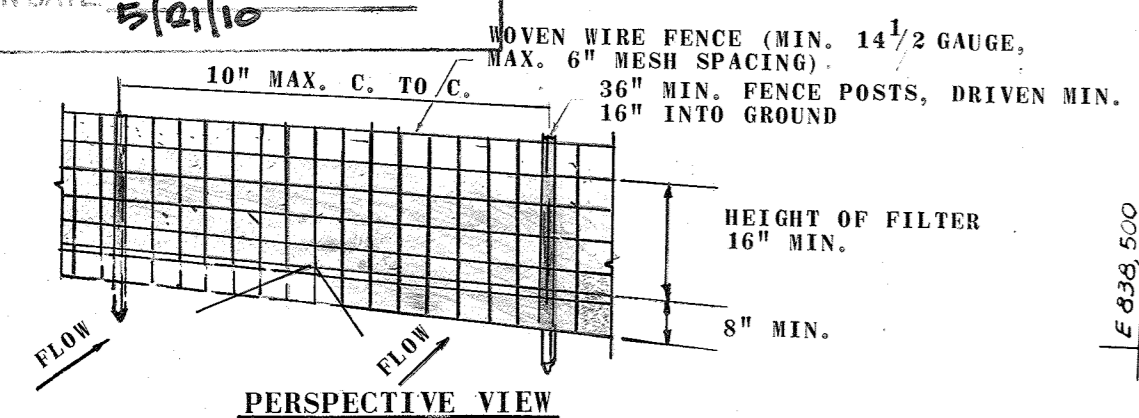
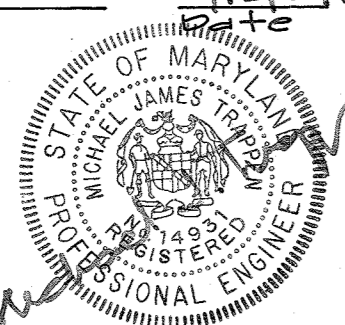
This Development Plan is Approved For Soil Erosion & Sediment Control By The Howard County Conservation District.
John K. Robertson 3/16/09
Howard Co. CD

FOR IMPROVEMENTS IN THIS AREA SEE SHEET NO. 9 & THRU 23.

Engineer's Certification
"I Certify That This Plan For Erosion & Sediment Control Represents A Practical and Workable Plan Based On My Personal Knowledge Of The Site Conditions and That It was Prepared in Accordance with The Requirements of The Howard County Soil Conservation District."

Michael J. Tracy
Professional Engineer

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 14291 SILT FENCE
EXPIRATION DATE: 5/31/10



LEGEND

- PROPERTY LINE
- - - - - EXIST. BLDG.
- ▨ PROPOSED BLDG.
- - - - - EXIST. CONTOUR
- - - - - EXIST. ROAD
- - - - - SILT FENCE
- - - - - DRAINAGE CREST LINE
- △ Super Silt Fence (std. Detail No. 39)
- △ At Grade Inlet Protection

- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
FENCE: WOVEN WIRE, 14 1/2 GA. 6" MAX. MESH OPENING
FILTER CLOTH: FILTER V, WIRAFI 100X, STABILINKA 1100X OR APPROVED EQUAL
PREFABRICATED UNIT: GOFAB, ENVIROFENCE, OR APPROVED EQUAL.

Note: For Sediment Control Notes & Details see sheet 7.

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT. SEE NOTE ABOVE.
John R. Heinrichs 9-8-89
DATE

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.
John K. Robertson 11/16/2008
DATE



REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

APPROVED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED FOR HOWARD COUNTY DEPARTMENT OF ZONING AND PLANNING

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DATE: 1-5-90
DATE: 1/19/90
DATE: 1/17/90
DATE: 1/10/90
DATE: 1-10-90

Date	No.	Revision Description
2/1/89	1	Add limit of disturbance
3/21/90	2	Add existing block + concession bldg
7/16/10	3	Add AT&T equipment compound
2/11/09	4	Add new concession stand & restroom

OWNER	DEVELOPER
COLUMBIA MALL INC. THE ROUSE BUILDING 10275 LITTLE PATUXENT PKWY COLUMBIA, MD 21044	ODGEN ALLIED FOOD SERVICE CORPORATION

MERRIWEATHER POST PAVILION

CENTURY ENGINEERING, INC.

CONSULTING ENGINEERS, PLANNERS
32 WEST ROAD
TOWSON, MARYLAND 21284

AREA: TOWN CENTER
SECTION 1 LOT 13
TAX MAP 36 PARCEL 452
5th. ELECTION DIST. OF HOWARD COUNTY, MD.

TITLE: DRAINAGE AREA MAP
EROSION AND SEDIMENT CONTROL PLAN (part one)

Des By: G. B. Z.	Scale: 1"=50'	Proj No: 89-084
Drn By: A. B.	Date: 9/8/89	DRAWING NO.
Chk By: J. R. H.	Approved:	2 OF 28

SITE PLAN NOTES

- (A) 12" DEEP WASHED RIVER GRAVEL BED X 60" DIA.
- (B) 6" Ø RIGID PVC, BURIED, DRAIN PIPING IN GRAVEL BED; PITCH @ 1/4" / FT. MIN.
- (C) SCUPPER; REF. REAR BLDG. ELEV. & DTL. ON A-1.2
- (D) 6" Ø FLEXIBLE PVC, PERFORATED, DRAIN PIPING, BURIED; REF. DETAIL ON A-1.2
- (E) REMOVE POLE & BASE AFTER OH. LINES RE-RUN PER ELECTRICAL DIV'S
- (F) NEW PAVING & BASE COURSE GRAVEL; EXCAVATE, FINE GRADE (PITCH AS GRADES AWAY FROM BLDG'S) & PAVE AS REQ'D.
- (G) REMOVE EXIST'G RETAINING TIMBER RETAINING WALL. FILL EXCAVATION & TAMP SOLID (IN 12" LAYERS) UP TO PAVING BASE GRAVE LEVEL OR SLAB BASE ELEV. AS REQ'D.
- (H) REMOVE (SAW-CUT) EXIST'G SLAB, CLEAR OF NEW FOUND. WORK; OR REMOVE ENTIRE SLAB (NOT BUILT UPON) & REPLACE W/ PAVING AND BASE COURSE.
- (J) PROTECT EXISTING TREES (TYPICAL FOR ALL) DURING CONSTRUCTION. DON'T CUT-THRU MAJOR ROOTS. IF FOUND DURING EXCAVATIONS CONSULT ARCHITECT PRIOR TO PROCEEDING.
- (K)
- (L) NEW FENCE & GATE(S), REF. DTL'S ON SD-1 AND A1.3.
- (M) SEED, OR SOD, WHERE LAWN DISTURBED, REGRADED OR DAMAGED DUE TO CONST. AFTER GRADING WORK COMPLETED.

PARTIAL SITE & GRADING PLAN

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

U.S. CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Joan Becker 1-5-90
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Joseph Reith 1/19/90
PLANNING DIRECTOR DATE

Janet L. Campbell 1/17/90
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS & PUBLIC ROADS

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Granville W. Weiland 1/10/90
DIRECTOR DATE

John R. Heinrichs 1-10-90
CHIEF, BUREAU OF ENGINEERING DATE

DRAWN *LEB/ETS*

CHECKED

ISSUED

REVISIONS

NO.	DESCRIPTION	DATE

CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS-PLANNERS
82 WEST RD.
TOWSON, MD. 21284

TITLE: PARTIAL SITE PLAN

APPROVED
CIVIL ENGINEER
& LAND DEVELOPER
HOWARD COUNTY
DATE: *Cam*

ADDITIONS AND ALTERATIONS TO CONGRESSION BUILDINGS
MERRIWEATHER POST PAVILION COLUMBIA, MD
OGDEN ALLIED FOOD SERVICE CORPORATION

LYNWOOD E. BROWN A.I.A. & ASSOC., INC.
1820 PRINCE STREET, ALEXANDRIA, VIRGINIA 22314
(703) 836-5523

PROJECT NO. *98-1220*
CEN. NO. 89-084
DRAWING NO.

SP1

3 OF 28

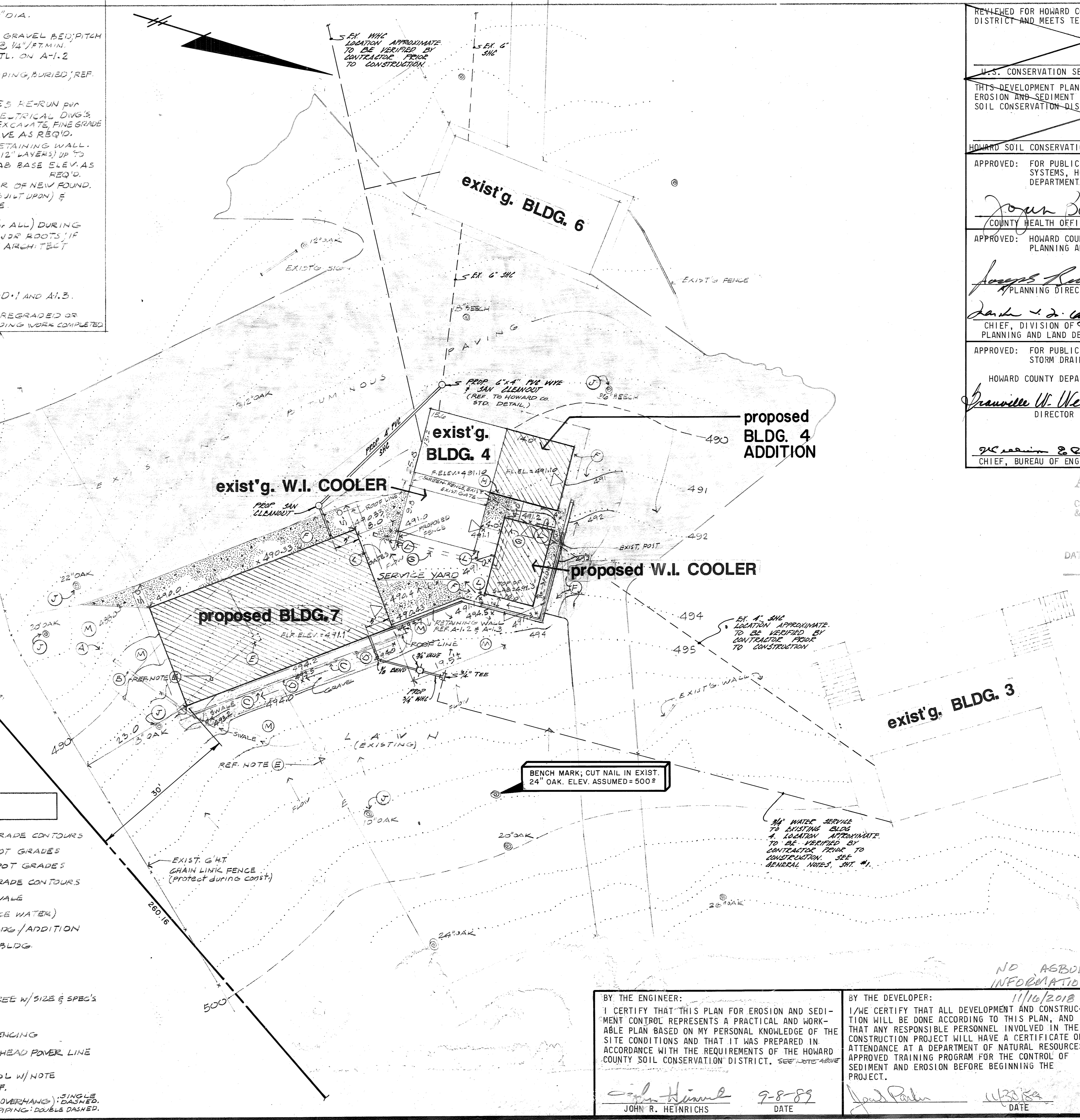
SCALE 1" = 10'-0"

GENERAL NOTES

- TOPOGRAPHIC INFORMATION OBTAINED FROM TOPOGRAPHY SURVEY BY VIKI, INC., SURVEYORS, DIV. N° 5463, DTD. DEC. 1988
- PROTECT ALL EXISTING BLDG'S, TREES, LANDSCAPING, PAVING, SIGNS, FENCING, ETC. DURING CONST.; DAMAGE DUE TO CONSTRUCTION TO BE REPAIRED BY CONTRACTOR
- SITE CLEAN-UP TO BE DAILY DURING CONST., INCLUDING CONST. IN & AROUND BUILT WORK AND RELATED.
- CONTRACTOR TO REF. NOTES ON A-1.1

SITE PLAN SYMBOLS

	EXISTING GRADE CONTOURS
	EXISTING SPOT GRADES
	PROPOSED SPOT GRADES
	PROPOSED GRADE CONTOURS
	PROPOSED SWALE
	FLOW (SURFACE WATER)
	PROPOSED BLDG./ADDITION
	EXISTING BLDG.
	REMOVAL
	EXISTING TREE W/ SIZE & SPEC'S
	NEW PAVING
	EXISTING FENCING
	EXIST'G. OVERHEAD POWER LINE
	BUILDING EXIT.
	NOTE SYMBOL W/ NOTE LETTER REF.
	ROOF LINE (OVERHANG); SINGLE DASHED.
	UNDERGROUND PIPING; DOUBLE DASHED.



BY THE ENGINEER:

John R. Heinrichs 9-8-89
JOHN R. HEINRICHS DATE

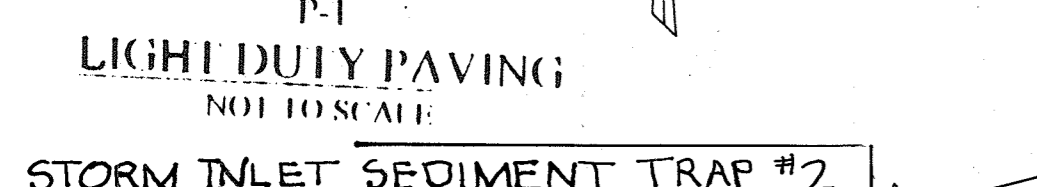
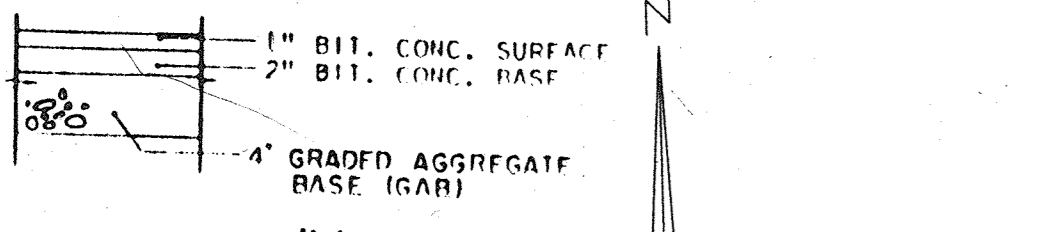
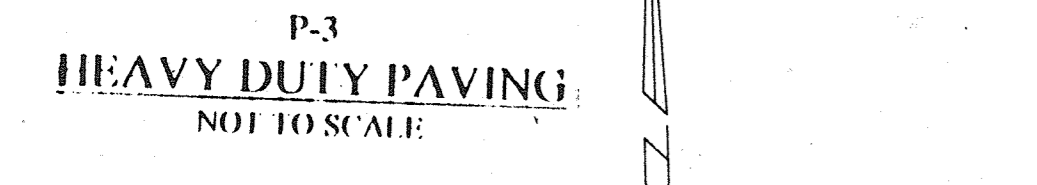
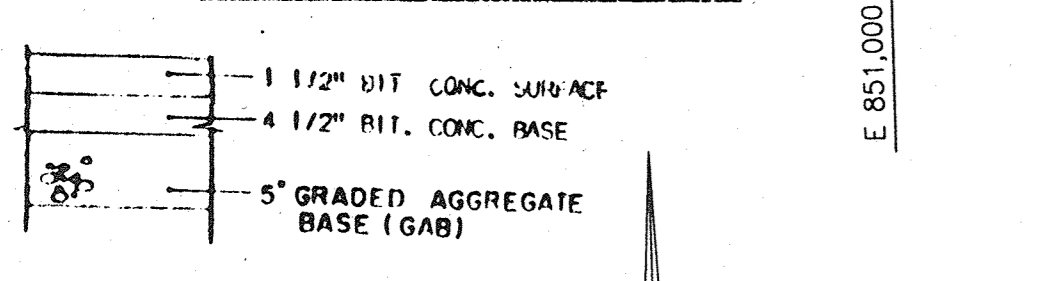
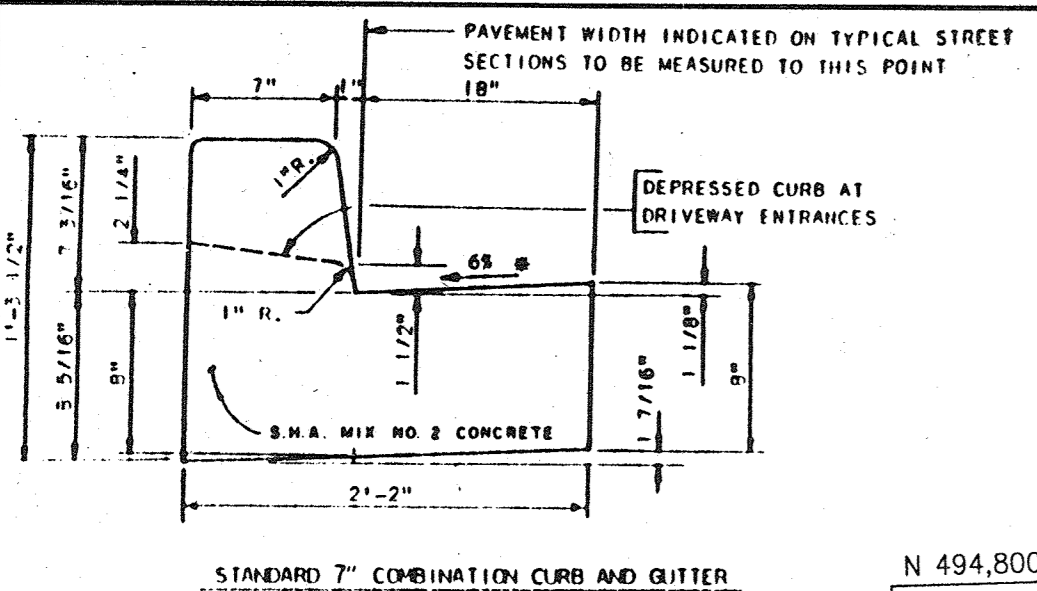
BY THE DEVELOPER:

Joan Becker 1/16/2018
DATE

NO ASBUIL INFORMATION

John R. Heinrichs 9-8-89
DATE

JOHN R. HEINRICHS
Professional Engr. No. 14920



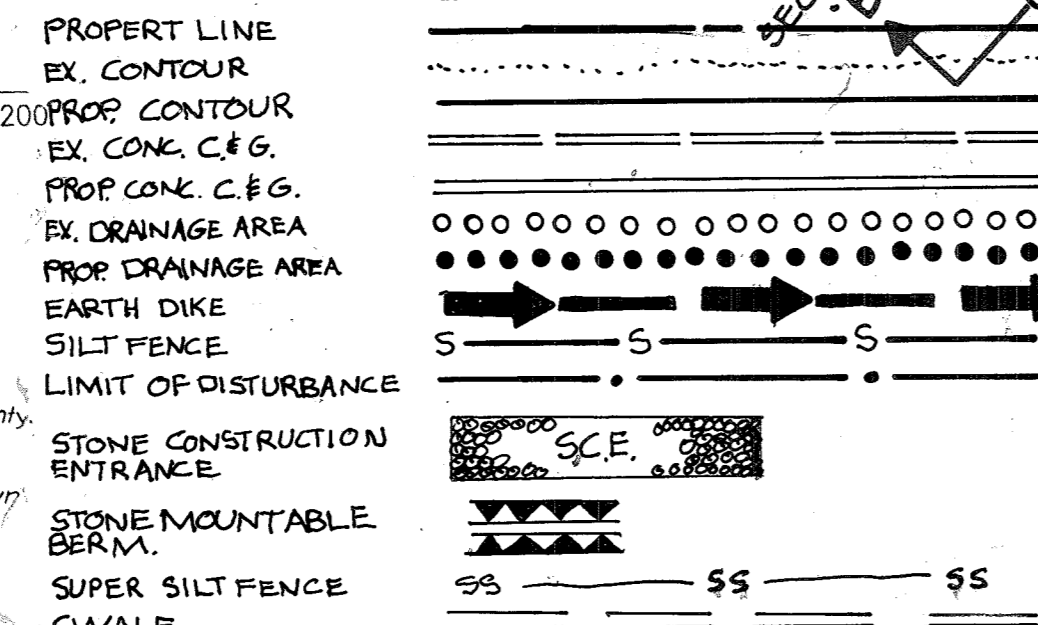
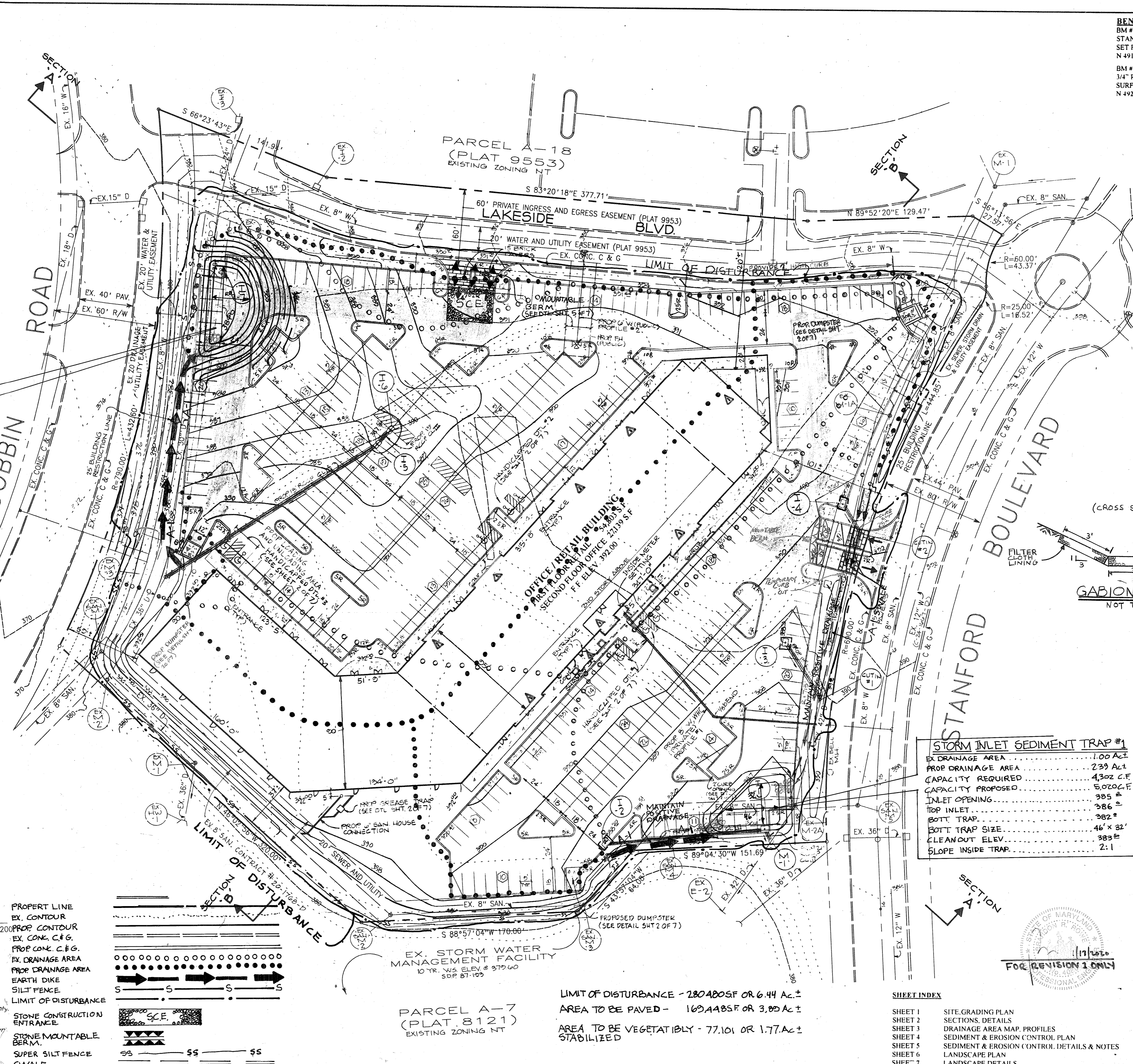
EX DRAINAGE AREA	2.70 AC±
PROP DRAINAGE AREA	2.84 AC±
CAPACITY REQUIRED	5,220 CF
CAPACITY PROPOSED	7,180 CF
INLET OPENING	38 1/2"
TOP INLET	38 1/2"
BOTT. TRAP	38 1/2"
BOTT. TRAP SIZE	28" x 60"
CLEANOUT ELEV.	381.25
SLOPE INSIDE TRAP	2:1

EX DRAINAGE AREA	1.00 AC±
PROP DRAINAGE AREA	2.33 AC±
CAPACITY REQUIRED	4,302 CF
CAPACITY PROPOSED	5,020 CF
INLET OPENING	38 1/2"
TOP INLET	38 1/2"
BOTT. TRAP	38 1/2"
BOTT. TRAP SIZE	46" x 32"
CLEANOUT ELEV.	383.25
SLOPE INSIDE TRAP	2:1

GENERAL NOTES

- MAXIMUM BUILDING HEIGHT -
- ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY HOWARD SOIL CONSERVATION DISTRICT.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN AT LEAST A 2' LEVEL BENCH BEHIND ALL CURB AND GUTTER IN FILL AREAS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
- ALL SLOPES SHALL BE 2:1 OR FLATTER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1880.
- FOR DETAILS OF RAMPS AND SIGNS FOR THE HANDICAPPED, SEE THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND THE AGED AND AS SHOWN HEREON. SEE SHEET 2 OF
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4' COVER OVER ALL PROPOSED WATER LINES.
- ALL RIP-RAP SHALL BE PLACED ON FILTER CLOTH.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING, CURB AND GUTTER, ETC. THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
- ALL UTILITIES INSTALLED SHALL RECEIVE FULL TRENCH COMPACTON.
- ALL WATER MAIN TEES, BENCHES, CAPS, ETC. SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system. If each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.



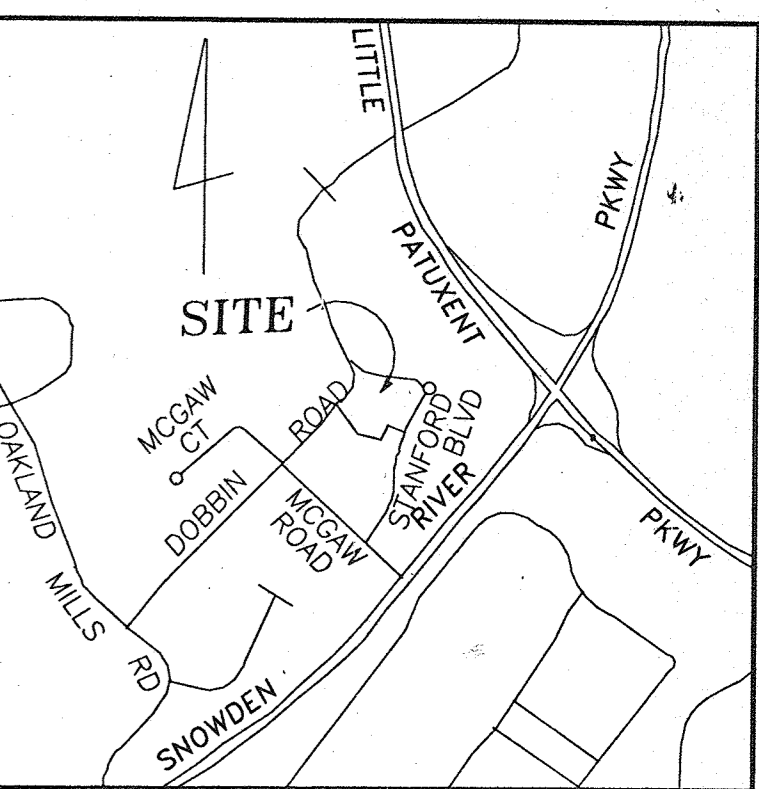
PARCEL A-7 (PLAT 8121) EXISTING ZONING NT

LIMIT OF DISTURBANCE - 280,485 SF OR 6.44 AC ±
 AREA TO BE PAVED - 162,448 SF OR 3.69 AC ±
 AREA TO BE VEGETATIVELY STABILIZED - 77,101 SF OR 1.77 AC ±

SHEET INDEX

SHEET 1	SITE GRADING PLAN
SHEET 2	SECTIONS, DETAILS
SHEET 3	DRAINAGE AREA MAP, PROFILES
SHEET 4	SEDIMENT & EROSION CONTROL PLAN
SHEET 5	SEDIMENT & EROSION CONTROL DETAILS & NOTES
SHEET 6	LANDSCAPE PLAN
SHEET 7	LANDSCAPE DETAILS

BENCHMARKS
 BM #234401 ELEVATION : 307.49
 STANDARD CONCRETE MONUMENT
 SET FLUSH SURFACE
 N 491333.018 E 858206.723
 BM #2343001 ELEVATION : 288.24
 3/4" REBAR SET 0.3' BELOW THE SURFACE
 N 492140.801 E 857226.671



SITE DATA
 TOTAL AREA OF SITE: 7.196 AC ±
 EXISTING ZONING: NEW TOWN, EMPLOYMENT CENTER INDUSTRIAL FDP-117A-2
 PROPERTY REFERENCE: BH ROBB IV LIMITED PARTNERSHIP 3275442-95-AT-0953
 EXISTING USE: VACANT
 PROPOSED USE: OFFICE/RETAIL
 BUILDING COVERAGE: 5,803 SF OR 1.26 AC ±
 % BUILDING COVERAGE: 18%
 FLOOR AREA: 81,942 SF OR 1.88 AC ±
 FLOOR AREA RATIO: 0.26
 AREA TO BE PAVED PLUS BUILDING AREA: 224,334 SF OR 5.15 AC ±
 OPEN SPACE: 89,298 SF OR 2.05 AC ±
 % OPEN SPACE: 28%
 TOTAL AREA OF PARKING LOT: 109,448 SF OR 2.49 AC ±
 % PARKING LOT COVERAGE: 34%
 AREA TO BE DISTURBED: 6.40 AC ±
 AREA TO BE VEGETATIVELY STABILIZED: 1.77 AC ±
 PREVIOUS SKETCH NO.: 587-24
 PRELIMINARY NO.: 87-1
 FINAL PLAT NO.: 196-181

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: 7/6/95

These plans for Public Water & Public Sewage Systems
 Howard County Health Department

APPROVED: HOWARD COUNTY HEALTH OFFICER *[Signature]* DATE: 6-13-95

These plans for **soil conservation**, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT *[Signature]* DATE: 6/6/95

PLAN NUMBER: *[Blank]* DATE: *[Blank]*

Reviewed for the Howard Conservation District and meets technical requirements.
 APPROVED: NATURAL RESOURCES CONSERVATION SERVICE *[Signature]* DATE: 6/6/95

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] DATE: 6/11/95
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] DATE: 6/27/95
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH

[Signature] DATE: 6/28/95
 DIRECTOR

FOR REVISION 1 ONLY

ADDRESS CHART

PARCEL NO.	STREET ADDRESS				
A-19	2863 STANFORD BLVD				
UPDATE BUILDING PERMITS - 12-18-19					
SUBDIVISION NAME	SECT./AREA	PARCEL #			
COLUMBIA CORPORATE PARK	N/A	A-19			
PLAT #	BLOCK #	ZONE	TAX/ZONE MAP	ELECT. DIST.	CENSUS TRACT
2553	24	EC-1C	36	6	6046.02
WATER CODE: E-00		SEWER CODE: 5222000			

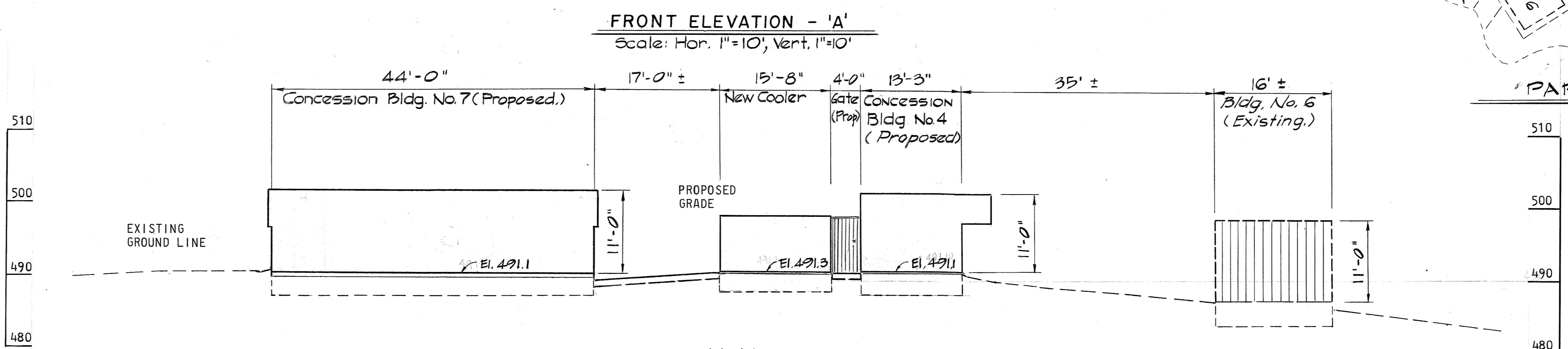
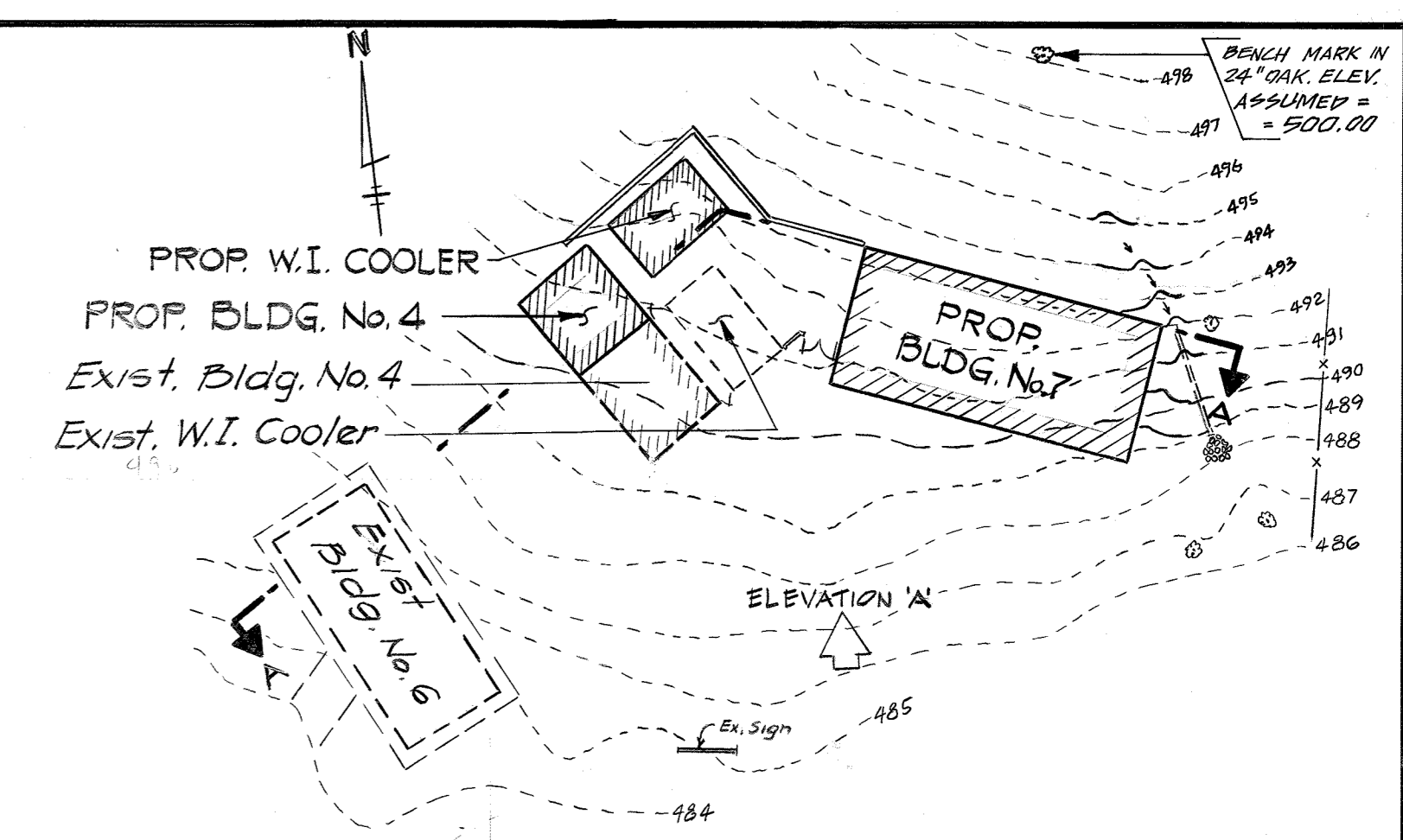
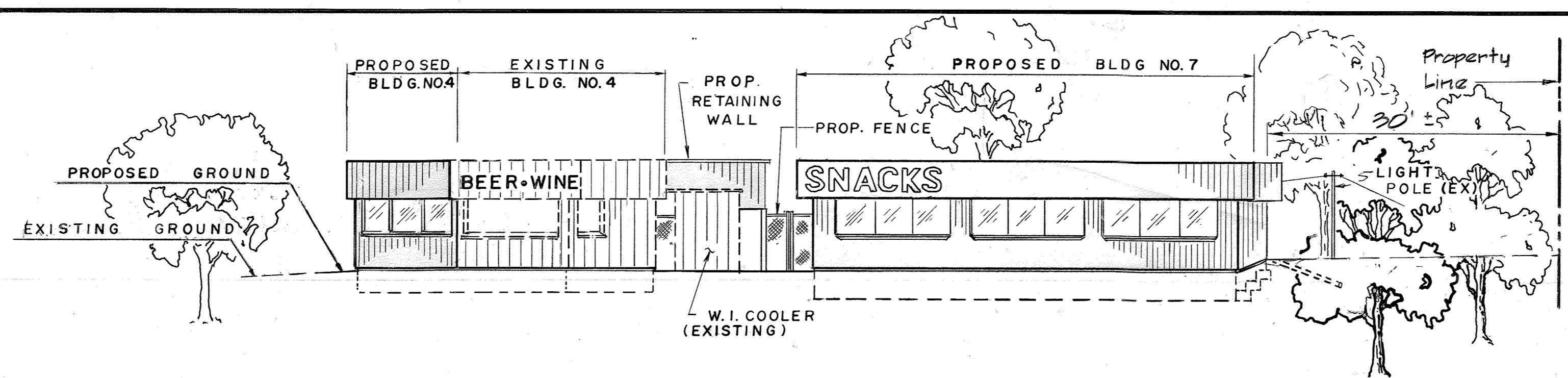
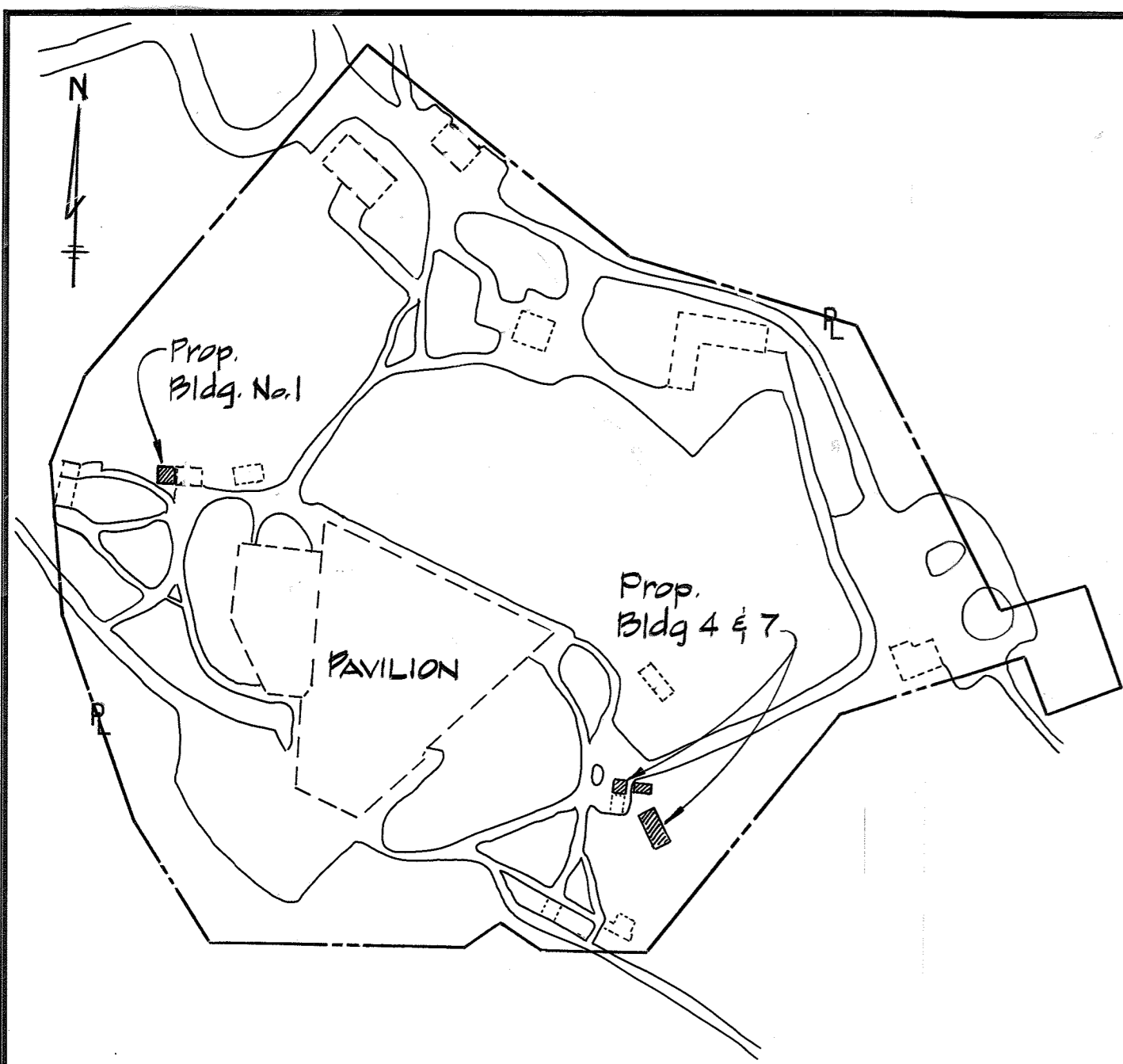
GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 658 KENILWORTH DRIVE, SUITE 100
 TOWSON, MARYLAND 21204
 (410) 825-8120

DEVELOPER CERTIFICATION:
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard County Conservation District.
 Developer: *[Signature]* Date: 5-20-96
 Name: CHRISTOPHER W. LOEZ, LINDEN ASSOCIATES, INC.

DEVELOPER
LINDEN ASSOCIATES
 906 POPLAR HILL ROAD
 BALTIMORE, MARYLAND 21210
 SUITE 200
 (410) 532-6250

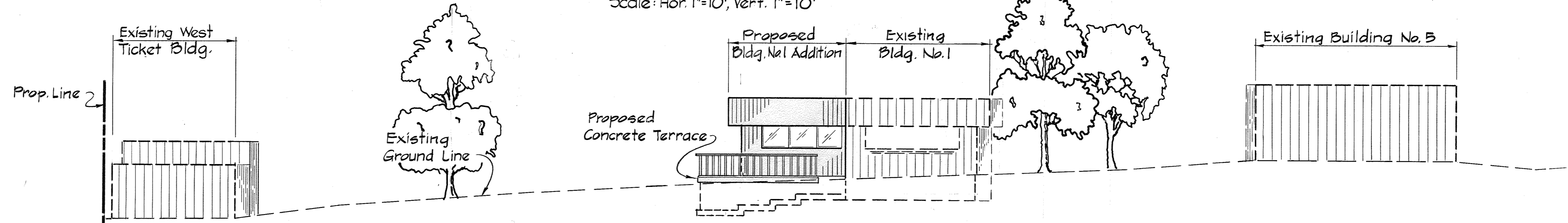
BH ROBB IV LIMITED PARTNERSHIP CO
MERRITT
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21207
 (410) 298-2600

SEDIMENT & EROSION CONTROL FOR COLUMBIA CORPORATE PARK PARCEL A-19 LAKESIDE
 PREVIOUS FILE NOS. 587-24, F87-43, F20-181, SDP 255-116, FDP 117A-1
 ELECTION DISTRICT #6 HOWARD COUNTY, MD. SHEET 4 OF 7 DATE: SCALE: 1" = 40'

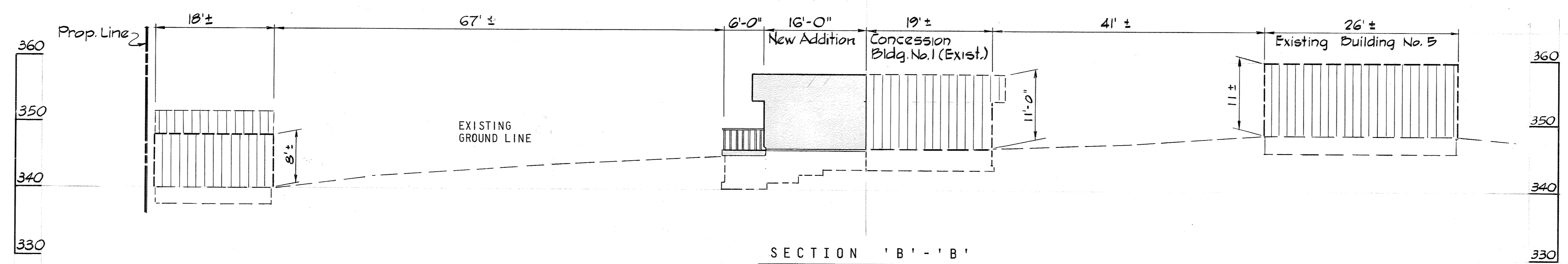


KEY MAP
Scale: N.T.S.

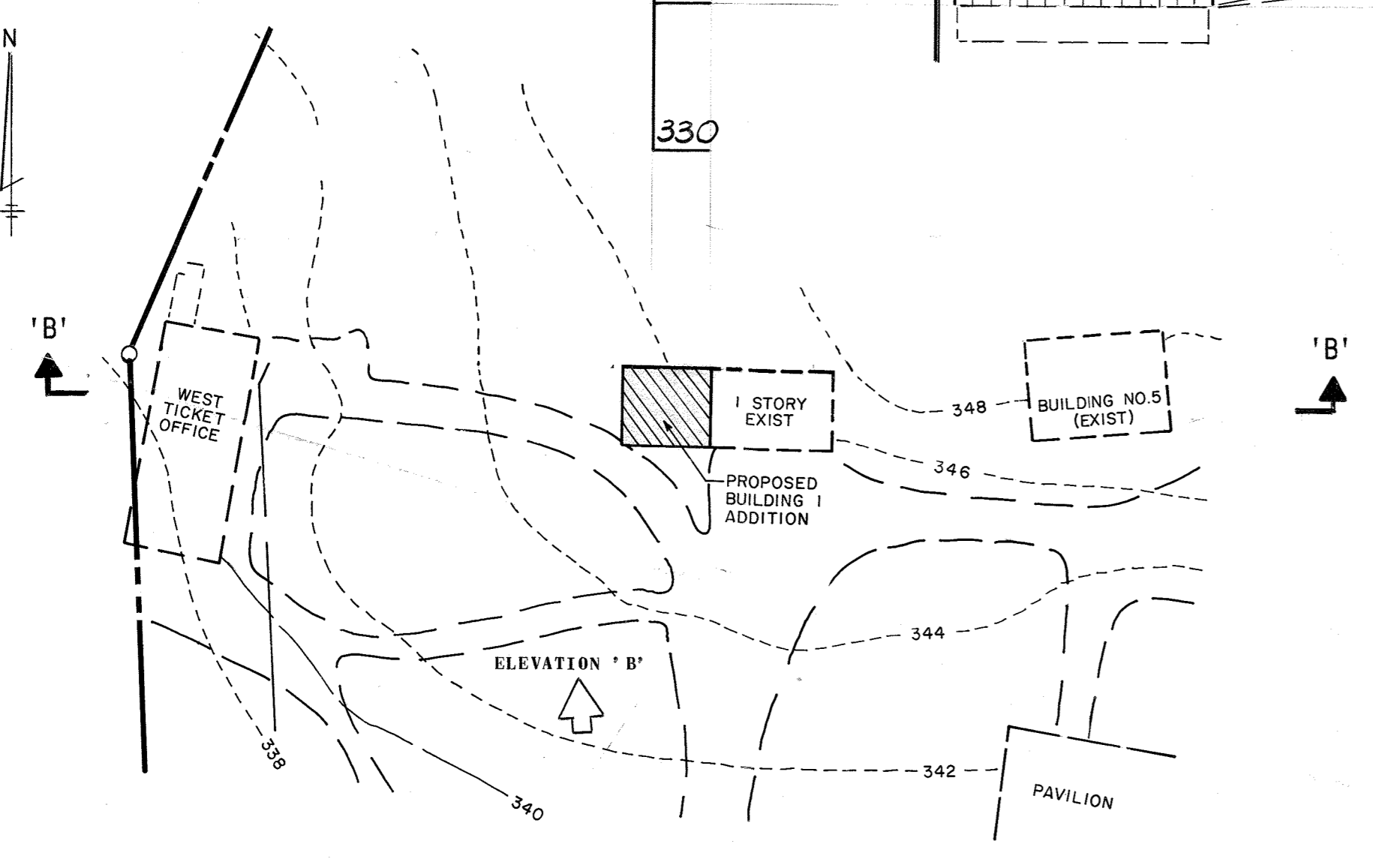
SECTION 'A'-'A'
Scale: Hor. 1"=10', Vert. 1"=10'



FRONT ELEVATION 'B'
Scale: Hor. 1"=10', Vert. 1"=10'



SECTION 'B'-'B'
Scale: Hor. 1"=10', Vert. 1"=10'



PARTIAL KEY PLAN - BUILDING I ADDITION
N.T.S.

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

U.S. CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Joan Boylen 1-5-96
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James Smith 1/19/90
PLANNING DIRECTOR DATE

Danish J. Langley 1/19/90
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Lawrence W. Weiland 1/10/90
DIRECTOR DATE

William E. Ryan 1-10-90
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED
DIVISION of
COMMUNITY PLANNING
& LAND DEVELOPMENT
HOWARD COUNTY,
MARYLAND
DATE

DATE *9-8-89*

NO ASBUILT INFORMATION
11/16/2018

John R. Heinrichs
Professional Engr. No. 14920

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT. SEE NOTE ABOVE

John Heinrichs 9-8-89
ENGINEER: JOHN HEINRICHS DATE

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

Paul Rader 11/30/89
DEVELOPER DATE

Date	No	Revision Description
		OWNER: COLUMBIA HALL INC. THE ROUSE BUILDING 10275 LITTLE PATUXENT PKWY. COLUMBIA, MARYLAND 21044
		DEVELOPER: ODEN ALLIED FOOD SERVICE CORPORATION
		MERRIWEATHER POST PAVILION
		CENTURY ENGINEERING, INC. CONSULTING ENGINEERS, PLANNERS 32 WEST ROAD TOWSON, MARYLAND 21204
		AREA: TOWN CENTER SECTION 1 AREA 13 TAX MAP 36 PARCEL 452 5th ELECTION DIST. OF HOWARD COUNTY, MD
		TITLE: (part one) ELEVATIONS AND SECTIONS MERRIWEATHER POST PAVILION
Des By	G. B. Z.	Scale AS SHOWN
Drawn By	A. B.	Date 9/8/89
Checked By	J. R. H.	Approved
Proj No	89-084	DRAWING NO. 4 OF 28

STRUCTURAL NOTES

FOOTINGS
 A GEOTECHNICAL ENGINEERING REPORT HAS BEEN PREPARED BY ROBERT B. BALTER COMPANY, DATED SEPT. 21, 1994. ALLOWABLE SOIL BEARING CAPACITY UTILIZED FOR SPREAD FOOTINGS IS 2000 PSF, ON COMPACTED FILL UTILIZING APPROVED ON SITE SOILS.
 PLACE COMPACTED FILL REQUIRED TO BRING SUBGRADE TO PROPER ELEVATION PRIOR TO FOUNDATION WORK. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED EXTERIOR GRADE, UNLESS A LOWER ELEVATION IS NOTED. FOOTING ELEVATIONS NOTED ARE ESTIMATED BASED ON AVAILABLE GEOTECHNICAL AND GRADING INFORMATION. (SEE SITE PLAN FOR SINGLE TIER SITE RETAINING WALL).
 ALL FOUNDATION SUBGRADES SHALL BE INSPECTED AND APPROVED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER PRIOR TO BEING CONCRETED. FOOTINGS MAY BE LOWERED TO ACHIEVE BEARING CAPACITY, IF REQUIRED, SUBJECT TO REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER.

CONCRETE (CAST-IN-PLACE)
 CONCRETE DESIGN AND DETAILING SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-89. CONTRACTOR SHALL SUBMIT MIX DESIGNS ACCOMPANIED BY APPROPRIATE GRAPHS AND BACKGROUND DATA FOR APPROVAL. MIX DESIGN SHALL INDICATE 7 AND 28 DAY STRENGTHS, GEMENT CONTENT, AIR CONTENT, WATER-CEMENT RATIO, AMOUNT OF FINE AND COARSE AGGREGATES, AND ADMIXTURES.
 MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE.

