

GENERAL NOTES

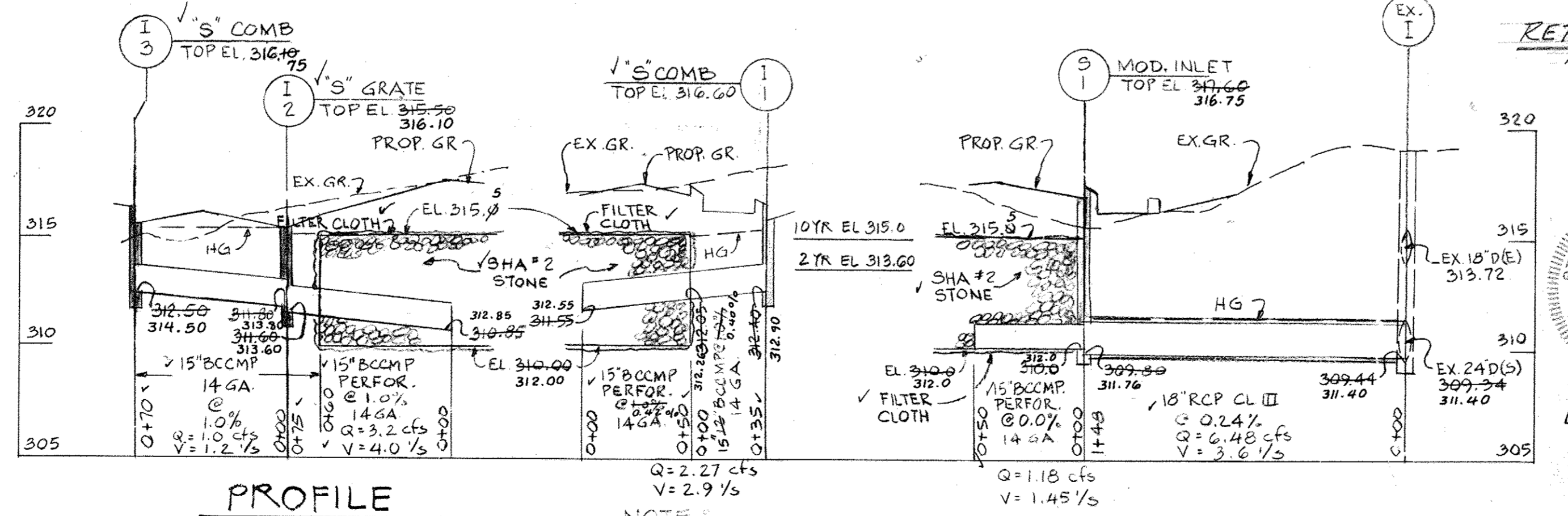
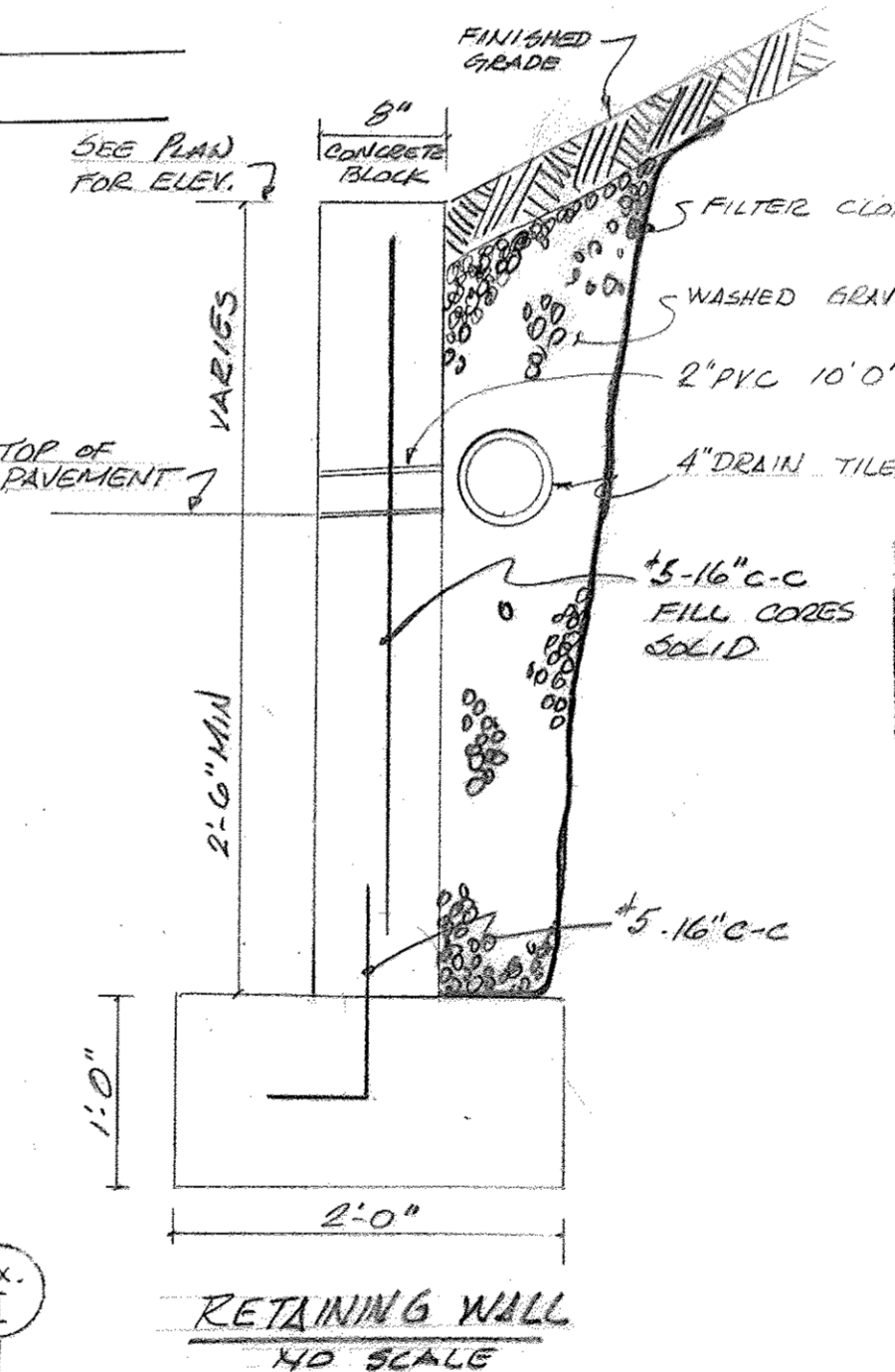