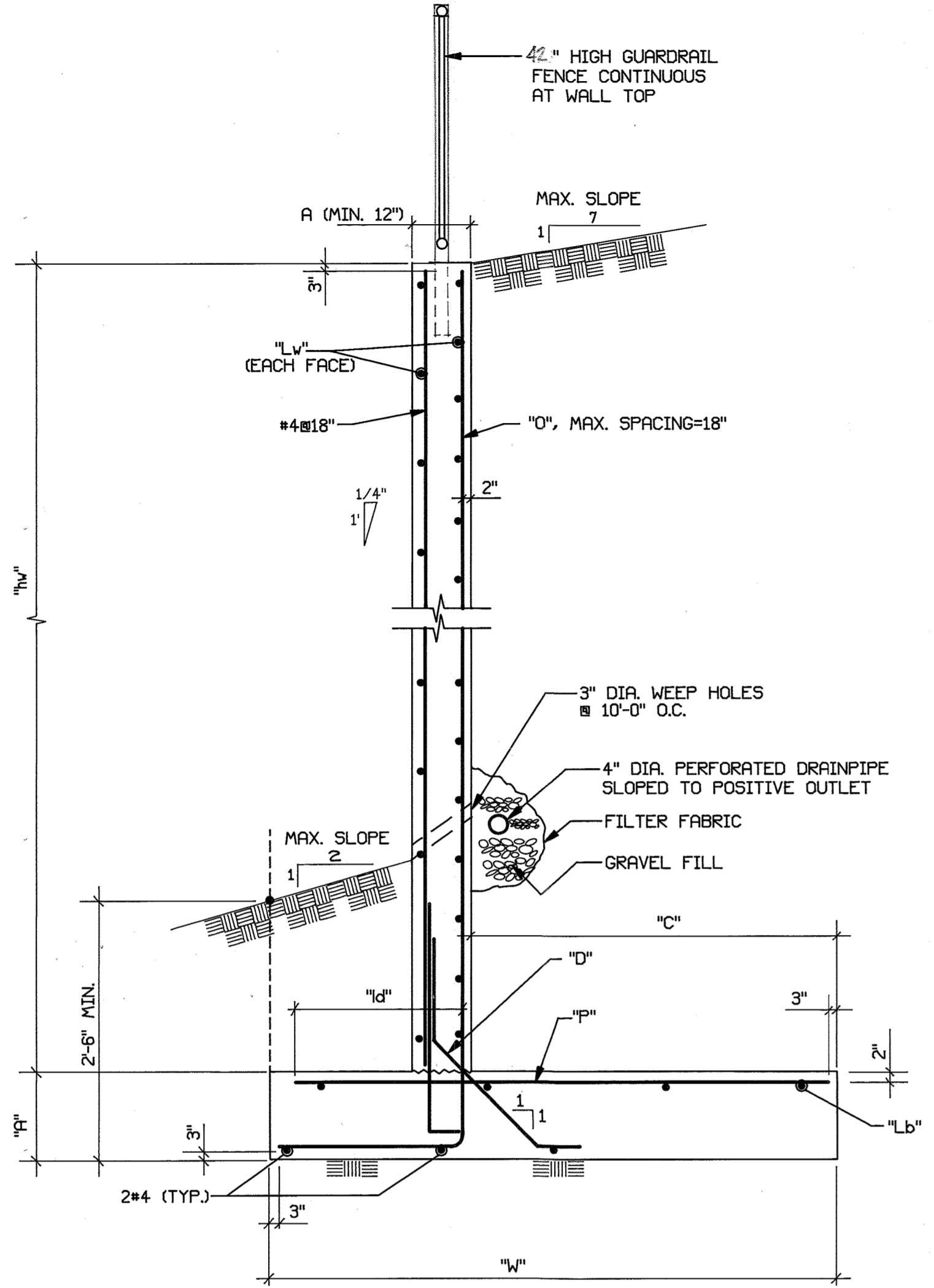
WALLS 4000 PSI
 FOOTINGS 3000 PSI
 EXPOSED EXTERIOR CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED. EXPOSED CONCRETE WALLS SHALL HAVE CHAMFERED EDGES.

ALL CONCRETE WORK, REINFORCING PLACEMENT, FORMWORK AND SHORING SHALL BE INSPECTED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER. CONCRETE QUALITY CONTROL, INSPECTION AND TESTING SHALL BE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AS WELL AS LOCAL BUILDING CODE REQUIREMENTS.
 USE OF ADDITIVES SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER. USE OF ADDITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE PERMITTED.

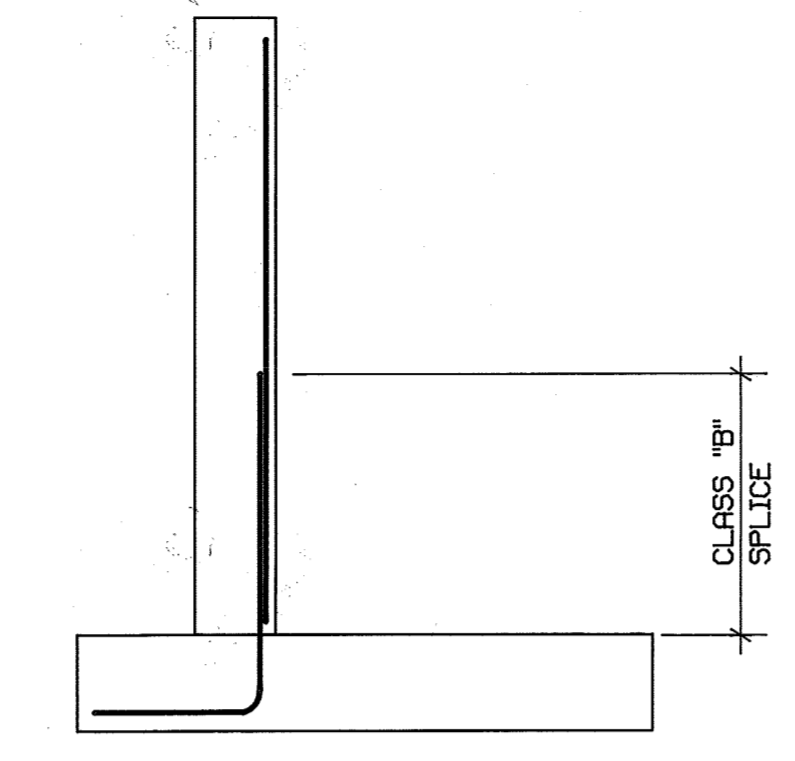
REINFORCING STEEL
 REINFORCING BARS SHALL BE DEFORMED SILET STEEL CONFORMING TO ASTM A615, GRADE 60. BARS SHALL BE BRANDED BY THE MANUFACTURER WITH BAR SIZE AND GRADE OF STEEL AND CERTIFIED MILL REPORTS SHALL BE SUBMITTED FOR RECORD. REINFORCING STEEL SHALL BE DETAILING IN ACCORDANCE WITH THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", LATEST EDITION.

PROVIDE CORNER BARS AT JUNCTIONS OF CONCRETE WALLS AND WALL FOOTINGS AND LAP WITH WALL REINFORCING AS SHOWN IN TYPICAL DETAILS. SIZE AND SPACING OF CORNER BARS TO BE SAME AS HORIZONTAL WALL REINFORCING, UNLESS SHOWN OTHERWISE. WHERE CONTINUOUS BARS ARE CALLED FOR, THEY SHALL RUN CONTINUOUSLY AROUND CORNERS AND LAPPED AS NECESSARY. PROVIDE STANDARD HOOKS AT DISCONTINUOUS ENDS. TENSION AND COMPRESSION LAP SPLICES SHALL NOT BE LESS THAN THE SPLICE LENGTHS AS GIVEN IN ACI-318. PROVIDE PLACING ACCESSORIES IN ACCORDANCE WITH ACI RECOMMENDATIONS.

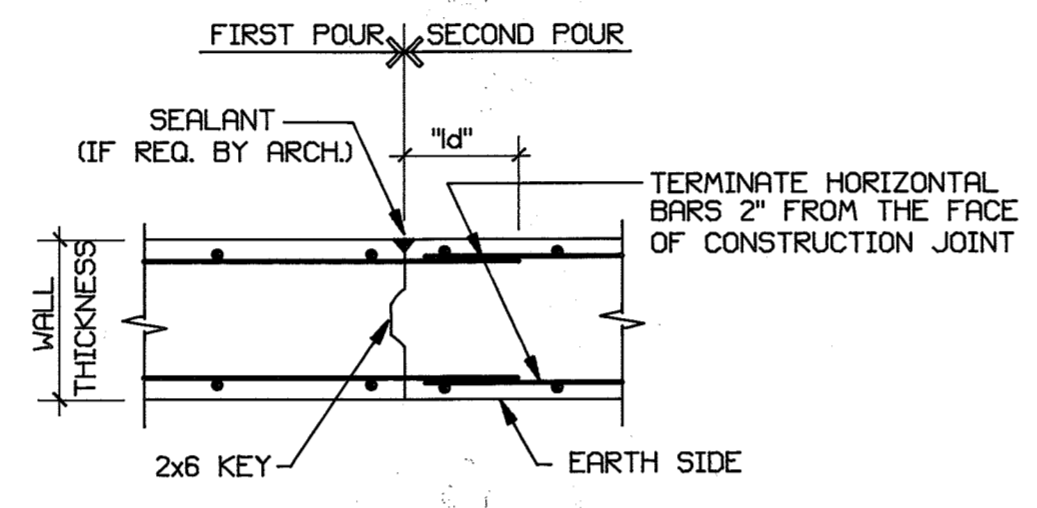
CONCRETE PROTECTION FOR REINFORCEMENT (CAST-IN-PLACE CONCRETE)
 PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER FOR REINFORCEMENT:
 CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH (FOOTINGS) 3"
 FORMED CONCRETE EXPOSED TO EARTH OR WEATHER (WALLS AND FOOTINGS) 2"



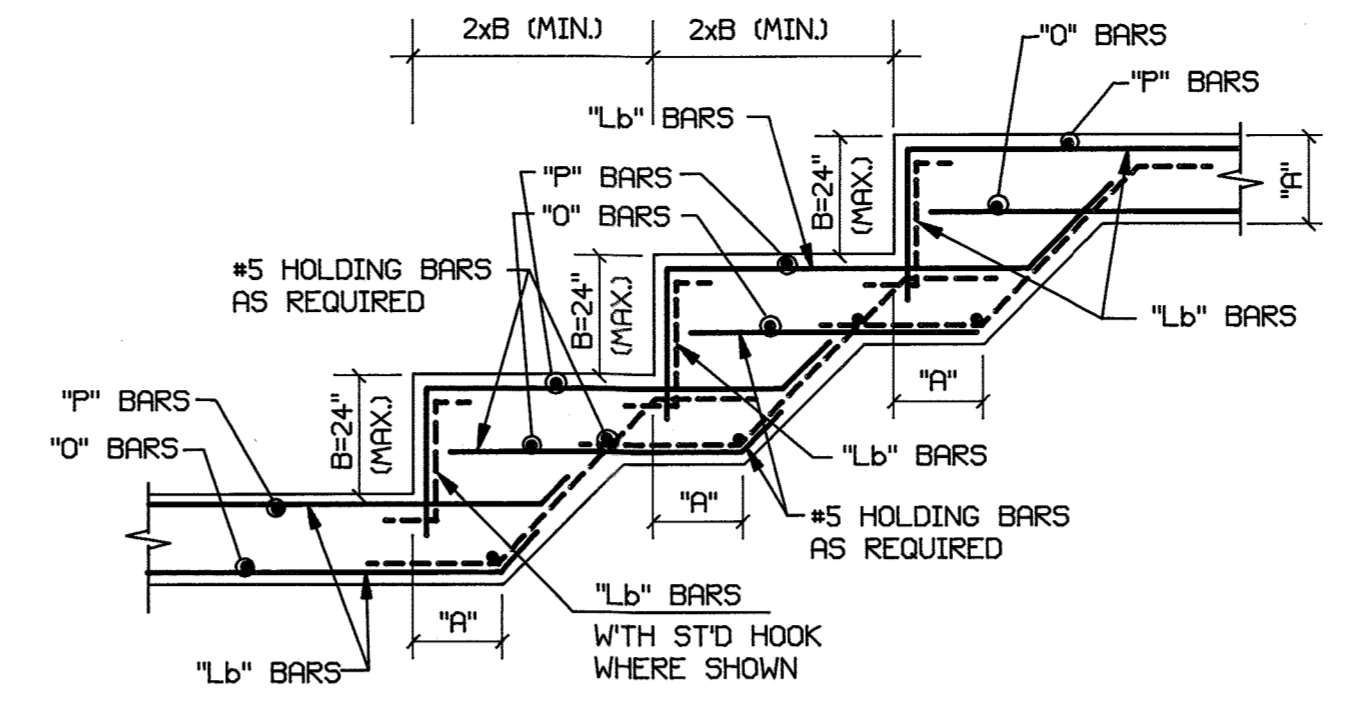
TYPICAL CANTILEVER RETAINING WALL DETAIL
 hw < 8'-0"



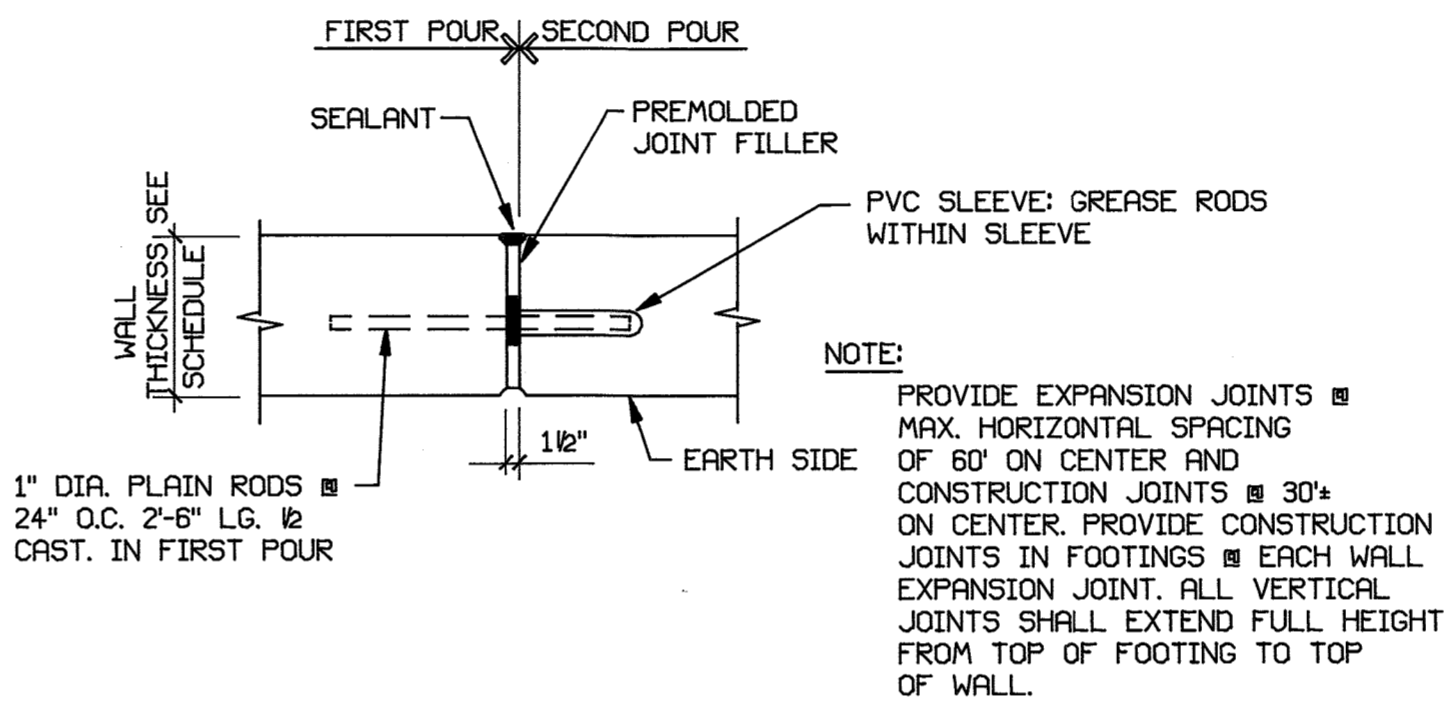
OPTIONAL SPLICE



CONSTRUCTION JOINT DETAIL IN WALL



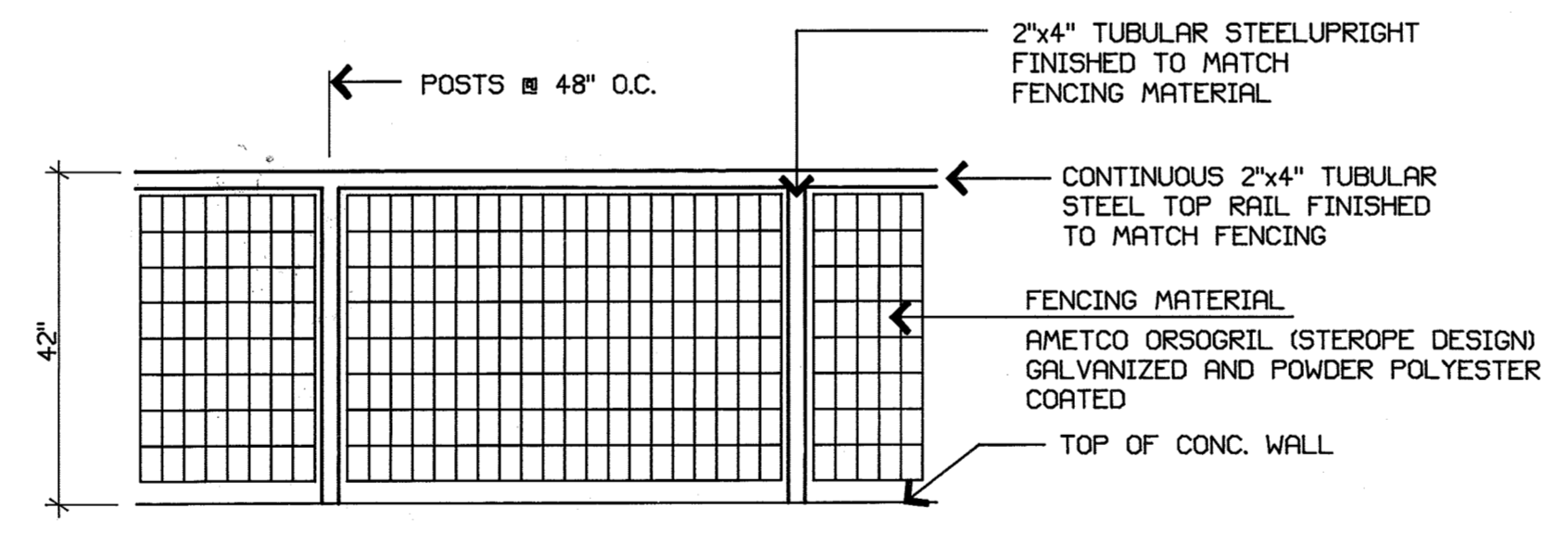
CANTILEVER RETAINING WALL STEP FOOTING DETAIL (VERTICAL STEP)



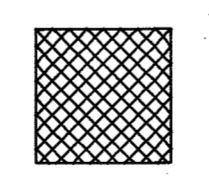
TYPICAL EXPANSION JOINT DETAIL

CANTILEVER RETAINING WALLS											
CONCRETE DIMENSIONS				BASE DEPTH	BASE REINFORCEMENT						STEM
HEIGHT ABOVE BASE	WIDTH OF WALL	HEEL	WIDTH OF BASE		"A" ≥ 12"	"O" BARS DOWELS INTO STEM		"D" BARS DIAGONAL CORNER BARS	"Lb" BARS LONGITUDINAL	"P" BARS TOP BARS	
ft.	in.	ft.-in.	ft.-in.	(in.)	SIZE-SPACING	SHORT DOWEL	SIZE-SPACING	NUMBER-SIZE	SIZE-SPACING	SIZE-SPACING	SIZE-SPACING
4	12	1'-0"	2'-10"	12	#4@18	NONE	#4@18	4-#4	#4@18	NONE	#4@12
5	12	1'-10"	4'-2"	12	#4@18	NONE	#4@18	4-#5	#4@18	NONE	#4@12
6	12	3'-10"	5'-2"	12	#4@18	NONE	#4@18	4-#5	#4@18	NONE	#4@12
7	12	4'-0"	6'-4"	12	#4@18	NONE	#4@18	5-#5	#4@18	NONE	#4@12
8	12	5'-0"	7'-4"	12	#4@12	NONE	#4@12	6-#5	#4@12	NONE	#4@12
9	12	6'-0"	8'-4"	12	#5@12	NONE	#5@12	7-#5	#5@12	NONE	#4@12

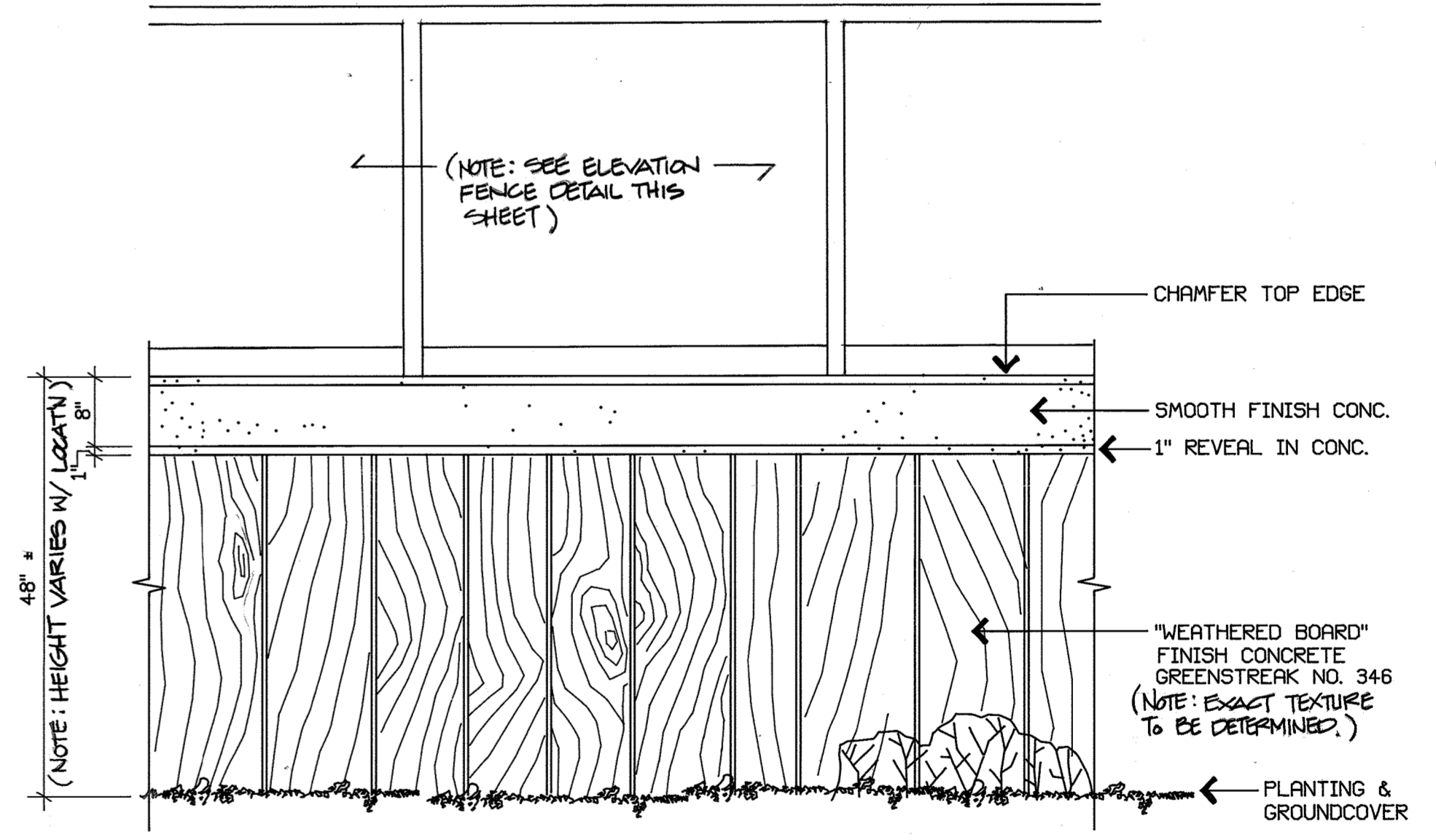
*Retaining Wall Base Dimensions (C&W) Shall Remain Constant Throughout the Entire Wall Length.



ELEVATION FENCE DETAIL



OPTIONAL FENCE DESIGN: CHAIN LINK
 *ANCHOR PERMAFUSED VINYL COATED FENCE - MESH SHALL BE 11 GAUGE 1 3/4" WITH TOP RAIL AND POSTS GALVANIZED AND VINYL COATED. SPACING AS SHOWN IN DETAIL ABOVE



CONCRETE WALL ELEVATION

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer _____ Date _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director _____ Date 11/10/94
 Chief, Division of Land Development & Research _____ Date 11/10/94

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director _____ Date 11/10/94
 Chief, Bureau of Engineering _____ Date 11/10/94

STATE OF MARYLAND
 JOHN KARABUT
 REGISTERED PROFESSIONAL ENGINEER
 No. 2071

SK&A PROJECT NUMBER 94-110
 Srisilova, Kohnmull & Associates, P.A.
 Consulting Structural Engineers
 6101 Executive Boulevard
 Rockville, Maryland 20852
 Telephone (301) 881-1441

NO ASBUILT INFORMATION
 11/10/2018

PART TWO
 Merriweather Post Pavilion
 SITE RETAINING WALL

DATE: OCT. 13, 1994
 S-1
 SHT. 30 OF 28

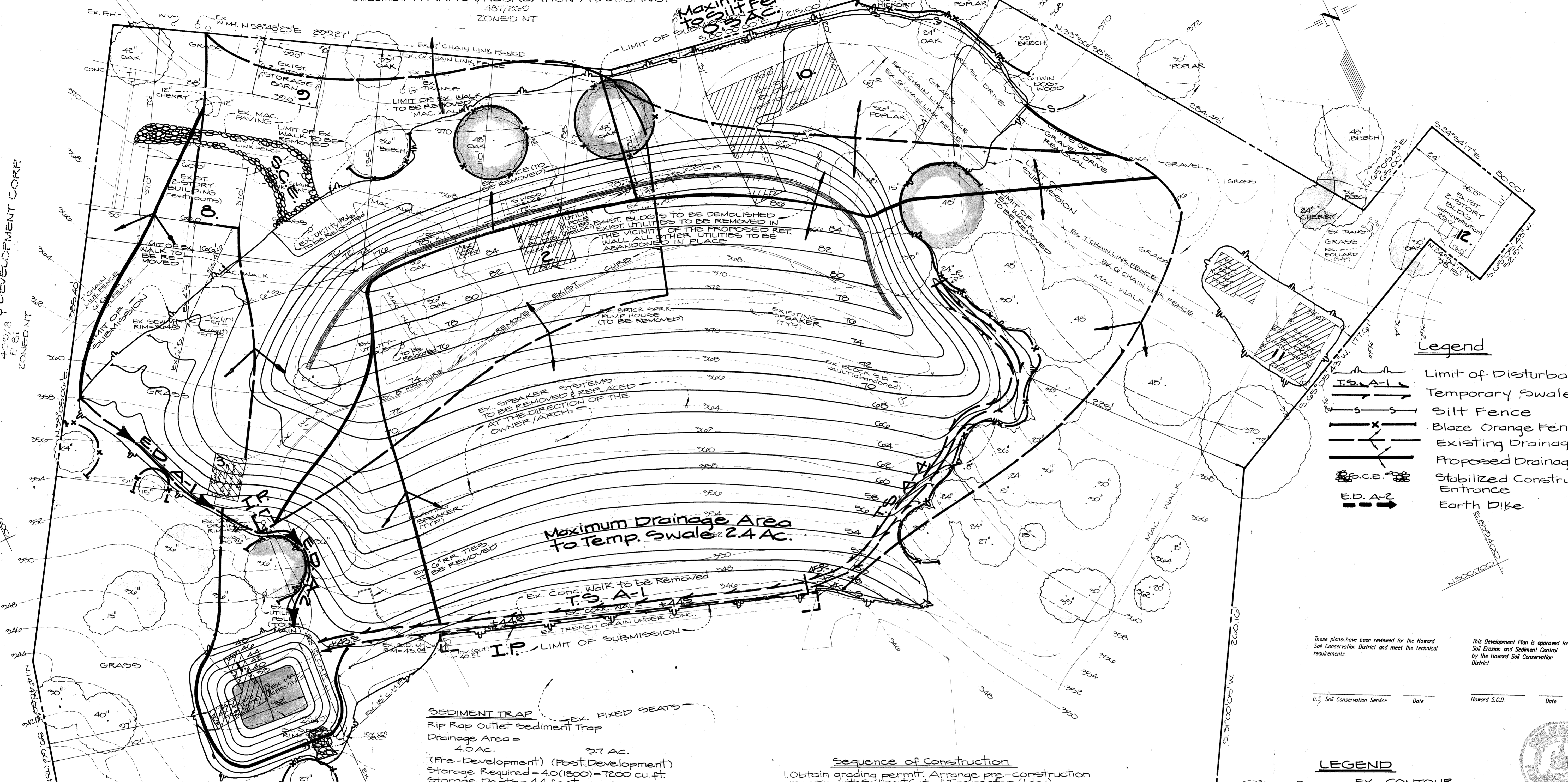
Drainage Area Tabulation		
Area	Exist. Area	Prop. Area
Trench Drain	1.2 AC.	0.9 AC.
Yard Drain	2.2 AC.	2.2 AC.

COLUMBIA PARKS & RECREATION ASSOC. INC.
487/2303
ZONED NT

Maximum Drainage to Silt Fence = 3.3 AC.

Maximum Drainage Area to Temp. Swale = 2.4 AC.

HOWARD RESEARCH & DEVELOPMENT CORP.
400/83
F 51
ZONED NT



Legend

- Limit of Disturbance
- Temporary Swale
- Silt Fence
- Blaze Orange Fence
- Existing Drainage Divide
- Proposed Drainage Divide
- Stabilized Construction Entrance
- Earth Dike

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

U.S. Soil Conservation Service Date _____ Howard S.C.D. Date _____

SEDIMENT TRAP
Rip Rap Outlet Sediment Trap
Drainage Area = 4.0 Ac.
(Pre-Development) (Post-Development)
Storage Required = 4.0(1800) = 7200 cu. ft.
Storage Depth = 4.4 feet
Clearout Elevation = 40.2
Outlet Elevation = 40.2
Bottom Elevation = 38.0
Side Slopes = 2:1
Surface Area @ Elevation 42.4 (L.O.S.) = 2075 sq. ft.
Surface Area @ Elevation 38.0 (bottom) = 780 sq. ft.
Volume Provided = 2075 x 4.4 = 9230 cu. ft.
L.O.S. = Limit of Storage
Outlet Length = 10.0'
Top of Embankment = 46.7'
Owner
Columbia Mall Inc.
The Rouse Building
10275 Little Patuxent Pkwy.
Columbia, Maryland 21044
Attn.: Al Edwards
(410) 992-0027

- Sequence of Construction**
1. Obtain grading permit. Arrange pre-construction meeting with Sediment Control Inspector. (1 day)
 2. Install stone construction entrance. (1 day)
 3. Install sediment trap and associated earth dikes & temporary swales. Install remainder of the sediment controls. (1 day)
 4. Demolish existing buildings & construct retaining wall. (1 week)
 5. Grade site & stabilize. (1 month)
 6. After all areas draining to sediment control devices have been stabilized and permission has been granted by the Sediment Control Inspector, remove those sediment devices and stabilize all remaining areas. (2 weeks)

LEGEND

- EX. CONTOUR
- PROP. CONTOUR
- LIMIT OF SUBMISSION
- EX. TREES TO BE PRESERVED
- EX. BUILDING TO BE DEMOLISHED
- PROP. RETAINING WALL

ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

DEVELOPER'S CERTIFICATE
I certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance of a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

Approved for public water & sewage systems,
Howard County Health Department
County Health Officer _____ Date _____

Approved: Howard County Dept. of Planning & Zoning
Director _____ Date 11/10/94
Chief, Division of Land Development Date & Research 11/10/94

Approved: For public water & sewage systems,
storm drainage systems & public roads
Howard County Dept. of public works
Director _____ Date 11/10/94
Chief, Bureau of Engineering 11/10/94

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
TELEPHONE (301)421-4024 NO VA (301)989-2524 BALTO (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR: Merriweather Post Pavilion
PO Box 1112 Columbia, Maryland 21044
Attn.: Matt Dunne (410) 730-2083 or (801) 982-1803

Part Two
Sediment Control & D. A. M.
Merriweather Post Pavilion
Town Center
Section 1 Lot 13
5th Election District

NO ASSBUILT INFORMATION
11/16/2018

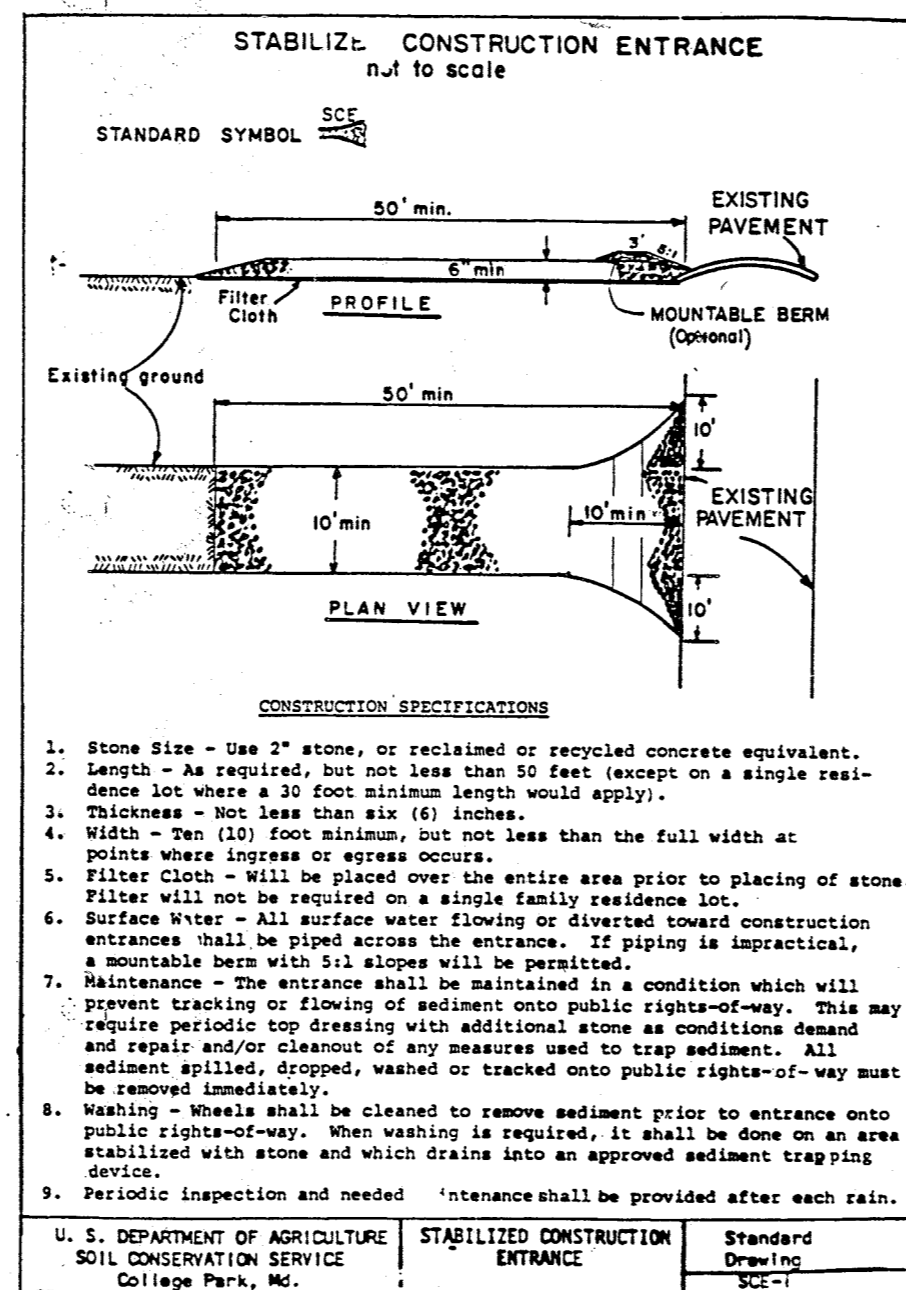
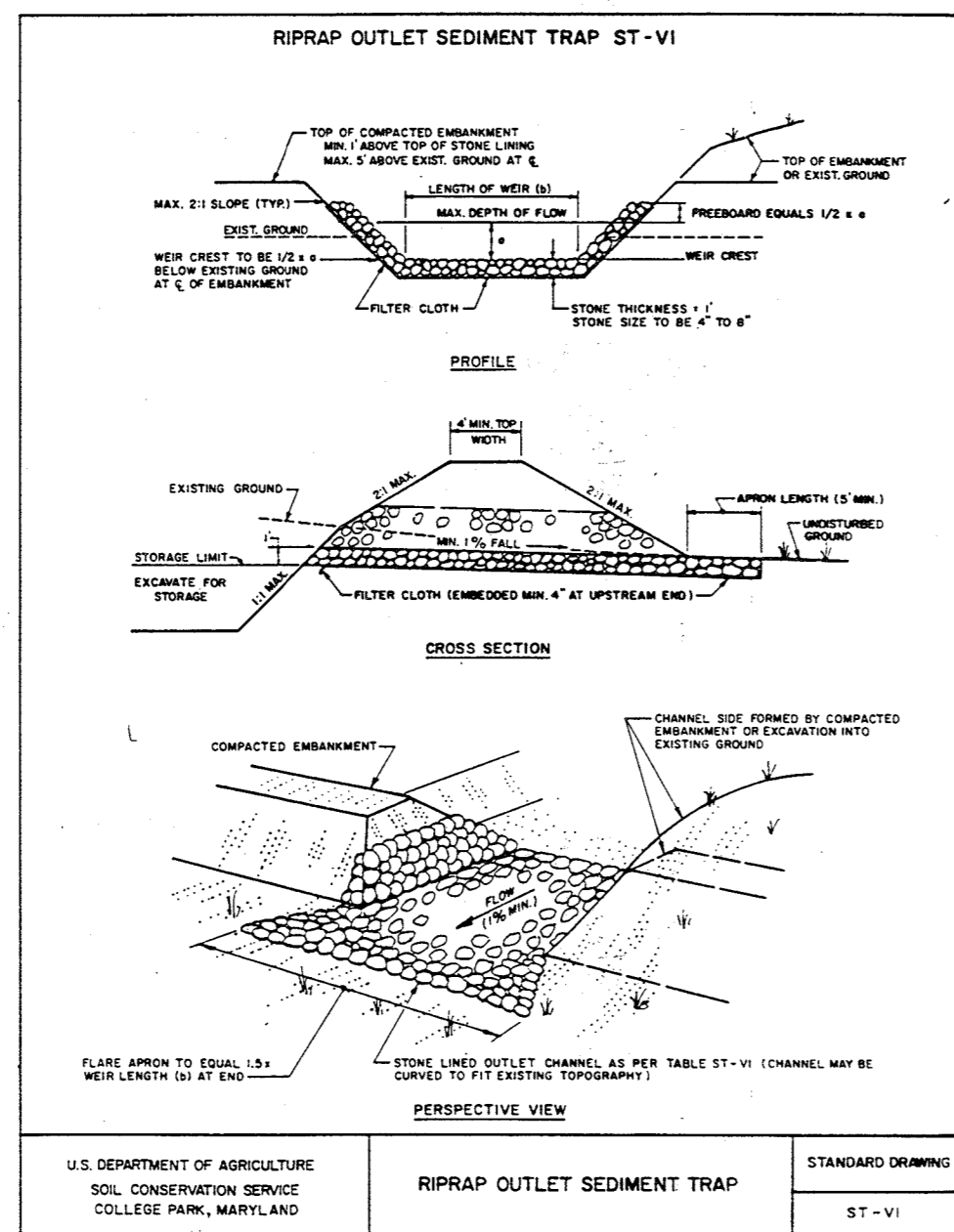
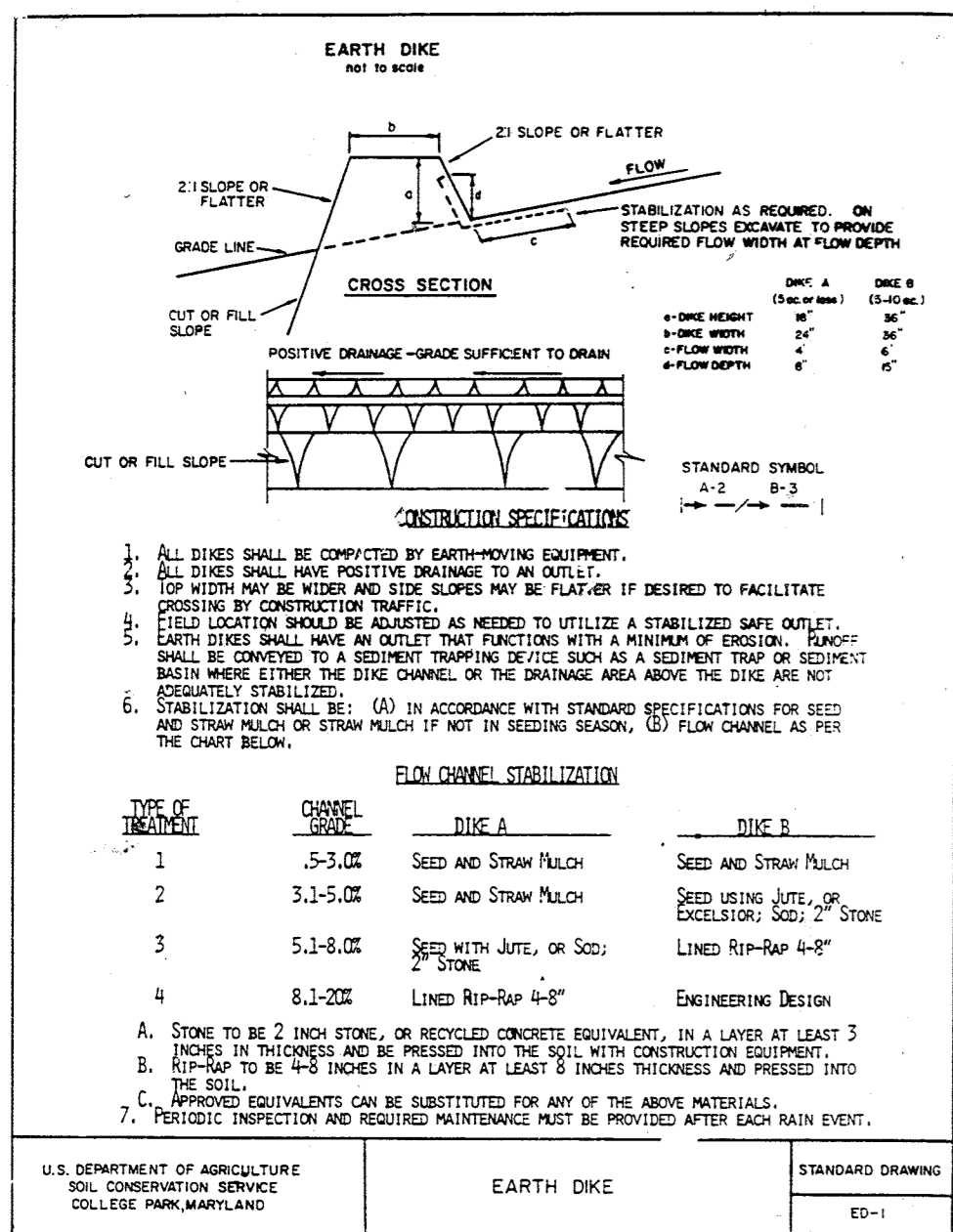
DES.: SCALE 1" = 30'
ZONING NEW TOWN OPEN SPACE
G.L.W. FILE NO. 24-077

DRN.: DATE August 1994
TAX MAP NO. 20
PARCEL 452

CHK.: SHEET 6 OF 28

Signature of Engineer/Builder: _____ Date 10-26-94
Signature of Developer: _____ Date 11-9-94

Howard County, Maryland



SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51), sod (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization, with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
Total Area of Site: 10.2 Acres
Area Disturbed: 3.4 Acres
Area to be roofed or paved: 1.0 Acres
Area to be vegetatively stabilized: 3.4 Acres
Total Cut: 180 Cu. Yds.
Total Fill: 20,300 Cu.Yds.
Off-Site waste/borrow area location
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

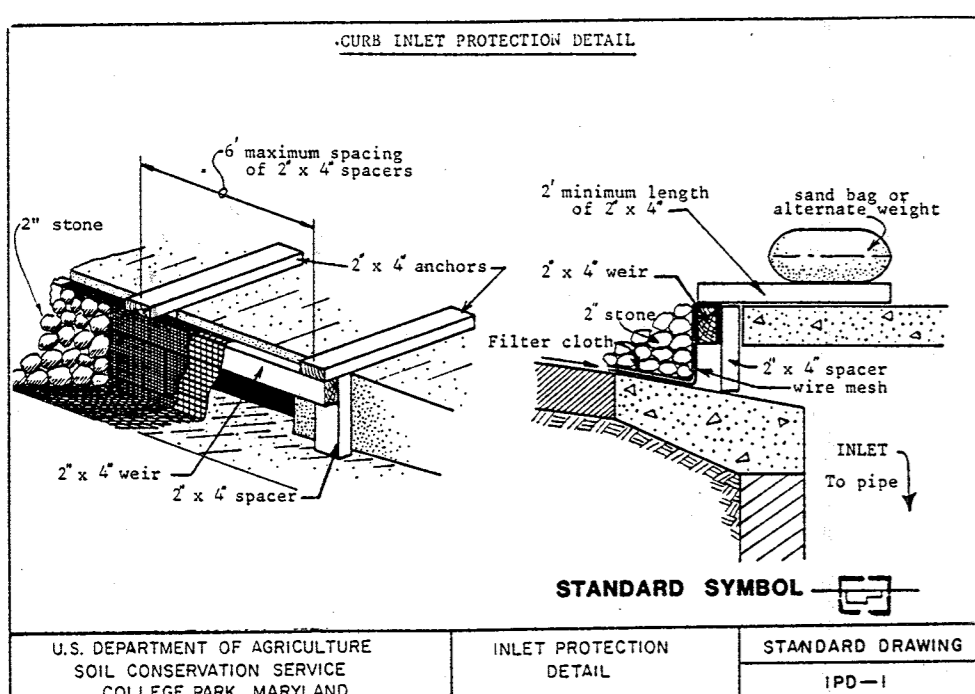
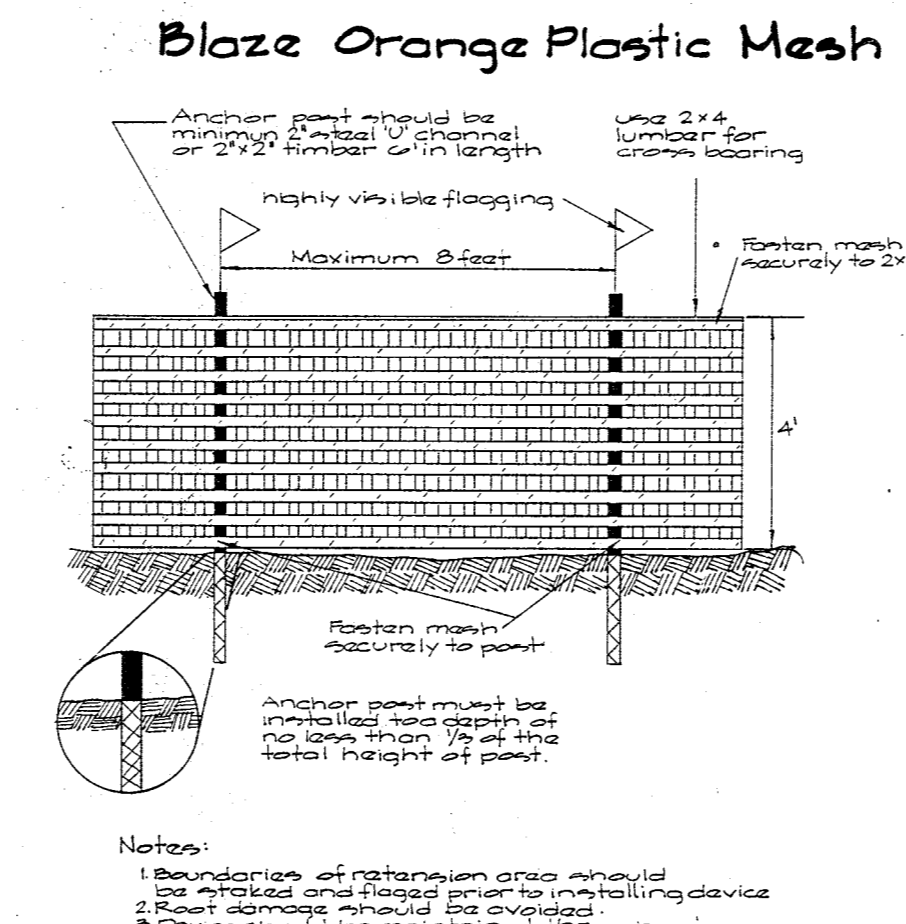
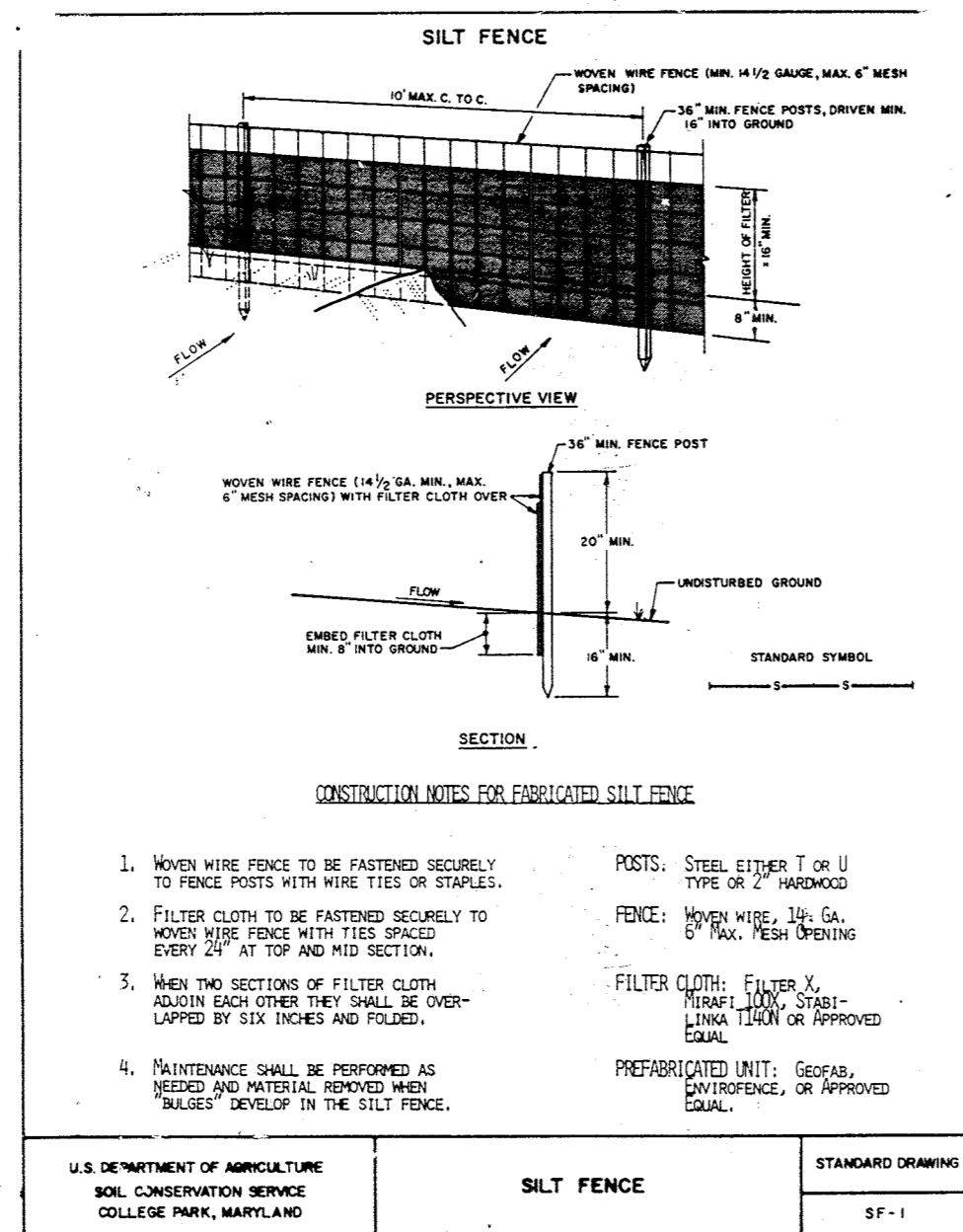
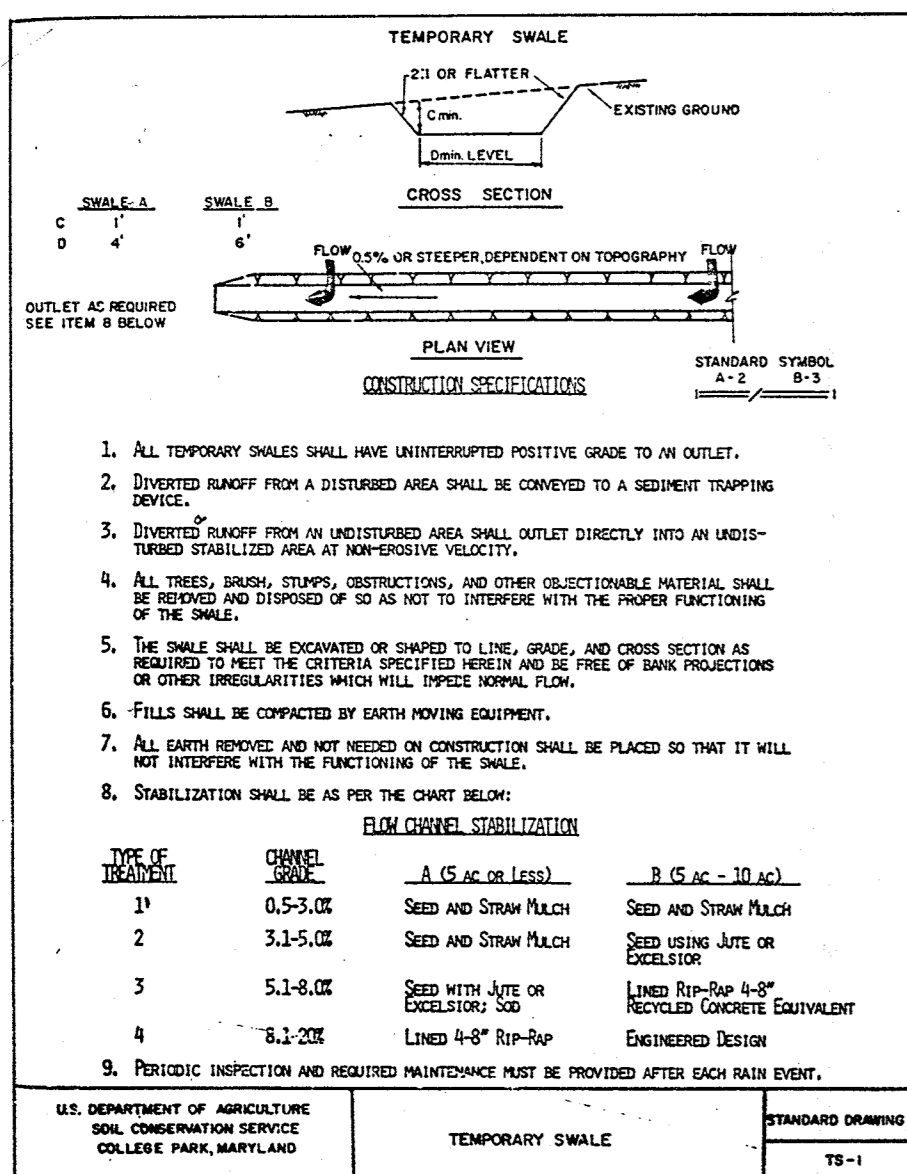
Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature 10-26-94
Date

This plan has been reviewed for the Howard Soil Conservation District and meet the technical requirements.
Signature 10/26/94
Date
This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
Signature 11/10/94
Date

DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.
Signature 11-9-94
Date

Owner
Columbia Mall Inc.
The Rouse Building
10275 Little Patuxent Pkwy.
Columbia, Maryland 21044
Attn: Al Edwards
(410) 992-6027

Approved for Public Water & Sewerage Systems
Howard County Health Dept.
Signature Date
Approved: Howard County Dept. of Planning & Zoning
Signature 11/10/94
Date
Director
Signature 11/10/94
Date
Approved: for public water & public sewerage storm drainage systems & public roads
Howard County Dept. of Public Works
Signature 11/10/94
Date
Director
Signature 11/10/94
Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
ENGINEERS, PLANNERS, SURVEYORS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866
TELEPHONE: (301) 421-4024

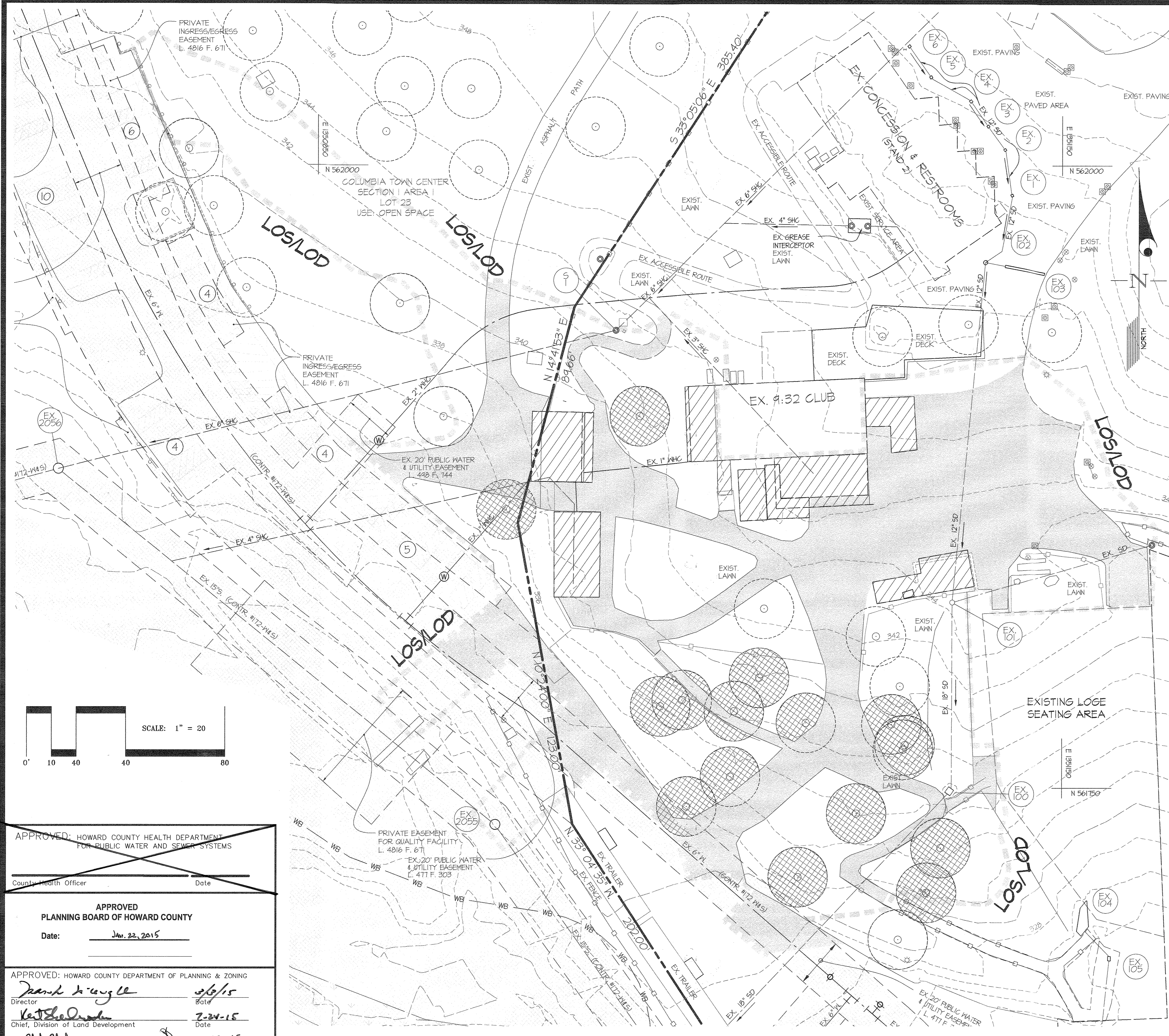
DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
Merriweather Post Pavilion
PO. Box 1112
Columbia, Maryland 21044
Attn: Matt Dunne
(410) 300-2085 or (301) 982-1803

Sediment Control Details
Merriweather Post Pavilion
Town Center
section 1 Lot 13
5th Election District
Howard County, Maryland

NO ASBUILT INFORMATION
11/16/2018

SCALE	ZONING	G.L.W. FILE NO.
	NEW TOWN OPEN SPACE	24-077
DATE	TAX MAP NO.	SHEET
August 1994	20 Parcel 452	7 of 28



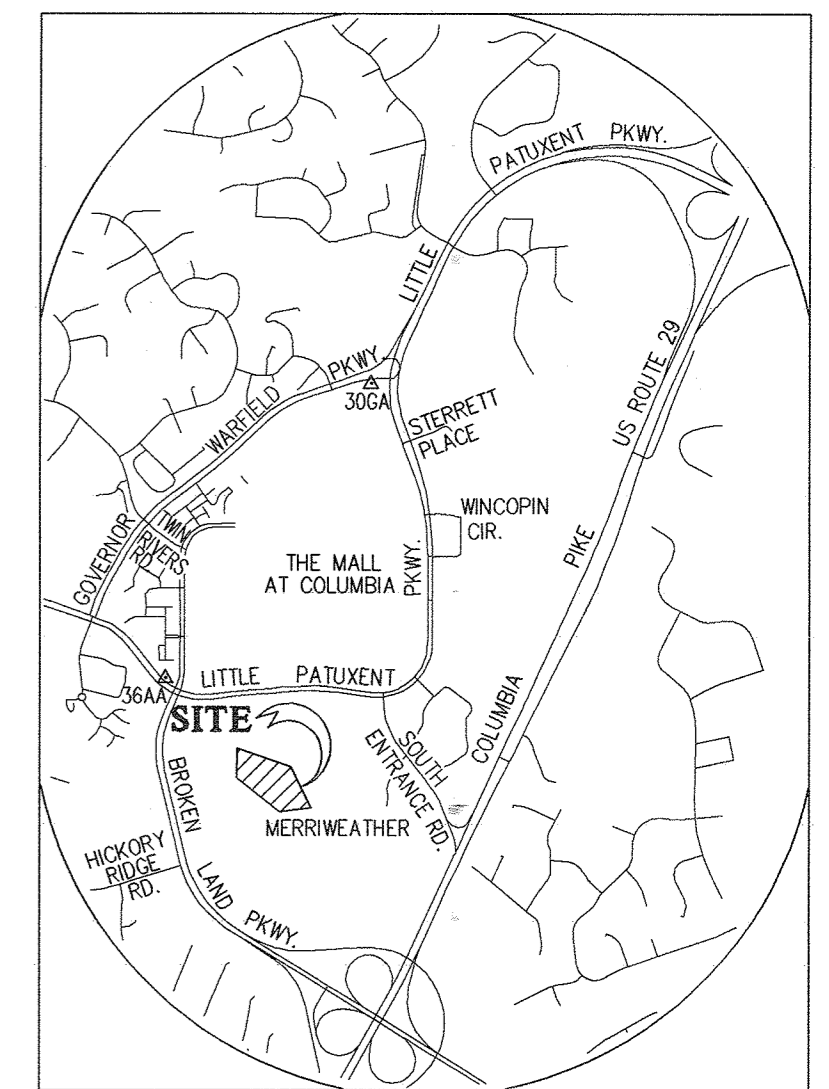
LEGEND

- EXIST. TREE
- ⊗ EXIST. TREE (TO BE REMOVED)
- ▭ EXIST. BLDG. (TO BE RAZED)
- ▨ EXIST. PAVING TO BE REMOVED
- LOS/LOD
- LIMIT OF SUBMISSION/DISTURBANCE

1. GENERAL SITE DATA
 - A. TOTAL PROJECT AREA: 10,194 AC.
 - B. LIMIT OF DISTURBED AREA: 52,949 SQUARE FEET OR 1.22 AC.
 - C. PRESENT ZONING: NT (OPEN SPACE)
 - D. PROPOSED USE OF SITE: CONCESSIONS, RESTROOMS AND BOX OFFICE
 - F. FLOOR SPACE:
 - BUILDING A: 1,944 SF CONCESSION
 - BUILDING B: 1,944 SF STORAGE
 - BUILDING BH: 470 SF RESTROOMS (WOMENS)
 - BUILDING BR: 762 SF RESTROOMS (MENS)
 - BUILDING B3: 600 SF BOX OFFICE
 - BUILDING B1: 300 SF MECHANICAL/MAINTENANCE
 - BUILDING C1: 165 SF RETAIL
 - BUILDING C2: 1,221 SF CONCESSION
2. LOT 13 DEVELOPMENT DATA
 - A. CONCESSION: 5,104 SF
 - B. RETAIL: 165 SF
 - C. RESTROOMS: 1,752 SF
 - D. BOX OFFICE: 600 SF
 - E. MECHANICAL/STORAGE: 300 SF
 - TOTAL: 7,906 SF
3. LOT 13 DEMOLITION DATA
 - A. CONCESSION: 588 SF
 - B. RETAIL: 475 SF
 - C. RESTROOMS: 634 SF
 - D. BOX OFFICE: 565 SF
 - TOTAL: 2,262 SF

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-1111 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES AT (410) 313-4400 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
5. PROJECT BACKGROUND:
 - LOCATION: TAX MAP 36
 - ZONING: PROPERTY IS ZONED 'NEW TOWN' PER THE COMPREHENSIVE ZONING PLAN, ZONING AMENDMENTS AND MAPS EFFECTIVE OCTOBER 6, 2015 AND THE 'COMP-LITE' ZONING AMENDMENTS EFFECTIVE JULY 28, 2006. ADDITIONALLY, THE PROJECT AREA IS SUBJECT TO THE DOWNTOWN COLUMBIA PLAN - A GENERAL PLAN AMENDMENT EFFECTIVE APRIL 6, 2010.
 - ELECTION DISTRICT: FIFTH ELECTION DISTRICT
 - AREA OF BUILDABLE LOTS: LOT 13: 10,194 AC.
 - RECORD PLAT NO.: 4305
 - DPZ REF. FILE NO.: FDP-4-A-V, F-14-141, SDP-10-58C, SDP-01-118C, SDP-02-106C, SDP-03-128 and SDP-04-222.
6. TOPOGRAPHIC AERIAL SURVEY WAS PERFORMED ON MARCH 2007 BY MCKENZIE SNYDER AND TOPOGRAPHIC FIELD SURVEY SUMMER, 2014 BY GUTSCHICK, LITTLE AND WEBER.
7. COORDINATES ARE BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS: 36AA AND 306A.
8. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FIELD LOCATIONS BY GUTSCHICK, LITTLE & WEBER, P.A. THE CONTRACTOR MUST DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION.
9. SPOT ELEVATIONS SHOWN FOR CURB ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
10. ALL PLAN DIMENSIONS ARE TO THE FACE OF BUILDING OR CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS OTHERWISE NOTED.
11. THERE ARE NO KNOWN GRAVE SITES, CEMETERIES, FLOOD PLAINS OR WETLANDS ON THE SITE AREA.
12. WATER SERVICE IS PUBLIC (CONTR. #112-145).
13. SEWER SERVICE IS PUBLIC (CONTR. #112-145).
14. THE PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE SECTION 16.1202(B)(1)(V) (PUD WITH A PDP APPROVED PRIOR TO 12/31/12).
15. THE CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES AT LEAST (5) DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS AND NOTIFY THE ENGINEER OF ANY CONFLICTS.
16. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
17. NOTE: IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANS, THE PLAN SHALL GOVERN.
18. ALL OUTDOOR LIGHTING SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING PUBLIC ROADS AND IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
19. THE LANDSCAPE PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL.
20. TRASH COLLECTION FOR THE REDEVELOPMENT PHASE I AREA WILL BE IN TWO TRASH COMPACTORS ADJACENT TO THE PROPOSED BUILDINGS ALONG THE EXISTING SERVICE DRIVE.
21. FOOD SERVICE ESTABLISHMENTS MUST BE PROVIDED WITH A GREASE INTERCEPTOR. WASTEWATER DRAINS CONTAINING CONCENTRATIONS OF FATS, OILS AND GREASES MUST BE ISOLATED FROM OTHER SOURCES OF WASTEWATER AND SHALL PASS THROUGH A GREASE INTERCEPTOR PRIOR TO ENTERING THE SANITARY SEWER. WASTEWATER FROM REST ROOMS AND GARBAGE GRINDERS SHALL BYPASS THE GREASE INTERCEPTOR. THE GREASE INTERCEPTOR SHALL BE DESIGNED FOR EFFICIENT REMOVAL OF GREASE AT THE MAXIMUM FLOW RATE. GREASE INTERCEPTORS THAT ARE LOCATED OUTSIDE THE BUILDING SHALL BE PLACED IN AN AREA ACCESSIBLE FOR CLEANING THE GREASE BY MOTOR VEHICLE (WASTE HAULER) AND SHALL HAVE A MINIMUM SIZE OF 750 GALLONS. GREASE INTERCEPTORS LOCATED INSIDE THE FOOD SERVICE FACILITY MUST BE ISOLATED FROM FOOD PREPARATION AREAS AND MUST BE APPROVED BY THE HOWARD COUNTY HEALTH DEPARTMENT. IF APPROVAL FOR AN INSIDE GREASE INTERCEPTOR IS NOT GRANTED BY THE HOWARD COUNTY HEALTH DEPARTMENT, THEN AN EXTERIOR GREASE INTERCEPTOR WILL BE REQUIRED.
22. SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$0.00 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENTS. LANDSCAPING WITHIN THE RAIN GARDEN FACILITIES WILL BE ASSESSED AS A PART OF THE DEPARTMENT OF PUBLIC WORKS SURETY.
23. A SIMPLIFIED ENVIRONMENTAL CONCEPT PLAN (ECP) WAS APPROVED BY THE DEVELOPMENT ENGINEERING DIVISION ON DECEMBER 16, 2014, FOR THE PURPOSE OF IDENTIFYING THE SITE'S ENVIRONMENTAL FEATURES AND THE METHODS FOR MANAGING STORMWATER.
24. THE DEPARTMENT OF PLANNING AND ZONING HAS DETERMINED THE DISTURBANCE TO CONSTRUCT A 6" SEWER OUTFALL INTO SEWER MANHOLE 2055 AS A NECESSARY DISTURBANCE AND IS IN ACCORDANCE WITH SECTION 16.1616(VII) SINCE THE SEWER REASONABLY CONNECTS THE PROPERTY SEWERAGE TO THE ADJACENT PUBLIC SEWERAGE SYSTEM AND THE EXTENT OF THE DISTURBANCE IS LIMITED.



VICINITY MAP
SCALE: 1" = 2,000'

HOWARD COUNTY CONTROL STATIONS

306A	36AA
NORTHING: 566,053.5471	NORTHING: 562,804.8537
EASTING: 1,352,171.5307	EASTING: 1,349,906.1701
ELEVATION: 334.878	ELEVATION: 354.151
(LATEST ADJ. NOV. 2008)	(LATEST ADJ. NOV. 2008)

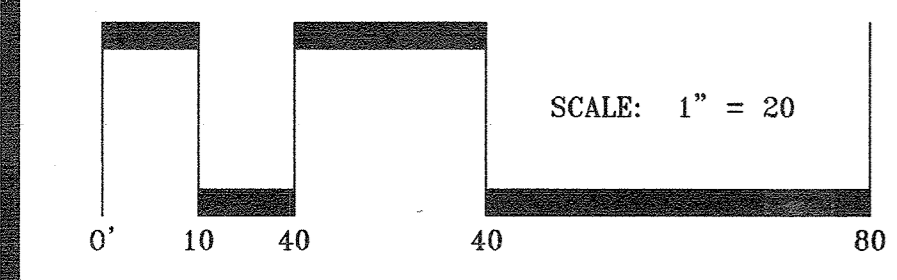
REDEVELOPMENT PHASE I

INDEX OF SHEETS (CONT'D)*	
8	DEMOLITION PLAN-PHASE I
4	PARTIAL SITE PLAN, SKM PLAN AND SITE DETAILS
10	HANDICAP ACCESSIBILITY DETAIL & ELEVATIONS
11	SKM NOTES AND DETAILS
12	SEDIMENT CONTROL PLAN
13	SEDIMENT CONTROL NOTES & DETAILS
14	ESD/SD DRAINAGE AREA MAP
15	UTILITY PROFILES
16	HARDSCAPE MATERIALS PLAN
17	PAVING PLAN
18	MATERIALS LAYOUT PLAN
19	HARDSCAPE DETAILS
20	HARDSCAPE DETAILS
21	HARDSCAPE DETAILS
22	RETAINING WALL FOUNDATION PLAN, ELEVATIONS AND GENERAL NOTES
23	RETAINING WALL SECTIONS AND TYPICAL DETAILS

* SEE SHEET 1 FOR INDEX OF SHEETS 1-7

SHEETS FOR REVISION 1

24	GRADING PLAN - REVISED LAWN GRADING AND WALL PLAN
25	SEDIMENT CONTROL PLAN - 2020 IMPROVEMENTS
26	WALL SECTIONS
27	WALL GENERAL NOTES
28	WALL SECTIONS



APPROVED: HOWARD COUNTY HEALTH DEPARTMENT
FOR PUBLIC WATER AND SEWER SYSTEMS

County Health Officer _____ Date _____

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: Jan. 22, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Frank K. Wagle 2/6/15
Director Date

Keith DeLoach 2-24-15
Chief, Division of Land Development Date

Chad E. Clark 2-19-15
Chief, Development Engineering Division Date

DATE	REVISION	BY	APP'R.
02-04-20	Rev sheet index for 2020 Plan changes	GL	AWL

DATE	REVISION	BY	APP'R.

PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10221 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044
ATTN: ROBERT JENKINS
410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931

EXPIRATION DATE: MAY 21, 2016

REDEVELOPMENT PHASE I

DEMOLITION PLAN

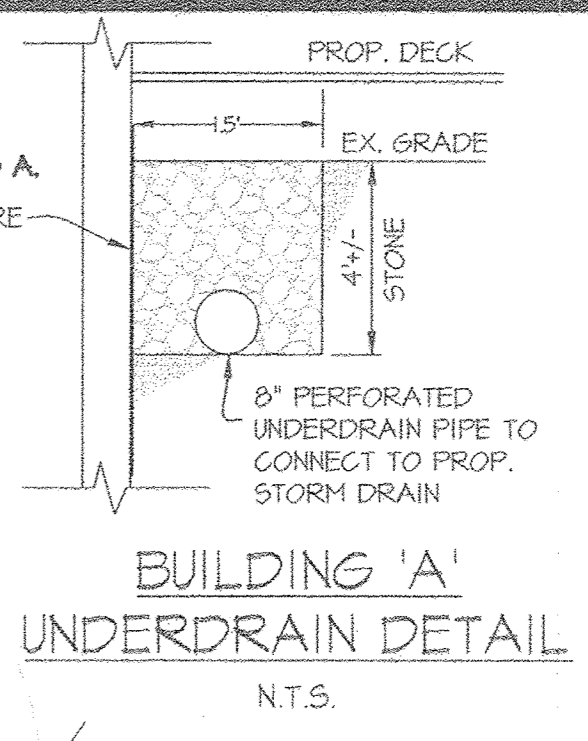
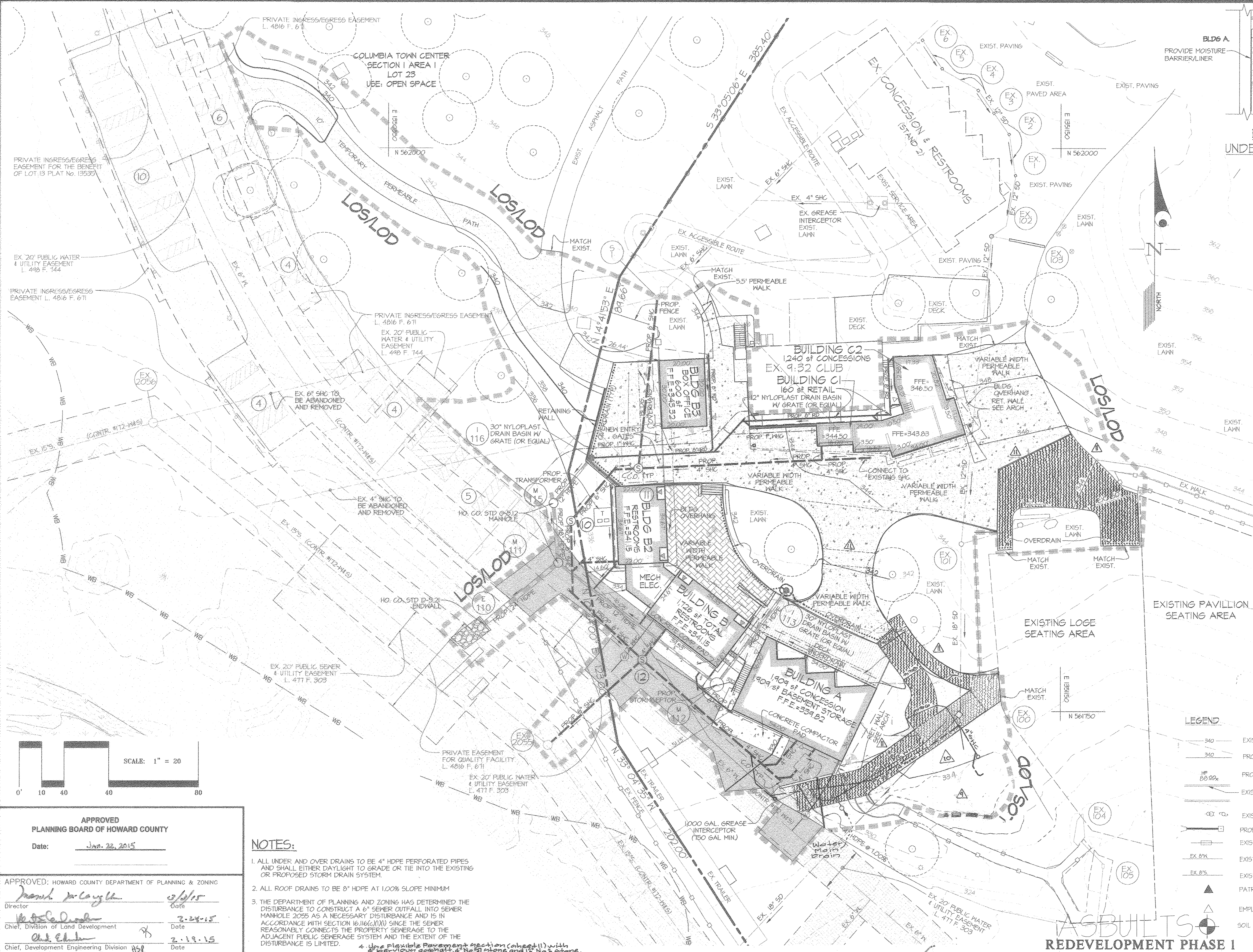
MERRIWEATHER POST PAVILION
CONCESSION, RESTROOM, BOX OFFICE AND STORAGE

TOWN CENTER
SECTION 1, LOT 13
PLAT No. 4305 and 4306

NO ASBUILT INFORMATION 11/10/2018

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
JAN. 2015	36-1	8 OF 28



P-5

PAVING NOTES:

- P-5 IS A HOWARD COUNTY R-2.01 SECTION DESIGNATION
- OTHER EQUIVALENT PAVING SECTIONS MAY BE USED WHEN APPROVED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

BITUMINOUS PAVING SECTION HEAVY DUTY SECTION

1.5\"/>

P-2

PAVING NOTES:

- P-2 IS A HOWARD COUNTY R-2.01 SECTION DESIGNATION
- OTHER EQUIVALENT PAVING SECTIONS MAY BE USED WHEN APPROVED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

BITUMINOUS PAVING SECTION LIGHT DUTY SECTION

1.5\"/>

P-3

PAVING NOTES:

- OTHER EQUIVALENT PAVING SECTIONS MAY BE USED WHEN APPROVED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

BITUMINOUS PAVING SECTION PEDESTRIAN DUTY SECTION

1.5\"/>

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12915, Expiration Date: May 26 2020.

u/l/18
Date

Carl K. Gylschick
Date

Carl K. Gylschick
Professional Engineer
Maryland Reg. No. 12915

EASEMENTS

PERMEABLE WALK & PAVING

HEAVY DUTY ASPHALT PAVING

LIGHT DUTY ASPHALT PAVING

PEDESTRIAN ASPHALT PAVING

CONCRETE PADS

PERMEABLE PAVERS

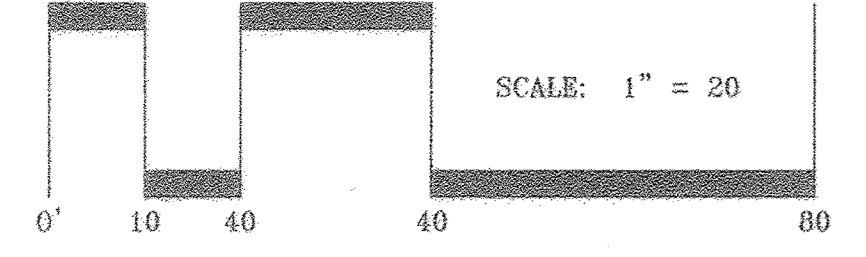
LOS/LOD

LIMIT OF SUBMISSION/DISTURBANCE

M-T-1

SWM ESD DEVICE IDENTIFICATION

- LEGEND**
- 340 EXISTING CONTOUR
 - 340 PROPOSED CONTOUR
 - HP 89.9x PROPOSED SPOT ELEV. (HP-HIGH PT.)
 - EXISTING CURB
 - EXISTING UTILITY/LIGHT POLE
 - PROP. STORM DRAIN
 - EXISTING STORM DRAIN
 - EXISTING WATER MAIN
 - EXISTING SEWER MAIN (DASHED LINE)
 - PATRON BUILDING ACCESS
 - EMPLOYEE ONLY BUILDING ACCESS
 - SOIL BORING LOCATION



APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: Jan. 23, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *David McLaughlin* Date: 2/1/15

Chief, Division of Land Development: *Michael Deane* Date: 2-24-15

Chief, Development Engineering Division: *Chris Edinger* Date: 2-19-15

NOTES:

- ALL UNDER AND OVER DRAINS TO BE 4\"/>
- ALL ROOF DRAINS TO BE 8\"/>
- THE DEPARTMENT OF PLANNING AND ZONING HAS DETERMINED THE DISTURBANCE TO CONSTRUCT A 6\"/>
- Use Flexible Pavement section (sheet 1) with 4\"/>

PREPARED FOR:

THE HOWARD HUGHES CORPORATION
10221 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044
ATTN: ROBERT JENKINS
410-964-4800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931, EXPIRATION DATE: MAY 21, 2016.

Carl K. Gylschick
Professional Engineer
Maryland Reg. No. 12915

REVISIONS

NO.	DATE	REVISION	BY	APPR.
1/1/15		Added Limit of Light Duty Asphalt	JK	DDG
2/1/15		Added 4\"/>	JK	DDG
11-6-2017		Remove rain garden	JK	DDG

REVISIONS

DATE: 11-6-2017

REVISION

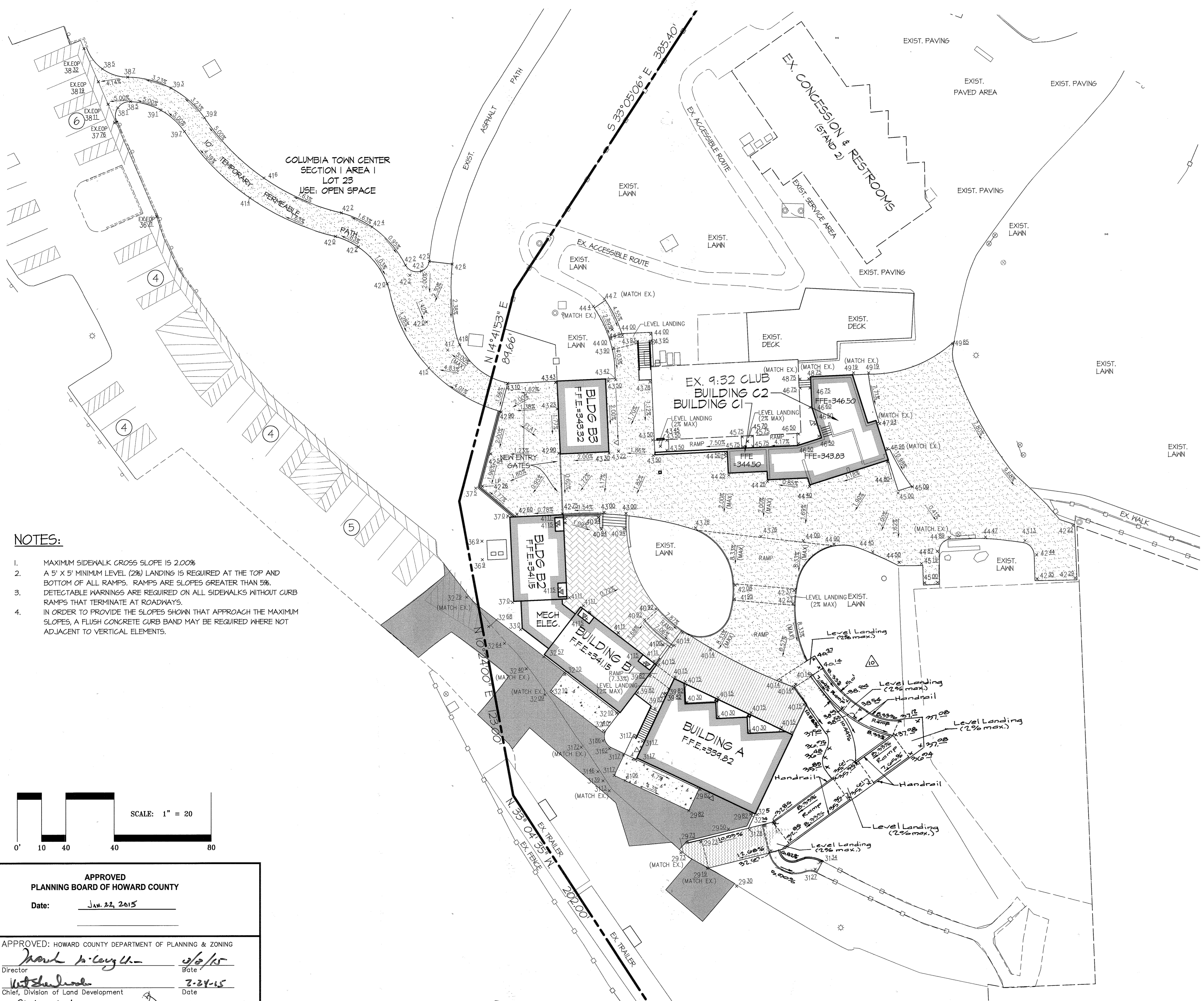
REVISSED SITE DEVELOPMENT PLAN, SWM PLAN AND SITE DETAILS

MERRIWEATHER POST PAVILION
CONCESSION, RESTROOM, BOX OFFICE AND STORAGE
TOWN CENTER
SECTION I, LOT 13
PLAT No. 4305 and 4306

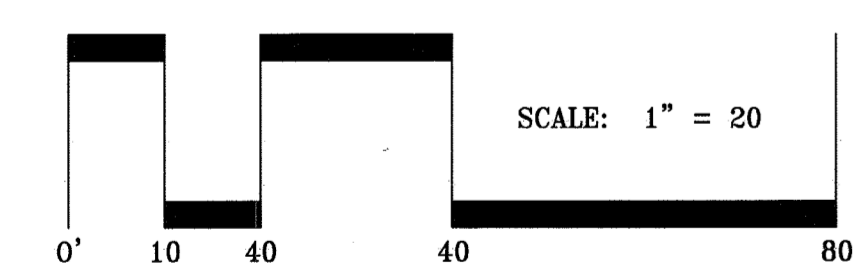
ELECTION DISTRICT No. 5

ASBUILT SHEET 2 OF 3

SCALE	ZONING	G. L. W. FILE NO.
1"=20'	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
NOV. 2018 JAN. 2015	36-1	9 OF 28



- NOTES:**
1. MAXIMUM SIDEWALK CROSS SLOPE IS 2.00%
 2. A 5' X 5' MINIMUM LEVEL (2%) LANDING IS REQUIRED AT THE TOP AND BOTTOM OF ALL RAMP. RAMP ARE SLOPES GREATER THAN 5%.
 3. DETECTABLE WARNINGS ARE REQUIRED ON ALL SIDEWALKS WITHOUT CURB RAMP THAT TERMINATE AT ROADWAYS.
 4. IN ORDER TO PROVIDE THE SLOPES SHOWN THAT APPROACH THE MAXIMUM SLOPES, A FLUSH CONCRETE CURB BAND MAY BE REQUIRED WHERE NOT ADJACENT TO VERTICAL ELEMENTS.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: Jan. 22, 2015

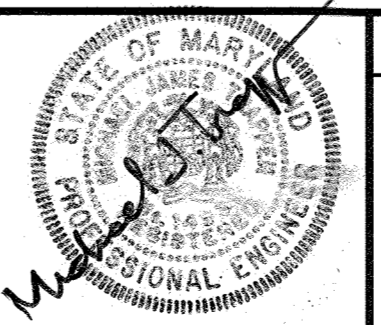
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Paul A. Coughlin 2/6/15
 Chief, Division of Land Development: W. J. [Signature] 2-24-15
 Chief, Development Engineering Division: Chad [Signature] 2-6-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-386-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
5/2/15	Revised Ramp	WJ	

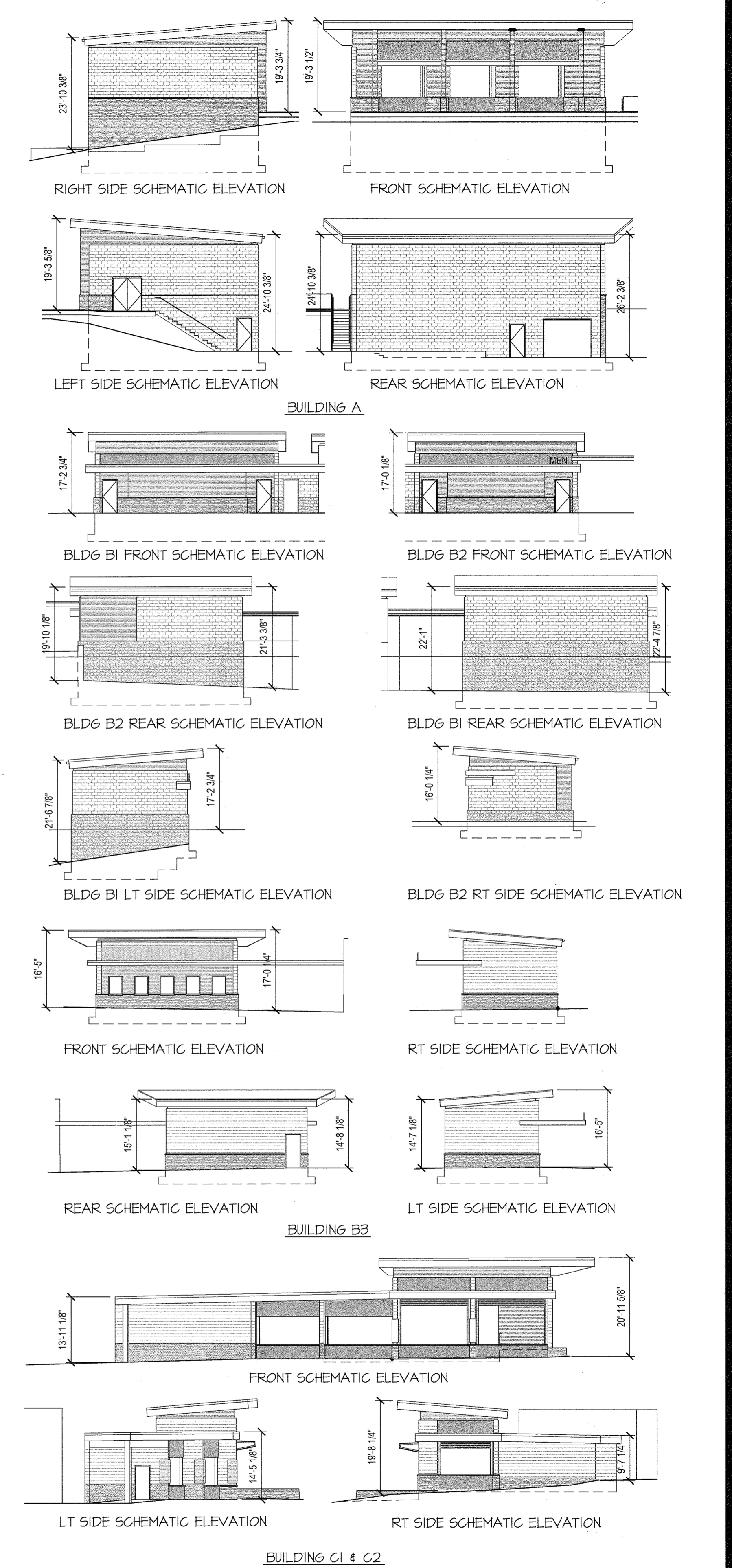
PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10221 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: ROBERT JENKINS
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
 EXPIRATION DATE: MAY 21, 2016



REDEVELOPMENT PHASE 1
ACCESSIBILITY AND BUILDING ELEVATIONS NO ASBUILT
MERRIWEATHER POST PAVILION INFORMATION
CONCESSION, RESTROOM, BOX OFFICE AND STORAGE 11/16/2018
TOWN CENTER
SECTION 1, LOT 13
PLAT No. 4305 and 4306
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=20'	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
JAN. 2015	36-1	10 OF 28



B.4.B Specifications for Permeable Pavements

These specifications include information on acceptable materials for typical applications and are not exclusive or limiting. The designer is responsible for developing detailed specifications for individual projects and specific conditions.

1. Preliminary Concrete Specifications

Design Thickness - Permeable concrete applications shall be designed so that the thickness of the concrete slab support the traffic and vehicle types that will be carried. Applications may be designed using either standard pavement procedures (e.g. AASHTO A1 325.4R, A1 330.0R) or using structural values derived from flexible pavement design procedures.

Mix & Installation - Traditional Portland cements (ASTM C 150, C 1151) may be used in permeable concrete applications. Phosphorus admixtures may also be used. Materials should be tested (e.g. trial batching) prior to construction so that critical properties (e.g., setting time, rate of strength development, porosity, permeability) can be determined.

Aggregate - Permeable concrete contains a limited aggregate content. Commonly used gradations include ASTM C 33 No. 61 (3/4 in. to No. 4) No. 8 (3/8 in. to No. 16) and No. 20 (1/4 in. to No. 30) sieves. Single-sized aggregate (up to 1 inch) may also be used.

Water Content - Water-to-cement ratios between 0.21 and 0.30 are used routinely with proper inclusion of chemical admixtures. Water quality should meet ACI 308. As a general rule, potable water should be used although recycled concrete production water meeting ASTM C 94 or AASHTO M 151 may also be used.

Admixtures - Chemical admixtures (e.g., retarders or hydration-stabilizers) are used to obtain special properties in permeable concrete. Use of admixtures should meet ASTM C 494 (chemical admixtures) and ASTM C 260 (air entraining admixtures) and closely follow manufacturer's recommendations.

Base Course - The base course shall be AASHTO No. 3 or 4 course aggregate with an assumed open pore space of 30% (n = 0.30).

2. Permeable Interlocking Concrete Pavements (PICP)

Paver Blocks - Blocks should be either 3 1/2 in. or 4 in. thick, and meet ASTM C 936 or CSA A231.2 requirements. Applications should have 20% or more (40% preferred) of the surface area open. Installation should follow manufacturer's instructions, except that infill and base course materials and dimensions specified in this Appendix shall be followed.

Infill Materials and Leveling Course - Openings shall be filled with ASTM C-93 graded sand or sandy loam. PICP blocks shall be placed on a one-inch thick leveling course of ASTM C-93 sand.

Base Course - The base course shall be AASHTO No. 3 or 4 course aggregate with an assumed open pore space of 30% (n = 0.30).

Reinforced Concrete Pavement (RCP) - When used with grass or gravel, the RCP thickness shall be at least 1 3/4" thick with a load capacity capable of supporting the traffic, and vehicle types that will be carried.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- a. The Owner shall periodically sweep (or vacuum porous concrete pavement) the pavement surfaces to reduce sediment accumulation and ensure continued surface porosity. Sweeping should be performed at least twice annually with a commercial cleaning unit. Washing or compressed air units should not be used to perform surface cleaning.
b. The Owner shall periodically clean drainage pipes, inlets, stone edge drains and other structures within or draining to the subsurface.
c. The Owner shall use deicers in moderation. Deicers should be non-toxic and be applied either as calcium magnesium acetate or as pre-treated salt.
d. The Owner shall ensure snow plowing is performed carefully with blades set one inch above the surface. Plowed snow piles and snowmelt should not be directed to permeable pavement.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

- a. Maintenance of areas receiving disconnected runoff is generally no different than that required for other lawn or landscaped areas. The Owner shall ensure the area receiving runoff are protected from future compaction or development of impervious area. In commercial areas, foot traffic should be discouraged as well.

OPERATION AND MAINTENANCE SCHEDULE FOR RAIN GARDENS (M-7)

- a. The Owner shall maintain the plant material, mulch layer and soil layer annually. Maintenance of mulch and soil is limited to correcting areas of erosion or wash out. Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address and control as needed. Acceptable replacement plant material is limited to the following: 2000 Maryland Stormwater Design Manual Volume II, Table 4.1 and 2.
b. The Owner shall perform a plant in the spring and in the fall of each year. During the design, the Owner shall remove diseased or stressed vegetation considered beyond treatment, replace dead plant material with acceptable replacement plant material, treat diseased trees and shrubs, and replace all deficient stakes and wires.
c. The Owner shall inspect the mulch each spring. The mulch shall be replaced every two to three years. The previous mulch layer shall be removed before the new layer is applied.
d. The Owner shall correct soil erosion on an as needed basis, with a minimum of once per month and after each heavy storm.

APPROVED PLANNING BOARD OF HOWARD COUNTY
Date: Jan 23 2015
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: Dawn A. Layton Date: 2/6/15
Chief, Division of Land Development: [Signature] Date: 2/24/15
Chief, Development Engineering Division: [Signature] Date: 2/24/15

GLWGUTSCHY LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE, SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20884
TEL: 301-421-4024 FAX: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186
11-06-2018 REVISED STORMWATER MANAGEMENT DATA, UPDATED DETAIL
11-09-18 Update SWM Table
11-09-2017 Remove Rain Garden

B.4.B Specifications for Rain Gardens

1. Material Specifications

The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filling Media or Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the micro-bioretentation practice that may be harmful to plant growth, or grove & hazardous to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification)
Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%)
Clay Content - Media shall have a clay content of less than 5%.
pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled soil. If topsoil is imported, then a textural analysis shall be performed for each location where the topsoil was excavated.

3. Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoists to remove original soil. If practices are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper or subsoiler. These tilling operations are to restructure the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Dump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention facility. Heavy equipment can be used around the perimeter of the basin to supply soil and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Material

Recommended plant material for micro-bioretentation practices can be found in Appendix A, Section A.2.3.

5. Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/3rd of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground level cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers, deicers, or at a minimum, impedes this goal. Only acid fertilizers or wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains should meet the following criteria:

Pipe - Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 158, Type PS 20, or AASHTO M-218) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
Perforations - If perforated pipe is used, perforations should be 1/2" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with 4" (No. 4 or 4x4) galvanized hardware cloth.
Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
The main collector pipe shall be at a minimum 0.5% slope.

A rigid, non-perforated observation well must be provided (one per every 1000 square feet) to provide a clean-out port and monitor performance of the filter.

A 4" layer of pea gravel (1/2" to 3/4" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

These practices may not be constructed until all contributing drainage area has been stabilized.

Table B.4.1 Materials Specifications for Micro-Bioretentation, Rain Gardens & Landscape Infiltration. Columns: Material, Specification, Size, Notes. Rows include Plantings, Planting soil, Organic content, Mulch, Pea gravel diaphragm, Curtain drain, Geotextile, Gravel (underdrains and infiltration berms), Underdrain piping, Paired in place concrete (if required), Sand.

ANNEX B.1.1 - SUPPLEMENTAL POND SPECIFICATIONS (NON-378)

SUPPLEMENTAL STORMWATER PONDS AND WETLAND SPECIFICATIONS (NON-378) THESE NOTES AND SPECIFICATIONS ARE IN ADDITION TO THE MD-378 SPECIFICATIONS. IF THERE IS ANY QUESTIONS AS TO THE APPLICABILITY, THE MD-378 SPECIFICATIONS SHALL APPLY.

- 1. IT IS PREFERRED TO USE THE SAME MATERIAL IN THE EMBANKMENT AS IS BEING INSTALLED FOR THE CORE TRENCH. IF THIS IS NOT POSSIBLE BECAUSE THE APPROPRIATE MATERIAL IS NOT AVAILABLE, A DAM CORE WITH A SHALE MAY BE USED. THE CROSS-SECTION OF THE STORMWATER FACILITY SHOULD SHOW THE LIMITS OF THE DAM CORE (UP TO 10-YEAR WATER SURFACE ELEVATION) AS WELL AS THE ACCEPTABLE MATERIALS FOR THE SHOULDER. THE SHAPE OF THE DAM CORE AND THE MATERIAL TO BE USED IN THE SHOULDER SHOULD BE PROVIDED BY THE GEOTECHNICAL ENGINEER.
2. IF THE COMPACTION TESTS FOR THE SITE IMPROVEMENTS IS USING MODIFIED PROCTOR (ASTM D 1585), THEN TO MAINTAIN ON-SITE CONSISTENCY, THE MODIFIED PROCTOR MAY BE USED INSTEAD OF A STANDARD PROCTOR (ASTM D 1557). THE MINIMUM DENSITY USING THE MODIFIED PROCTOR TEST METHOD SHALL BE AT LEAST 92% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF 1% OF THE OPTIMUM. THE MINIMUM DENSITY USING THE STANDARD PROCTOR TEST METHOD SHALL BE AT LEAST 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF 2% OF THE OPTIMUM.
3. FOR ALL STORMWATER MANAGEMENT FACILITIES, A GEOTECHNICAL ENGINEER OR THEIR REPRESENTATIVE MUST BE PRESENT TO VERIFY COMPACTION IN ACCORDANCE WITH THE SELECTED TEST METHOD. ADDITIONAL INFORMATION NEEDS TO BE PROVIDED IN A REPORT TO THE DESIGN ENGINEER, SO THAT CERTIFICATION OF THE CONSTRUCTION OF THE FACILITY, IN ACCORDANCE WITH MD-378 SPECIFICATIONS, CAN BE MADE.
4. A 4-INCH LAYER OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED AREAS OF THE DAM EMBANKMENT. SEEDING, LIMING, FERTILIZING, MULCHING, ETC. SHALL BE IN ACCORDANCE WITH MARYLAND SOIL CONSERVATION SERVICE (SCS) 143 OR THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. PERMANENT SEEDING, SECTION IN CHAPTER 20 OF THE PURPOSE OF THE TOPSOIL IS TO ESTABLISH A GOOD GROWTH OF GRASS, WHICH IS NOT ALWAYS POSSIBLE WITH SOME OF THE MATERIALS THAT MAY BE PLACED FOR THE EMBANKMENT FILL.
5. GEOTEXTILE PLACED BENEATH RIP-RAP SHALL BE CLASS "C" GEOTEXTILE OR BARRIER (SEE SECTION 24.0, MATERIAL SPECIFICATIONS, 1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (MD-108)). SOME ACCEPTABLE GEOTEXTILES THAT MEET THE CLASS "C" CRITERIA INCLUDE:
AMDOO 4552 CARTRIDGE FX-705
CELECON 1070 MIRAFI 190-N
WEBTEC 107

THIS IS ONLY A PARTIAL LISTING OF AVAILABLE GEOTEXTILES BASED ON INFORMATION PROVIDED BY THE MANUFACTURERS OF THE 1997 SPECIFIER'S GUIDE DATED DECEMBER 1996. IT IS THE RESPONSIBILITY OF THE ENGINEER TO VERIFY THE ADEQUACY OF THE MATERIAL, AS THERE ARE CHANGES IN THE MANUFACTURING PROCESS AND THE TYPE OF FABRIC USED WHICH MAY AFFECT THE CONTINUED ACCEPTANCE.