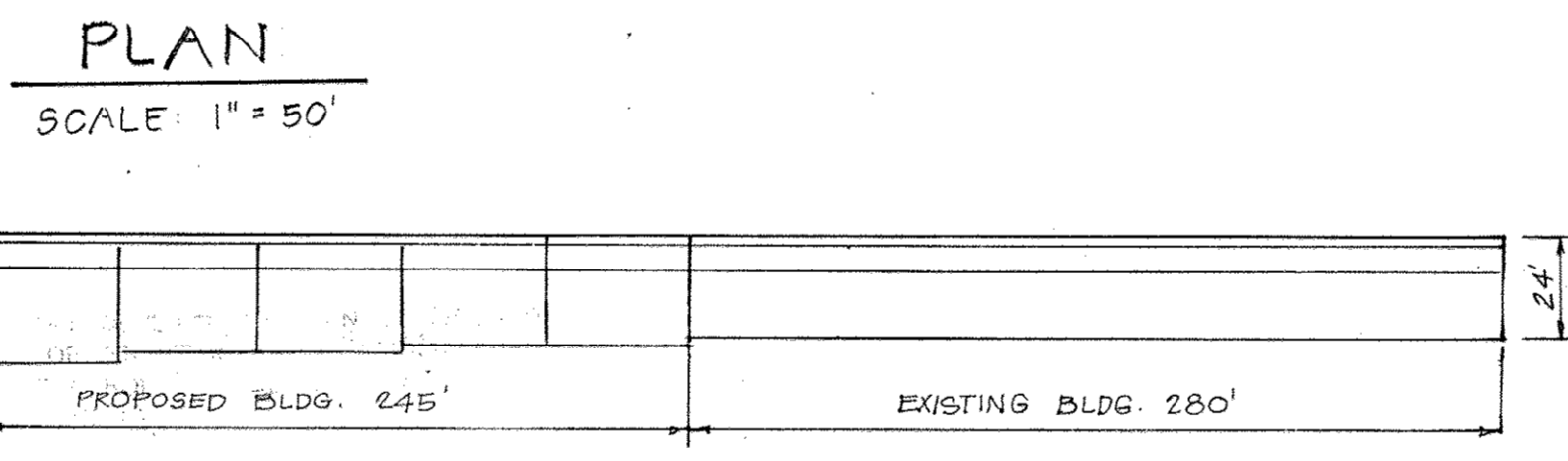
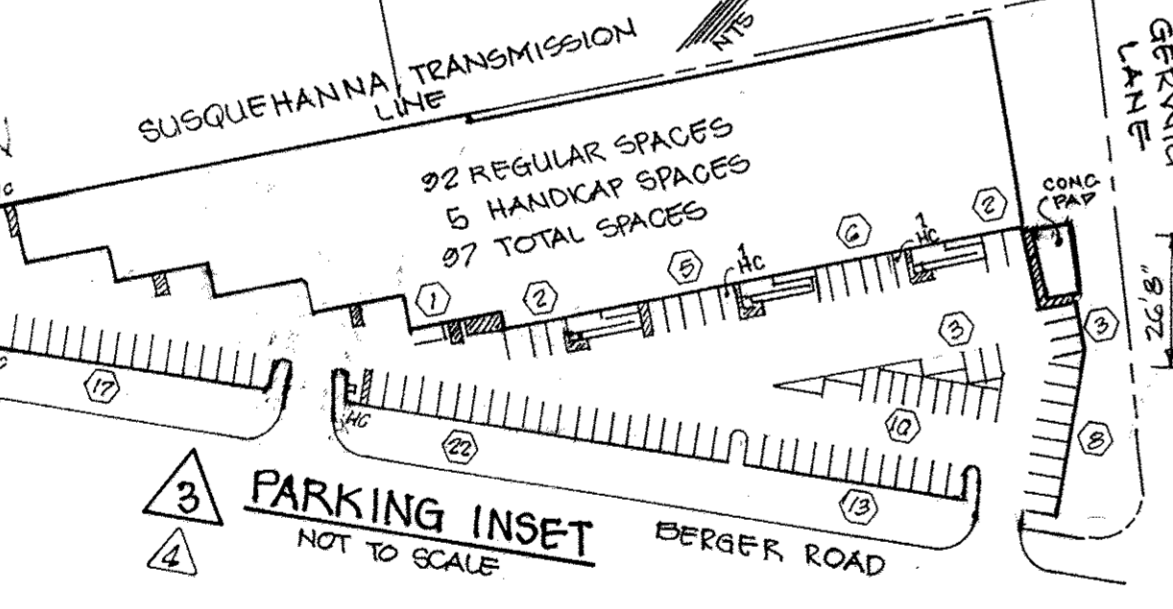