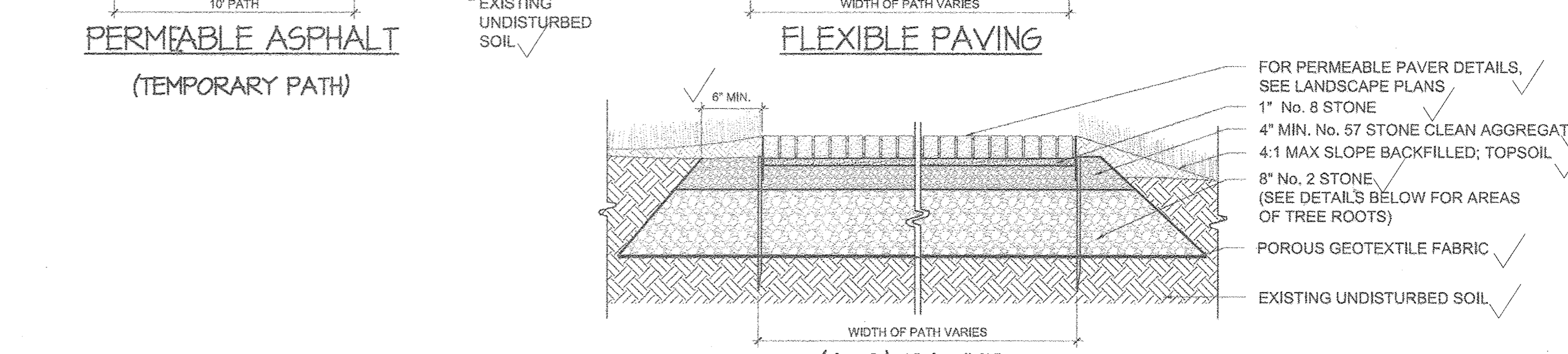
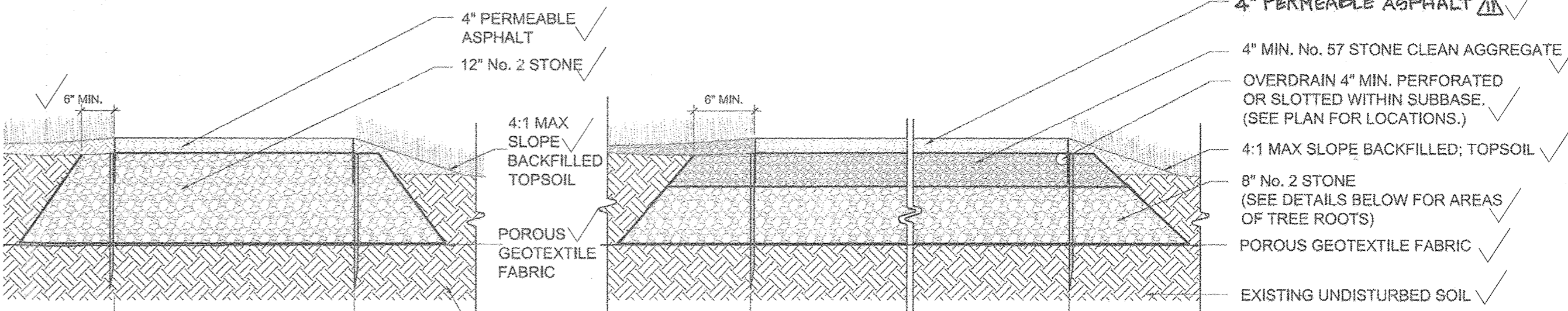
- 6. A RULE OF THUMB TO DETERMINE WHETHER AN EXCAVATED POND MAY NEED TO BE CONSIDERED AN EMBANKMENT POND IS AS FOLLOWS: PROVIDE CALCULATION OF 10H/4L WHERE H=HEIGHT FROM POND BOTTOM TO TOP OF DAM. IF THE RESULT IS 1, DOWNSTREAM IS A HORIZONTAL LINE FROM THE HEAD OF THE DAM TO THE TOE OF THE DAM. IF THE RESULT IS GREATER THAN 1, DOWNSTREAM IS A SLOPE. IN ADDITION, THE EXISTING GROUND SLOPE DOWNSTREAM OF THE TOE, MUST BE LESS THAN 10%.
7. THE DESIGN ENGINEER AND GEOTECHNICAL ENGINEER SHOULD MAKE THE DETERMINATION THAT THE SETTLEMENT OF THE POND DOES NOT CAUSE EXCESSIVE JOINT EXTENSION. FOR FURTHER INFORMATION ON JOINT ANALYSIS, SEE NRCC PUBLICATION TR-18.
8. FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 8-INCH. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE EMBANKMENT.
9. THE EMBANKMENT FILL SHALL NOT BE PLACED HIGHER THAN THE CENTERLINE OF THE PRINCIPAL SPILLWAY UNTIL AFTER THE PRINCIPAL SPILLWAY HAS BEEN COMPLETED. IF THE EMBANKMENT NEEDS TO BE EXCAVATED TO INSTALL THE PRINCIPAL SPILLWAY, THE SIDE SLOPE SHALL BE NO LESS THAN 2:1.
10. THE SIDE SLOPES OF A CUT TO REPAIR A DAM, INSTALL A PRINCIPAL SPILLWAY FOR AN EXCAVATED POND, OR OTHER REPAIR WORK, SHALL BE NO LESS THAN 2:1.

STORMCEPTOR OPERATION AND MAINTENANCE SCHEDULE

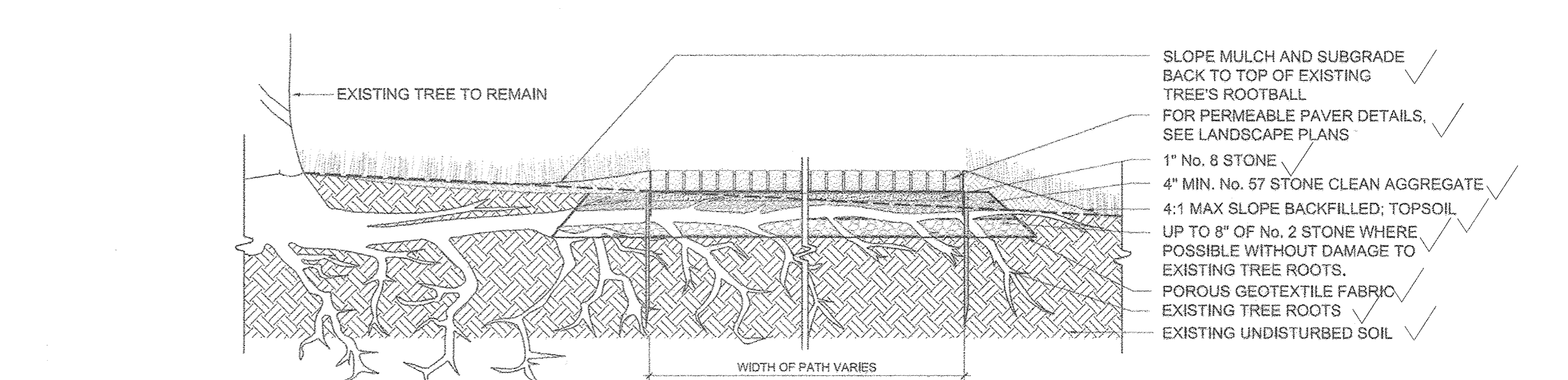
NOTE: COMPONENTS ARE TO BE INSPECTED QUARTERLY

Table with 4 columns: FACILITY COMPONENT REQUIRING MAINTENANCE, MAINTENANCE ACTIVITY, WHEN MAINTENANCE ACTIVITY IS REQUIRED, EXPECTED FACILITY PERFORMANCE AFTER MAINTENANCE. Rows include STORAGE MANIFOLD, PIPING FITTINGS AND CONTROL DEVICES, STORMCEPTOR.

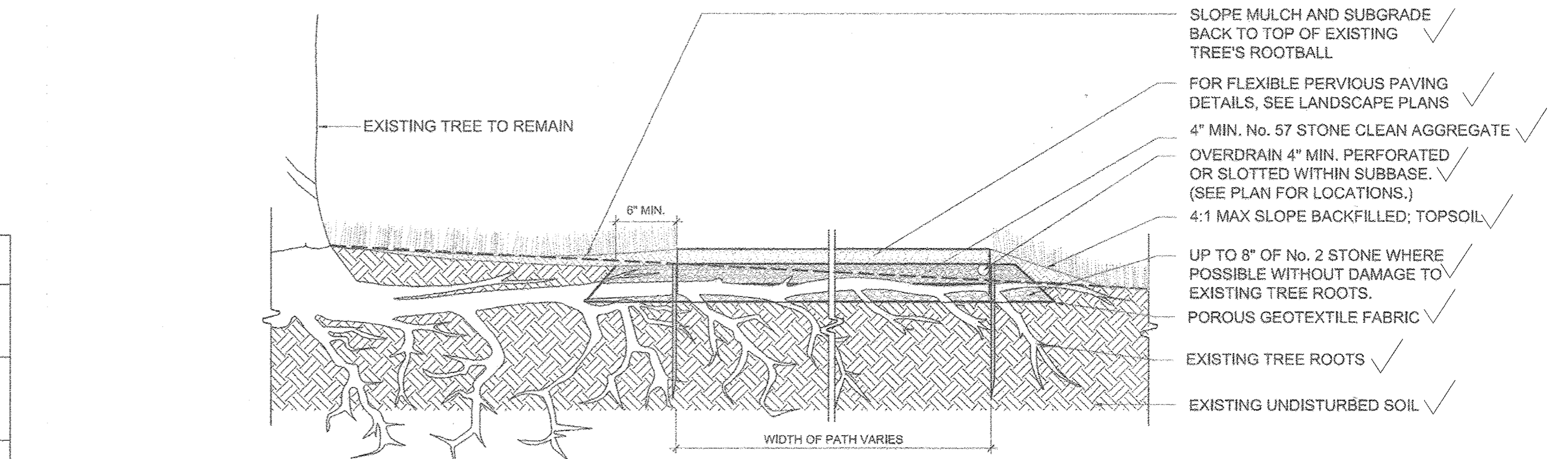
STORMWATER MANAGEMENT REQUIREMENTS
STUDY AREA: 39,118 SF
EX. IMPERVIOUS AREA: 19,900 SF
(SITE IS GREATER THAN 40% IMPERVIOUS, RE-DEVELOPMENT CRITERIA APPLIES).
PROPOSED IMPERVIOUS AREA: 11,881 SF
NET IMPERVIOUS: 7,921 SF
SITE IS 100% B SOILS. TARGET P2 FOR NEW IMPERVIOUS IS 2.6"
ESDV REQUIREMENT = 50% * 11,881 SF = 1,190 SF (1" TREATMENT)
5,981 SF (2.6" TREATMENT) = 1,800 CF.
STORMWATER MANAGEMENT PROVIDED
ESD TREATMENT BY DEVICE
(A-2) POROUS PAVEMENT (1,188 SF): 2,349 CU-FT.
TOTAL: 2,349 CU-FT.
EXCESS ESDV AVAILABLE FOR OTHER PHASES: 2,349 CF - 1,800 CF = 489 CF.
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 129175, EXPIRATION DATE: MAY 26, 2020.



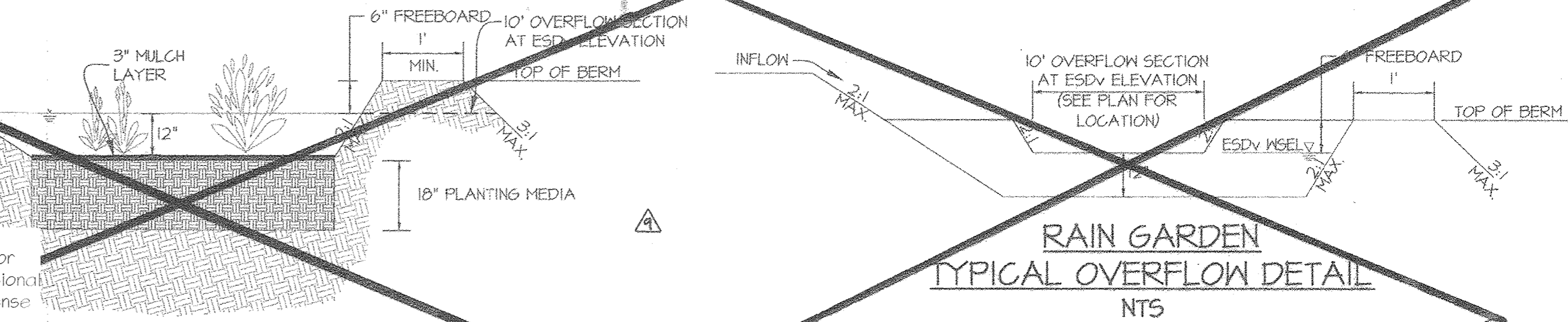
(A-2) PAVER TYPICAL 12" PERMEABLE PAVEMENT SECTIONS (FOR ROOT AREAS, SEE DETAILS THIS SHEET) NTS



PERMEABLE PAVEMENT (A-2)-PAVER IN ROOT AREAS DETAIL NTS



PERMEABLE PAVEMENT-FLEXIBLE PAVING IN ROOT AREAS DETAIL NTS



RAIN GARDEN TYPICAL OVERFLOW DETAIL NTS

RAIN GARDEN TYPICAL CROSS SECTION NTS

REDEVELOPMENT PHASE I SWM NOTES, DETAILS AND MAINTENANCE SCHEDULES
MERRIWEATHER POST PAVILION CONCESSION, RESTROOM, BOX OFFICE AND STORAGE TOWN CENTER SECTION 1, LOT 13 PLAT No. 4305 and 4306
SCALE: AS SHOWN, ZONING: NT OPEN SPACE, G. L. W. FILE No.: 11072
DATE: NOV. 2018, TAX MAP - GRID: 36-1, SHEET: 11 OF 28
HOWARD COUNTY, MARYLAND

15:03:00 2/18/2015 3:17 PM, LAST SAVED: 2/18/2015 3:10 PM, PLOTTED BY: [Signature]

NOTES:
 1. ALL SEDIMENT CONTROLS ARE TO BE REPAIRED AT THE END OF EACH WORK DAY OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR.

SOILS DELINEATION
GbC GLADSTONE LOAM, 8-15% SLOPES
McD MAJOR LOAM, 15-25% SLOPES

SEDIMENT CONTROL LEGEND
 --- 340 --- EXISTING CONTOUR
 --- 340 --- PROPOSED CONTOUR
 ● LOD ● LIMIT OF DISTURBANCE
 --- SSF --- SUPER SILT FENCE
 [SCE] STABILIZED CONSTRUCTION ENTRANCE

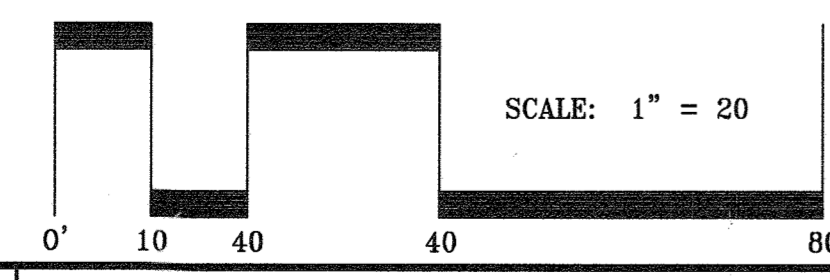
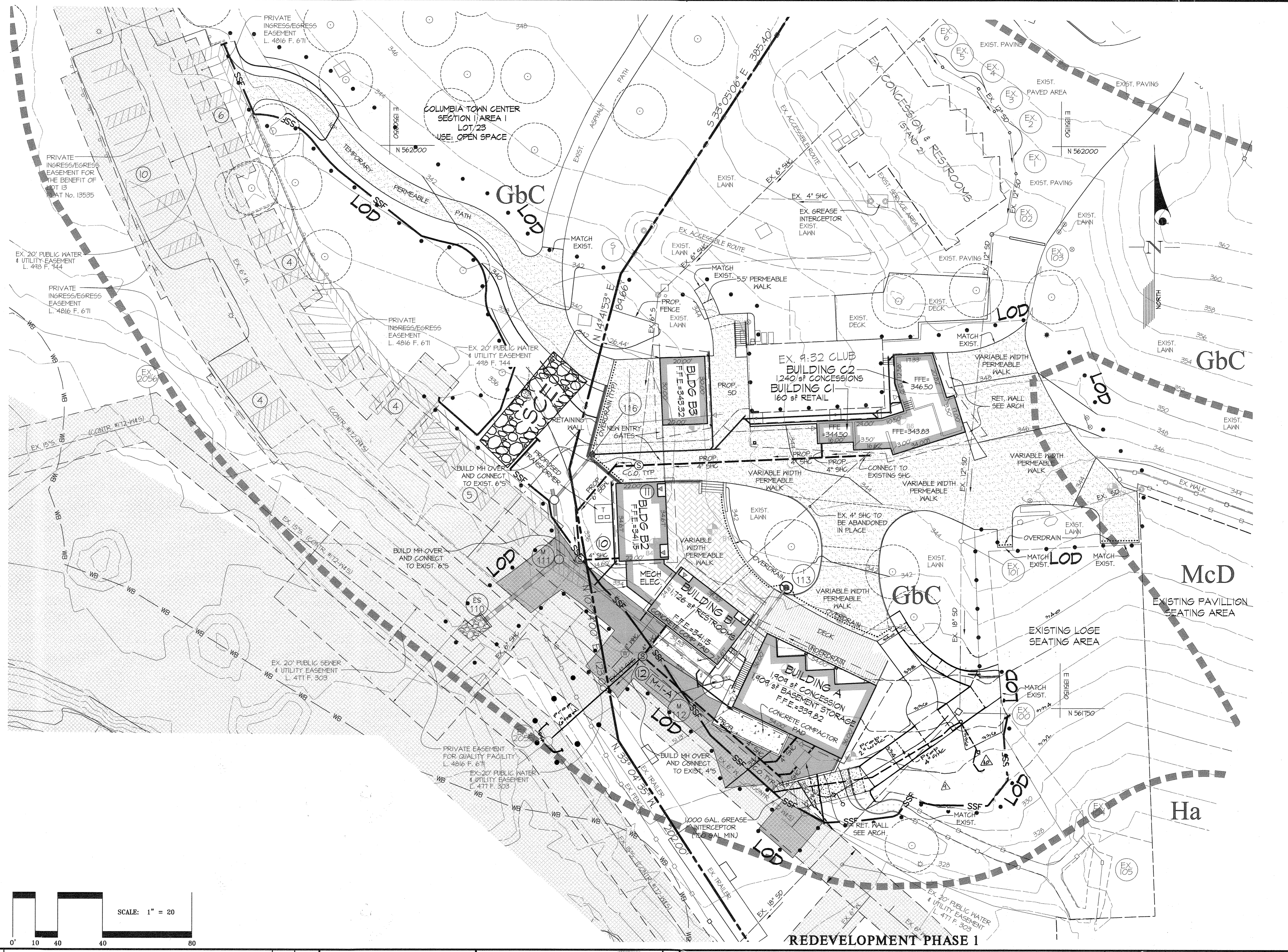
This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
John R. Johnston 1/27/15
 Howard S.C.D. Date

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Michael J. Tracy 1/26/15
 Signature of Registered Engineer Date

DEVELOPER'S/BUILDER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION.
x Robert J. Jankovic 1/26/15
 SIGNATURE OF DEVELOPER/BUILDER DATE

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: JAN. 22, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
David D. Lynch 1/26/15
 Director Date
V. J. ... 2-24-15
 Chief, Division of Land Development Date
Chad ... 2-6-15
 Chief, Development Engineering Division Date



GLW GUTSCHICK LITTLE & WEBER, P.A.			
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS			
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK			
BURTONSVILLE, MARYLAND 20866			
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186			
DATE	REVISION	BY	APPR.
11.6.2011	Added 4" GHC + 2" WHC	9+	DD
11.6.2011	Remove rain garden	9+	DD

PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10221 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: ROBERT JENKINS
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14937, EXPIRATION DATE: MAY 21, 2016.
Michael J. Tracy
 PROFESSIONAL ENGINEER

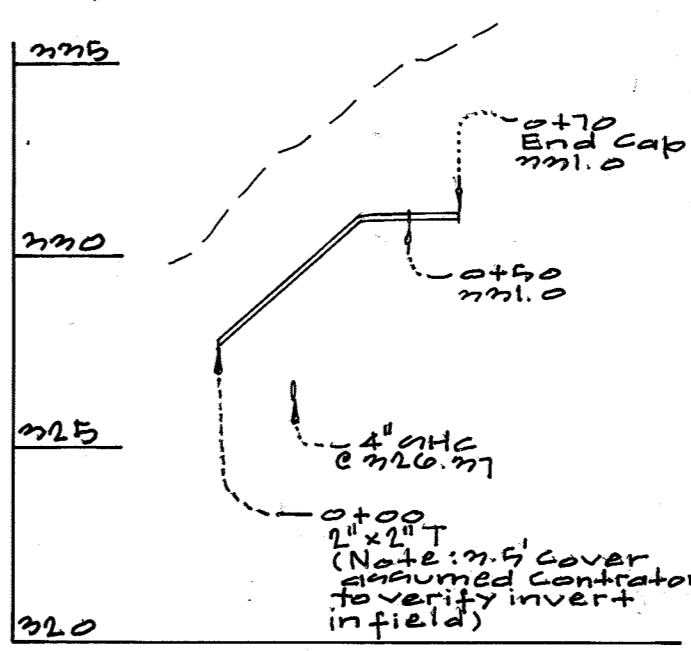
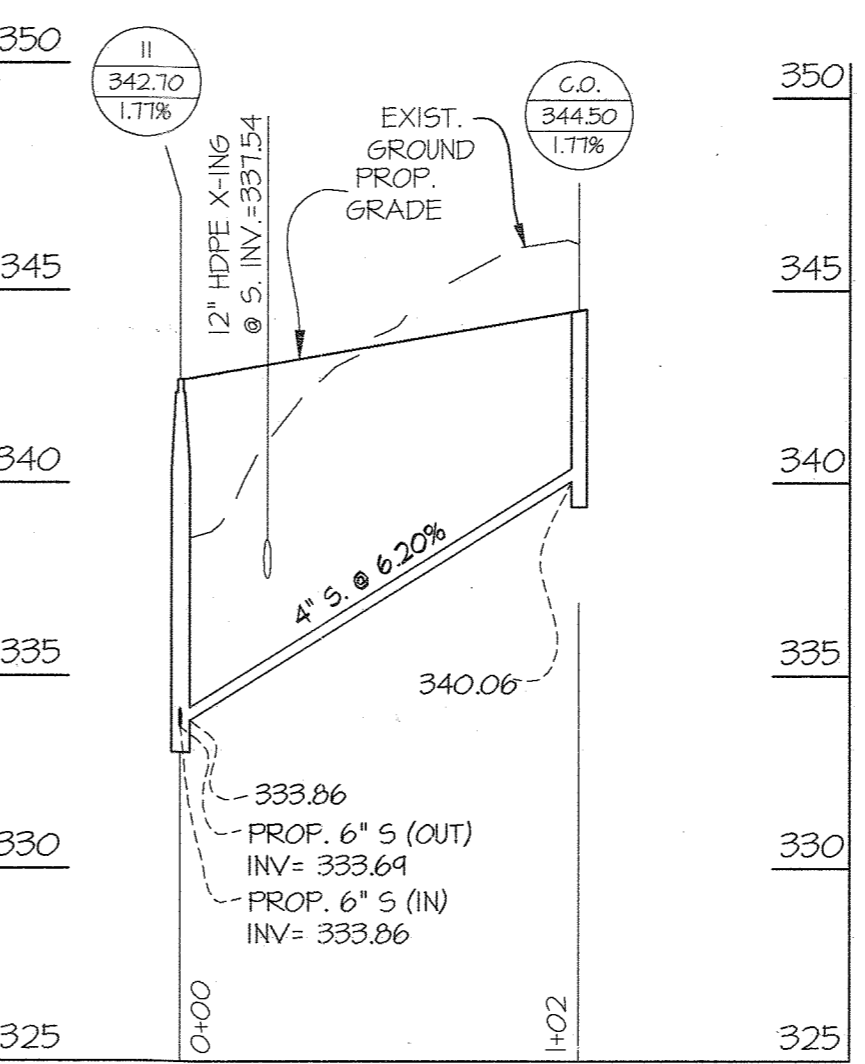
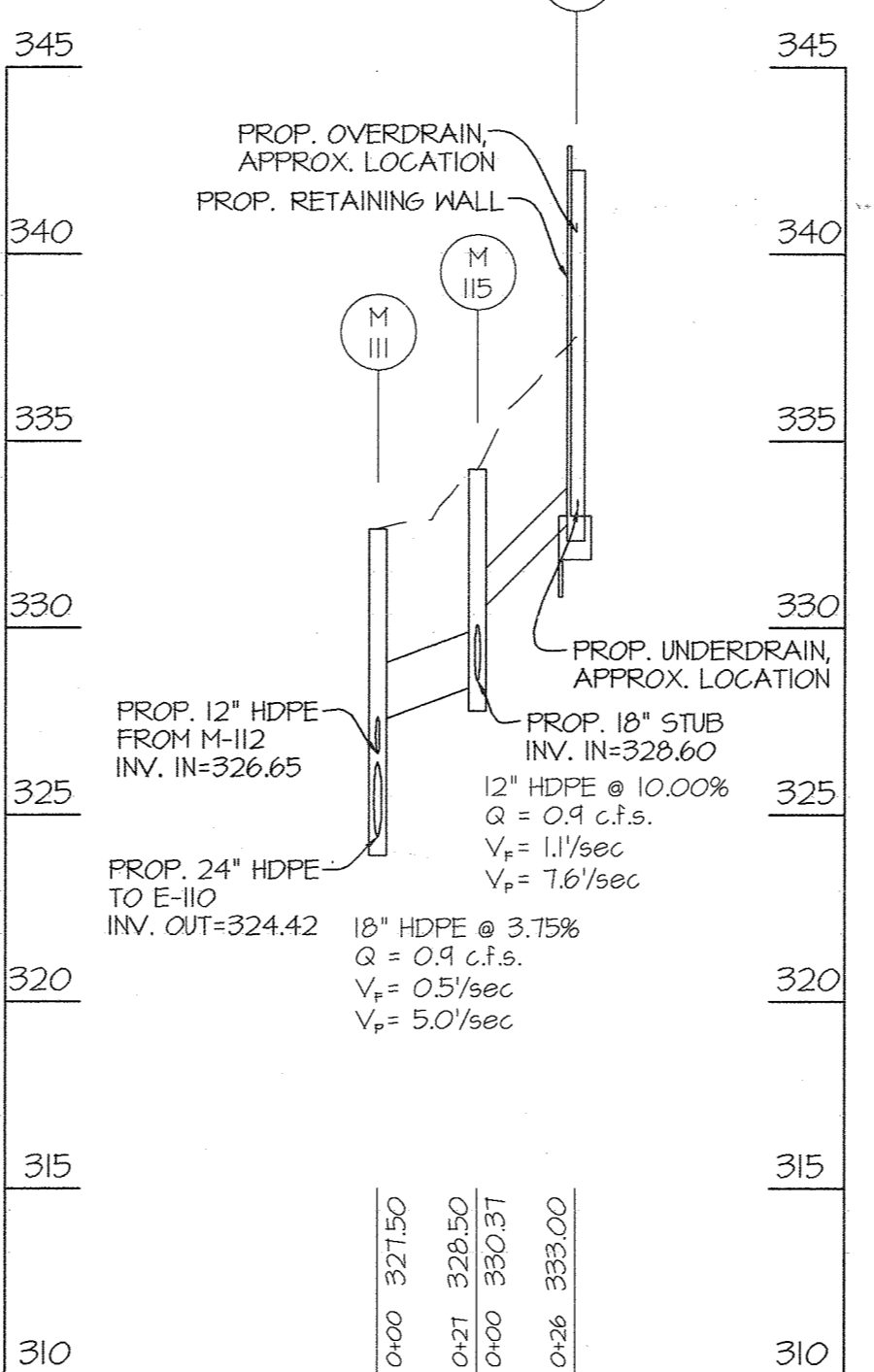
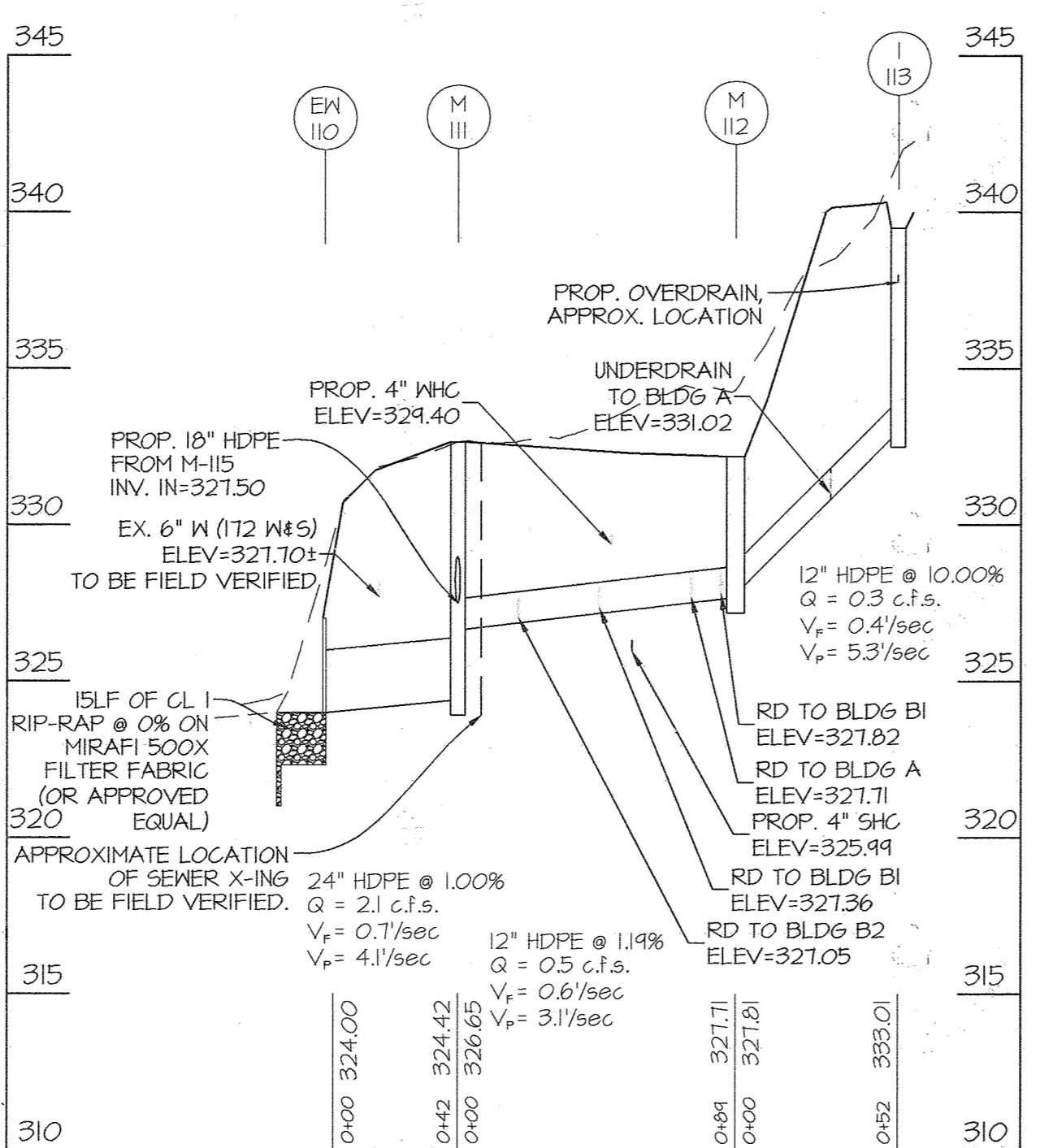
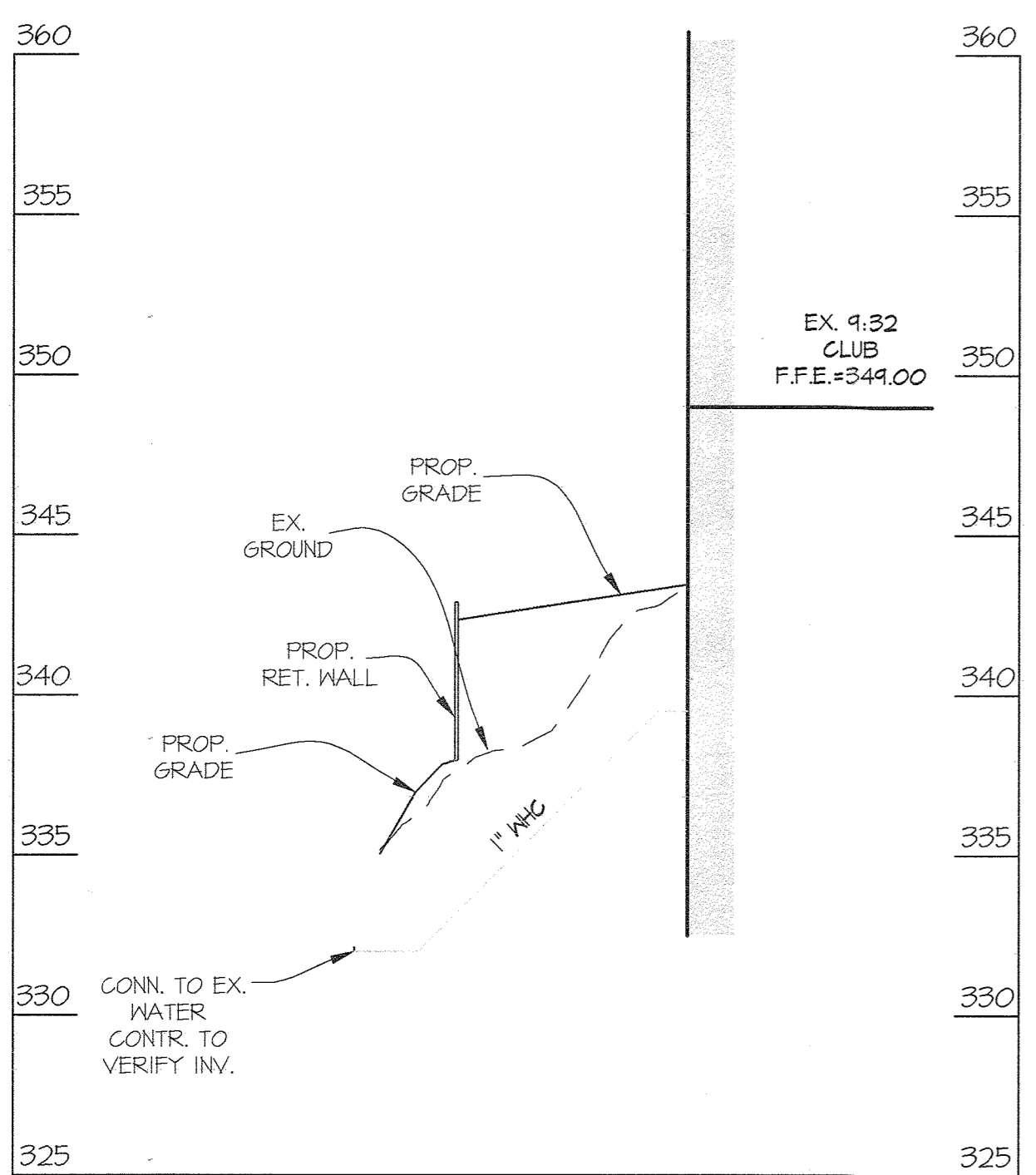
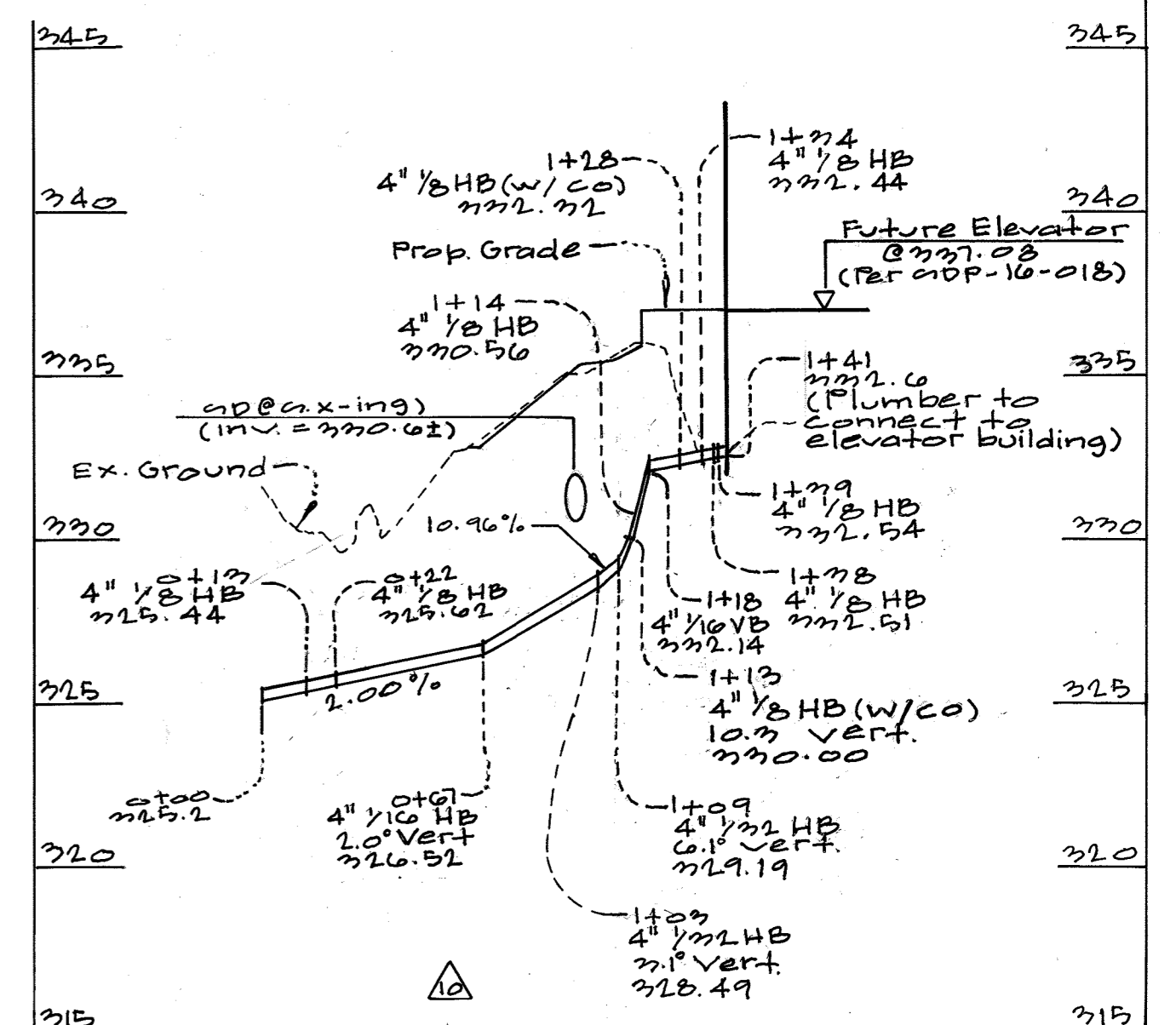
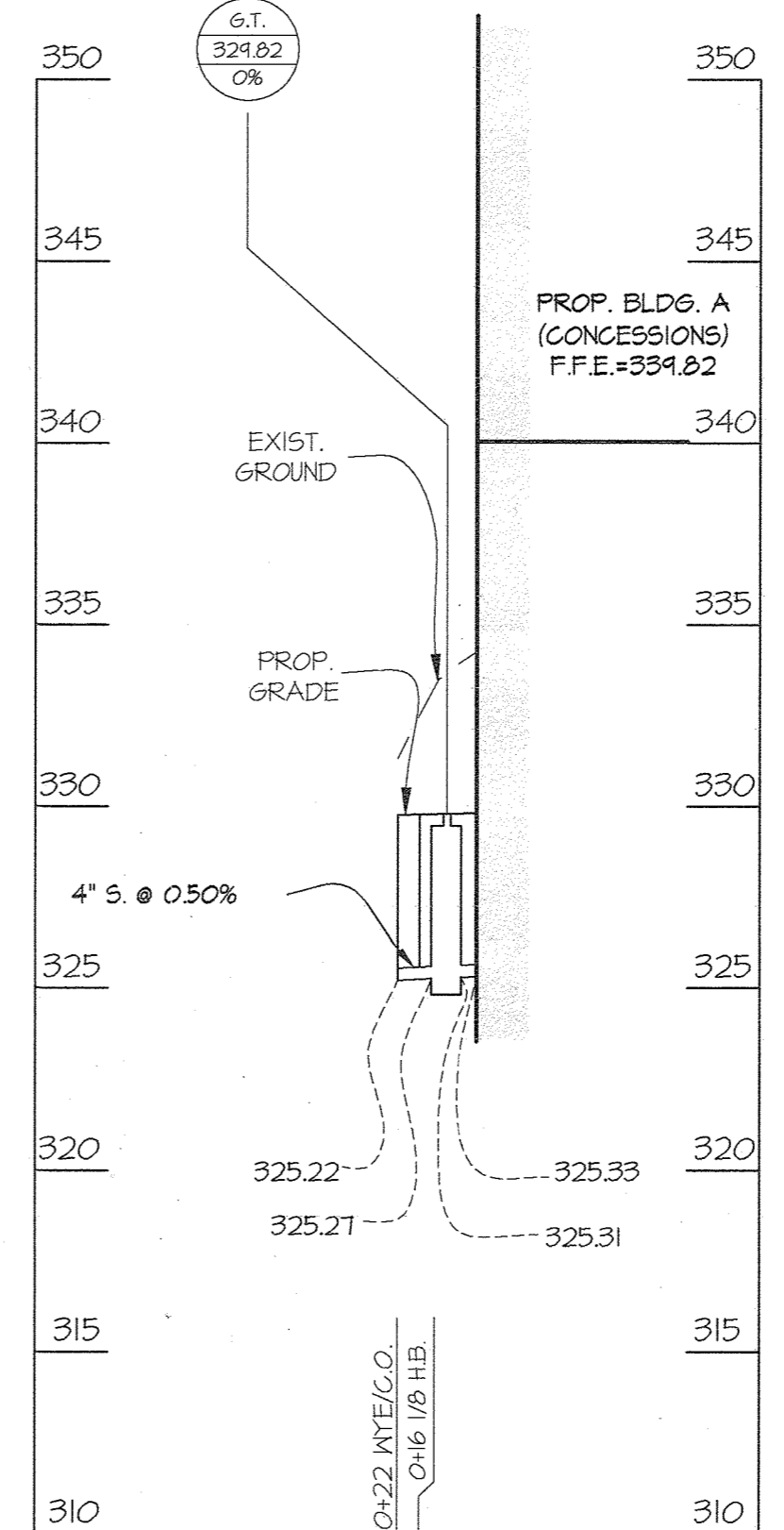
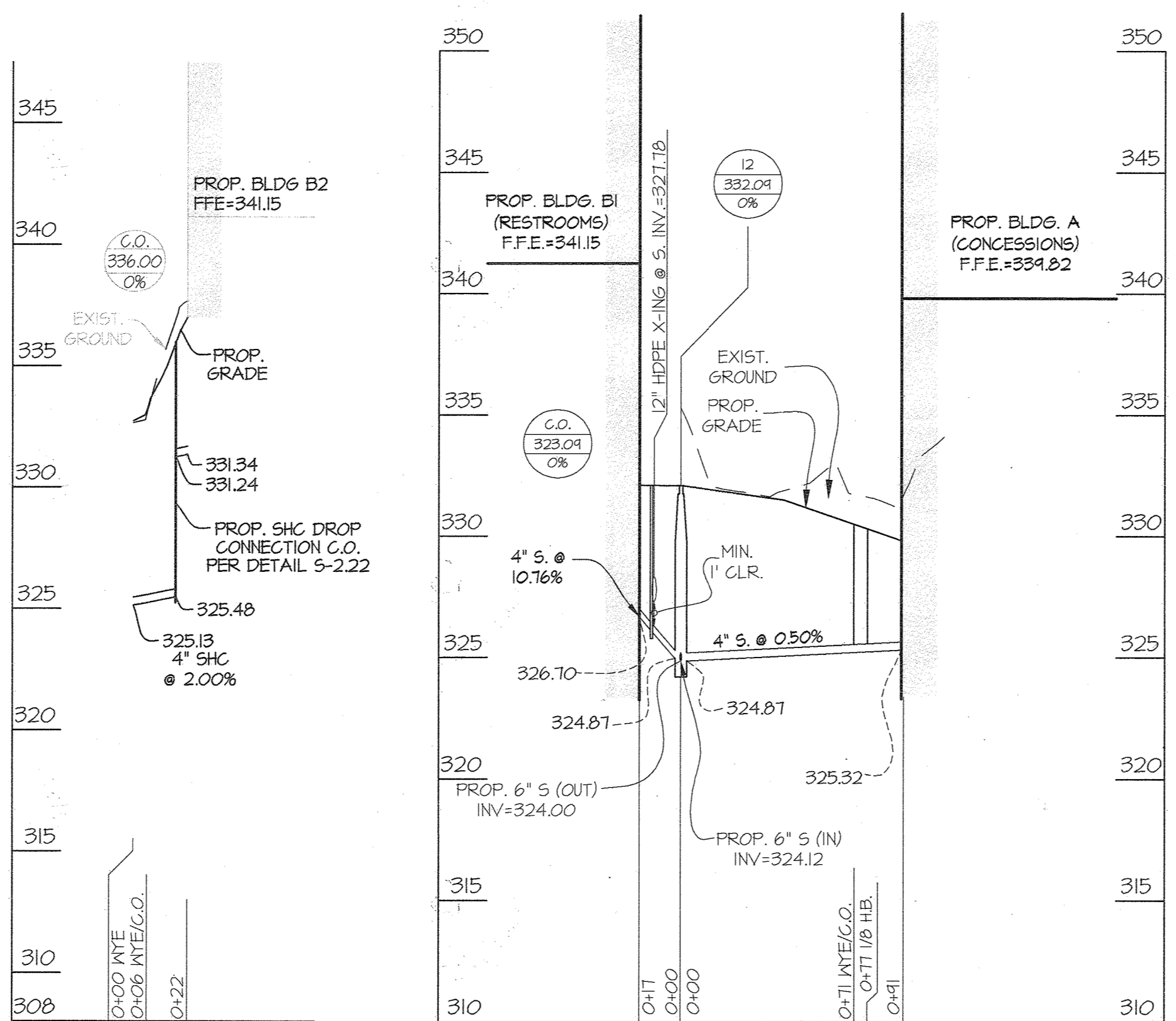
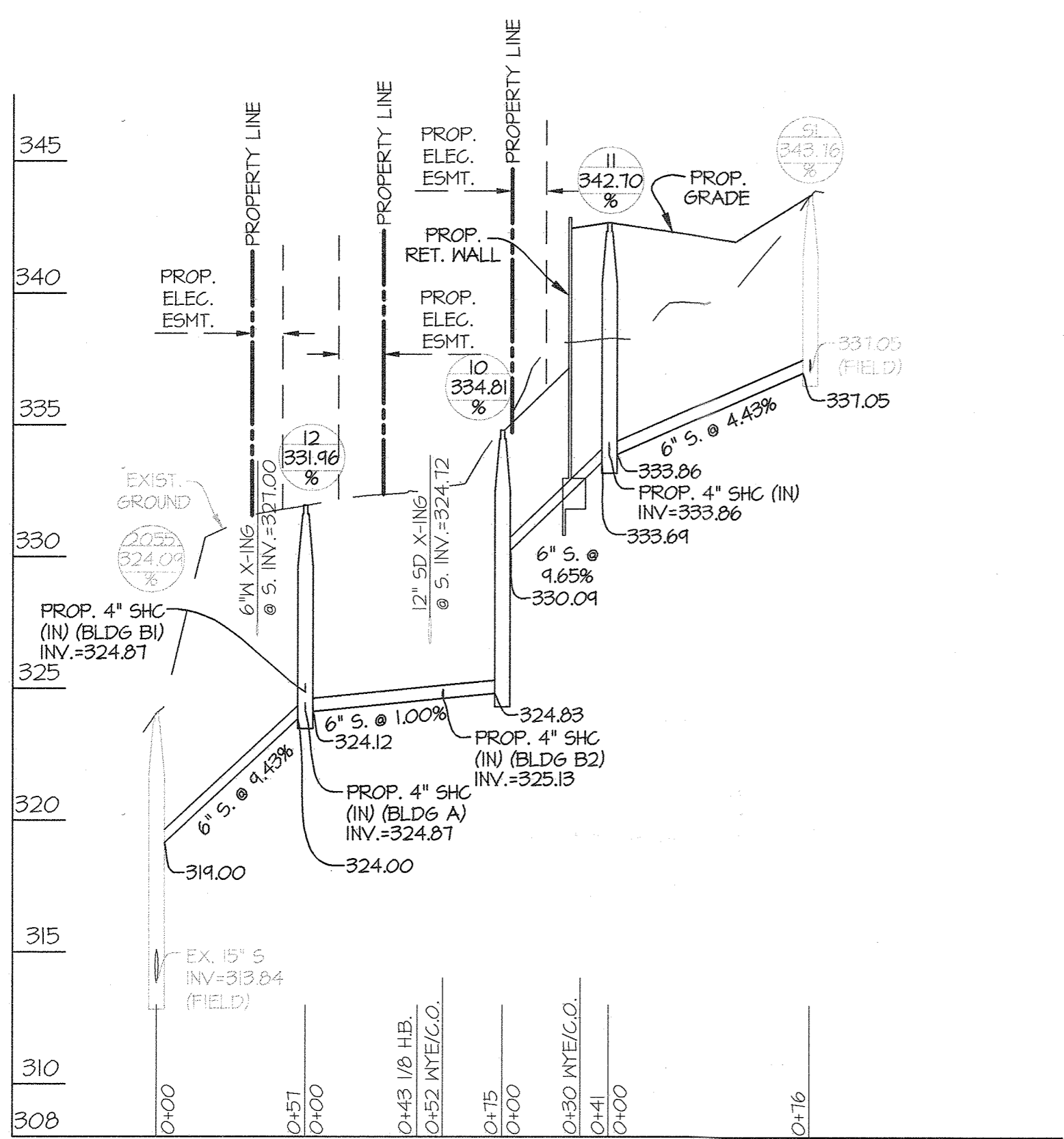
SEDIMENT CONTROL PLAN
MERRIWEATHER POST PAVILION
 CONCESSION, RESTROOM, BOX OFFICE AND STORAGE
 TOWN CENTER
 SECTION 1, LOT 13
 PLAT No. 4305 and 4306
 NO ASBUILT INFORMATION 11/16/2018

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
JAN. 2015	36-1	12 OF 28

C:\GLW\DRAWINGS\11072\PLANS BY G.L.W. SDP Redline\11072-12-SEC.dwg DES. NB DRN. W.SJ. CHK. MJT
 11/16/2018 11:07:12 AM
 C:\GLW\DRAWINGS\11072\PLANS BY G.L.W. SDP Redline\11072-12-SEC.dwg
 11/16/2018 11:07:12 AM
 C:\GLW\DRAWINGS\11072\PLANS BY G.L.W. SDP Redline\11072-12-SEC.dwg
 11/16/2018 11:07:12 AM

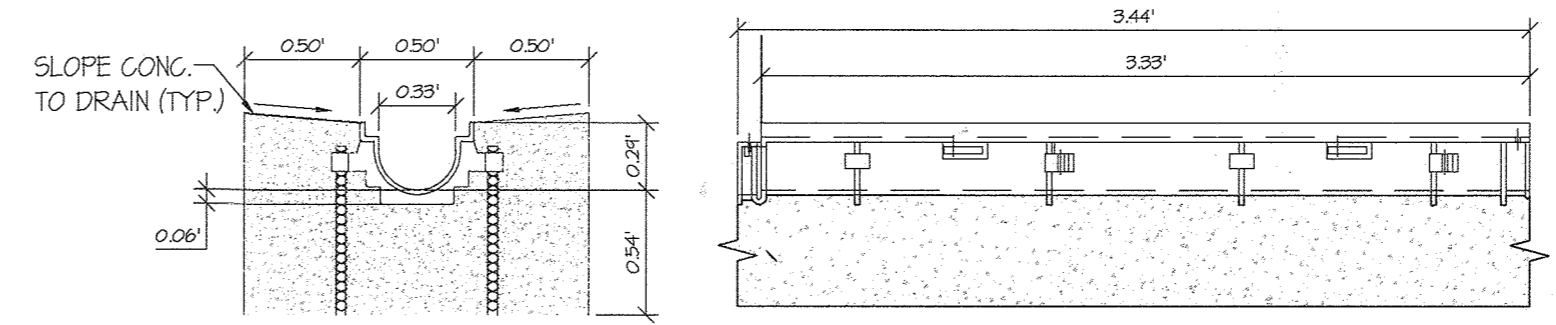
S.D. STRUCTURE SCHEDULE																																											
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION UPPER	TOP ELEVATION LOWER	INVERT ELEVATION UPPER	INVERT ELEVATION LOWER	STANDARD DETAIL	NOTES	LOCATION	OWNERSHIP & MAINTENANCE																																	
E-110	TYPE C ENDWALL	2'-0"	321.00	---	324.00	---	HO. CO. D. 5.21		SEE PLAN	PRIVATE																																	
M-111	MANHOLE	4'-0"	332.66	---	321.50/326.65	324.42	HO. CO. G. 5.12		SEE PLAN	PRIVATE																																	
M-112	STORMSEPTOR	6'-0"	332.21	---	321.81	321.71	RINKER STC 900		SEE PLAN	PRIVATE																																	
H-113	DRAIN BASIN	2'-6"	334.50	---	---	---	NTLOPLAST	OR EQUIVALENT	SEE PLAN	PRIVATE																																	
M-115	MANHOLE	4'-0"	334.26	---	330.31	328.50	HO. CO. G. 5.12		SEE PLAN	PRIVATE																																	
H-116	DRAIN BASIN	2'-6"	342.26	---	---	---	NTLOPLAST	OR EQUIVALENT	SEE PLAN	PRIVATE																																	
<table border="1"> <thead> <tr> <th>NO.</th> <th>TYPE</th> <th>WIDTH (INSIDE)</th> <th>TOP ELEVATION UPPER</th> <th>TOP ELEVATION LOWER</th> <th>INVERT ELEVATION UPPER</th> <th>INVERT ELEVATION LOWER</th> <th>STANDARD DETAIL</th> <th>NOTES</th> <th>LOCATION</th> <th>OWNERSHIP & MAINTENANCE</th> </tr> </thead> <tbody> <tr> <td>M-112</td> <td>STORMSEPTOR</td> <td>6'</td> <td>332.21</td> <td>---</td> <td>321.81</td> <td>321.71</td> <td>ZURN</td> <td>OR EQUIVALENT</td> <td>SEE PLAN</td> <td>PRIVATE</td> </tr> <tr> <td>M-115</td> <td>MANHOLE</td> <td>4'</td> <td>334.26</td> <td>---</td> <td>330.31</td> <td>328.50</td> <td>ZURN</td> <td>OR EQUIVALENT</td> <td>SEE PLAN</td> <td>PRIVATE</td> </tr> </tbody> </table>											NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION UPPER	TOP ELEVATION LOWER	INVERT ELEVATION UPPER	INVERT ELEVATION LOWER	STANDARD DETAIL	NOTES	LOCATION	OWNERSHIP & MAINTENANCE	M-112	STORMSEPTOR	6'	332.21	---	321.81	321.71	ZURN	OR EQUIVALENT	SEE PLAN	PRIVATE	M-115	MANHOLE	4'	334.26	---	330.31	328.50	ZURN	OR EQUIVALENT	SEE PLAN	PRIVATE
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION UPPER	TOP ELEVATION LOWER	INVERT ELEVATION UPPER	INVERT ELEVATION LOWER	STANDARD DETAIL	NOTES	LOCATION	OWNERSHIP & MAINTENANCE																																	
M-112	STORMSEPTOR	6'	332.21	---	321.81	321.71	ZURN	OR EQUIVALENT	SEE PLAN	PRIVATE																																	
M-115	MANHOLE	4'	334.26	---	330.31	328.50	ZURN	OR EQUIVALENT	SEE PLAN	PRIVATE																																	

S.D. PIPE SUMMARY TABLE			
PRIVATELY OWNED AND MAINTAINED			
SIZE (IN)	TYPE	QUANTITY (LF)	REMARKS
12"	HDPE	167	
18"	HDPE	27	
24"	HDPE	42	

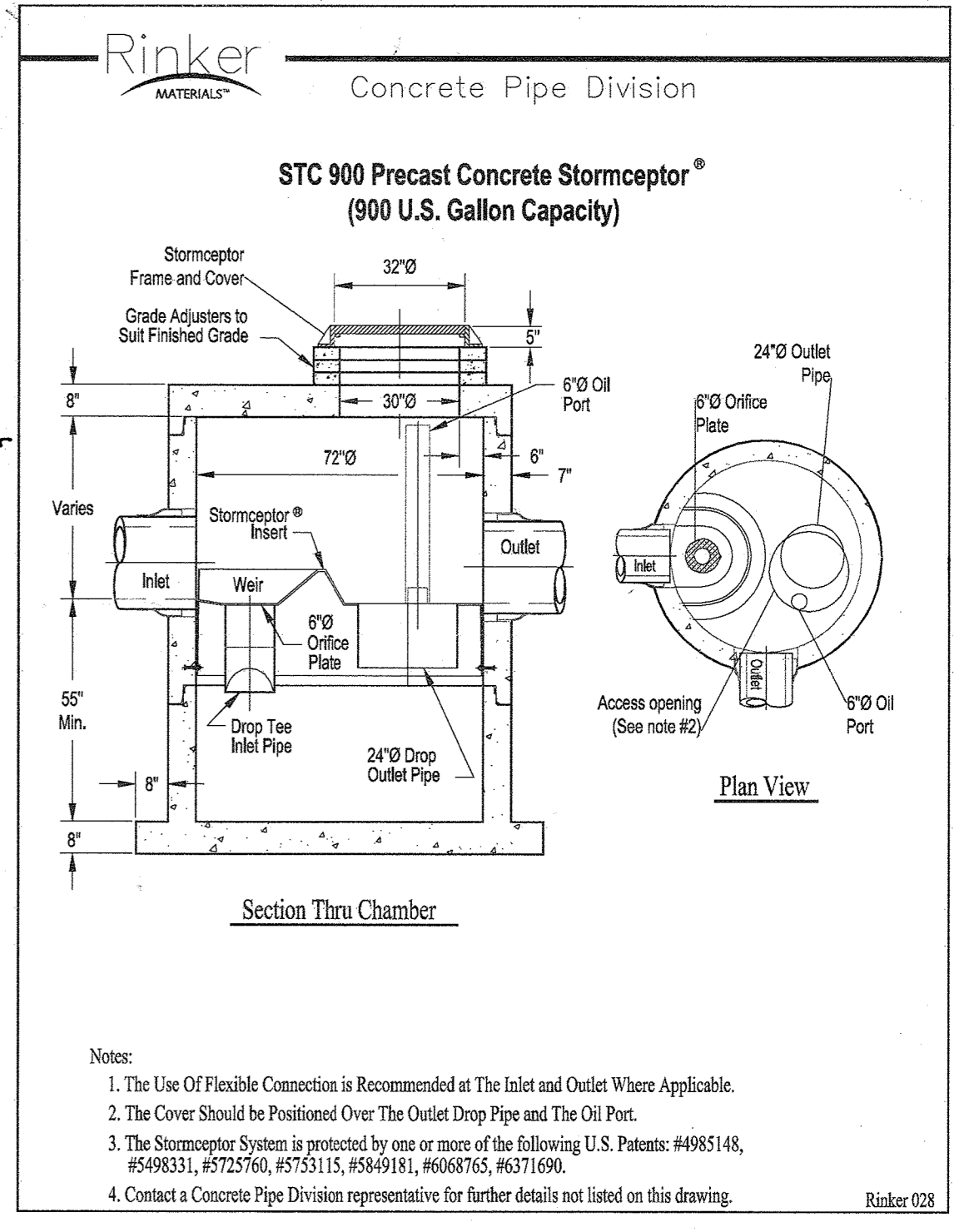


STORM DRAIN PROFILES

PROFILE SCALES:
 1" = 5' VERT.
 1" = 50' HORIZ.



TRENCH DRAIN IN CONCRETE ENCASEMENT DETAIL
 ZURN Z883 - 6" WIDE REVEAL TRENCH DRAIN SYSTEM OR EQUAL



Notes:
 1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #58-0181, #6088765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

APPROVED PLANNING BOARD OF HOWARD COUNTY
 Date: Jan 22, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Doreen A. Lytle 01/15/15
 Chief, Division of Land Development: W. J. [Signature] 2-24-15
 Chief, Development Engineering Division: [Signature] 2-24-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3509 NATIONAL DRIVE - SUITE 250 - BIRTONSVILLE OFFICE PARK
 BIRTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	REVISION
1	11.9.12	Added 4" SHC - 2" SHC
2	11.9.12	Remove rain garden

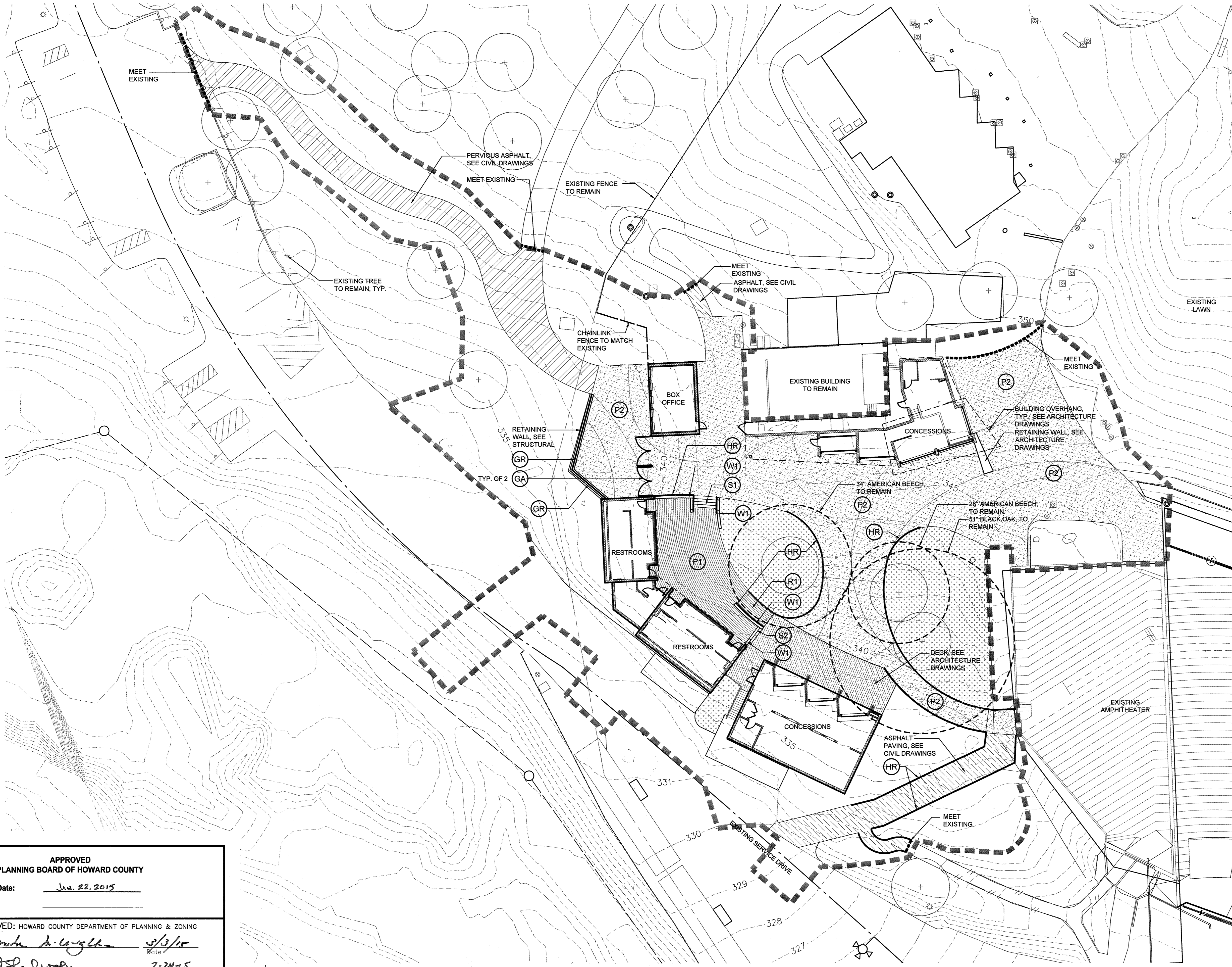
PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10221 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: ROBERT JENKINS
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 14831
 EXPIRATION DATE: MAY 21, 2016



REDEVELOPMENT PHASE I
UTILITY PROFILES
MERRIWEATHER POST PAVILION CONCESSION, RESTROOM, BOX OFFICE AND STORAGE
TOWN CENTER
 SECTION 1, LOT 13
 PLAT No. 4305 and 4306

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
JAN. 2015	36-1	15 OF 28



- HARDSCAPE KEY**
- PAVING**
- P1** (2) PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
 - P2** (1) FLEXIBLE PERVIOUS PAVING; SEE L-102 FOR PATTERN
- WALLS/STAIRS**
- W1** (2) STONE VENEER WALL
 - R1** (4) RAMP IN PAVERS
 - S1** (1) SITE STAIR AND STONE VENEER CHEEK WALL
 - S2** (5) SLAB STEP AT DECK
- SITE AMENITIES**
- HR** (1) HANDRAIL
 - GA** (2) ENTRY GATE
 - GR** (3) GUARDRAIL

- SITE LEGEND**
- (+ in circle) EXISTING TREE TO REMAIN
 - (- - - in circle) CRITICAL TREE TO REMAIN
 - (---) EXISTING TOPOGRAPHY
 - (---) LOS
 - (---) FLEXI-PAVE
 - (---) PERVIOUS ASPHALT, SEE CIVIL DRAWINGS
 - (---) ASPHALT, SEE CIVIL DRAWINGS
 - (---) PAVERS
 - (---) MULCH

NOTES:

- SEE L-102 FOR PAVING ENLARGEMENT PLAN.
- SEE L-103 FOR MATERIALS LAYOUT PLAN.
- REFER TO CIVIL PLANS FOR PROPOSED GRADING.
- REFER TO CIVIL PLANS FOR HARDSCAPE GEOMETRY.
- REPAIR ALL DISTURBED LAWN AREAS W SOD UNLESS OTHERWISE NOTED.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: Jan. 22, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark A. Long 3/3/14
 Director Date

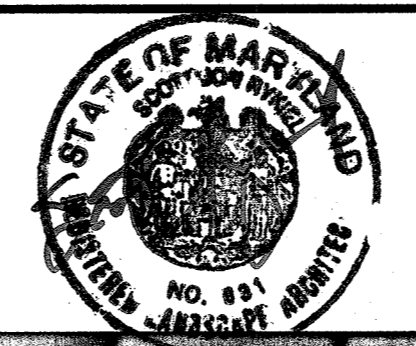
Kevin S. ... 7-24-15
 Chief, Division of Land Development Date

Chad ... 2-6-15
 Chief, Development Engineering Division Date

1 MATERIALS PLAN
 1"=20'-0"

PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10221 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044

ATTN: ROBERT JENKINS
 410-964-4800



HARDSCAPE MATERIALS PLAN

MERRIWEATHER POST PAVILION
 CONCESSION AND RESTROOM BUILDINGS
 TOWN CENTER
 SECTION 1, LOT 13
 PLAT No. 4305 and 4306

NO ASBUILT INFORMATION
 11/6/2018

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
DEC., 2014	36-1	16 OF 28

L-101

V:\merr-projects\merr-14 Projects\44081 Merriweather Post Pavilion\CAD\MRA\03_DD_SDP_V1-101 Hardscape Materials Plan.dwg
 PLOTTED: 1/21/2015 3:01 PM, LAST SAVED: 1/21/2015 2:28 PM, PLOTTED BY: Kevin ...



PAVING LEGEND

- P1: DECORATIVE PERMEABLE PAVERS, PEDESTRIAN/LIGHT DUTY SECTION**
WHITACRE GREER COMPANY
 1400 S. MAHONING AVE. ALLIANCE, OH 44601
 P: (330) 206-7689
 W: WWW.WGPAVER.COM
 MODEL: PERMEABLE CLAY PAVERS
 COLORS: A-MAJESTIC
 B-CIMMEREAN
 C-CHOCOLATE
 SIZE: 2 1/4" x 9"x3"
 SEE DETAIL 3/L-200 FOR TYPICAL PAVING PATTERN
- P2: CAPITOL FLEXI-PAVE (PEDESTRIAN/LIGHT DUTY)**
CAPITOL FLEXI-PAVE, LLC
 37 PIGEON HILL DR. SUITE 278 STERLING, VA, 20165
 P: 202.760.1099
 F: 571.312.9208
 W: HTTP://CAPITOLFLEXIPAVE.COM/
 MODEL: FLEXI-PAVE
 COLOR: AA-CAYENNE
 BB-CHESTNUT
 CC-OLIVE FOG
 THICKNESS: 2"
 SEE L-103 FOR LAYOUT OF PAVING FIELDS
- DECKING, SEE ARCHITECTURE DRAWINGS
- ASPHALT, SEE CIVIL DRAWINGS

SITE LEGEND

- EXISTING TREE TO REMAIN
- CRITICAL TREE TO REMAIN
- EXISTING TOPOGRAPHY
- LOS

NOTES:

- SEE L-101 FOR HARDSCAPE MATERIALS PLAN.
- SEE L-103 FOR MATERIALS LAYOUT PLAN.
- REFER TO ARCHITECTURE DRAWINGS FOR DECK DESIGN.
- REFER TO CIVIL PLANS FOR PROPOSED GRADING.
- REFER TO CIVIL PLANS FOR HARDSCAPE GEOMETRY.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: Jan. 22, 2015

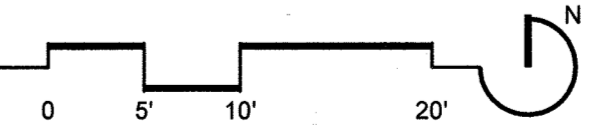
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Frank J. Longtin 3/6/15
 Director Date

V. St. Louis 7-24-15
 Chief, Division of Land Development Date

David Edmund 2-6-15
 Chief, Development Engineering Division Date

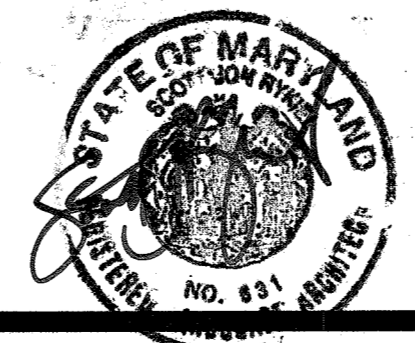
1 PAVING ENLARGEMENT PLAN
 1"=10'-0"



MAHAN RYKIEL ASSOCIATES INC.
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10221 WINGPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044

ATTN: ROBERT JENKINS
 410-964-4800



PAVING ENLARGEMENT PLAN

MERRIWEATHER POST PAVILION CONCESSION AND RESTROOM BUILDINGS TOWN CENTER SECTION 1, LOT 13 PLAT No. 4305 and 4306

NO ASBUILT INFORMATION 11/16/2018

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
DEC., 2014	36-1	17 OF 28

L-102

S:\Projects\14081 Merriwether Post Pavilion\14081 Merriwether Post Pavilion\14081 Merriwether Post Pavilion\14081 Merriwether Post Pavilion.dwg
 PLOT: 12/29/2014 4:37 PM, LAST SAVED: 12/29/2014 2:49 PM, PLOTTED BY: jacob.wicks



LAYOUT KEY

- ⊕ POB POINT OF BEGINNING
- ▭ FOB FACE OF BUILDING
- POC POINT OF CURVATURE
- PT POINT OF TANGENCY
- ⊥ CENTER LINE
- ALIGN
- TW TOP OF WALL

R	X	Y
A	18'-7"	-46'-1"
B	-42'-11"	-95'-4"
C	-11'-2"	-8'-6"
D	3'-3"	-11'-11"
E	-29'-6"	95'-5"
F	-111'-4"	-12'-5"
G	-85'-10"	17'-1"
H	-66'-5"	80'-2"
J	-131'-6"	70'-6"
K	-258'-0"	-6'-3"
L	-216'-4"	28'-6"

PT	X	Y
1	-36'-0"	25'-1"
2	-158'-1"	66'-2"

SITE LEGEND

- ⊕ EXISTING TREE TO REMAIN
- - - EXISTING TOPOGRAPHY
- ▬ LOS
- ▨ FLEXI-PAVE
- ▧ PERVIOUS ASPHALT, SEE CIVIL DRAWINGS
- ▩ ASPHALT, SEE CIVIL DRAWINGS
- PAVERS
- MULCH

NOTES:

- LAYOUT PLAN REPRESENTS GEOMETRY OF INTERNAL PAVING FIELDS ONLY. REFER TO CIVIL DRAWINGS FOR HARDSCAPE GEOMETRY.
- REFER TO CIVIL DRAWINGS FOR PROPOSED GRADING.
- REFER TO ARCHITECTURE DRAWINGS FOR DECK LAYOUT AND CONSTRUCTION.
- SEE L-101 FOR HARDSCAPE MATERIALS PLAN
- SEE L-102 FOR PAVING ENLARGEMENT PLAN

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: Jan. 22, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Paul D. Lynch 2/3/15
 Director Date
Kate Decker 2-24-15
 Chief, Division of Land Development Date
Chad E. H. 2-6-15
 Chief, Development Engineering Division Date

1 MATERIALS LAYOUT PLAN
 1"=20'-0"

MAHAN RYKIEL
 ASSOCIATES INC
 The Stieff Silver Building, 800 Wyman Park Drive.,
 Suite 100, Baltimore, MD 21211 410.295.6001

PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10221 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: ROBERT JENKINS
 410-964-4800



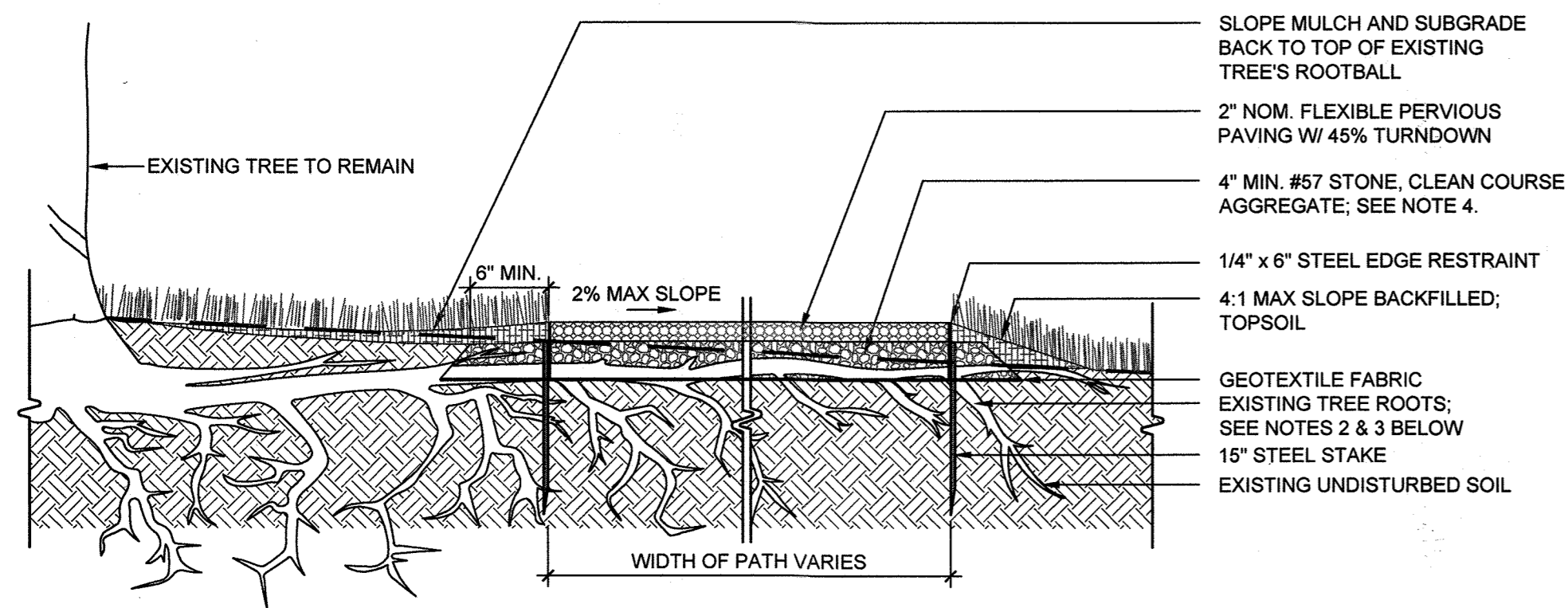
MATERIALS LAYOUT PLAN
 MERRIWEATHER POST PAVILION
 CONCESSION AND RESTROOM BUILDINGS
 TOWN CENTER
 SECTION 1, LOT 13
 PLAT No. 4305 and 4306
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
DEC., 2014	36-1	18 OF 28

L-103

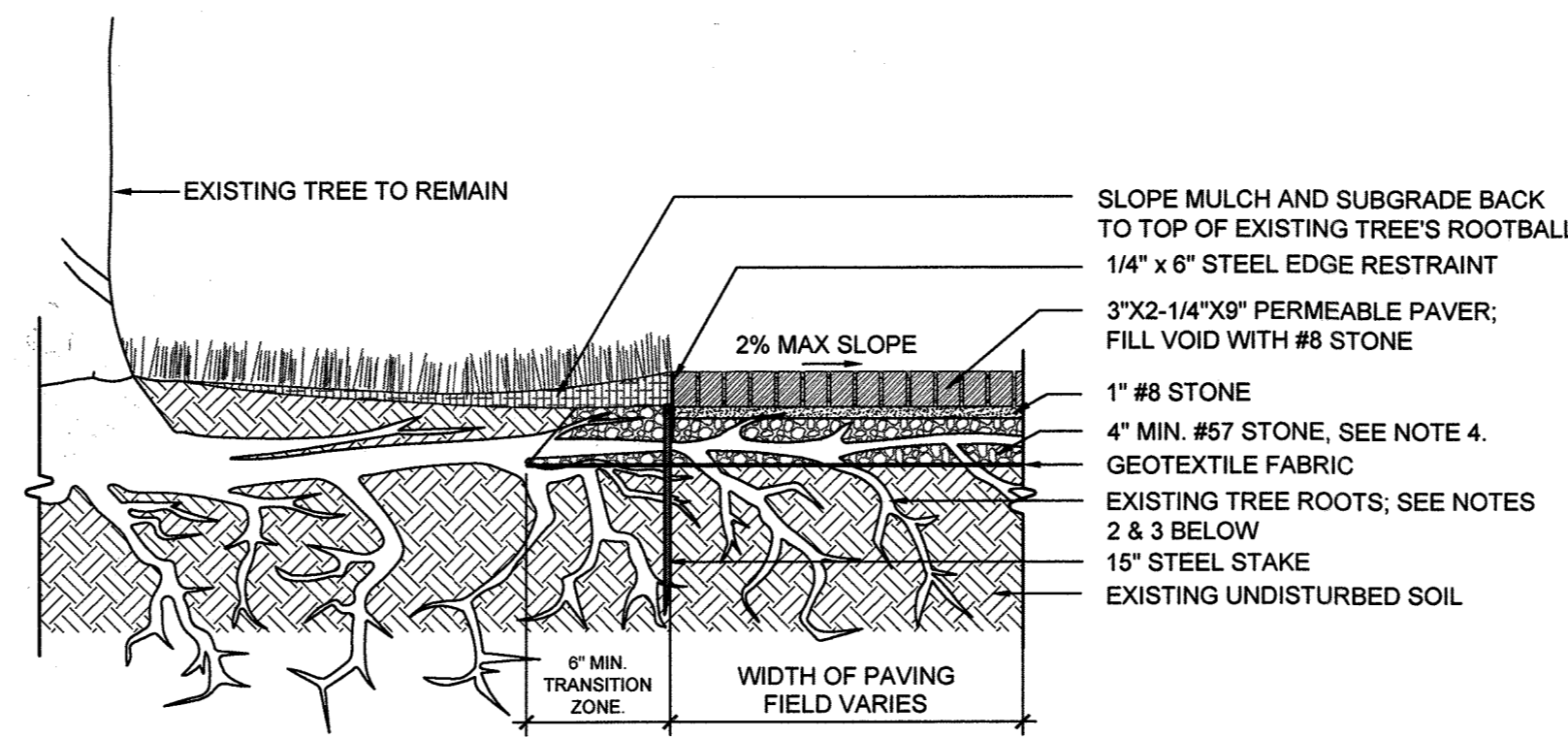
\\mrc-pjct-srv\adms\14 Projects\4081 Merriweather Post Pavilion\CAD\MRA\03 DD_SDP_V-103 Materials Layout Plan.dwg
 PLOTTED: 1/21/2015 3:03 PM, LAST SAVED: 1/21/2015 2:28 PM, PLOTTED BY: Katie Wicks
 © GLW 2014

CND# 80-22



NOTES:

1. INSTALL EDGE RESTRAINT PER MANUFACTURER'S GUIDELINES.
2. USE AIR SPADE TO REMOVE SOIL BETWEEN TREE ROOTS.
3. FIELD VERIFY STAKE LOCATIONS TO AVOID MAJOR ROOTS.
4. GRAVEL SUBBASE TO BE INCREASED TO 12" WHERE TREE ROOTS ARE NOT LOCATED.
5. SINCE FLEXI-PROCESS PRODUCTS ARE NON-CRACKING, TRIP AND FALL LIABILITIES THAT ARE NORMALLY CAUSED BY SHEERING OR ROOT INTRUSION ARE VASTLY REDUCED, IF NOT COMPLETELY ELIMINATED. FLEXI-PAVE SURFACES ARE ERGONOMIC AND EXCEED ADA GUIDELINES.
6. PROVIDE EXPANSION JOINTS AT ALL FIXED SURFACES (BUILDING, WALLS, STAIRS, ETC.)



NOTES:

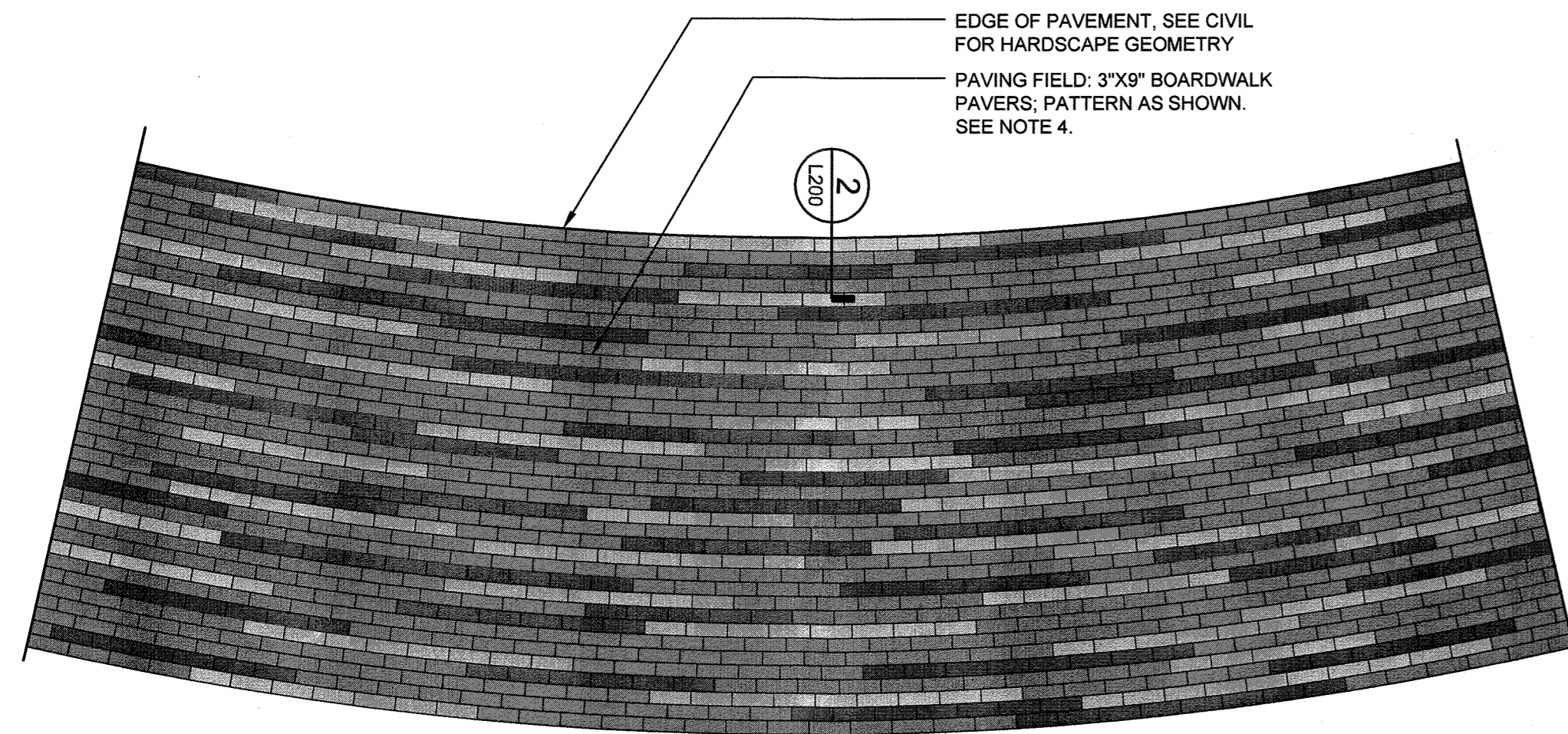
1. INSTALL EDGE RESTRAINT PER MANUFACTURER'S GUIDELINES.
2. USE AIR SPADE TO REMOVE SOIL BETWEEN TREE ROOTS.
3. FIELD VERIFY STAKE EDGE RESTRAINT LOCATIONS TO AVOID MAJOR ROOTS.
4. GRAVEL SUBBASE TO BE INCREASED TO 12" WHERE TREE ROOTS ARE NOT LOCATED.
5. THE PERMEABLE PAVING USED IS PLACED MAINLY ABOVE THE EXISTING TREE ROOTS ON A MINIMUM 4" (UP TO 12") AGGREGATE BASE. THE PAVING SURFACE, JOINT TREATMENT, AND AGGREGATE BASE ARE DESIGNED TO FILTER RAIN WATER THROUGH THEM INTO THE EXISTING SOIL LIMITING OR ELIMINATING ROOT INTRUSION INTO THE PAVING SURFACE. ALL PAVING SURFACES ARE ERGONOMIC AND EXCEED ADA GUIDELINES.
6. PROVIDE EXPANSION JOINTS AT ALL FIXED SURFACES (BUILDING, WALLS, STAIRS, ETC.)

1 FLEXIBLE PERVIOUS PAVING

3/4"=1'-0"

2 PERMEABLE PAVERS

3/4"=1'-0"

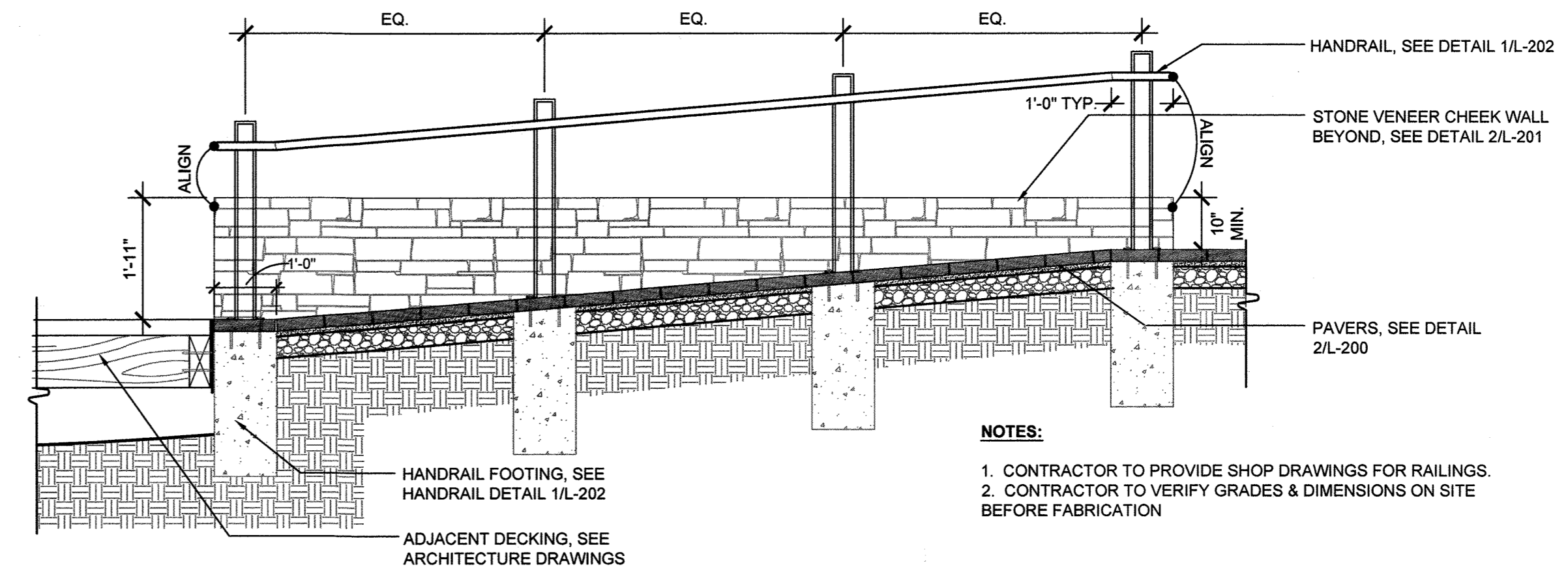


PAVING LEGEND

- ACCENT PAVER: COLOR #50, 27%
- COLOR #52, 52%
- ACCENT PAVER: COLOR #53, 21%

NOTES:

1. SEE 1/L-102 FOR MATERIALS PLAN.
2. GROUP ACCENT BAND PAVERS IN ROWS THROUGHOUT PAVING FIELD TO CREATE "PLANK" EFFECT. (MIN. 5 & MAX. 10 ACCENT COLOR PAVER PER ROW FOR EACH GROUPING)
3. QUANTITY OF ACCENT BANDS THROUGHOUT PAVING FIELD BASED ON PERCENTAGES DEFINED IN PAVING LEGEND
4. PAVING PATTERN TO EXTEND THROUGHOUT ENTIRE EXTENT OF PAVER FIELD. PAVING PATTERN SHOWN FOR PRECEDENT ONLY AND DOES NOT DIRECTLY REPRESENT THE EXACT PATTERN TO BE REPEATED IN FIELD.



NOTES:

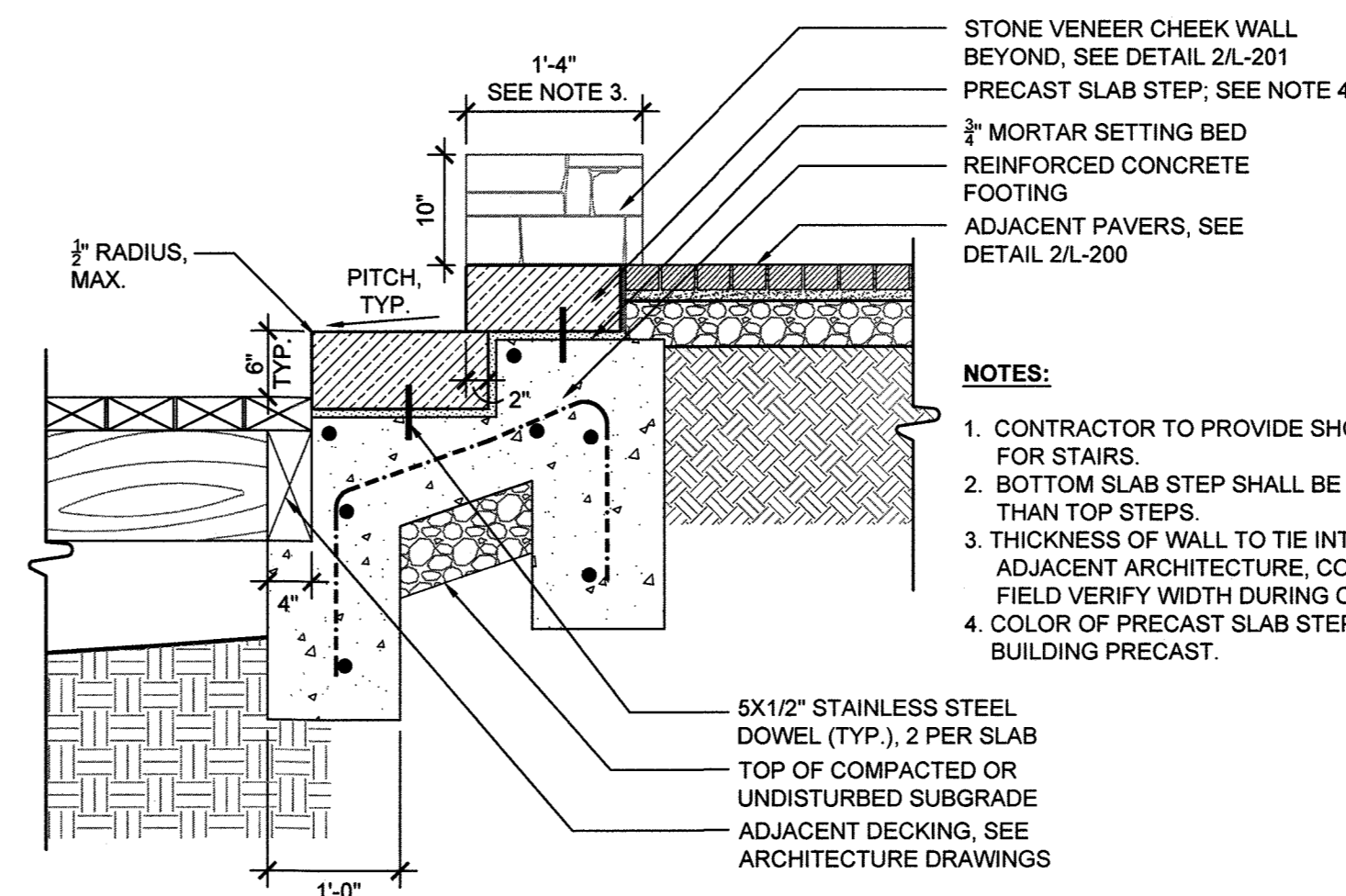
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR RAILINGS.
2. CONTRACTOR TO VERIFY GRADES & DIMENSIONS ON SITE BEFORE FABRICATION

3 TYPICAL PAVING PATTERN (PERMEABLE BOARDWALK PAVERS)

3/8"=1'-0"

4 RAMP IN PAVERS

1/2"=1'-0"



NOTES:

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR STAIRS.
2. BOTTOM SLAB STEP SHALL BE 1" THICKER THAN TOP STEPS.
3. THICKNESS OF WALL TO TIE INTO ADJACENT ARCHITECTURE. CONTRACTOR TO FIELD VERIFY WIDTH DURING CONSTRUCTION.
4. COLOR OF PRECAST SLAB STEP TO MATCH BUILDING PRECAST.

5 SLAB STEP @ DECK

3/4"=1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: Jan. 22, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

David M. Loughlin 2/3/15
Director Date

Kate Schuler 2.24.15
Chief, Division of Land Development Date

Chad Edwards 2.6.15
Chief, Development Engineering Division Date

MAHAN RYKIEL
ASSOCIATES INC
The Steiff Silver Building, 800 Wyman Park Drive.,
Suite 100, Baltimore, MD 21211 410.235.6001

PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10221 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044

ATTN: ROBERT JENKINS
410-964-4800

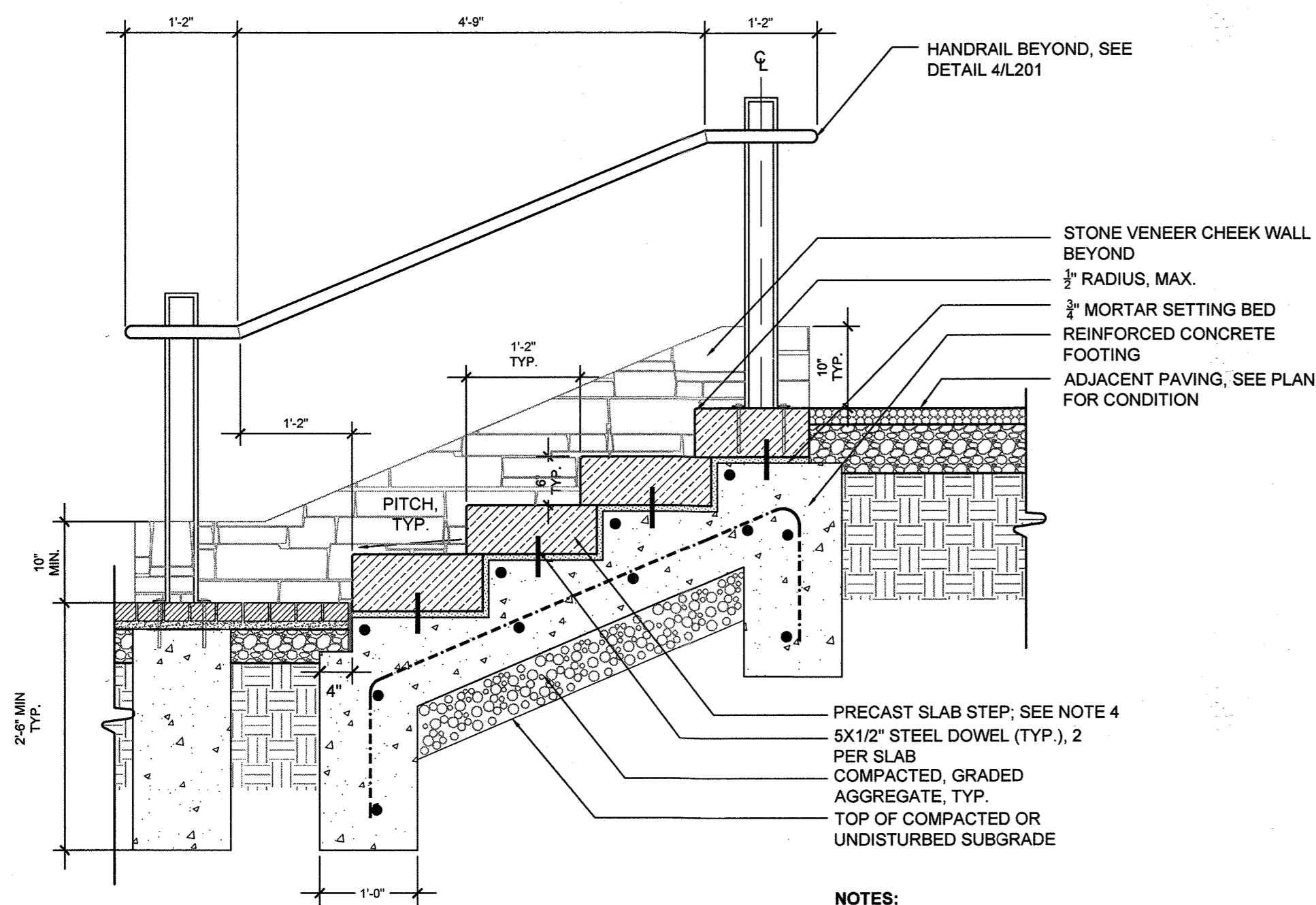


HARDSCAPE DETAILS
MERRIWEATHER POST PAVILION
CONCESSION AND RESTROOM BUILDINGS
TOWN CENTER
SECTION 1, LOT 13
PLAT No. 4305 and 4306

NO ASBUILT
INFORMATION
11/16/2013

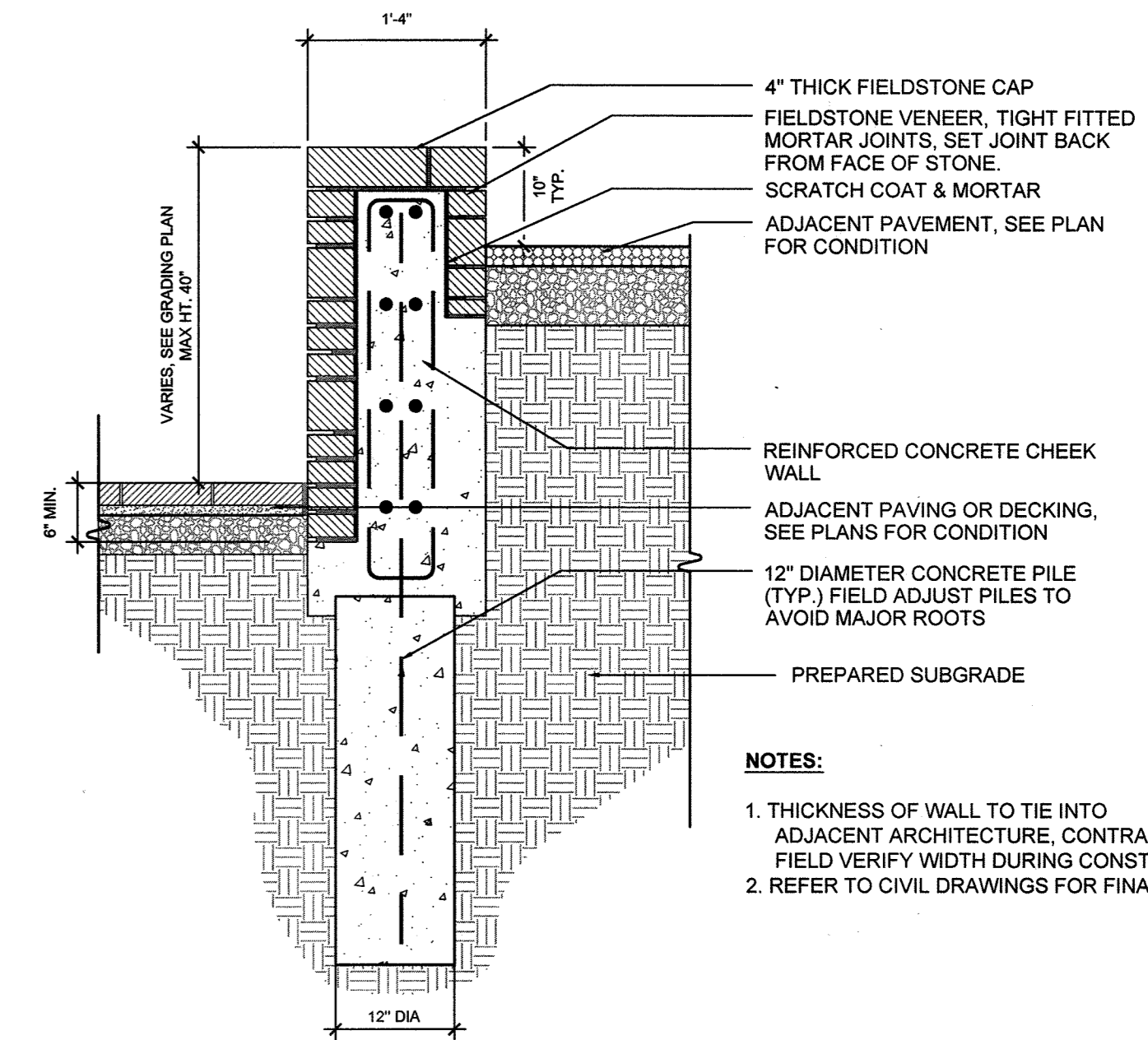
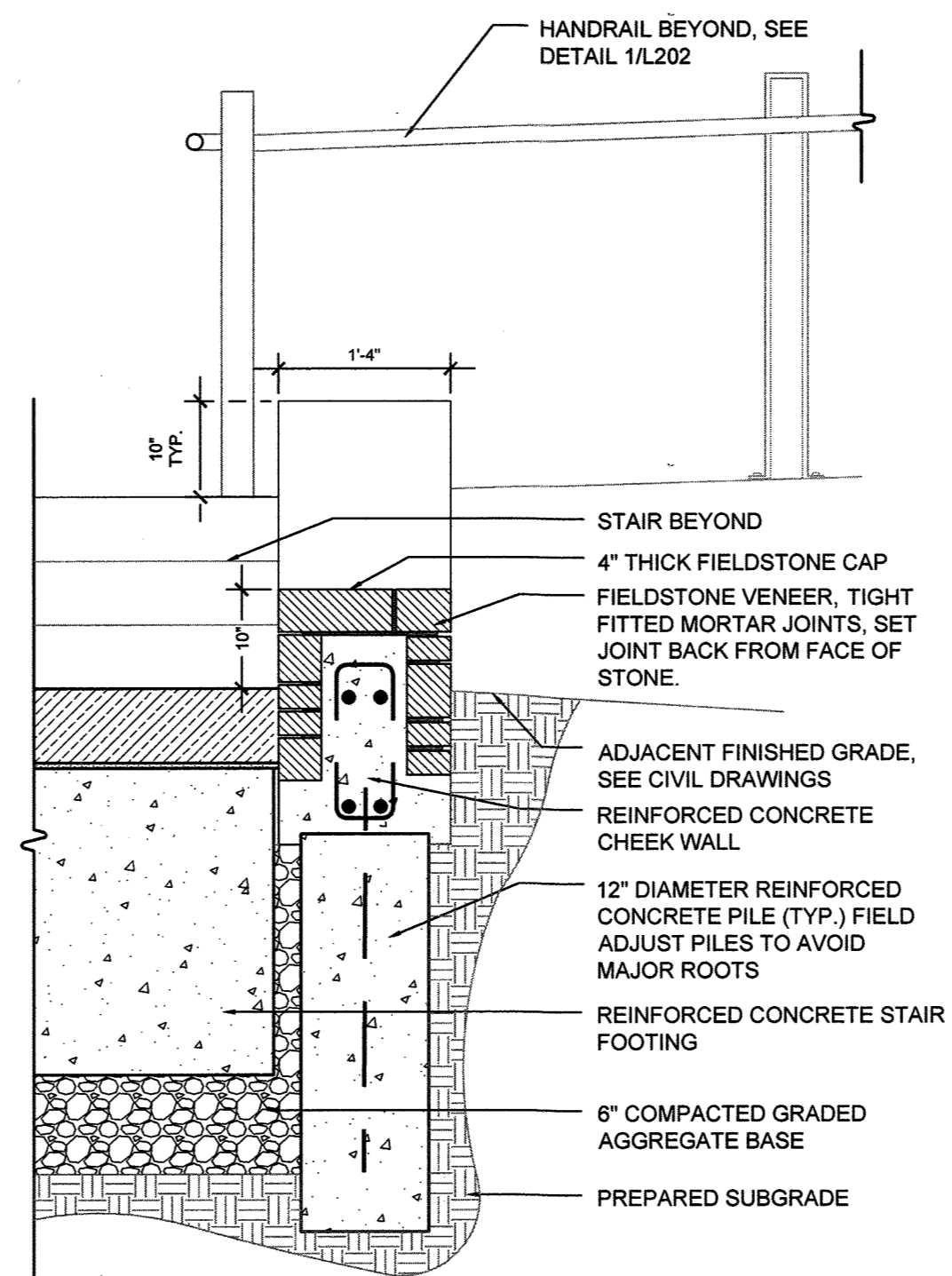
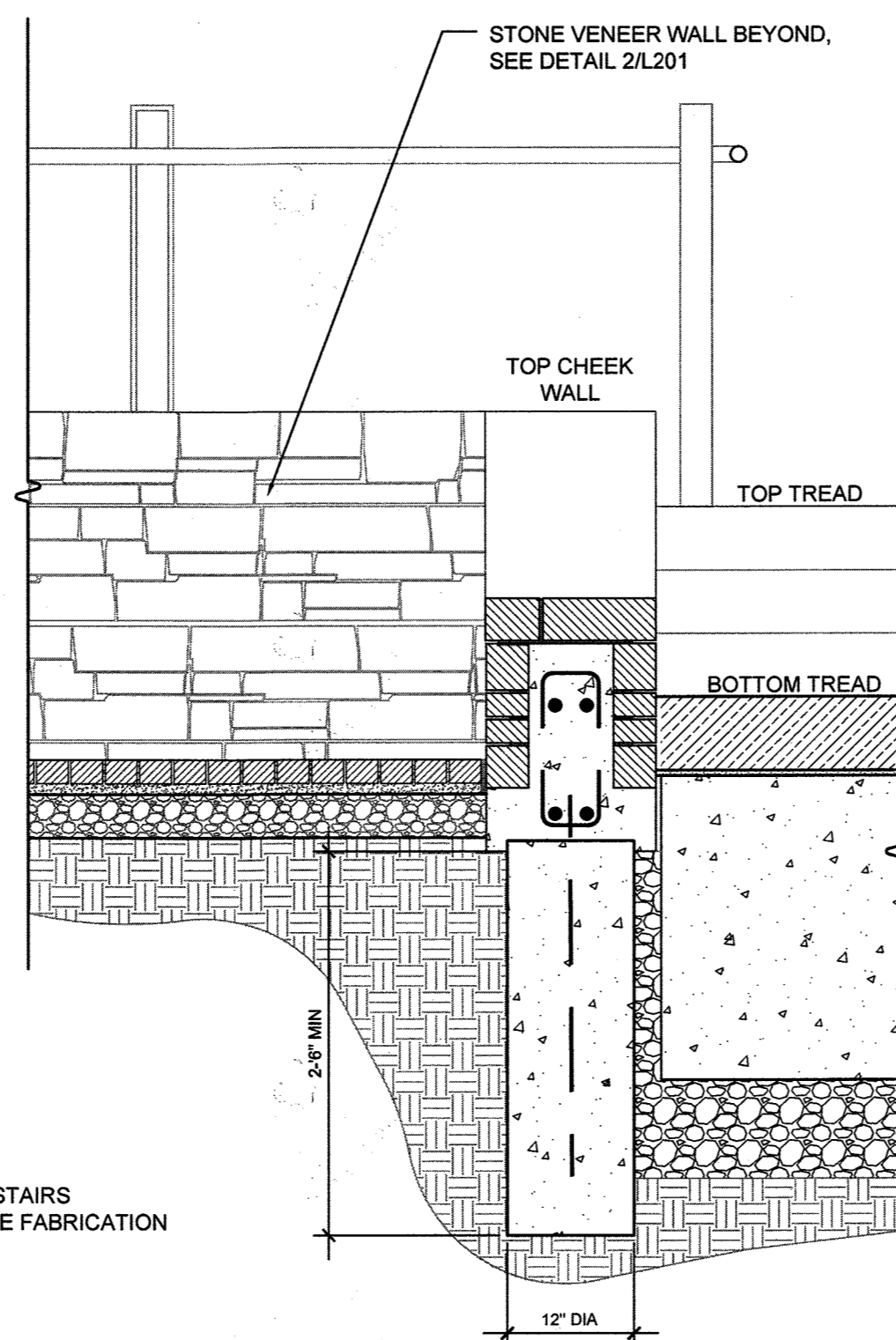
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
DEC., 2014	36-1	19 OF 28

L-200



NOTES:

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR RAILINGS AND STAIRS
2. CONTRACTOR TO VERIFY GRADES & DIMENSIONS ON SITE BEFORE FABRICATION
3. BOTTOM SLAB STEP SHALL BE 1" THICKER THAN TOP 3 STEPS.
4. COLOR OF PRECAST SLAB STEP TO MATCH BUILDING PRECAST.

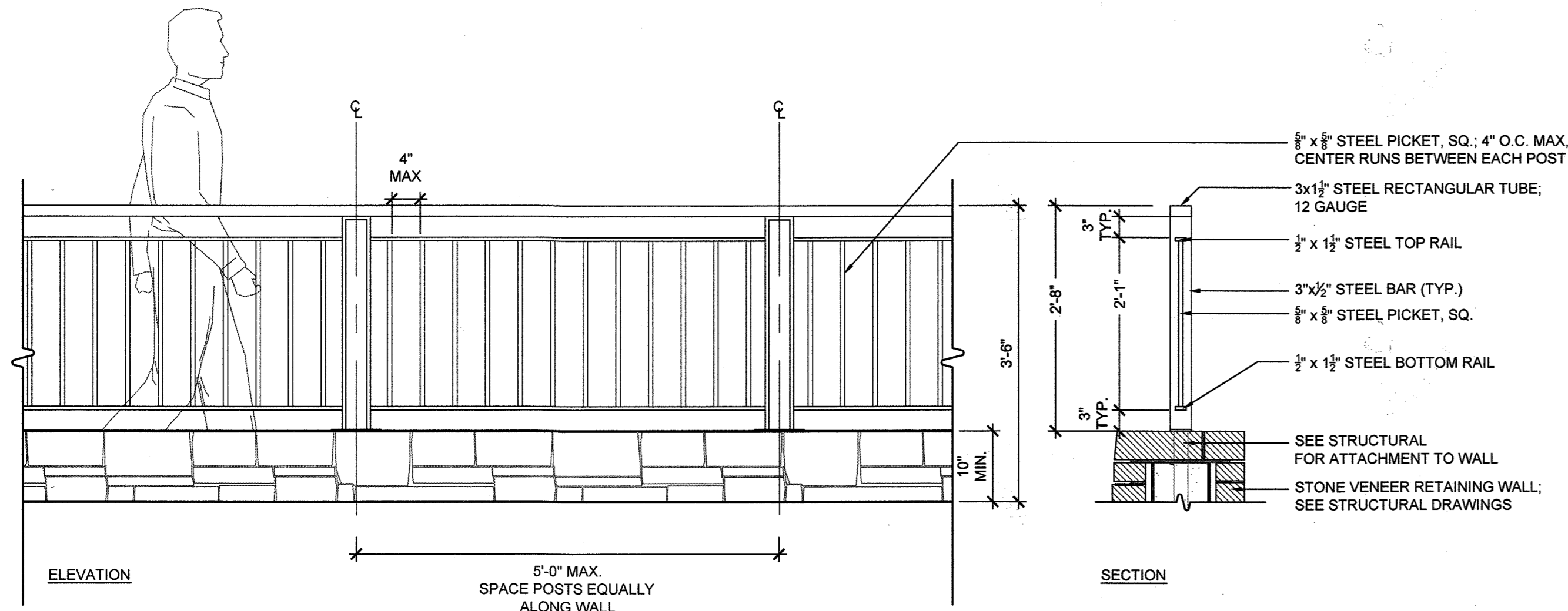


NOTES:

1. THICKNESS OF WALL TO TIE INTO ADJACENT ARCHITECTURE, CONTRACTOR TO FIELD VERIFY WIDTH DURING CONSTRUCTION.
2. REFER TO CIVIL DRAWINGS FOR FINAL GRADES.

1 SITE STAIR AND STONE VENEER CHEEK WALL
3/4"=1'-0"

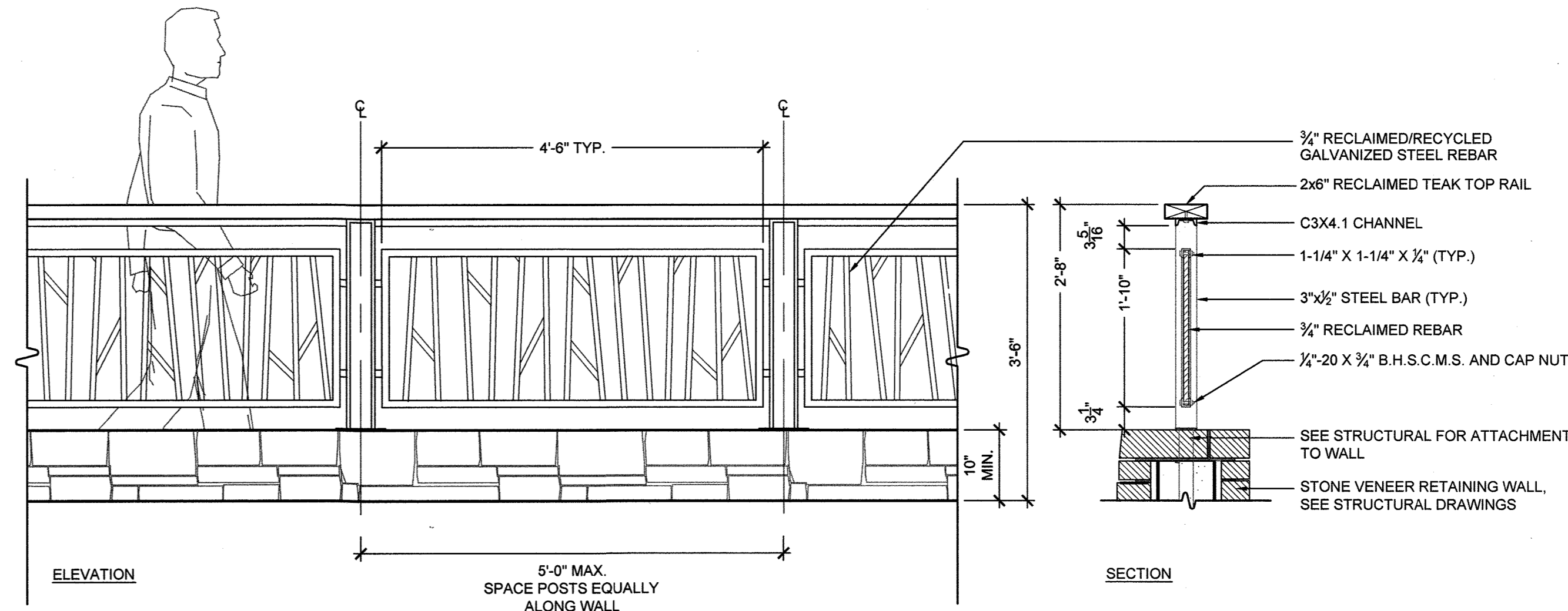
2 STONE VENEER WALL
3/4"=1'-0"



NOTE:

1. ALL METAL FRAMING AND HARDWARE TO BE GALVANIZED STEEL.
2. UNLESS OTHERWISE SHOWN, ALL CONNECTIONS TO BE WELDED.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF GUARDRAIL FOR APPROVAL OF LANDSCAPE ARCHITECT BEFORE FABRICATION.
4. SEE STRUCTURAL DRAWINGS FOR RETAINING WALL DETAILS AND GUARDRAIL ATTACHMENT TO RETAINING WALL.

BASE BID



NOTE:

1. ALL METAL FRAMING AND HARDWARE TO BE GALVANIZED STEEL.
2. UNLESS OTHERWISE SHOWN, ALL CONNECTIONS TO BE WELDED.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF GUARDRAIL FOR APPROVAL OF LANDSCAPE ARCHITECT BEFORE FABRICATION.
4. SEE STRUCTURAL DRAWINGS FOR RETAINING WALL DETAILS AND GUARDRAIL ATTACHMENT TO RETAINING WALL.

ADD ALTERNATE

3 TYPICAL GUARDRAIL
3/4"=1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: Jan. 22, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Janet A. Ungu 2/3/15
Director Date
K. B. ... 2-3-15
Chief, Division of Land Development Date
Ch. Ed... 2-6-15
Chief, Development Engineering Division Date

MAHAN RYKIEL
ASSOCIATES INC
The Stieff Silver Building, 800 Wyman Park Drive.,
Suite 100, Baltimore, MD 21211 410.235.6001

PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10221 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044

ATTN: ROBERT JENKINS
410-964-4800



HARDSCAPE DETAILS
MERRIWEATHER POST PAVILION
CONCESSION AND RESTROOM BUILDINGS
TOWN CENTER
SECTION 1, LOT 13
PLAT No. 4305 and 4306

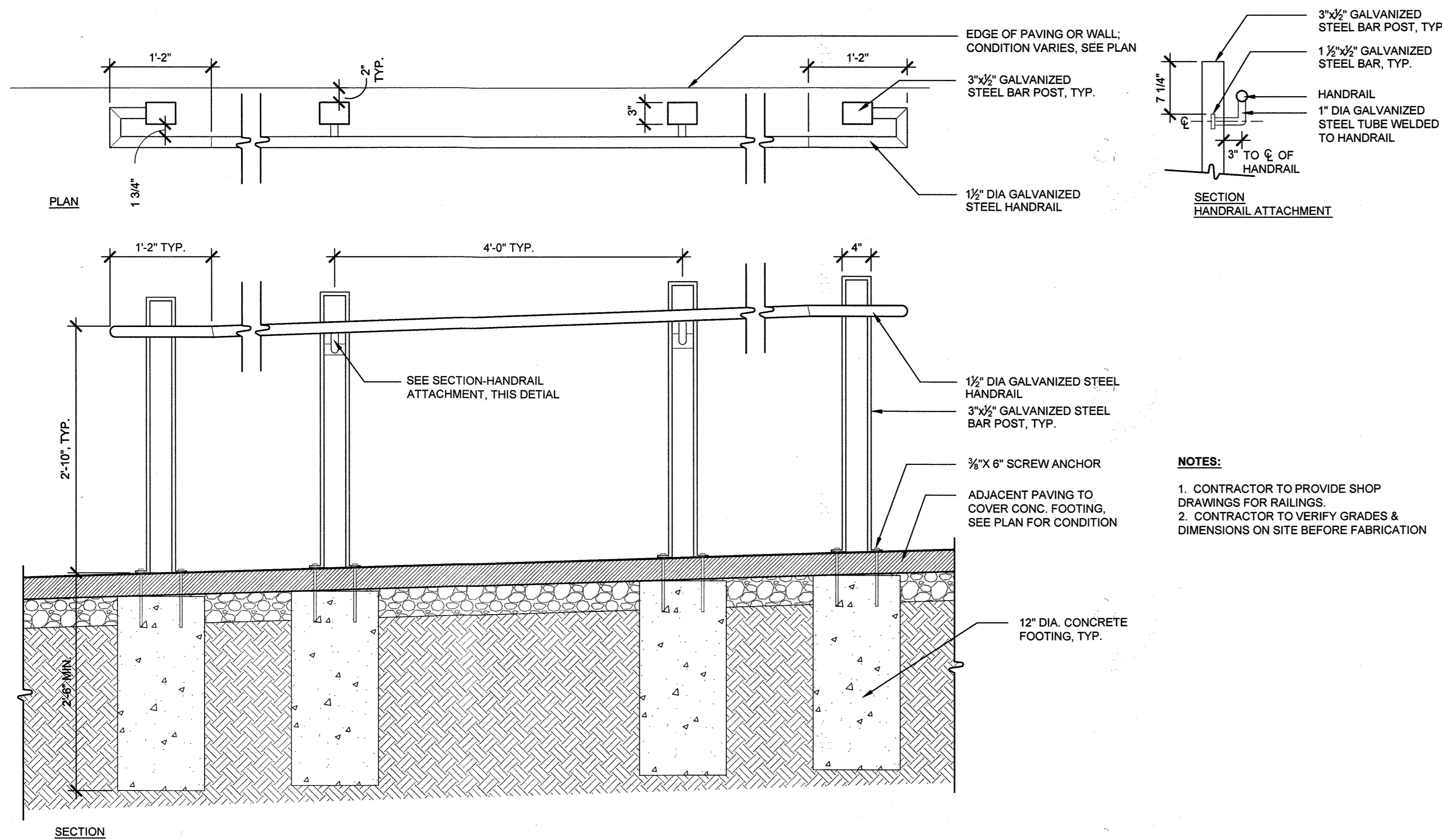
NO ASBUILT
INFORMATION
11/16/2018

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
DEC., 2014	36-1	20 OF 28

L-201

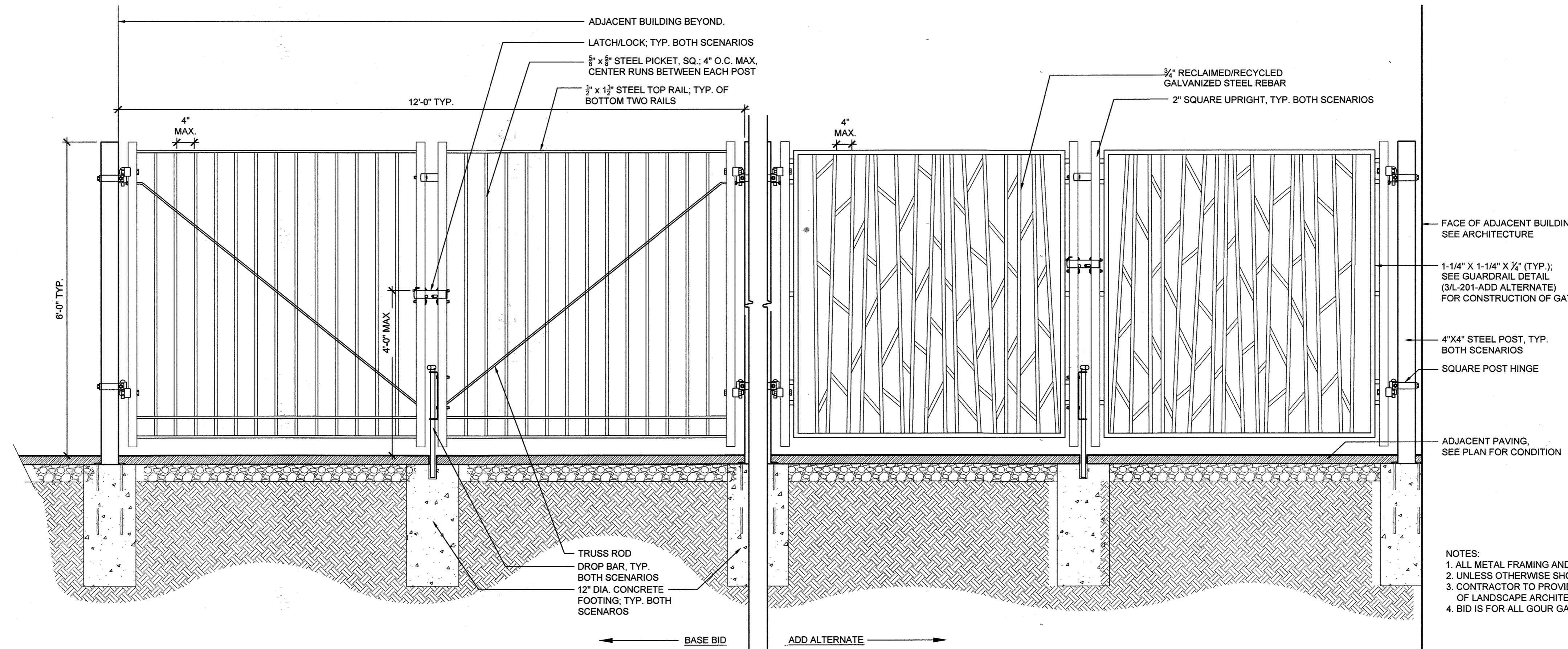
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



- NOTES:**
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR RAILINGS.
 2. CONTRACTOR TO VERIFY GRADES & DIMENSIONS ON SITE BEFORE FABRICATION

1 TYPICAL HANDRAIL
1"=1'-0"



- NOTES:**
1. ALL METAL FRAMING AND HARDWARE TO BE GALVANIZED STEEL.
 2. UNLESS OTHERWISE SHOWN, ALL CONNECTIONS TO BE WELDED.
 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF GATES FOR APPROVAL OF LANDSCAPE ARCHITECT BEFORE FABRICATION.
 4. BID IS FOR ALL FOUR GATES FOR BOTH THE BASE BID AND ADD ALTERNATE.

2 MAIN ENTRY GATES
1"=1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: Jan. 22, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

David A. Long 2-3-15
Director Date

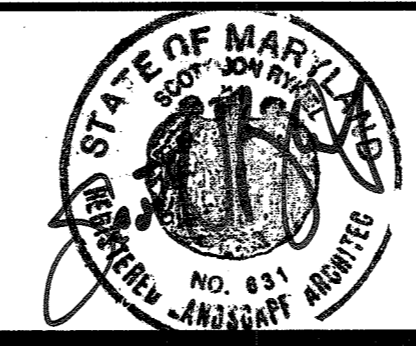
Robert A. Long 2-24-15
Chief, Division of Land Development Date

Chad Edick 2-6-15
Chief, Development Engineering Division Date

MAHAN RYKIEL ASSOCIATES INC.
The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

PREPARED FOR:
THE HOWARD HUGHES CORPORATION
10221 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044

ATTN: ROBERT JENKINS
410-964-4800



HARDSCAPE DETAILS

MERRIWEATHER POST PAVILION
CONCESSION AND RESTROOM BUILDINGS
TOWN CENTER
SECTION 1, LOT 13
PLAT No. 4305 and 4306

NO ASBUILT INFORMATION
11/16/2018

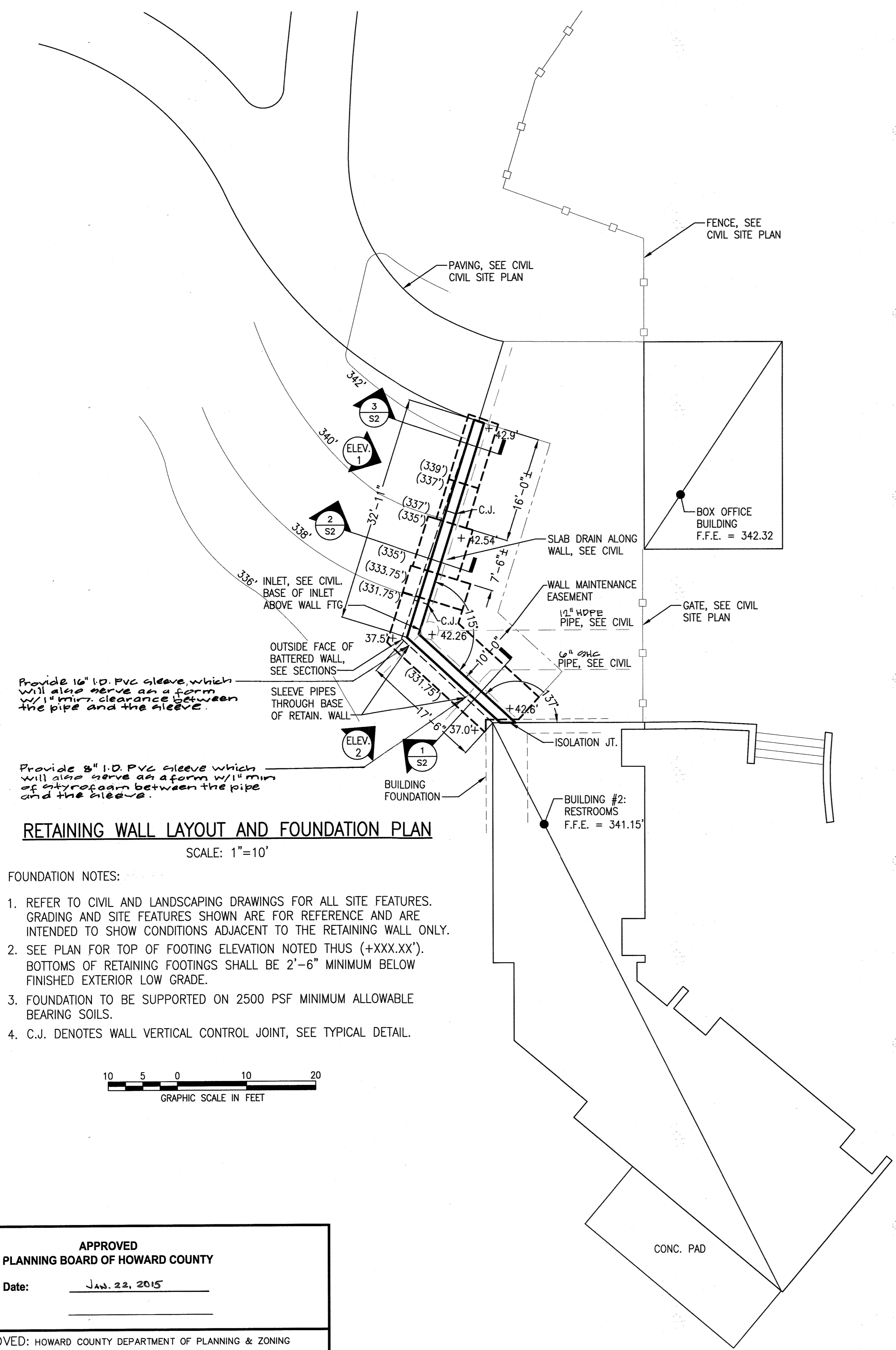
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
DEC., 2014	36-1	21 OF 28

L-202

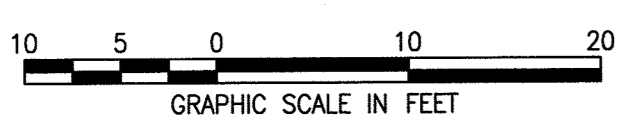
CND# 80-22



RETAINING WALL LAYOUT AND FOUNDATION PLAN

SCALE: 1"=10'

- FOUNDATION NOTES:**
- REFER TO CIVIL AND LANDSCAPING DRAWINGS FOR ALL SITE FEATURES. GRADING AND SITE FEATURES SHOWN ARE FOR REFERENCE AND ARE INTENDED TO SHOW CONDITIONS ADJACENT TO THE RETAINING WALL ONLY.
 - SEE PLAN FOR TOP OF FOOTING ELEVATION NOTED THUS (+XXX.XX"). BOTTOMS OF RETAINING FOOTINGS SHALL BE 2'-6" MINIMUM BELOW FINISHED EXTERIOR LOW GRADE.
 - FOUNDATION TO BE SUPPORTED ON 2500 PSF MINIMUM ALLOWABLE BEARING SOILS.
 - C.J. DENOTES WALL VERTICAL CONTROL JOINT, SEE TYPICAL DETAIL.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: Jan. 22, 2015

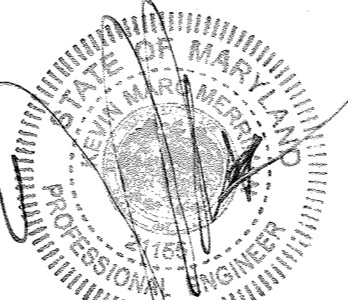
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] Date: 1/9/15
 Chief, Division of Land Development: [Signature] Date: 2-24-15
 Chief, Development Engineering Division: [Signature] Date: 2-6-15

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

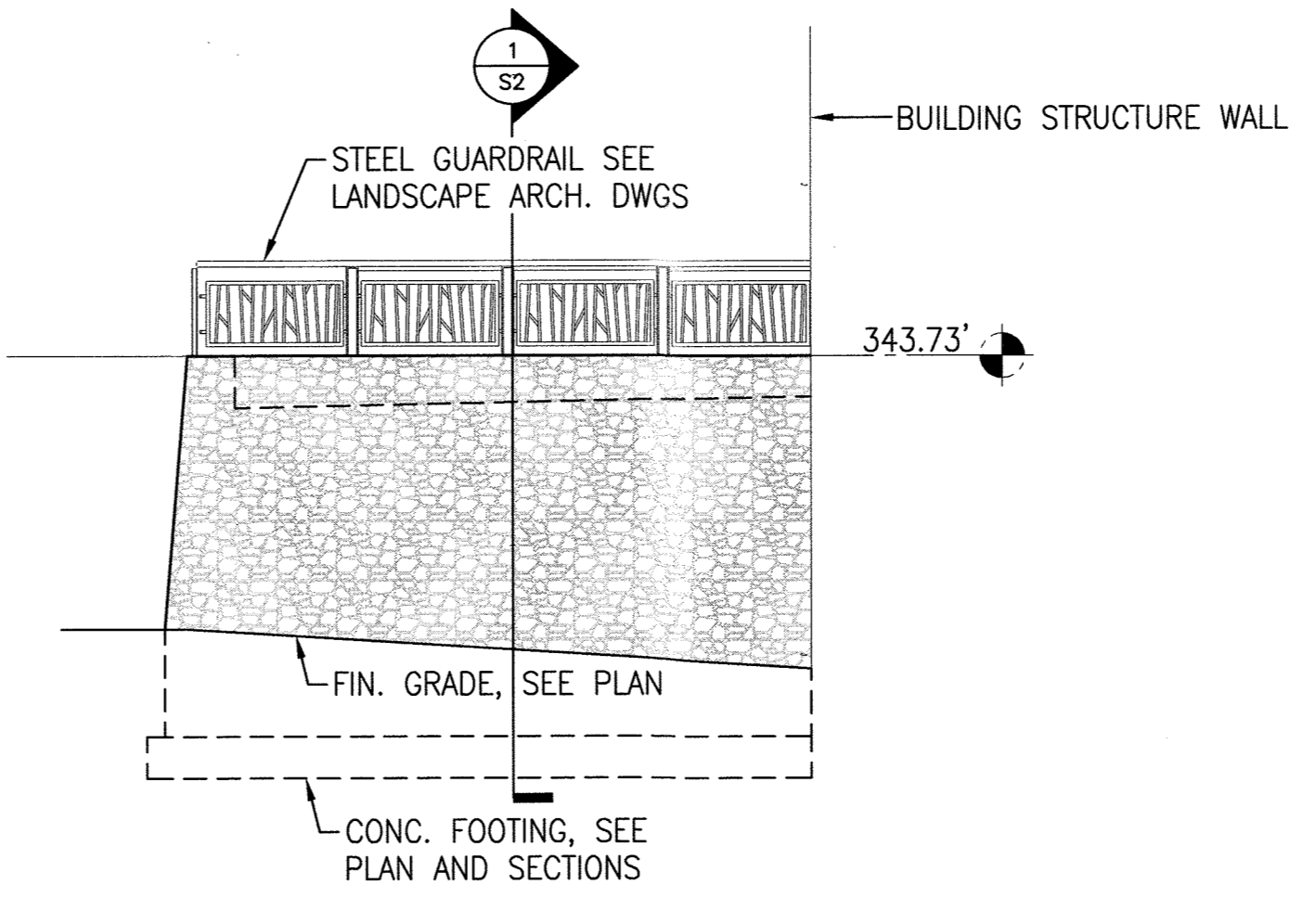
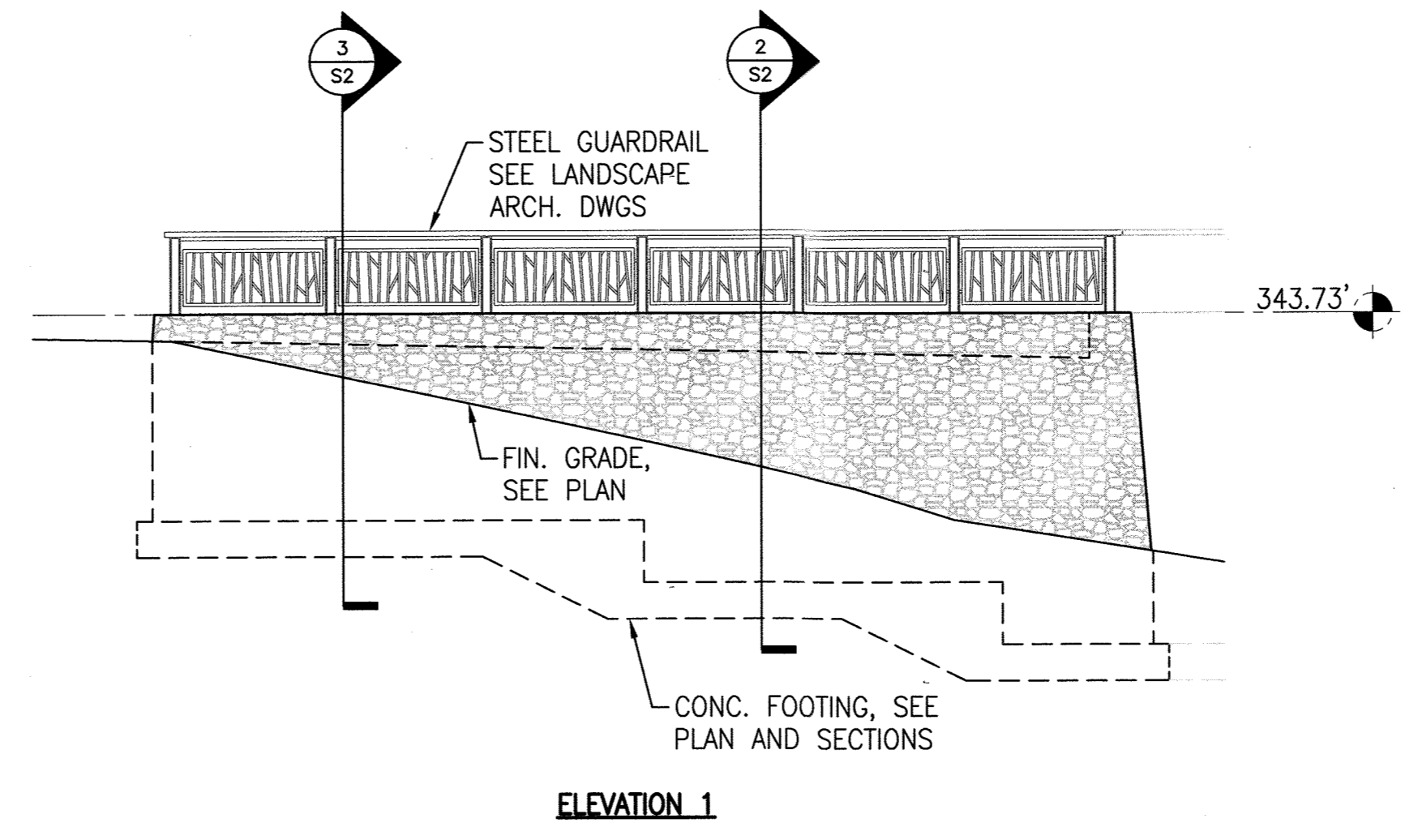
PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10221 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: ROBERT JENKINS
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21155
 EXPIRATION DATE: MARCH 13, 2016



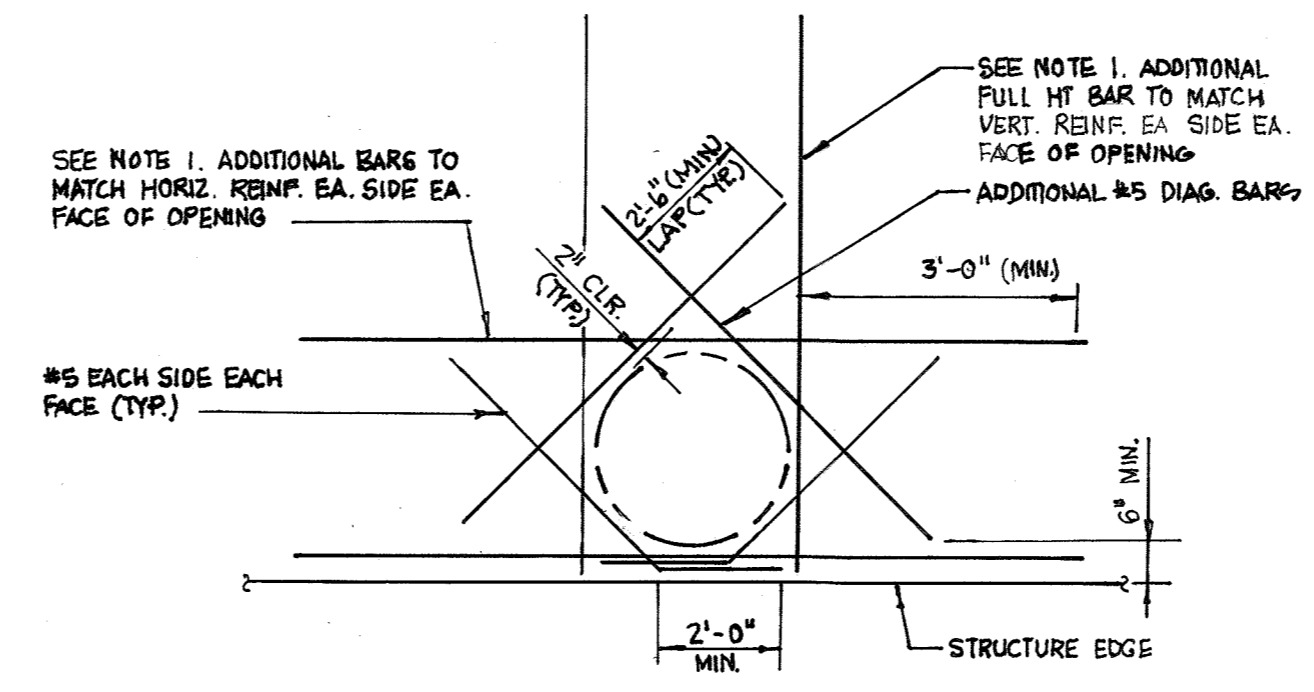
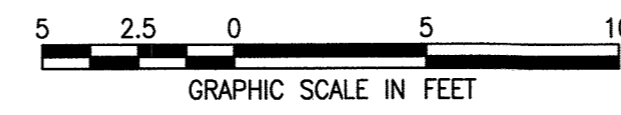
RETAINING WALL FOUNDATION PLAN, ELEVATIONS AND GENERAL NOTES
MERRIWEATHER POST PAVILION
 CONCESSION AND RESTROOM BUILDINGS
 TOWN CENTER
 SECTION 1, LOT 13
 PLAT No. 4305 and 4306
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS NOTED	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
DEC., 2014	36-1	22 OF 28



RETAINING WALL ELEVATIONS

SCALE: 1"=5'



TYPICAL ADDITIONAL WALL REINFORCEMENT AT CIRCULAR WALL OPENINGS

- NOTES:**
- PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL REINFORCEMENT OF SAME SIZE AND NUMBER (1/2 BARS EACH SIDE OF OPENING) AS BARS INTERRUPTED BY THE OPENING. CUT BARS WHICH ARE INTERRUPTED.

FOUNDATIONS

- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR CONTROLLED STRUCTURAL FILL, HAVING A MINIMUM SAFE BEARING CAPACITY OF 2,500 PSF. ALL SPREAD FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO SOIL HAVING SUCH MINIMUM BEARING VALUE.
- RETAIN THE SERVICES OF A REGISTERED GEOTECHNICAL ENGINEER, APPROVED BY THE ARCHITECT AND PAID FOR BY THE OWNER, TO VERIFY SOIL BEARING CAPACITY AT EACH FOOTING PRIOR TO INSTALLATION. TESTING DOCUMENTATION MUST BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO THE START OF CONSTRUCTION. THE REQUIRED TEST PROCEDURE SHALL BE THE DYNAMIC CONE PENETROMETER TEST ASTM STP-399. NOTIFY ARCHITECT/ENGINEER OF ANY VARIATION FROM ANTICIPATED BEARING CAPACITY FOR APPROPRIATE REDESIGN OR LOWERING OF FOOTINGS.
- EXCAVATION, PREPARATION OF SUBGRADE, AND FOOTING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. RETAINING WALLS SHALL ONLY BE CONSTRUCTED UNDER THE OBSERVATION OF A REGISTERED PROFESSIONAL ENGINEER AND A CERTIFIED SOILS TECHNICIAN.
- COMPACT FILL AND BACKFILL TO 95% MINIMUM STANDARD PROCTOR DENSITY. THE REPORTS SHALL BE MADE AVAILABLE TO THE HOWARD COUNTY INSPECTOR UPON COMPLETION OF CONSTRUCTION. THE SUITABILITY OF FILL MATERIAL SHALL BE CONFIRMED BY THE ON-SITE SOILS TECHNICIAN. ALL FILL AND BACKFILL OPERATIONS SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL ENGINEER.
- ALL ORGANIC MATERIALS AND CONSTRUCTION DEBRIS SHALL BE REMOVED IN REGIONS OF ALL FOUNDATIONS.
- THE BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE 2'-6" MINIMUM BELOW FINISHED GRADE.
- EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN 1 (VERTICAL) TO 2 (HORIZONTAL) SLOPE WITH RESPECT TO ANY ADJACENT FOOTING OR EXCAVATION.
- THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS, AND ALL EXCAVATIONS SHALL BE KEPT FREE OF WATER.
- NO HORIZONTAL JOINTS SHALL BE PLACED IN WALLS EXCEPT AS SHOWN ON THE DRAWINGS WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL LOCATIONS OF TRENCHES, PITS, CONDUITS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- BACKFILLING AGAINST WALLS SHALL NOT BE DONE UNTIL CONCRETE HAS BEEN CURED TO ATTAIN SUFFICIENT STRENGTH (7 DAYS MINIMUM) AND WALLS ARE PROPERLY SHORED AND/OR BRACED. BACKFILLING AGAINST BASEMENT WALLS SHALL NOT BE DONE UNTIL THE FLOOR SLABS AT TOP AND BOTTOM OF WALLS HAVE BEEN PLACED AND HAVE CURED. BACKFILL FOUNDATION WALLS WITH EARTH ON BOTH SIDES OF THE WALL BY ALTERNATELY PLACING BACKFILL ON EACH SIDE SO THAT HEIGHT OF BACKFILL DOES NOT DIFFER BY MORE THAN 1'-6" FROM OTHER SIDE.
- ALL ADJACENT COLUMN FOOTINGS THAT ABUT SHALL BE SEPARATED BY A PAPER JOINT.

FOUNDATION CONCRETE

- ALL CONCRETE SHALL CONFORM TO THE PROVISIONS OF ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-LATEST EDITION) AND ACI SPECIFICATIONS FOR STRUCTURAL CONCRETE IN BUILDINGS (ACI 301-LATEST EDITION).
- ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE HAVING A DESIGN COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS:
 A. WALLS AND FOOTINGS 4,000 PSI
- NO CONCRETE SHALL BE PLACED UNTIL CONCRETE DESIGN MIXES HAVE BEEN SUBMITTED FOR EACH CLASS OF CONCRETE NOTED ABOVE AND HAVE BEEN REVIEWED BY THE ARCHITECT/ENGINEER.
- USE A WATER REDUCING ADMIXTURE IN ALL CONCRETE.
- PROVIDE MIX DESIGNS WITH A WATER-CEMENT RATIO FROM 0.40 TO 0.45.
- SLUMP SHALL BE AS REQUIRED BY ACI 302 - LATEST EDITION
- AIR ENTRAIN ALL CONCRETE EXPOSED TO WEATHER TO 5%±1% UNO.
- NO CALCIUM CHLORIDE IN ANY FORM WILL BE PERMITTED IN CONCRETE.
- ALL STRUCTURAL MEMBERS SHALL BE POURED FOR THEIR FULL DEPTHS IN ONE OPERATION.
- EXCAVATIONS SHALL BE KEPT FREE OF WATER. NO CONCRETE SHALL BE PLACED IN WATER.
- ALL SLABS ON GRADE SHALL HAVE THICKENINGS, DEPRESSIONS, OPENINGS, ETC. AS SHOWN OR AS REQUIRED BY VARIOUS TRADES.
- REFER TO ARCHITECTURAL DRAWINGS AND/OR SPECIFICATION SECTIONS FOR CONCRETE FINISHES.
- RETAIN THE SERVICES OF AN INDEPENDENT TESTING AGENCY APPROVED BY THE ARCHITECT TO PERFORM TESTS OF CONCRETE. TAKE A MINIMUM OF 4 CYLINDERS FOR EACH CLASS OF CONCRETE POURED IN ANY ONE DAY. PERFORM 1 SLUMP TEST PER TRUCK LOAD OF CONCRETE.

REINFORCEMENT

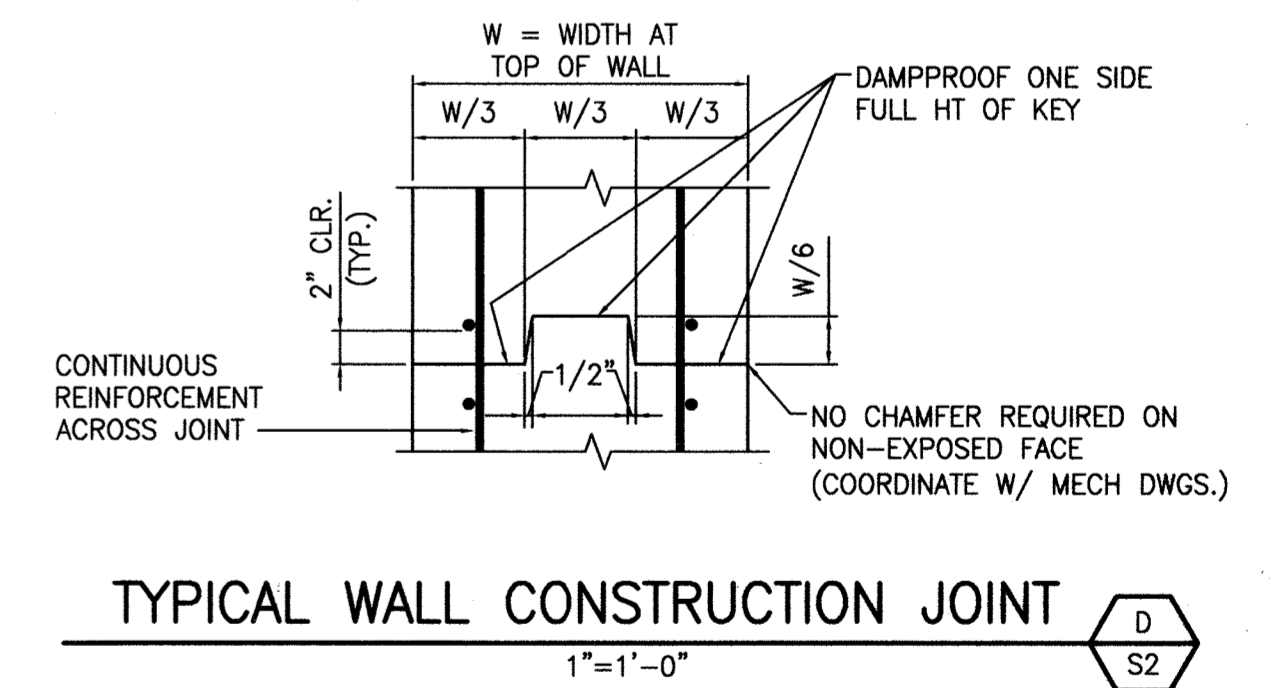
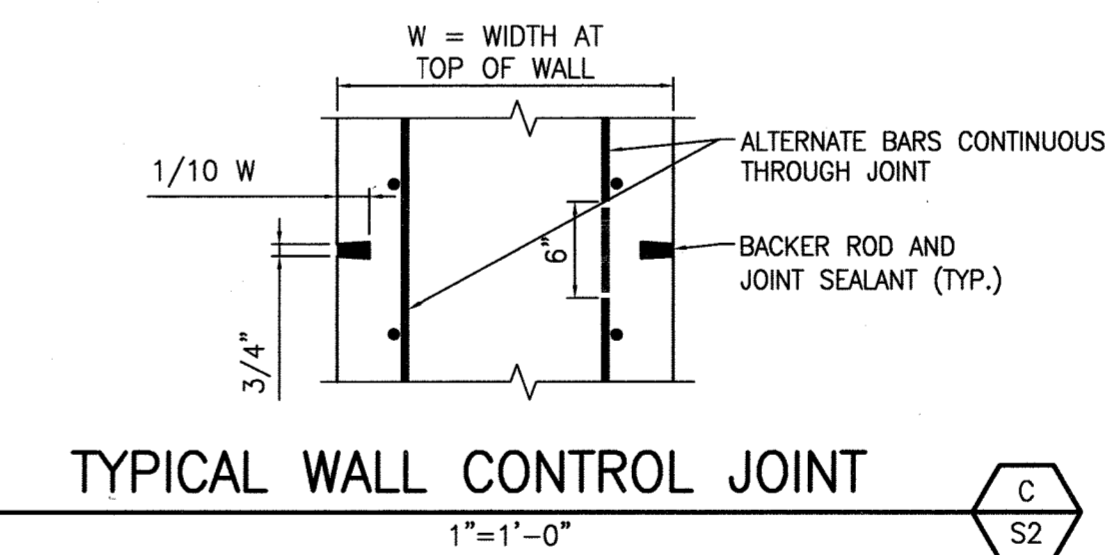
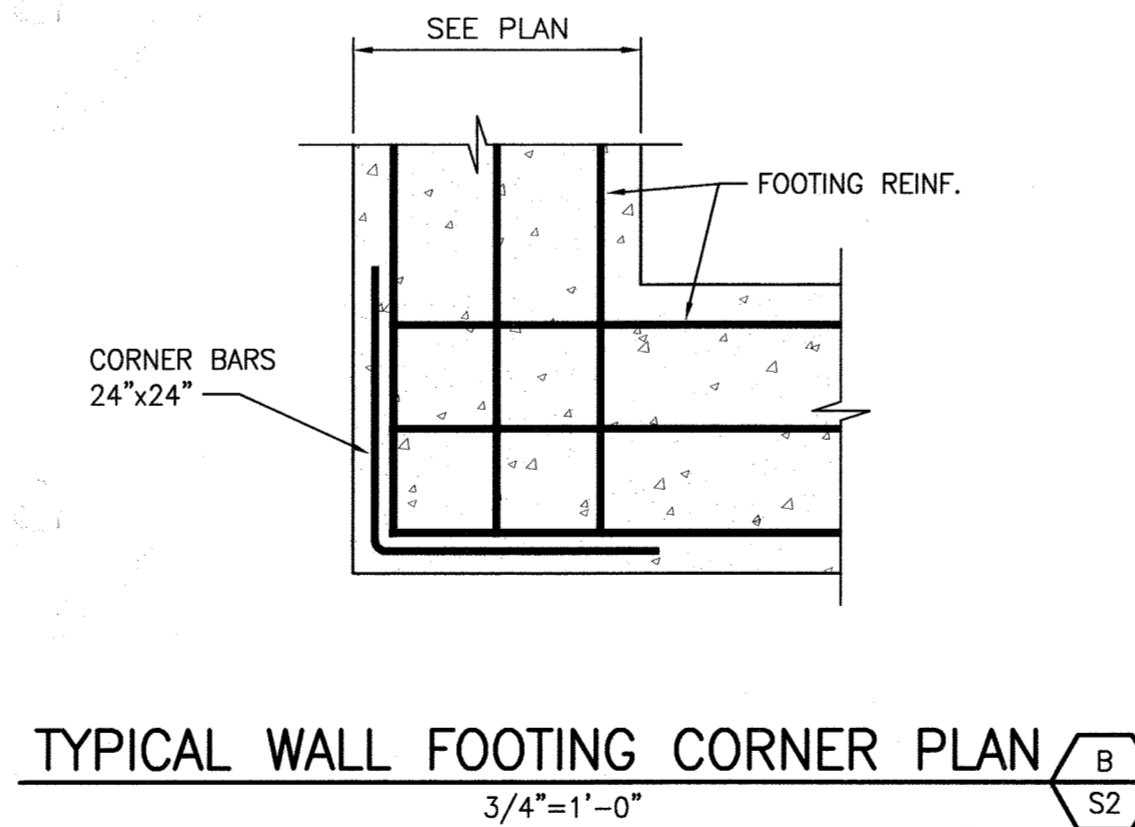
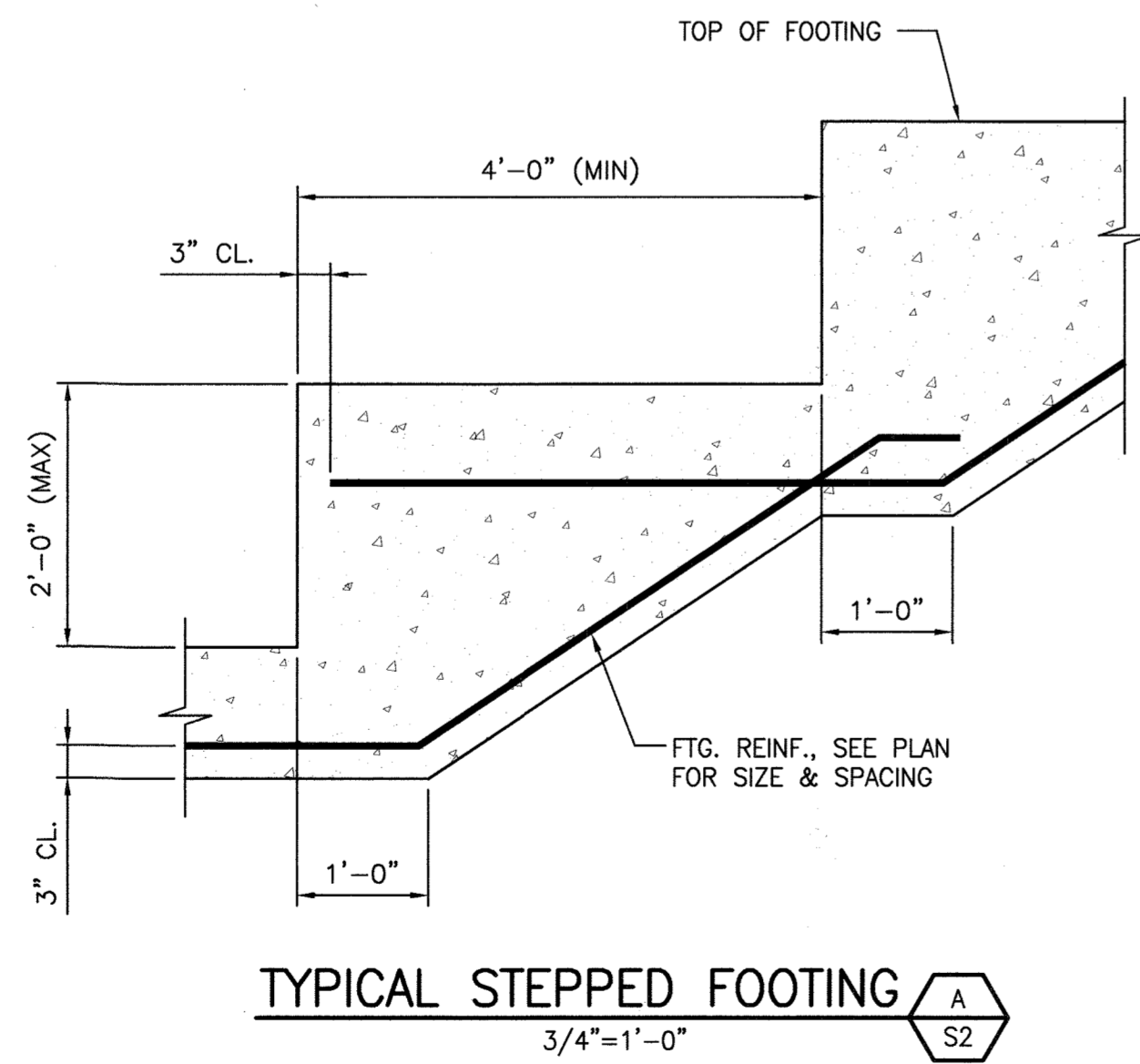
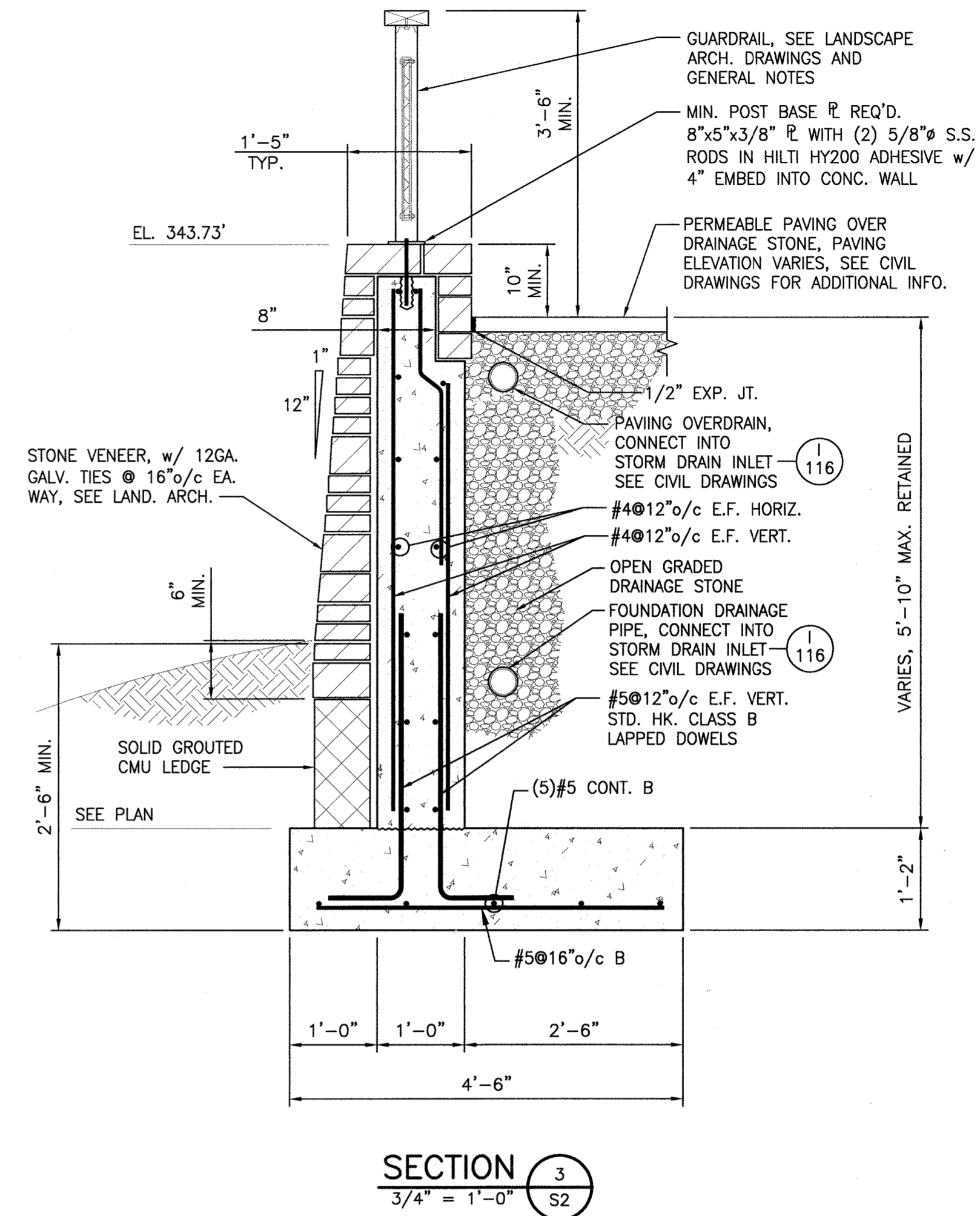
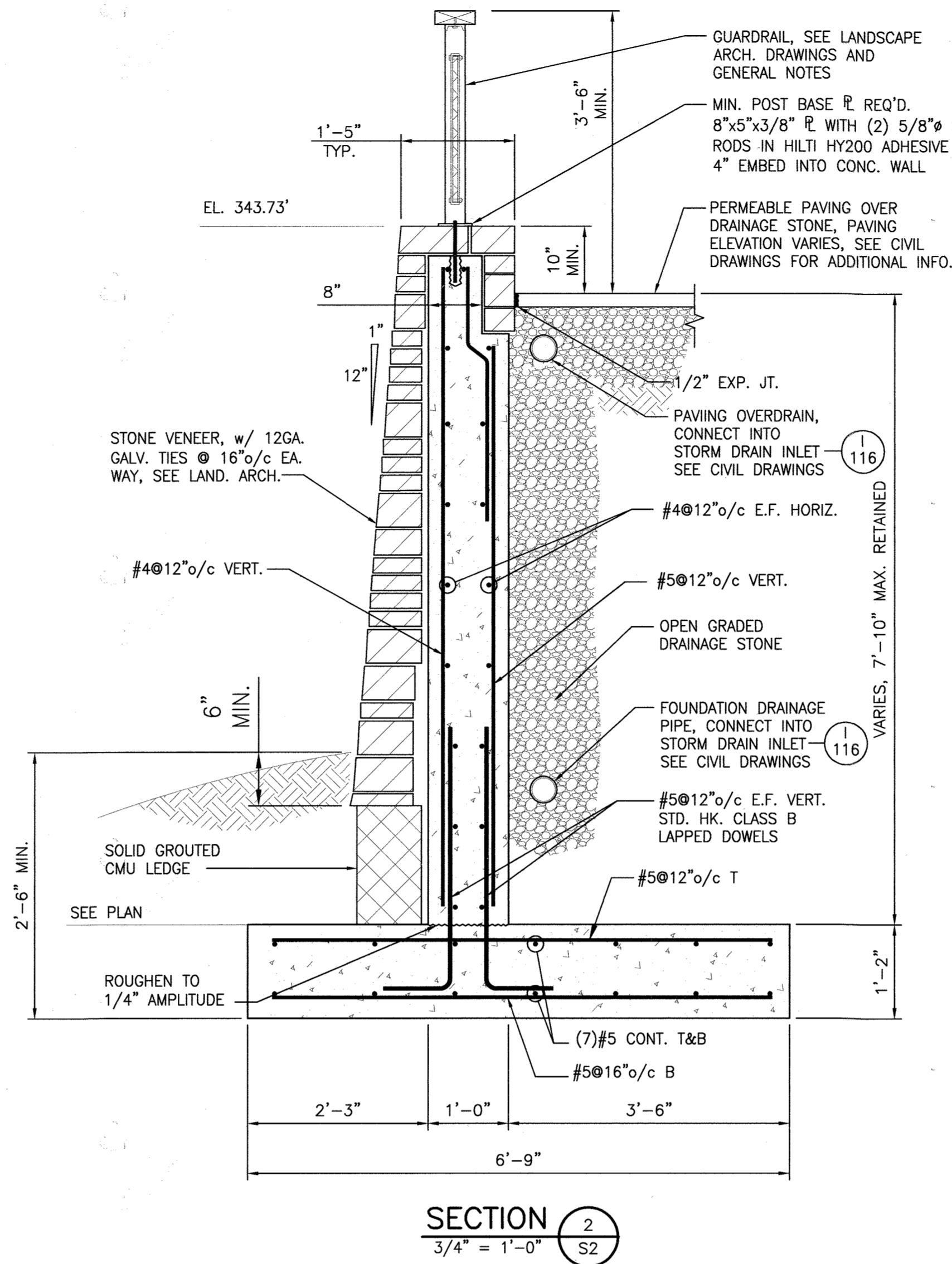
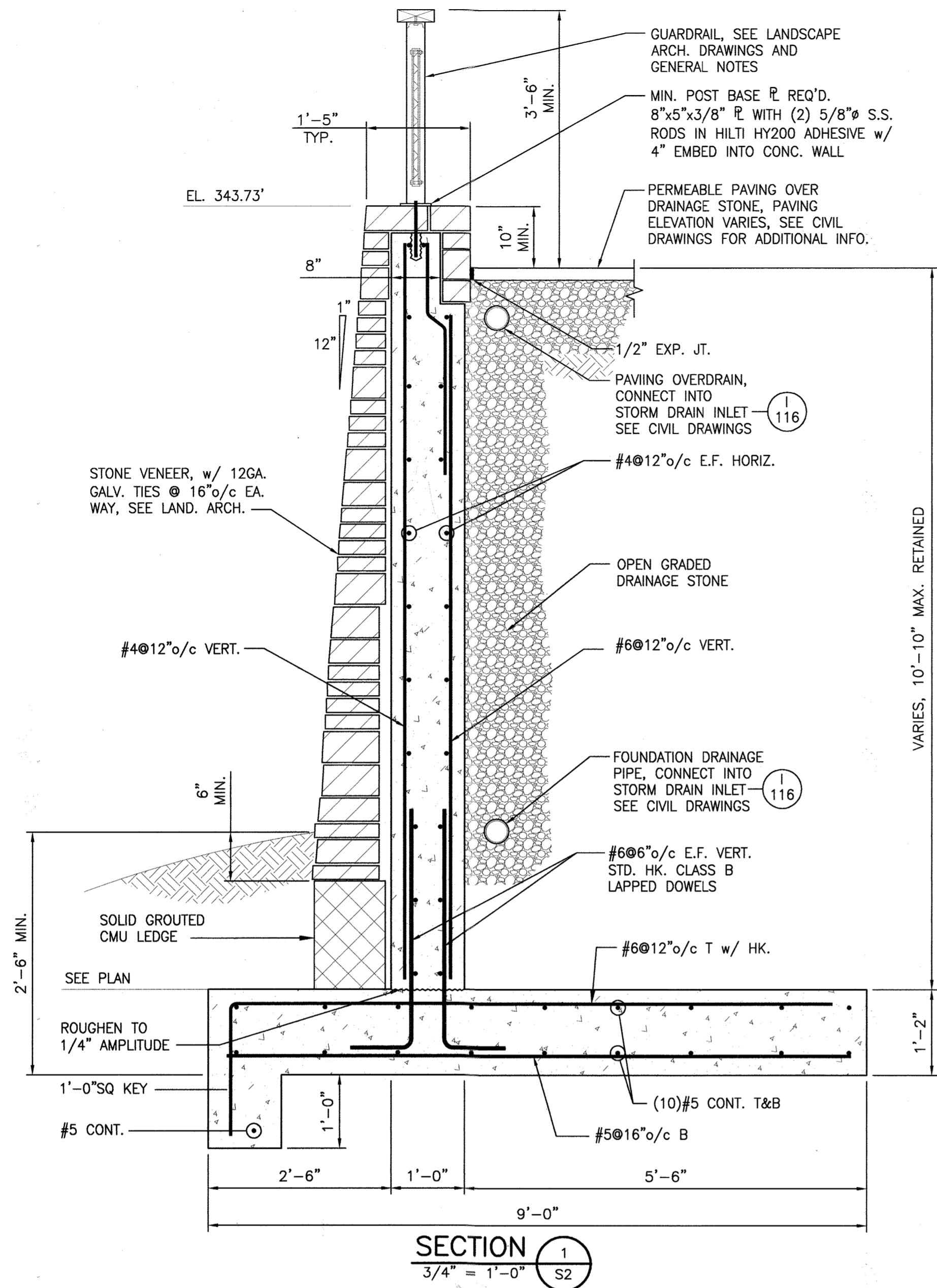
- ALL DEVELOPMENT AND SPLICES OF REINFORCEMENT SHALL CONFORM TO THE PROVISIONS OF ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-LATEST EDITION).
- REINFORCING STEEL SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF ASTM A615 GRADE 60. ALL HOOKS SHALL BE STANDARD HOOKS, UNLESS OTHERWISE NOTED.
- REINFORCING BAR SUPPORTS AND SPACERS SHALL CONFORM TO ACI 315-(LATEST EDITION) DETAILING MANUAL.
- SHOP DRAWINGS SHOWING ALL NECESSARY SECTIONS AND DETAILS FOR THE PROPER POSITIONING OF ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW BEFORE FABRICATION OR PLACEMENT OF THE STEEL.

STEEL GUARDRAILS

- STEEL SUPPLIER SHALL DESIGN ALL FRAMING INCLUDING GUARDRAILS TO SUPPORT THE FOLLOWING DESIGN LOADS:
GUARDRAILS-
 100 LBS/FT VERTICALLY AND 50 LBS/FT HORIZONTALLY, OR A 200 LBS CONCENTRATED LOAD, WHICHEVER IS GREATER, APPLIED AT ANY POINT AND IN ANY DIRECTION TO THE TOP RAIL. A 200 LBS CONCENTRATED LOAD APPLIED ON A 1 S.F. AREA AT ANY POINT FOR REMAINING GUARDRAIL INFILL COMPONENTS.
- WHERE STEEL BEARS ON WALL, MANUFACTURER TO PROVIDE BEARING PLATES TO MAINTAIN 200 P.S.I. BEARING PRESSURE.
- SUBMIT COMPLETE SHOP AND ERECTION DRAWINGS FOR REVIEW PRIOR TO FABRICATION OR ERECTION. RAILING SUPPLIER'S SHOP DRAWINGS SHALL CONTAIN A CERTIFICATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER STATING THAT THE GUARDRAIL COMPONENTS HAVE BEEN DESIGNED TO SUPPORT THE SPECIFIED LOADS.



CARROLL ENGINEERING, INC.
 215 SCHILLING CIRCLE, SUITE 102
 HUNT VALLEY, MD 21031
 410-785-7423 PHONE 410-771-1313 FAX



NOTES:
1. JOINT LOCATIONS SHALL BE AS SHOWN ON CONTRACT DRAWING. IF NO LOCATIONS ARE GIVEN, FIRST JOINT TO BE PLACED WITHIN 10'-0" OF CORNER WITH REGULAR SPACING OF CONTROL JOINTS AT 20'-0" o/c (MAX.) AND CONSTRUCTION JOISTS @ 60'-0" o/c (MAX.) ACROSS THE LENGTH OF THE WALL.
2. CONTRACTOR MAY SUBSTITUTE "V" NOTCH IN LIEU OF VERTICAL SAWCUTS ALONG EACH FACE OF WALL AT CONTROL JOINTS.

NOTE:
PROVIDE 24"x24" CORNER BARS AS SHOWN ABOVE OR BEND EACH INTERSECTING OUTSIDE BAR FOR A DISTANCE OF 20" AROUND CORNERS FOR EACH LAYER OF FOOTING REINFORCING. BAR TO BE SAME SIZE AS FOOTING REINFORCING. COLD BENDING IN THE FIELD IS ALLOWABLE.

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JAN. 22, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 2/5/15
 Chief, Division of Land Development: *[Signature]* Date: 2-24-15
 Chief, Development Engineering Division: *[Signature]* Date: 2-6-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 230 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
 THE HOWARD HUGHES CORPORATION
 10221 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: ROBERT JENKINS
 410-964-4800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21152
 EXPIRATION DATE: MARCH 13, 2016

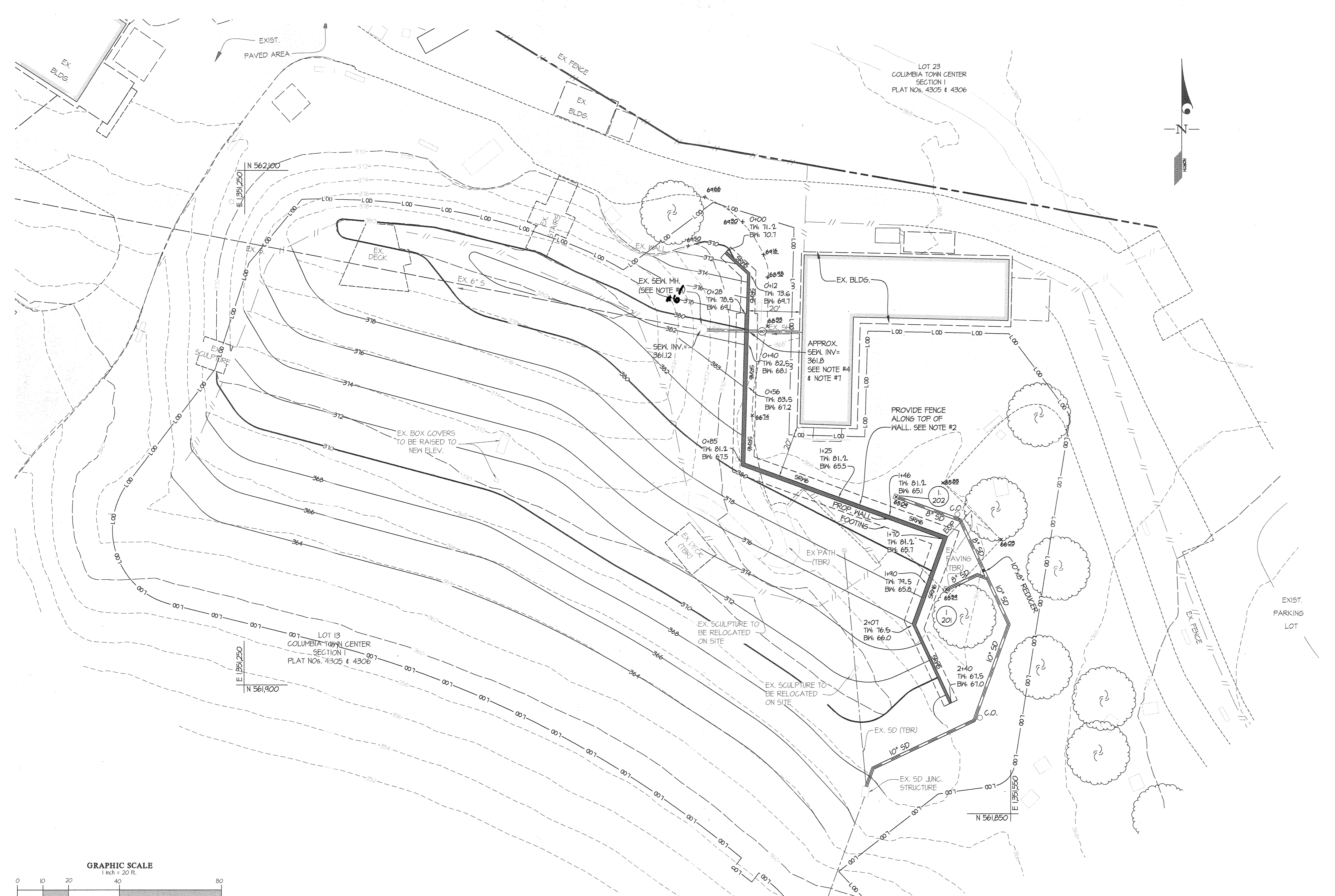


RETAINING SECTIONS AND TYPICAL DETAILS
 MERRIWEATHER POST PAVILION
 CONCESSION AND RESTROOM BUILDINGS
 TOWN CENTER
 SECTION 1, LOT 13
 PLAT No. 4305 and 4306
 HOWARD COUNTY, MARYLAND

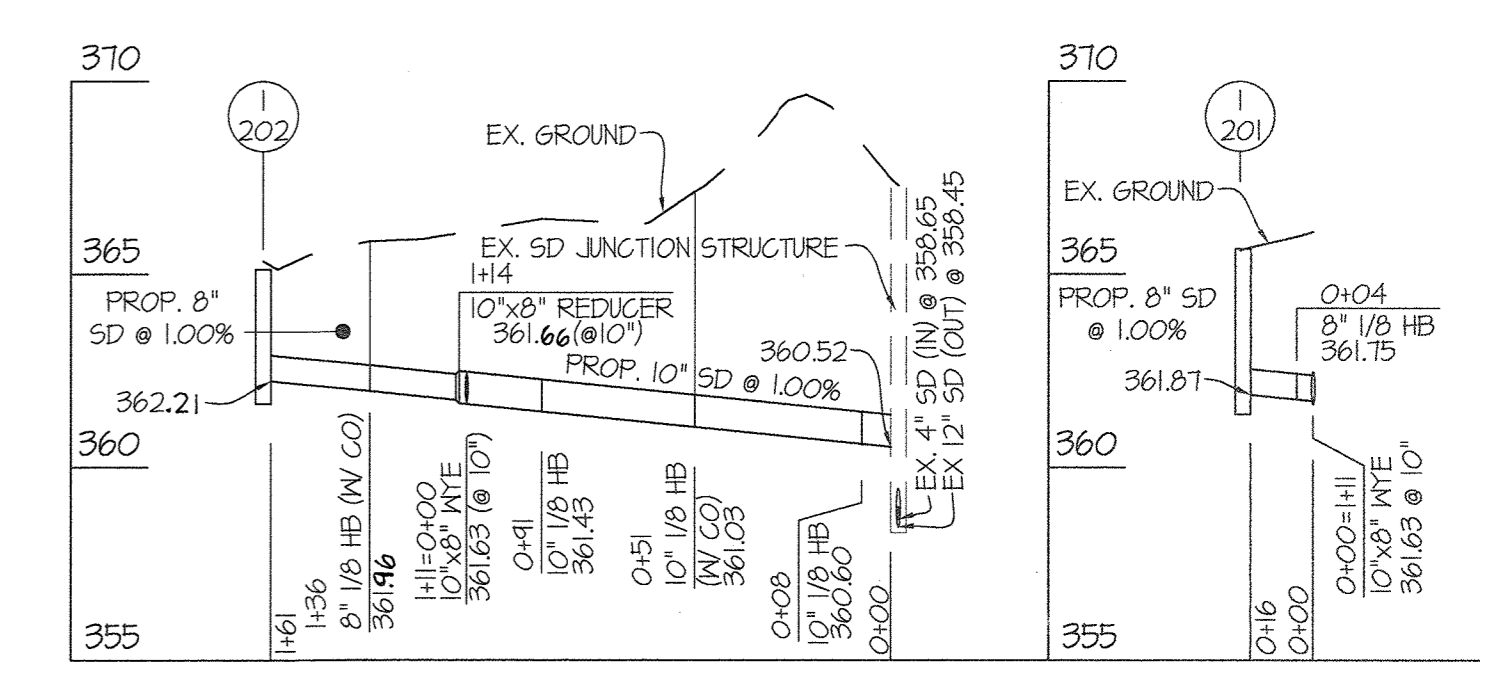
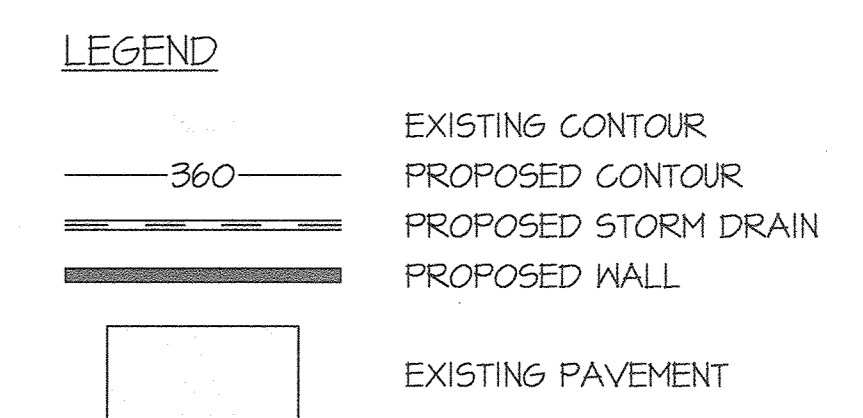
SCALE	ZONING	G. L. W. FILE NO.
AS NOTED	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
DEC., 2014	36-1	23 OF 28



CARROLL ENGINEERING, INC.
 215 SCHILLING CIRCLE, SUITE 102
 HUNT VALLEY, MD 21031
 410-785-7423 PHONE 410-771-1313 FAX

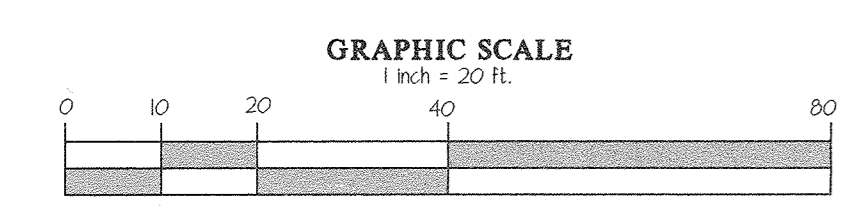


- NOTES:
- "TW" INDICATES ELEVATION AT TOP OF WALL AT CONCRETE, GROUND ELEVATION AT THE TOP OF WALL TO BE 6" BELOW CONCRETE. "BW" INDICATES GROUND ELEVATION AT BOTTOM OF WALL. SEE WALL DETAILS FOR MINIMUM BOTTOM OF WALL ELEVATIONS.
 - PROVIDE FENCE ALONG TOP OF WALL. FENCE SHALL BE A MINIMUM OF 6 FEET IN HEIGHT, AND THE OPENINGS IN THE FENCE OR RAIL MUST BE SMALL ENOUGH TO PREVENT THE PASSAGE OF A FOUR INCH SPHERE. FENCES MUST BE STABLE ENOUGH TO WITHSTAND 200 LBS OF CONCENTRATED LOADING APPLIED HORIZONTALLY ANY POINT. See sheets 26-28 for structural requirements.
 - "SRW" INDICATES SITE RETAINING WALL TYPE "X". REFER TO CONCRETE SITE RETAINING WALL SCHEDULE FOR ADDITIONAL INFORMATION.
- | START | END | TYPE |
|-------|------|------|
| 0100 | 0120 | SRW6 |
| 0120 | 2101 | SRW6 |
| 2101 | 2140 | SRW6 |
- FOR WALL & FOOTING DETAILS AND NOTES, SEE SHEETS 26-28.
- REPLACE EX. 6" SFG WITH NEW 6" PVC.
 - CONTACT MISS UTILITY OR OTHER UTILITY LOCATING SERVICE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY ADDITIONAL EXISTING UNDERGROUND UTILITIES CROSS THE PROPOSED RETAINING WALL. NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THERE ARE ANY CONFLICTS.
 - CONTRACTOR TO RAISE RIM OF EX. SEWER MH TO 361.0 AND INSTALL AN INTERMEDIATE LANDING PER H.O.C.O. DETAIL 6-5.16.
 - STEP FOOTING TO ALLOW PIPE TO PASS THROUGH KEY SIM TO TYPICAL PIPE AT FOOTING DETAIL. SEE TYP. STEPPED FOOTING DETAIL FOR ADDITIONAL INFORMATION.
 - ALL TREES LOCATED WITHIN L.O.D. TO BE SAVED. PROVIDED TREE PROTECTION FENCE AS NEEDED.
9. Shop drawings for wall and fence construction require approval of TEC (structural engineer). See sheet 27.



SIZE (INCHES)	TYPE	QUANTITY (L.F.)	REMARKS
8	PVC	65	SCH. 40
10	PVC	114	SCH. 40

NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT		STD. DETAIL	REMARKS	LOCATIONS
			UPPER	LOWER	UPPER	LOWER			
I-201	NYLOPLAST 15" DRAIN	15"	365.54	-----	-----	361.07	NYLOPLAST 15" DRAIN W/ PEDESTRIAN GRATE OR EQUIVALENT	PRIVATE	
I-202	NYLOPLAST 15" DRAIN	15"	365.04	-----	-----	362.21	NYLOPLAST 15" DRAIN W/ PEDESTRIAN GRATE OR EQUIVALENT	PRIVATE	



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 2-27-2020

Chief, Division of Land Development: *[Signature]* Date: 2/26/2020

Chief, Development Engineering Division: *[Signature]* Date: 2-14-20

OWNER

LOT 13
DOWNTOWN COLUMBIA ARTS
AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
443-741-1974

PURPOSE NOTE
THE PURPOSE OF THIS PLAN IS TO SHOW THE NEW GRADING AND RETAINING WALL IN THE LAWN AREA.

GLW
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-4186

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	AWL	DDS	BY	APPR.
DDS	AWL	AWL	01/31/2020	ADDED WALL AND LAWN GRADING (SHEET ADDED)				

PREPARED FOR:

MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2020

[Signature] 2/13/2020

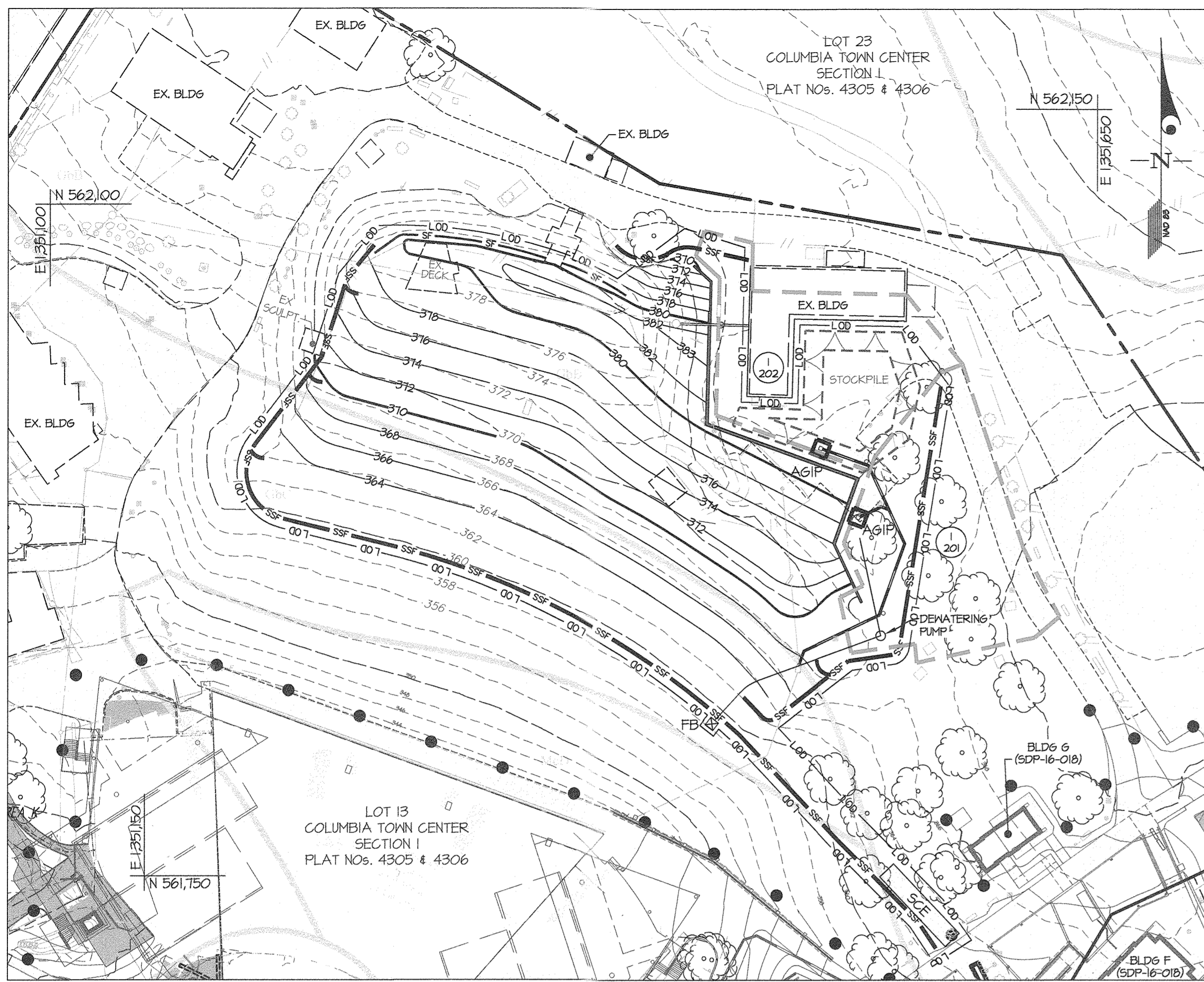
REDEVELOPMENT PHASE 1
GRADING PLAN - REVISED LAWN GRADING AND WALL PLAN

**MERRIWEATHER POST PAVILION
CONCESSION, RESTROOM, BOX OFFICE AND STORAGE
TOWN CENTER
SECTION I, LOT 13
PLAT No. 4305 and 4306**

ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
JAN., 2020	36-1	24 OF 28

L:\CADD\DRAWINGS\11072\PLANS BY GLW\SDP REDLINE - HELI WALL GRADING PLAN.dwg, PLOTTED: 1/29/2020 11:53 AM, LAST SAVED: 1/29/2020 11:49 AM, PLOTTED BY: Tony Leppner

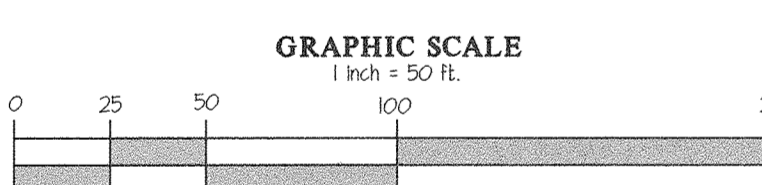


HOWARD COUNTY SOIL MAP NUMBER: 18 - SAVAGE NM

SOIL TYPE	SOIL DESCRIPTION	SOILS GROUP	K' FACTOR
GbB	Gladstone loam, 3 to 8 percent slopes	"B"	0.20
GbC	Gladstone loam, 8 to 15 percent slopes	"B"	0.20
Ha	Hatboro-Codorus silt loam, 0 to 3 percent slopes	"D"	0.31
McD	Manor loam, 15 to 25 percent slopes	"B"	0.24

DRAINAGE AREA INFORMATION

INLET	AREA (ACRES)	C' VALUE	% IMP.
I-201	0.26	0.34	16%
I-202	0.22	0.86	100%



OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS
 AND CULTURE COMMISSION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 ATTN: IAN KENNEDY
 443-741-1974

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 2-27-2020
 Chief, Division of Land Development: *[Signature]* 2/16/20
 Chief, Development Engineering Division: *[Signature]* 2/14/20

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
 Signature: *[Signature]* DATE: 2/3/20
 Executive Director - Ian Kennedy

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *[Signature]* DATE: 2/3/20
 Engineer: CARL GUTSCHICK
 License No. 12975 (PE)
 MD REGISTRATION NO. *[Blank]*

PURPOSE NOTE
 THE PURPOSE OF THIS PLAN IS TO SHOW SEDIMENT CONTROL FOR THE NEW GRADING AND RETAINING WALL IN THE LAWN AREA.
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *[Signature]* DATE: 2/4/20
 HOWARD SOIL CONSERVATION DISTRICT

DESIGNED BY: DDS
 DRAWN BY: AWL
 CHECKED BY: CKG
 DATE: 01/31/2020
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY	DATE	REVISION
DDS	01/31/2020	ADDED SEDIMENT CONTROL PLAN, NOTES AND DETAILS (SHEET ADDED)
AWL		
CKG		

PREPARED FOR:
 MERRIWEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2020
 Signature: *[Signature]* DATE: 2/3/20
 State of Maryland Seal

DETAIL F-4 FILTER BAG

CONSTRUCTION SPECIFICATIONS
 1. TIGHTLY SEAL SLEEVE AROUND THE PUMP DISCHARGE HOSE WITH A STRAP OR SIMILAR DEVICE.
 2. PLACE FILTER BAG ON SUITABLE BASE (E.G., MULCH, LEAF/WOOD COMPOST, WOODCHIPS, SAND, OR STRAW BALES) LOCATED ON A LEVEL OR NEARLY LEVEL SURFACE. DISCHARGE TO A STABILIZED AREA EXTENDING A MINIMUM OF 12 INCHES FROM EDGES OF BAG.
 3. CONTROL PUMPING RATE TO PREVENT EXCESSIVE PRESSURE WITHIN THE FILTER BAG IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. AS THE BAG FILLS WITH SEDIMENT, REDUCE PUMPING RATE.
 4. REMOVE AND PROPERLY DISPOSE OF FILTER BAG UPON COMPLETION OF PUMPING OPERATIONS OR AFTER BAG HAS REACHED CAPACITY. WHICHEVER OCCURS FIRST. SPREAD THE DISTRIBUTED SEDIMENT FROM THE BAG IN AN APPROVED UPLAND AREA AND STABILIZE WITH SEED AND MULCH TO THE END RESULTS OF THE SURFACE AREA BENEATH THE BAG TO ORIGINAL CONDITION UPON COMPLETION OF THE PROJECT.
 5. USE NONWOVEN GEOTEXTILE WITH DOUBLE STITCHED SEAMS USING HIGH STRENGTH THREADED SUEVE TO ACCOMMODATE A MAXIMUM 4 INCH DIAMETER PUMP DISCHARGE HOSE. THE BAG MUST BE MANUFACTURED FROM A NONWOVEN GEOTEXTILE THAT MEETS OR EXCEEDS MINIMUM AVERAGE PULL VALUES (MAKV) FOR THE FOLLOWING:
 GRAIN TENSILE: 250 LB ASTM D-4832
 PUNCTURE: 150 LB ASTM D-4833
 FLOW RATE: 70 GAL/MIN/FT² ASTM D-4491
 PERMEABILITY (SEC²): 1.2 ASTM D-4491
 UV RESISTANCE: 70% STRENGTH @ 500 HOURS ASTM D-4355
 APPARENT OPENING SIZE (AOS) 0.15-0.18 MM ASTM D-4751
 SEAM STRENGTH: 500 ASTM D-4832
 6. REPLACE FILTER BAG IF BAG CLOSURE OR HAS RIPS, TEARS, OR PUNCTURES. DURING OPERATION KEEP CONNECTION BETWEEN PUMP HOSE AND FILTER BAG WATER TIGHT. REPLACE BEFORE IT BECOMES EXPOSED.

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

DEFINITION
 A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES.

PURPOSE
 TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

CONDITIONS WHERE PRACTICE APPLIES
 STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

CRITERIA
 1. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN.
 2. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.
 3. RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.
 4. ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.
 5. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER.
 6. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.
 7. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.
 8. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERVIOUS LINING.

MAINTENANCE
 THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

LEGEND

- 360--- EXISTING CONTOUR
- 360— PROPOSED CONTOUR
- SF— PROPOSED STORM DRAIN
- SF— PROPOSED WALL
- SF— PROPOSED SILT FENCE
- SF— PROPOSED SUPER SILT FENCE
- LOO--- LIMIT OF DISTURBANCE
- LIMIT OF DISTURBANCE (SDP-16-018)
- AGIP AT-GRADE INLET PROTECTION
- FB FILTER BAG
- SCE STABILIZED CONSTRUCTION ENTRANCE
- EXISTING PAVEMENT
- SOIL DELINEATION
- SOIL TYPE
- DRAINAGE DIVIDE
- LIMIT OF STOCKPILE

DETAIL E-1 SILT FENCE

CONSTRUCTION SPECIFICATIONS
 1. USE WOOD POSTS 1 1/2 x 1 1/2 x 16 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POSTS USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
 2. USE 36 INCH MINIMUM PLYSTIC DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
 3. USE WHEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE MID-SECTION.
 4. PROVIDE MANUFACTURER'S CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 5. EMBED GEOTEXTILE A MINIMUM OF 6 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
 6. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN, OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
 7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
 8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BLENDS DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 20% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, OR REINSTALL FENCE.

DETAIL E-2 AT-GRADE INLET PROTECTION

CONSTRUCTION SPECIFICATIONS
 1. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
 2. LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
 3. PLACE CLEAN 3/4 x 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
 4. AT-GRADE INLET PROTECTION REQUIRES PERMANENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FLOW AND AVOID PRESSURE CLOSURE. IF CLOSURE OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

DETAIL E-1 SILT FENCE

CONSTRUCTION SPECIFICATIONS
 1. USE WOOD POSTS 1 1/2 x 1 1/2 x 16 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POSTS USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
 2. USE 36 INCH MINIMUM PLYSTIC DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
 3. USE WHEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE MID-SECTION.
 4. PROVIDE MANUFACTURER'S CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 5. EMBED GEOTEXTILE A MINIMUM OF 6 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
 6. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN, OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
 7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
 8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BLENDS DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 20% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, OR REINSTALL FENCE.

H-5 STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION
 CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

PURPOSE
 TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES
 AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SPECIFICATIONS
 1. MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING.
 2. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION.
 3. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON INWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED EFFECT.
 4. IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SITE MUST NOT BE BRIGATED TO THE POINT THAT RUNOFF OCCURS.
 5. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
 6. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW AUTHORITY.

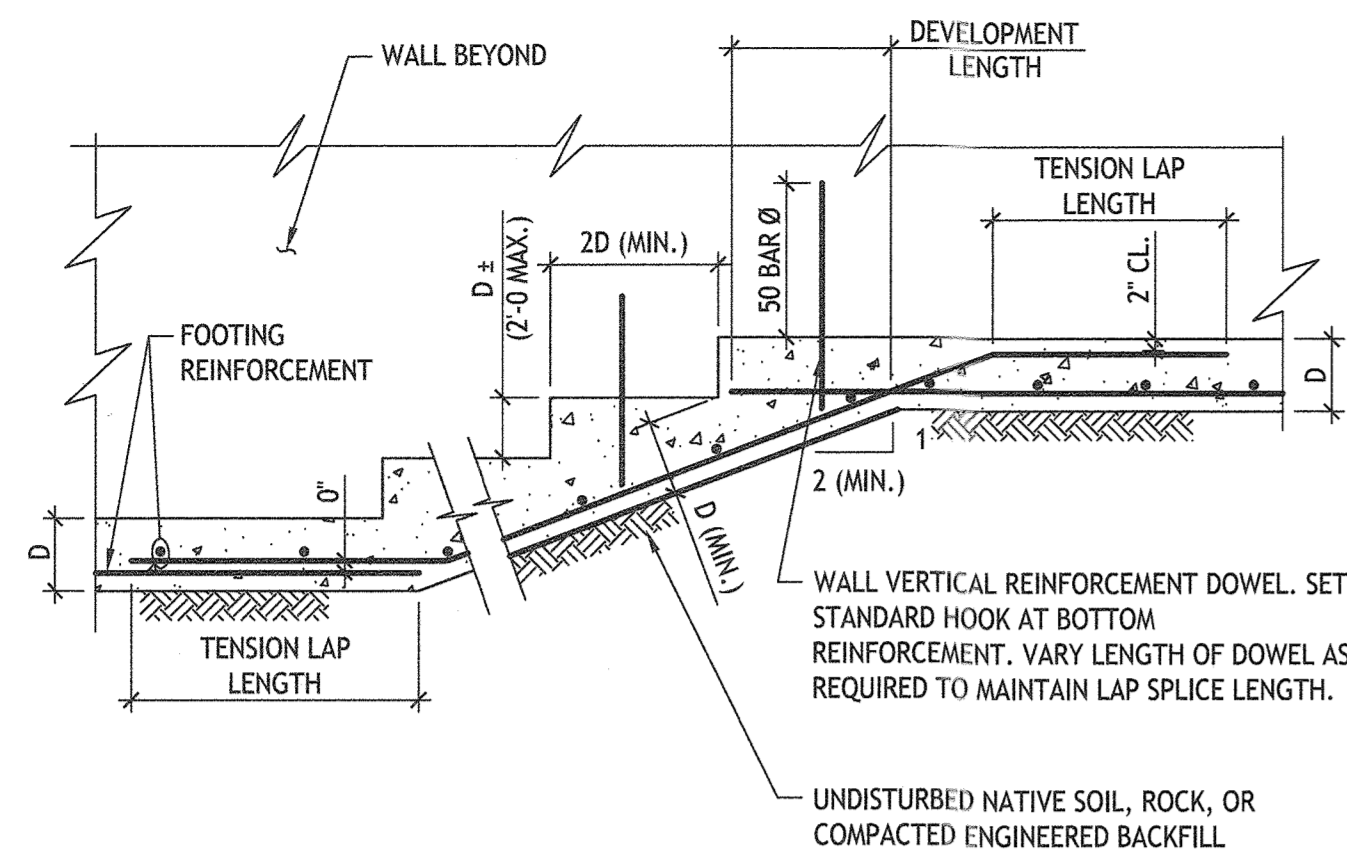
SEDIMENT CONTROL NOTES
 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOURS NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
 A. PRIOR TO THE START OF EARTH DISTURBANCE.
 B. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
 D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
 OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.
 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND REVISIONS THERETO.
 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 A. 3 CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 B. 7 CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
 4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-3), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-5). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY EROSSIVE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
 5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.
 6. SITE ANALYSIS:
 TOTAL AREA OF SITE: 10.24 AC.
 AREA TO BE ROOFED OR PAVED: 1.54 AC.
 AREA TO BE VEGETATIVELY STABILIZED: 1.44 AC.
 TOTAL CUT: 0.06 CY
 TOTAL FILL: 4.0006 CY
 OFF-SITE WASTE/BORROW AREA LOCATION: A SITE W/ AN ACTIVE S&E PLAN
 7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
 8. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY, AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
 - INSPECTION DATE
 - INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
 - NAME AND TITLE OF INSPECTOR
 - WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
 - BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G. PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
 - EVIDENCE OF SEDIMENT DISCHARGES
 - IDENTIFICATION OF PLAN DEFICIENCIES
 - IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
 - IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
 - COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
 - PHOTOGRAPHS
 - MONITORING/SAMPLING
 - MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
 - OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).
 9. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.
 10. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY HSD. PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY BE ALLOWED BY THE CID PER THE LIST OF HSD-APPROVED FIELD CHANGES.
 11. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE LOD. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM INCREASE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY CID, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
 12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.
 13. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.
 14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPWARD BY 2' IN ELEVATION.
 15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):
 - USE I AND II: MARCH 1 - JUNE 15
 - USE III AND III: OCTOBER 1 - APRIL 30
 - USE IV: MARCH 1 - MAY 31
 16. A COPY OF THIS PLAN, THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THIS SITE IS ACTIVE.

GENERAL NOTES
 1. FOR ALL SEDIMENT CONTROL NOTES AND DETAILS NOT SHOWN ON THIS SHEET, SEE SHEET 13.
 2. STABILIZED CONSTRUCTION ENTRANCE IS NOT REQUIRED IF THE GRADING PERMIT FOR SDP-16-018 IS STILL OPEN AND THE STABILIZED CONSTRUCTION ENTRANCE IS STILL IN PLACE.
 3. STANDARD SILT FENCE MAY BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 4. WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THAN 5% FOR A DISTANCE OVER 50', CURB FENCE UP 2' FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.
 5. SEDIMENT CONTROL INSPECTOR MAY RELOCATE STABILIZED CONSTRUCTION ENTRANCE.
 6. THE STANDARD SEDIMENT CONTROL PLAN MAY NOT BE USED TO OBTAIN GRADING PERMITS FOR THIS PROJECT.
 7. IF PERMANENT SEEDING IS NEEDED OUTSIDE OF RECOMMENDED SEEDING DATES, USE THE APPROPRIATE TEMPORARY SEEDING MIX AND RESEED ONCE INSIDE OF RECOMMENDED PERMANENT SEEDING DATES.
 8. THE LOD OVERLAPS SEDIMENT CONTROL FEATURES INCLUDING S&F, BUT HAS BEEN SHOWN OFFSET FOR CLARITY IN THIS PLAN. THE ACTUAL LOD IS ON THE OUTSIDE OF THE DEVICE.
 FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
 A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

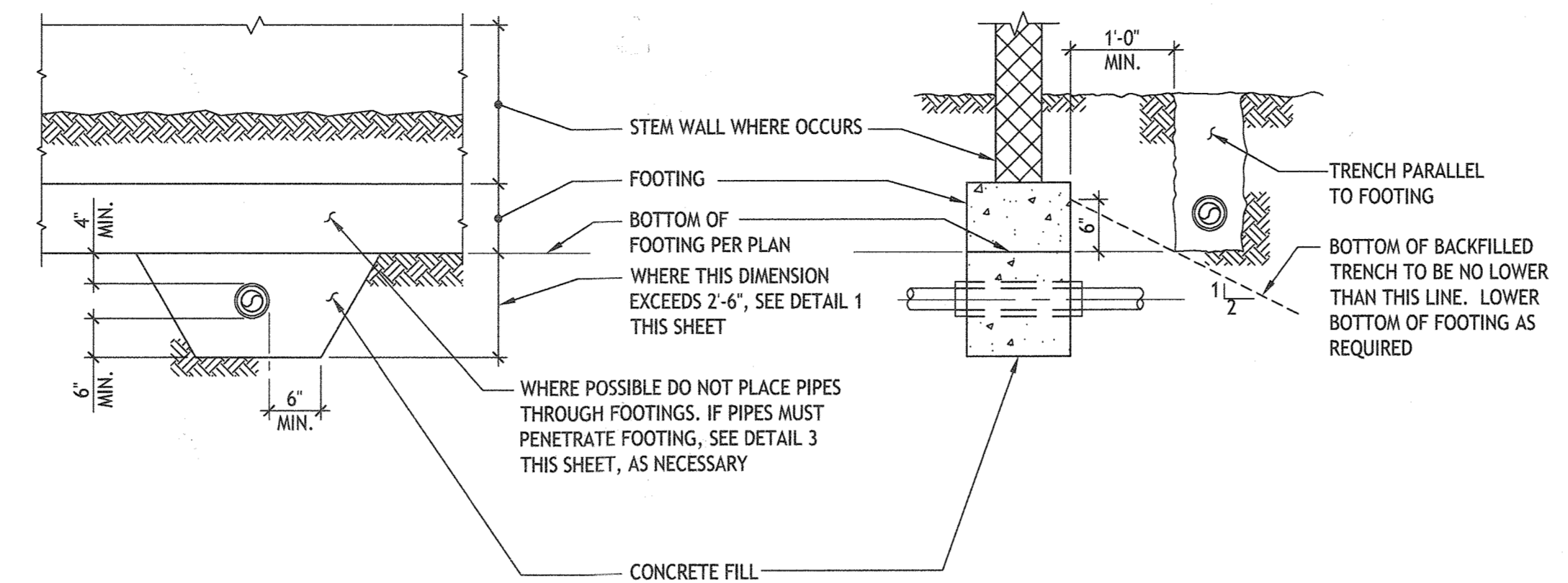
SEQUENCE OF CONSTRUCTION
 1. ARRANGE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR AND OBTAIN A GRADING PERMIT. (1 DAY)
 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE (IF NEEDED, SEE GENERAL NOTE 2, THIS SHEET) (2 DAYS)
 3. INSTALL SILT FENCE, SUPER SILT FENCE, DEWATERING PUMP AND FILTER BAG. (2 DAYS)
 4. BEGIN GRADING, WALL CONSTRUCTION, AND STORM DRAIN INSTALLATION. DEWATERING DEVICE AND FILTER BAG MAY BE REMOVED ONCE THE STORM DRAIN HAS BEEN INSTALLED. (2 MONTHS)
 5. WHEN ALL AREAS DRAINING TO THE SEDIMENT CONTROLS HAVE BEEN STABILIZED AND PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, THOSE SEDIMENT CONTROL DEVICES MAY BE REMOVED. (1 WEEK)

REDEVELOPMENT PHASE 1
 LAWN GRADING - SEDIMENT CONTROL PLAN, DETAILS & NOTES
 MERRIWEATHER POST PAVILION
 CONCESSION, RESTROOM, BOX OFFICE AND STORAGE
 TOWN CENTER
 SECTION I, LOT 13
 PLAT No. 4305 and 4306
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

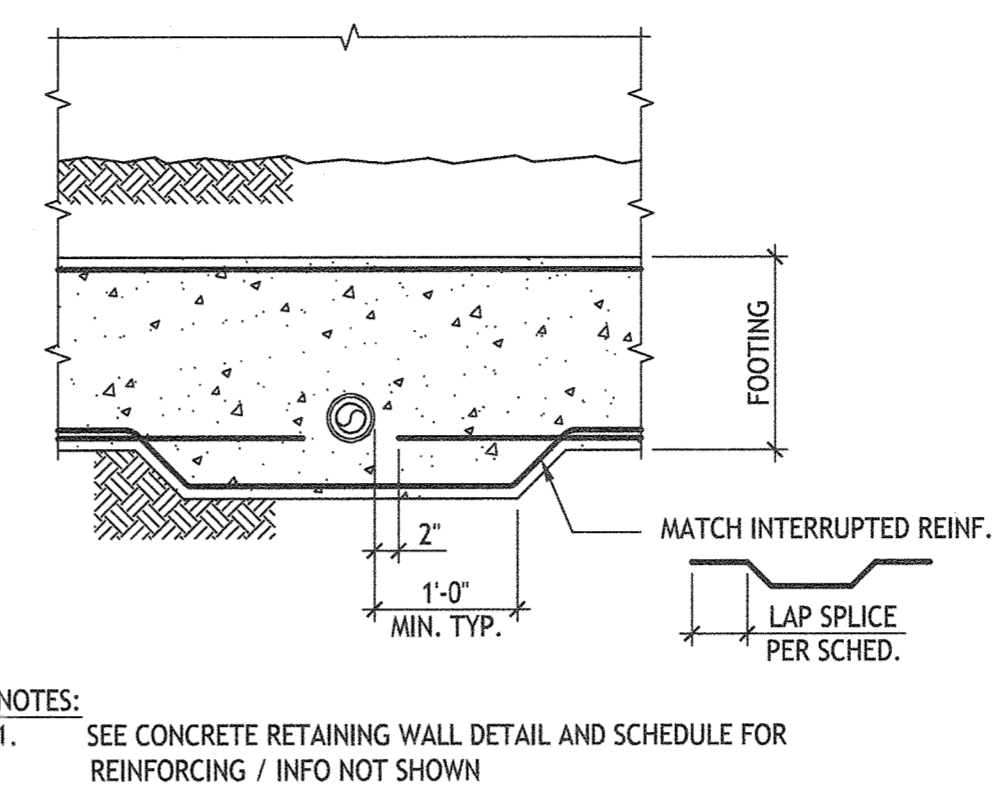
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
JAN., 2020	36-1	25 OF 28



1 TYP STEPPED FOOTING SCALE: 3/4" = 1'-0"



2 TYPICAL PIPE AT FOOTING SCALE: 3/4" = 1'-0"

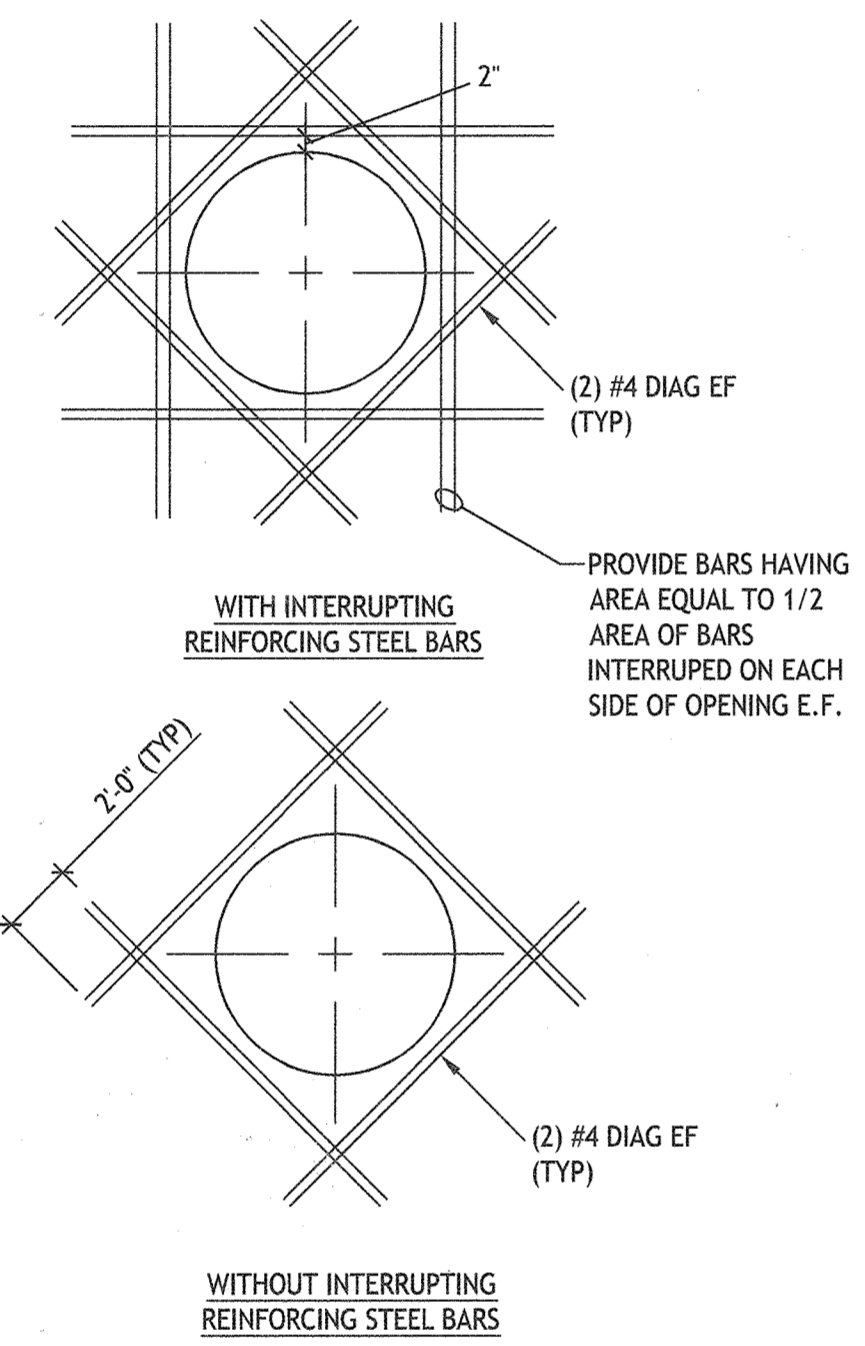


3 TYPICAL PIPE AT FOOTING SCALE: 3/4" = 1'-0"

CLASS B TENSION SPlice		FY=60000 PSI									
(UNLESS OTHERWISE SHOWN ON DRAWINGS)											
SPlice LENGTH		#3	#4	#5	#6	#7	#8	#9	#10	#11	
FC=4000 PSI	TOP BARS	16"	22"	27"	33"	41"	55"	69"	88"	108"	
	OTHER BARS	12"	16"	20"	24"	30"	39"	49"	83"	77"	
DEVELOPMENT LENGTH	TOP BARS	13"	17"	21"	25"	32"	42"	53"	67"	83"	
	OTHER BARS	12"	12"	15"	18"	23"	30"	38"	48"	59"	

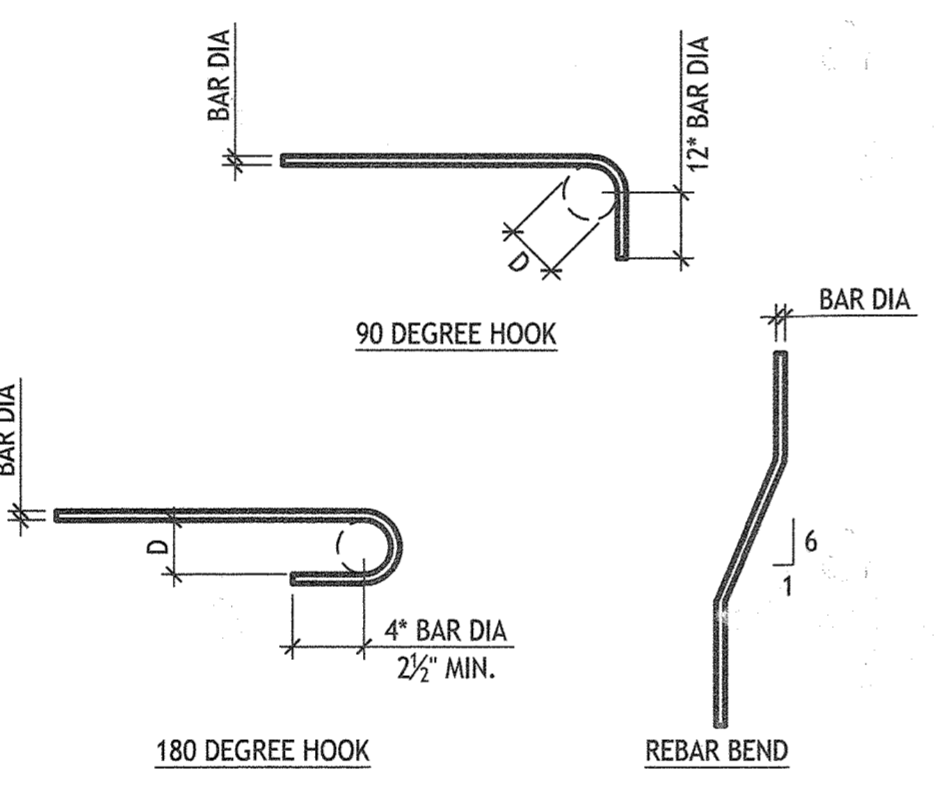
- AVOID SPlices IN REGIONS OF MAXIMUM MOMENT. IF THIS IS NOT POSSIBLE STAGGER SPlices SO THAT NOT MORE THAN 50% OF THE BARS ARE SPliced WITHIN A REQUIRED SPlice LENGTH OTHERWISE INCREASE SPlice LENGTH BY 30%.
- TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH MORE THAN 12" OF FRESH CONCRETE CAST IN THE MEMBER BELOW THE REINFORCEMENT. WALL REINFORCING IS CLASSIFIED AS OTHER BARS.

4 LAP SPlice SCHEDULE NTS

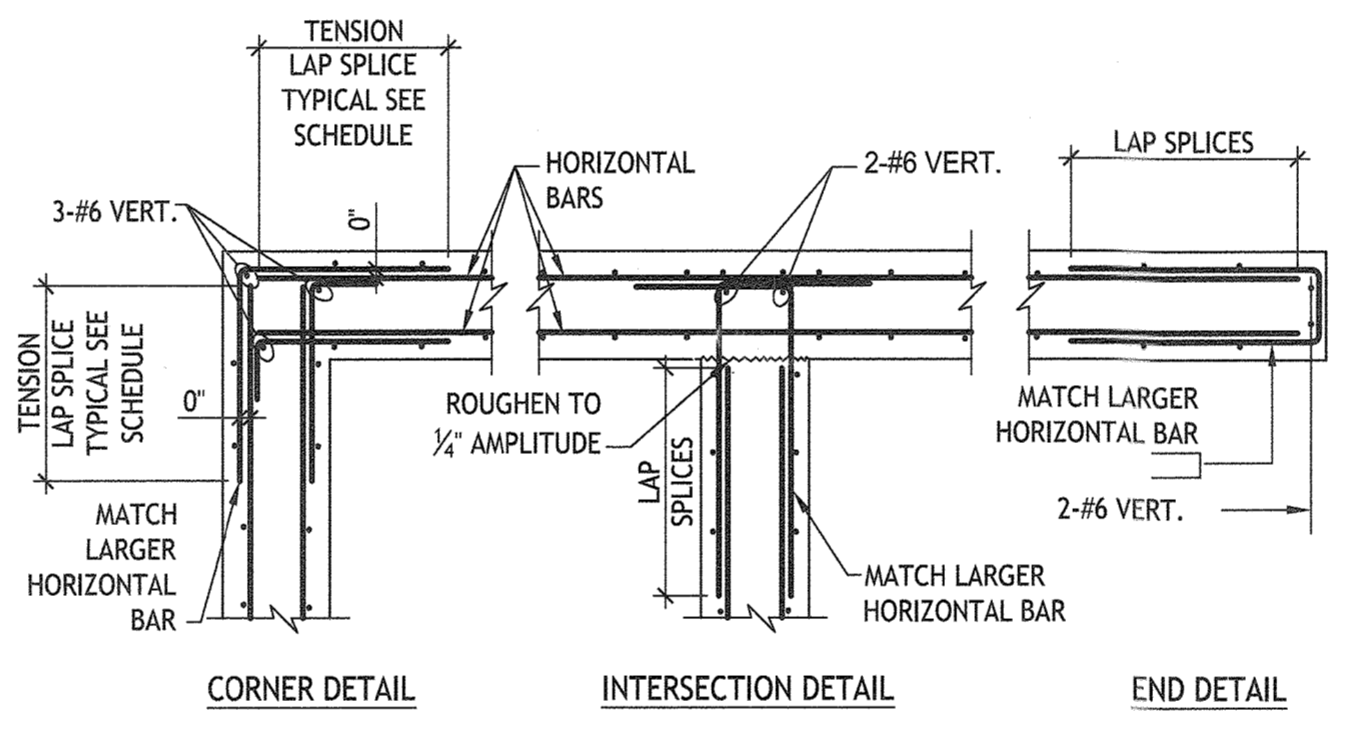


5 TYPICAL REINFORCEMENT FOR CONCRETE PENETRATION SCALE: 1/2" = 1'-0"

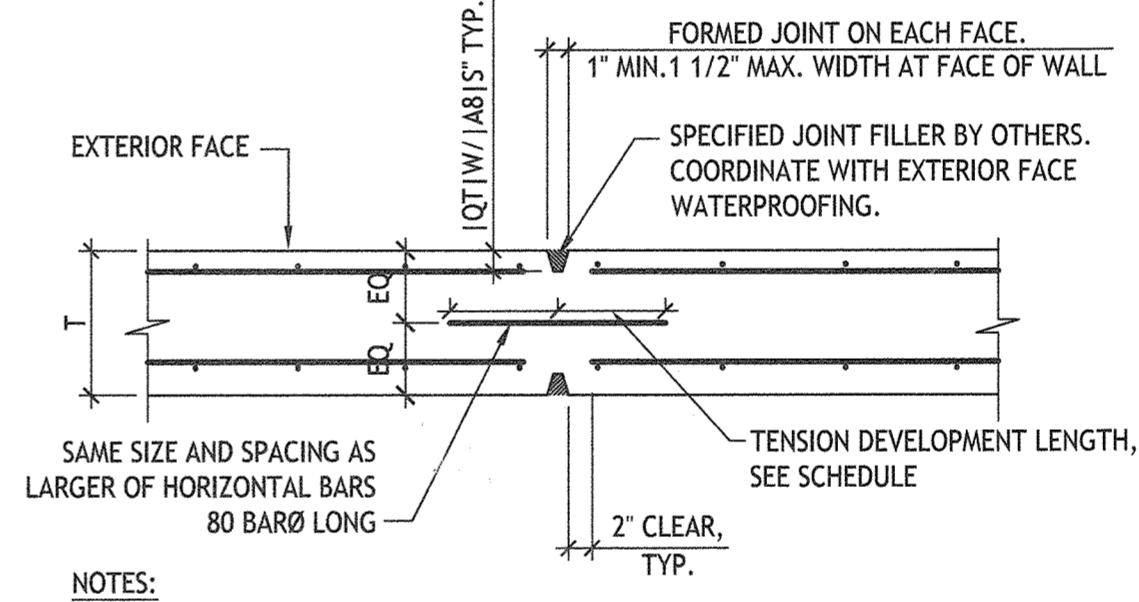
BAR SIZE	D (IN.)
#3	2 1/4
#4	3
#5	3 3/4
#6	4 1/2
#7	5 1/4
#8	6
#9	9
#10	10 1/4
#11	11 1/4



6 TYPICAL REINFORCEMENT BENDS SCALE: 3/4" = 1'-0"

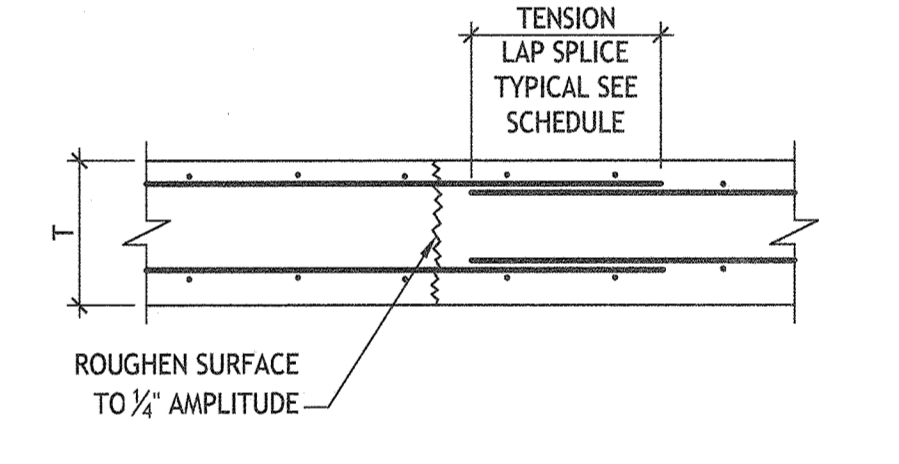


7 HORIZONTAL WALL REINFORCEMENT DETAILS SCALE: 3/4" = 1'-0"



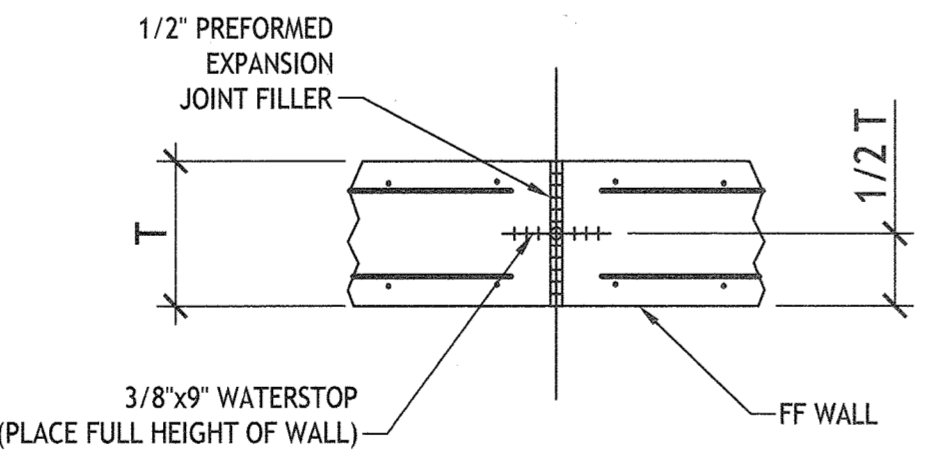
- T INDICATES WALL THICKNESS.
- 30" MAXIMUM SPACING BETWEEN CONTROL AND/OR CONSTRUCTION JOINTS.
- PROVIDE JOINTS WITHIN 5 FT. OF ALL CORNERS AND/OR INTERSECTIONS.

8 VERTICAL CONTROL JOINT SCALE: 3/4" = 1'-0"



- CONSTRUCTION JOINTS SHALL BE PLACED AT A VERTICAL CONTROL JOINT. SEE VERTICAL CONTROL JOINT DETAIL.

9 VERTICAL CONSTRUCTION JOINT SCALE: 3/4" = 1'-0"



10 SECTION THRU EXPANSION JOINT SCALE: 3/4" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 2-27-2020
 Chief, Division of Land Development: *[Signature]* Date: 2/26/2020
 Chief, Development Engineering Division: *[Signature]* Date: 2.19.20

OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS
 AND CULTURE COMMISSION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 ATTN: IAN KENNEDY
 443-741-1974

PURPOSE NOTE
 THE PURPOSE OF THIS SHEET IS TO SHOW DETAILS FOR THE RETAINING WALL BEING CONSTRUCTED.



DESIGNED BY: K.L.
 DRAWN BY: M.L.
 CHECKED BY: B.T.
 DATE: 01/31/20
 REVISION: 9 ADDED DETAILS FOR RETAINING WALL (SHEET ADDED)
 BY: APPR.

Tarantino Engineering Consultants, PC
 11840 West Market Place, Suite K
 Fulton, MD 20759
 410-921-7678
 www.tarantinoec.com

PREPARED FOR:
 MERRIWEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 BRIAN TARANTINO, LICENSE NO. 24871
 EXPIRATION DATE: 2/28/2020

REDEVELOPMENT PHASE 1

SECTIONS
 MERRIWEATHER POST PAVILION
 CONCESSION, RESTROOM, BOX OFFICE AND STORAGE
 TOWN CENTER
 SECTION 1, LOT 13
 PLAT No. 4305 and 4306

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS NOTED	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
JAN., 2020	36-1	26 OF 28

G:\Projects\19-089-195-00-Merriweather Phase 5-IMA\CAD\SHEETS\RETAINING WALL.dwg
 PLOTTED: 12/17/2019 2:58 PM, LAST SAVED: 12/17/2019 1:59 PM, PLOTTED BY: Matthew Lath

GENERAL STRUCTURAL NOTES

PART 1 - GENERAL REQUIREMENTS AND DESIGN CRITERIA

- 1.1 SPECIFICATIONS
 - A. REFER TO PROJECT SPECIFICATIONS FOR DETAILED REQUIREMENTS FOR MATERIAL AND WORKMANSHIP.
- 1.2 ELEVATIONS & DIMENSIONS
 - A. ALL ELEVATIONS AND DIMENSIONS SHOWN FOR NEW CONSTRUCTION ARE BASED ON THE ARCHITECTURAL AND CIVIL DRAWINGS. COORDINATE ALL ELEVATIONS AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- 1.3 GOVERNING BUILDING CODES
 - A. THE FOLLOWING BUILDING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT.
 1. "INTERNATIONAL BUILDING CODE - 2015", INTERNATIONAL CODE COUNCIL
 2. "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES", (ANSI/ASCE 7-10, 2010), AMERICAN SOCIETY OF CIVIL ENGINEERS.
 - B. ADDITIONAL CODES FOR MATERIALS SHALL BE FOUND IN THE APPROPRIATE SECTIONS THAT FOLLOW. SEE THOSE SECTIONS FOR THE APPLICABLE CODES.
- 1.4 DESIGN LOADS
 - A. WIND LOAD PARAMETERS
 1. BASIC WIND SPEED (3-SECOND GUST), V = 115 MPH
 2. WIND IMPORTANCE FACTOR, I = 1.0, AND OCCUPANCY CATEGORY = II
 3. EXPOSURE CATEGORY: B
 4. INTERNAL PRESSURE COEFFICIENT: GC(Pf) = +/- 0.18
 - B. EARTH PRESSURE PARAMETERS
 1. LATERAL EQUIVALENT FLUID PRESSURE:
 - a. ACTIVE CONDITION (CANTILEVERED RETAINING WALLS): 45 PSF/FOOT OF DEPTH

PART 2 - CONSTRUCTION

- 2.1 GENERAL
 - A. UNAUTHORIZED REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RE-SUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
 - B. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF MATERIALS, FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN LOAD CRITERIA ABOVE, AND FOR LOADS INDICATED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSE WORK, STAGING, BRACING, SHEETING AND SHORING, ETC.
 - C. DEVELOPING AND IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - D. ALL COSTS OF INVESTIGATION AND REDESIGN, DUE TO THE CONTRACTOR MIS-LOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - E. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, DRAWINGS FOR SIZE AND LOCATION OF OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS AND DEPRESSIONS.
 - F. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILED INFORMATION REGARDING FINISHES, WATERPROOFING, FIREPROOFING, ETC.
 - G. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, THE DETAILS AND SPECIFICATIONS, THE MOST RIGID SHALL GOVERN.
 - H. WORK NOT INCLUDED ON THE DRAWINGS BUT IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING LOCATIONS ELSEWHERE ON THE DRAWINGS SHALL BE REPEATED.
- 2.2 SHOP DRAWINGS
 - A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS ARE REQUIRED TO BE SUBMITTED BY THE CONTRACTOR AND REVIEWED BY THE STRUCTURAL ENGINEER. IF A CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, AIRPORT DESIGN CONSULTANTS (ADC) WILL NOT BE RESPONSIBLE FOR THE STRUCTURAL CERTIFICATION AND DESIGN OF THE PROJECT.
 - B. SHOP DRAWINGS SUBMITTED FOR STRUCTURAL REVIEW SHALL CONSIST OF ELECTRONIC DRAWINGS. ONLY ONE MARKED UP SET OF ELECTRONIC DRAWINGS WITH THE STRUCTURAL ENGINEER'S COMMENTS WILL BE RETURNED TO THE CONTRACTOR.
 - C. ALLOW 10 BUSINESS DAYS FOR STRUCTURAL REVIEW OF SHOP DRAWINGS. THIS TIME SHOULD BE ALLOTTED IN THE CONTRACTOR'S SCHEDULE.
 - D. SHOP DRAWINGS SHALL BEAR THE GENERAL CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THEY HAVE VERIFIED ALL FIELD MEASUREMENTS, CONSTRUCTION CRITERIA, MATERIALS AND SIMILAR DATA AND HAVE CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.

PART 3 - FOUNDATIONS / EARTHWORK / GEOTECHNICAL REPORT

- 3.1 REFERENCE GEOTECHNICAL REPORT:
 - A. FOUNDATION DESIGN IS IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT PREPARED BY THE ROBERT B. BALTER COMPANY, DATED JANUARY 4, 2016, AUTHOR'S REPORT NUMBER 16713-0 MD.
 - B. FOUNDATIONS HAVE BEEN DESIGNED WITH AN ALLOWABLE BEARING CAPACITY OF 2,500 PSF. PRIOR TO PLACING FOUNDATIONS THE CONTRACTOR SHALL HAVE AN EXPERIENCED, QUALIFIED GEOTECHNICAL ENGINEER FIELD VERIFY THE BEARING ELEVATIONS FOR FROST DEPTH AND THE ASSUMED ALLOWABLE BEARING CAPACITY.
 - C. ALL FOUNDATIONS SHALL BEAR A MINIMUM OF 30" BELOW ADJACENT EXTERIOR GRADE. THE CONTRACTOR SHALL COORDINATE THESE REQUIREMENTS WITH ALL UNDERGROUND UTILITIES, TUNNELS, ETC., AND NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IN ADVANCE OF ANY CONSTRUCTION TO ALLOW FOR ADJUSTMENTS.
 - D. SEE THE SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS FOR EXCAVATION AND PREPARATION OF THE SUBGRADE FOR THE FOUNDATIONS AND THE SLAB ON GRADE, INCLUDING COMPACTION PROCEDURES. CONTRACTOR NOTE: REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT ARE PART OF THIS WORK.
- 3.2 EXCAVATION:
 - A. THE SLOPE BETWEEN THE LOWER EDGES OF ADJACENT FOUNDATIONS SHALL NOT EXCEED 30 DEGREES REFERENCED FROM THE HORIZONTAL, UNLESS NOTED OR DETAILED OTHERWISE ON THE PLAN. MAINTAIN A 1V:2H SLOPE FROM BOTTOM EDGE OF ANY EXCAVATION.
 - B. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM AS SHOWN PRIOR TO STARTING WORK.
 - C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES, ABOVE AND BELOW GRADE STRUCTURES, ETC., WHETHER INDICATED OR NOT, THAT MAY BE AFFECTED BY THE CONSTRUCTION PROCESS.
 - D. UTILITIES LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S APPROVAL UNLESS DETAILED OTHERWISE IN THE PLANS.
 - E. ALL SHORING, SHEETING AND DEWATERING SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR'S ENGINEER, REGISTERED IN THE PROJECT'S JURISDICTION, SHALL DESIGN THE SHEETING AND SHORING AND PROVIDE SIGNED AND SEALED SUBMITTALS FOR REVIEW.
- 3.3 BACKFILL AGAINST WALLS:
 - A. DO NOT BACKFILL AGAINST RETAINING WALLS UNTIL WALL CONCRETE IS AT FULL DESIGN STRENGTH. BACKFILL WITH APPROVED MATERIAL PLACED IN 8 IN. LAYERS AND COMPACTED TO 95% DENSITY AT OPTIMUM MOISTURE CONTENT AND FREE OF DEBRIS BY ASTM D-1557, METHOD D.
 - B. WHERE THE FINAL GRADE ELEVATIONS ARE APPROXIMATELY EQUAL ON BOTH SIDES OF A WALL, BACKFILL IN LIFTS TO MAINTAIN LEVEL ELEVATIONS WITHIN 12 IN. ON BOTH SIDES AT ANY TIME.
- 3.4 FOUNDATION PLACEMENT & PROTECTION:
 - A. DO NOT PLACE FOUNDATION CONCRETE IN WATER OR ON FROZEN GROUND. PROTECT IN-PLACE FOUNDATIONS AND SLABS FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE. DO NOT USE SALT OR CHLORIDE COMPOUNDS TO DE-ICE THE SITE.
 - B. NEW FOOTING BEARING ELEVATION IS TO MATCH ADJACENT EXISTING FOOTING BEARING ELEVATION WHERE APPLICABLE UNLESS NOTED OR DETAILED OTHERWISE ON PLAN.
 - C. CONCRETE FOR FOUNDATIONS SHALL BE POURED ON THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE GEOTECHNICAL ENGINEER.

PART 4 - CONCRETE WORK

- 4.1 CODES:
 - A. "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318-14", AMERICAN CONCRETE INSTITUTE.
 - B. "ACI MANUAL OF CONCRETE PRACTICE - PARTS 1 THROUGH 5", AMERICAN CONCRETE INSTITUTE.
- 4.2 STANDARD SPECIFICATIONS AND REFERENCE STANDARDS:
 - A. "MANUAL OF STANDARD PRACTICE", CONCRETE REINFORCING STEEL INSTITUTE.
 - B. FOLLOW THE LATEST RECOMMENDATIONS AND SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE:
 1. ACI 301 STRUCTURAL CONCRETE FOR BUILDINGS
 2. ACI 302 CONCRETE FLOOR AND SLAB CONSTRUCTION
 3. ACI 304 MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE
 4. ACI 305 HOT WEATHER CONCRETING
 5. ACI 306 COLD WEATHER CONCRETING
 6. ACI 315 DETAILING REINFORCING STEEL
 7. ACI 318 GENERAL DESIGN OF ITEMS NOT OTHERWISE SPECIFIED
 8. ACI 347 FORMWORK
- 4.3 CONCRETE MIX PROPERTIES:
 - A. ELEMENT (NORMAL WEIGHT UNO) 28-DAY STRENGTH - W/C MAX(b) - AIR CONTENT(a)
 - 1. RETAINING WALLS: 4,000 PSI 0.50 6% +/- 1.5
 - a. AIR CONTENT OF TROWEL FINISHED FLOORS SHALL NOT EXCEED 3%
 - b. PUMP MIXES: MAXIMUM WATER/CEMENT (W/C) RATIO MUST BE MAINTAINED. IF ADDITIONAL WORKABILITY IS REQUIRED FOR PUMPED PLACEMENT, THE HIGH OR MID-RANGE WATER REDUCERS SHALL BE USED IN LIEU OF ADDITIONAL WATER.
 - c. ELEVATED DECKS THAT ARE EXPOSED TO FREEZING TEMPERATURES, I.E. PLAZA DECKS, THAT DO NOT RECEIVE A TROWEL FINISH SHALL HAVE AN AIR CONTENT OF 6% +/- 1.5
 - B. PORTLAND CEMENT: ASTM C150, TYPE I OR II
 - C. CEMENT SUBSTITUTES: ASTM C595, TYPE LS (LIMIT TO 50% MAX OF CEMENTITIOUS CONTENT BY WEIGHT)
 - D. AGGREGATES / DENSITY: ASTM C33 / 145 PCF - NORMAL WEIGHT
 - E. AIR-ENTRAINMENT: ASTM C260
- 4.4 STEEL REINFORCEMENT:
 - 1. DEFORMED REINFORCING BARS: ASTM A615 GRADE 60
- 4.5 CONCRETE COVER:
 - A. MILD REINFORCED CONCRETE
 1. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 IN.
 2. CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #6 BAR OR LARGER 2 IN.
 - #5 BAR OR SMALLER 1 1/2 IN.
 3. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
 - SLABS, WALLS AND JOISTS: #11 BAR OR SMALLER 3/4 IN.
 - BEAMS AND COLUMNS: TO TIES, STIRRUPS, OR SPIRALS 1 1/2 IN.
- 4.6 GENERAL REQUIREMENTS:
 - A. REINFORCEMENT AT OPENINGS: UNLESS DETAILED OTHERWISE, PROVIDE 2 - #6 AT EACH SIDE OF ALL OPENINGS IN WALLS AND SLABS AND EXTEND 2 FT-6 IN. BEYOND THE OPENING OR AS DETAILED, EXCEPT VERTICAL BARS AT SIDES OF OPENINGS IN WALLS ARE TO EXTEND FROM FLOOR TO FLOOR. BARS MAY BE MOVED ASIDE AT OPENINGS OR SLEEVES, BUT DO NOT CUT OR OMIT.
 - B. MINIMUM REINFORCEMENT: REINFORCE ALL WALLS WITH AT LEAST #4 @ 12 IN. EACH WAY EACH FACE AND 2 - #6 EACH EDGE, UNLESS DETAILED OTHERWISE.
 - C. FORMWORK, SHORING AND RESHORING: SHALL BE DESIGNED AND SUBMITTED BY THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION WITH ALL SUBMISSIONS BEARING THE ENGINEER'S SEAL AND SIGNATURE.
 - D. INSERTS AND SLEEVES: CONTRACTOR SHALL FURNISH DIMENSIONED SHOP DRAWINGS AT ALL LEVELS SHOWING LOCATIONS OF ALL CAST-IN-PLACE SLEEVES, INSERTS AND OPENINGS REQUIRED BY ALL TRADES FOR REVIEW BY THE MEP, ARCHITECT AND STRUCTURAL ENGINEER, IN THAT ORDER. NO SLEEVE SHALL BE PLACED THROUGH ANY CONCRETE ELEMENT UNLESS SHOWN ON THE APPROVED SHOP DRAWINGS OR SPECIFICALLY AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD.
 - E. CORES AND DRILLED FASTENERS:
 1. DRILLED OR POWDER DRIVEN FASTENERS WILL BE PERMITTED WHEN PROVEN TO THE SATISFACTION OF THE STRUCTURAL ENGINEER THAT THE FASTENERS WILL NOT SPALL THE CONCRETE OR DAMAGE EXISTING REINFORCEMENT.
 2. CORE DRILLING OF FOUNDATIONS SHALL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER.
 3. WHEN INSTALLING EXPANSION OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. ALL BOLTS AND ANCHORS SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
 - G. CHAMFER ALL EXPOSED CONCRETE CORNERS, 3/4 IN. X 3/4 IN. MINIMUM, UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
 - H. WATERSTOPS: AS SPECIFIED ON THE ARCHITECTURAL DRAWINGS, PROVIDE CONTINUOUS WATERSTOPS AT ALL HORIZONTAL AND VERTICAL CONSTRUCTION JOINTS IN ALL BELOW GRADE FOUNDATION WALLS, ELEVATOR PITS AND OTHER PIT WALLS.
 - I. CONCRETE QUANTITIES: THE CONCRETE SLABS SHALL BE FINISHED, WITHIN TOLERANCE AND FLOOR FLATNESS REQUIREMENTS, TO THE ELEVATIONS INDICATED ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE AT THEIR COST, ADDITIONAL CONCRETE AS REQUIRED DUE TO FORMWORK AND FRAMING DEFLECTION TO ACHIEVE THIS FINISHED TOP OF SLAB ELEVATION. CONTRACTOR NOTE: THE STRUCTURAL FLOOR FRAMING SYSTEM UTILIZED ON THIS BUILDING IS CONCRETE POURED OVER METAL DECK SUPPORTED BY STEEL BEAMS. THIS FLOOR FRAMING HAS BEEN DESIGNED AS UNSHORED CONSTRUCTION AND WILL REQUIRE ADDITIONAL CONCRETE TO ACCOUNT FOR INITIAL BEAM DEFLECTIONS DUE TO THE WEIGHT OF THE WET CONCRETE AND CONSTRUCTION LOADS. THE CONCRETE FLOOR SURFACE SHALL BE LEVEL WITH MINIMUM THICKNESS SPECIFIED ON THE CONTRACT DOCUMENTS.
- 4.7 SPLICING AND PLACEMENT OF REINFORCEMENT:
 - A. NO SPLICES OF REINFORCEMENT SHALL BE PERMITTED EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. MAKE BARS CONTINUOUS AROUND CORNERS. WHEN PERMITTED, SPLICES SHALL BE MADE BY CONTACT TENSION LAP SPICE, UNLESS NOTED OTHERWISE.
 - B. SPLICE BARS AS SHOWN ON DRAWINGS BUT NOT LESS THAN 50 BAR DIAMETERS FOR SLABS AND BEAM BOTTOM BARS, AND NOT LESS THAN 65 BAR DIAMETERS FOR WALLS AND BEAM TOP STEEL.
 - C. NO WELDING OF REINFORCING SHALL BE PERMITTED UNLESS SPECIFICALLY CALLED FOR OR APPROVED BY THE STRUCTURAL ENGINEER.
 - D. PROVIDE #4 CHAIR BARS, HIGH CHAIRS, TIES, CLIPS, SLAB BOLSTERS AND OTHER ACCESSORIES WHERE NOT SPECIFIED ON THE DRAWINGS IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OR DETAILING REINFORCING CONCRETE STRUCTURES ACI 315 OR CRSI-WRSI MANUAL OF STANDARD PRACTICE. USE PLASTIC TIPS ON ALL CHAIRS PLACED ON THE SIDES OF CONCRETE FORMWORK.
 - E. PROVIDE PLASTIC TIPPED BOLSTERS AND CHAIRS AT ALL LOCATIONS WHERE THE CONCRETE SURFACE IS IN CONTACT WITH THE BOLSTERS OR CHAIRS IS EXPOSED.
- 4.8 REINFORCEMENT SHOP DRAWINGS:
 - A. SUBMIT FOR APPROVAL, COMPLETE BENDING AND PLACING DETAILS OF ALL REINFORCEMENT INCLUDING WELDED WIRE REINFORCEMENT, INDICATING POSITION OF SPLICES. INCLUDE ACCESSORY DRAWINGS.
 - B. UNAUTHORIZED REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RE-SUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
- 4.9 CONSTRUCTION JOINTS
 - A. CONSTRUCTION JOINTS FOR MILD-REINFORCED CONCRETE SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF THE SPAN. PROPOSED CONSTRUCTION JOINT LOCATIONS SHALL BE SHOWN ON THE REINFORCING STEEL SHOP DRAWINGS. ANY STOP IN CONCRETE WORK MUST BE MADE WITH VERTICAL BULKHEADS AND HORIZONTAL KEYS, UNLESS INDICATED OTHERWISE. FOUNDATIONS, PILE CAPS, DRILLED PIERS, SLABS, BEAMS, GIRDERS, AND JOISTS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE UNLESS DETAILED OTHERWISE.
- 4.10 INSPECTION AND TESTING:
 - A. THE OWNER SHALL ENGAGE A TESTING AGENCY TO PROVIDE SERVICES AS INDICATED BELOW AND SUBMIT REPORTS.
 - B. CAST-IN-PLACE CONCRETE:
 1. THE AGENCY SHALL INSPECT THE FORMWORK AND REINFORCING STEEL PLACEMENT FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AND SHOP DRAWINGS. THE AGENCY SHALL MONITOR ALL STRUCTURAL CONCRETE PLACEMENT FOR CONFORMANCE WITH APPLICABLE ACI REQUIREMENTS.
 2. SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM C172. MOLD TEST CYLINDERS IN ACCORDANCE WITH ASTM C31.
 3. THE FOLLOWING NUMBER OF TEST CYLINDERS SHALL BE CAST FOR EACH DAY'S POUR OR EACH 50 CUBIC YARDS, WHICHEVER RESULTS IN MORE TEST CYLINDERS.
 - a. FOR FOOTINGS AND OTHER STRUCTURAL CONCRETE:
 - LAB CURED 2@7 DAYS, 2@28 DAYS
 - b. FOR WALLS:
 - LAB CURED 2@7 DAYS, 2@28 DAYS
 - FIELD CURED 2@7 DAYS, 2@28 DAYS
 - c. THE AGENCY WILL MAKE ADDITIONAL TESTS OF IN-PLACE CONCRETE AT THE CONTRACTOR'S EXPENSE WHEN THE TEST RESULTS INDICATE SPECIFIED CONCRETE STRENGTHS HAVE NOT BEEN ATTAINED, AS DIRECTED BY THE STRUCTURAL ENGINEER.

1704.3 STATEMENT OF SPECIAL INSPECTIONS.

THE CONTRACTOR OR BUILDING OWNER SHALL RETAIN AN APPROVED THIRD PARTY AGENCY TO PERFORM SPECIAL INSPECTIONS. SPECIAL INSPECTIONS AND REPORTING SHALL CONFORM TO CHAPTER 17 OF THE 2015 INTERNATIONAL BUILDING CODE.

1704.2.5 SPECIAL INSPECTION OF FABRICATED ITEMS. WHERE FABRICATION OF STRUCTURAL, LOAD-BEARING OR LATERAL LOAD RESISTING MEMBERS OR ASSEMBLIES IS BEING CONDUCTED ON THE PREMISES OF A FABRICATOR'S SHOP, SPECIAL INSPECTIONS OF THE FABRICATED ITEMS SHALL BE PERFORMED DURING FABRICATION.

1705.2.1 STRUCTURAL STEEL. SPECIAL INSPECTIONS AND NONDESTRUCTIVE TESTING OF STRUCTURAL STEEL ELEMENTS IN BUILDINGS, STRUCTURES AND PORTIONS THEREOF SHALL BE IN ACCORDANCE WITH THE QUALITY ASSURANCE INSPECTION REQUIREMENTS OF AISC 360.

1705.2.2 COLD-FORMED STEEL DECK. SPECIAL INSPECTIONS AND QUALIFICATION OF WELDING SPECIAL INSPECTORS FOR COLD-FORMED STEEL FLOOR AND ROOF DECK SHALL BE IN ACCORDANCE WITH THE QUALITY ASSURANCE INSPECTION REQUIREMENTS OF SDI QA/QC.

1705.3 CONCRETE CONSTRUCTION. SPECIAL INSPECTIONS AND TESTS OF CONCRETE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION AND TABLE 1705.3.

TABLE 1705.3
REQUIRED VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION

VERIFICATION AND INSPECTION	FREQUENCY OF INSPECTION		REFERENCE CRITERIA	
	CONTINUOUS	PERIODIC	REFERENCE STANDARD	IBC REFERENCE
1. INSPECTION OF REINFORCING STEEL.	-	X	ACI 318 CH. 20, 25.2, 25.3, 26.5.1-26.5.3	1908.4
2. REINFORCING BAR WELDING: a. VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A 706; b. INSPECT SINGLE-PASS FILLET WELDS, MAXIMUM 5/16"; AND c. INSPECT ALL OTHER WELDS.	-	X	AWS D1.4 ACI 318:26.5.4	-
3. INSPECT ANCHORS CAST IN CONCRETE.	-	X	ACI 318: 17.8.2	-
4. INSPECT ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS. a. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS. b. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4.a.	X	-	ACI 318: 17.8.2.4 ACI 318: 17.8.2	-
5. VERIFY USE OF REQUIRED DESIGN MIX.	-	X	ACI 318: CH. 19, 26.4.3, 26.4.4	1904.1, 1904.2, 1908.3
6. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	-	ASTM C 172 ASTM C 31 ACI 318: 26.4.5, 26.12	1908.10
7. INSPECTION OF CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	-	ACI 318: 26.4.5	1908.6, 1908.7, 1908.8
8. VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	-	X	ACI 318: 26.4.7-26.4.9	1908.9
9. ERECTION OF PRECAST CONCRETE MEMBERS.	-	X	ACI 318: CH. 26.8	-
10. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	-	X	ACI 318: 26.10.1(b)	-

1705.6 SOILS. SPECIAL INSPECTIONS AND TESTS OF EXISTING SITE SOIL CONDITIONS, FILL PLACEMENT AND LOAD-BEARING REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION AND TABLE 1705.6. THE APPROVED GEOTECHNICAL REPORT AND THE CONSTRUCTION DOCUMENTS PREPARED BY THE REGISTERED DESIGN PROFESSIONALS SHALL BE USED TO DETERMINE COMPLIANCE. DURING FILL PLACEMENT, THE SPECIAL INSPECTOR SHALL VERIFY THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.

TABLE 1705.6
REQUIRED SPECIAL INSPECTIONS AND TESTS OF SOILS

VERIFICATION AND INSPECTION	FREQUENCY OF INSPECTION	
	CONTINUOUS	PERIODIC
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	-	X
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	-	X
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	-	X
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	X	-
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	-	X

ABBREVIATIONS	EA	EACH	MAX	MECH	MECHANICAL
ASD	ALLOWABLE STRESS DESIGN	EA	EACH FACE	MECH	MECHANICAL
ALT	ALTERNATE	EF	EACH SIDE	MIN	MINIMUM
ACI	AMERICAN CONCRETE INSTITUTE	ES	EACH WAY	NWC	NORMAL WEIGHT CONCRETE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	EW	EACH WAY	NTS	NOT TO SCALE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	EL	ELEVATION	NO, NMB OR #	NUMBER
AB	ANCHOR BOLT	EOR	ENGINEER OF RECORD	OC	ON CENTER
ARCH	ARCHITECT	EQ	EQUAL	PL OR LP	PLATE
@	AT RATE OF	EQ	EQUAL	PSF	POUNDS / SQUARE FOOT
BM	BEAM	EXP BOLT	EXPANSION BOLT	PSI	POUNDS / SQUARE INCH
B OR BOT	BOTTOM	EXT	EXTERIOR JOINT	REF	REFERENCE
BEV	BOTTOM EACH WAY	FT OR'	FEET	REIN	REINFORCEMENT OR REINFORCEMENT
CIP	CAST-IN-PLACE	FIN	FINISH	SECT	SECTION
C	CENTERED	FIN FL	FINISH FLOOR	SHT	SHEET
CLR	CLEAR	FL	FLOOR	SIM	SIMILAR
COL	COLUMN	FTG	FOOTING	SOG	SLAB-ON-GRADE
CONC	CONCRETE	FND	FOUNDATION	SPA	SQUARE
CRSI	CONCRETE REINFORCING STEEL INSTITUTE	GA	GALVANIZED	SQ	SQUARE
CONST	CONSTRUCTION	GENL	GENERAL	STL	STRUCTURAL
CONT	CONTINUOUS	GR	GRADE	T	TOP
DET	DETAIL	GC	GENERAL CONTRACTOR	T&B	TOP & BOTTOM
DIA	DIAMETER	H OR HORIZ	HORIZONTAL	TYP	TYPICAL
DIM	DIMENSION	IN OR'	INCH	UNO	UNLESS NOTED OTHERWISE
DWLS	DOWELS	INFO	INFORMATION	V OR VERT	VERTICAL
DWG	DRAWING	JT	JOINT	VERT	VERTICAL INSIDE FACE
		MATL	MATERIAL	WWR	WELDED WIRE REINFORCEMENT
				W/	WITH

REDEVELOPMENT PHASE 1

GENERAL NOTES			SCALE	ZONING	G. L. W. FILE No.
MERRIWEATHER POST PAVILION CONCESSION, RESTROOM, BOX OFFICE AND STORAGE TOWN CENTER SECTION 1, LOT 13 PLAT No. 4305 and 4306			AS NOTED	NT OPEN SPACE	11072
			DATE	TAX MAP - GRID	SHEET
ELECTION DISTRICT No. 5			JAN., 2020	36-1	27 OF 28

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Howard County* Date: 2-27-2020
 Chief, Division of Land Development: *Howard County* Date: 2/26/2020
 Chief, Development Engineering Division: *Howard County* Date: 2-14-20

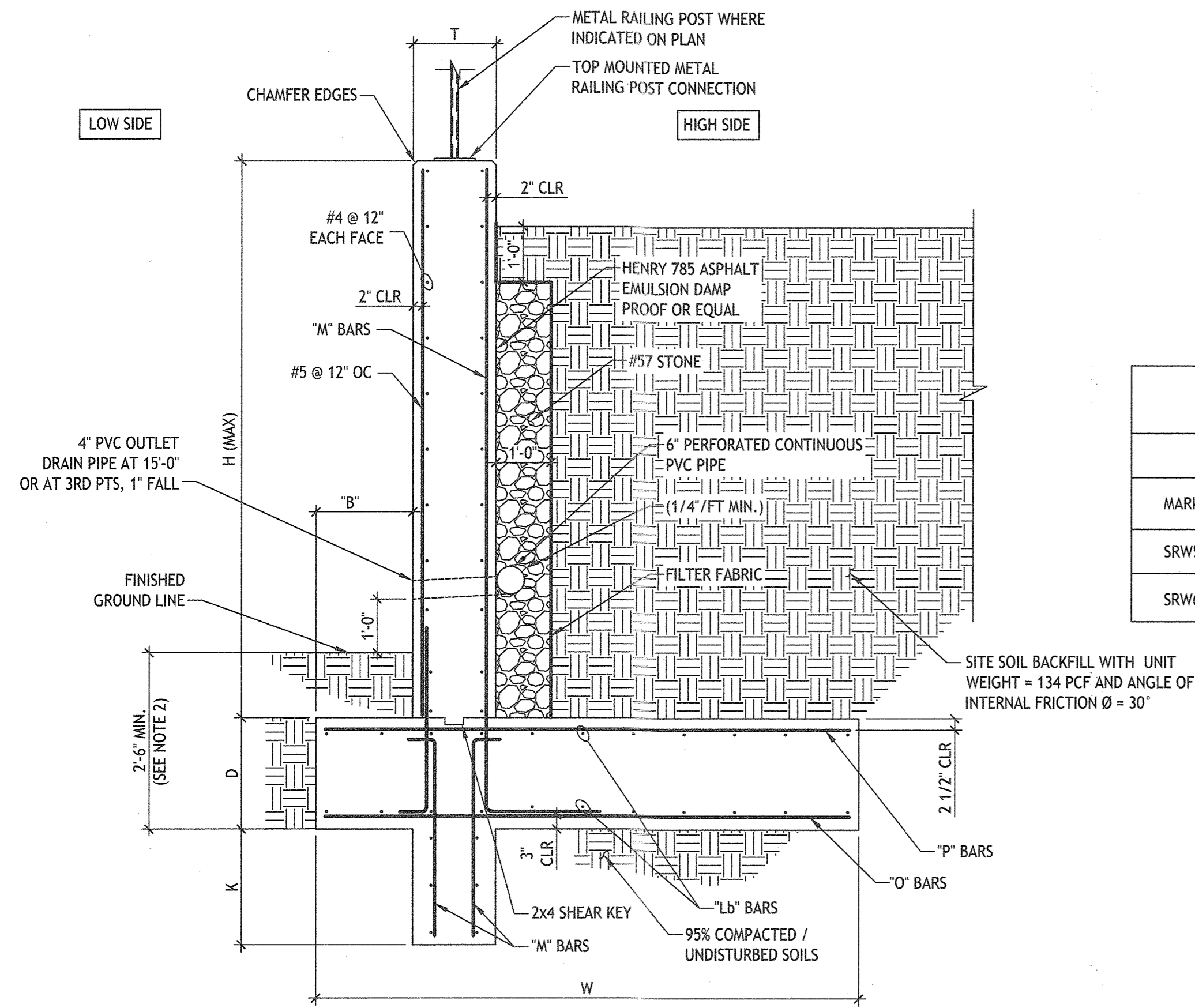
OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS
 AND CULTURE COMMISSION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 ATTN: IAN KENNEDY
 443-741-1974

PURPOSE NOTE
 THE PURPOSE OF THIS SHEET IS TO SHOW NOTES FOR THE
 RETAINING WALL BEING CONSTRUCTED

DESIGNED BY: KL
 DRAWN BY: ML
 CHECKED BY: BT
 DATE: 01/31/20
 PREPARED FOR:
 MERRIWEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 BRIAN TARANTINO, LICENSE NO. 24871
 EXPIRATION DATE: 2/28/2020

REVISIONS
 01/31/20 9 ADDED NOTES FOR RETAINING WALL (SHEET ADDED)
 DATE REVISION BY APPR.

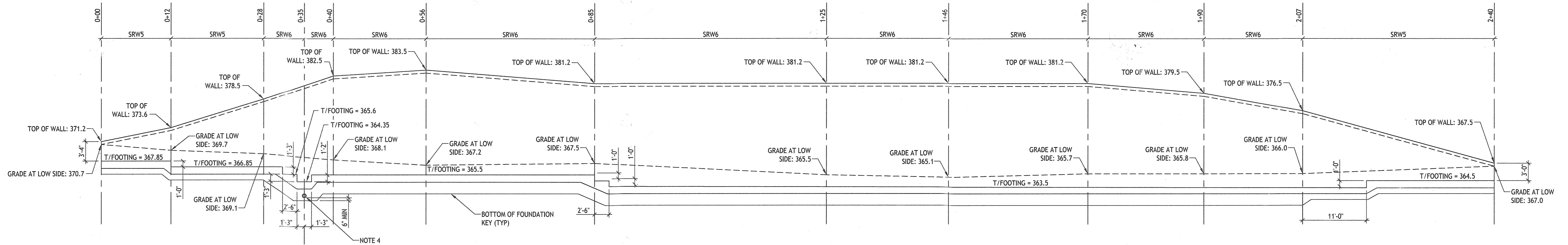


CONCRETE SITE RETAINING WALL SCHEDULE										
WALL MARK	H	T	K	D	B	W	REINFORCEMENT			
							"M" BARS	"O" BARS	"P" BARS	"Lb" BARS
SRW5	11'-3"	1'-0"	1'-0"	1'-3"	2'-4"	5'-8"	#6@12"	#6@12"	#6@12"	#5@12"
SRW6	17'-0"	1'-6"	2'-0"	1'-3"	3'-6"	8'-4"	#7@10"	#7@12"	#7@12"	#5@12"

1 CONCRETE RETAINING WALL DETAIL AND SCHEDULE

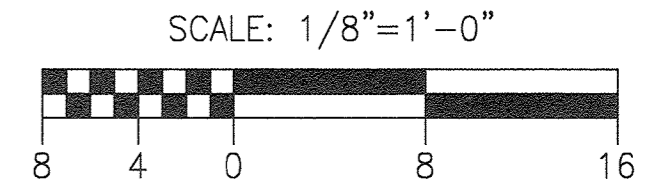
- NOTES:
- REFER TO PLAN FOR SITE WALL LOCATIONS.
 - STEP FOOTING AS REQUIRED TO MAINTAIN FROST DEPTH COVER, SEE "TYP STEPPED FOOTING" DETAIL ON PREVIOUS SHEET FOR ADDITIONAL INFORMATION.

SCALE: 1/2" = 1'-0"



2 SITE RETAINING WALL ELEVATION

- NOTES:
- STATION DIMENSIONS ARE TO THE CENTERLINE OF WALL.
 - SRWx INDICATES SITE RETAINING WALL TYPE x. REFER TO SITE RETAINING WALL SCHEDULE ON SHEET 28.
 - SEE TYPICAL STEPPED FOOTING DETAIL ON SHEET 26 FOR ADDITIONAL REINFORCING REQUIRED AT FOOTING STEPS.
 - 6" PIPE TO PASS THROUGH FOOTING KEY (SIM TO TYPICAL PIPE AT FOOTING DETAIL ON SHEET 26).



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director *[Signature]* Date 2-27-2020

Chief, Division of Land Development *[Signature]* Date 2/20/2020

Chief, Development Engineering Division *[Signature]* Date 2-14-20

OWNER

LOT 13

DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION

10475 LITTLE PATUXENT PARKWAY

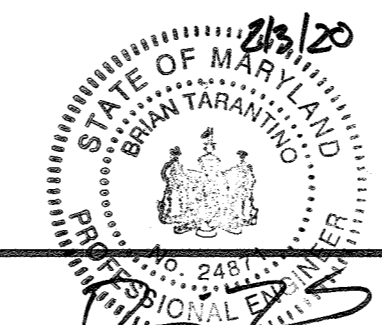
COLUMBIA, MD 21045

ATTN: IAN KENNEDY

443-741-1974

PURPOSE NOTE

THE PURPOSE OF THIS SHEET IS TO SHOW PROFILES AND SECTIONS FOR THE RETAINING WALL BEING CONSTRUCTED



REDEVELOPMENT PHASE 1

SECTIONS

MERRIWEATHER POST PAVILION

CONCESSION, RESTROOM, BOX OFFICE AND STORAGE

TOWN CENTER

SECTION 1, LOT 13

PLAT No. 4305 and 4306

SCALE	ZONING	G. L. W. FILE No.
AS NOTED	NT OPEN SPACE	11072
DATE	TAX MAP - GRID	SHEET
JAN., 2020	36-1	28 OF 28

DESIGNED BY: KKL

DRAWN BY: ML

CHECKED BY: BT

DATE: 01/02/2020

ADDED SECTION AND PROFILE FOR WALL (ADDED SHEET)

REVISION

BY

APPR.

PREPARED FOR:

MERRIWEATHER POST PAVILION

P.O. BOX 112

COLUMBIA, MARYLAND 21044

ATTN: BRAD CANFIELD

410-715-5550

PROFESSIONAL CERTIFICATION:

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

BRIAN TARANTINO, LICENSE NO. 24871

EXPIRATION DATE: 2/28/2020

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND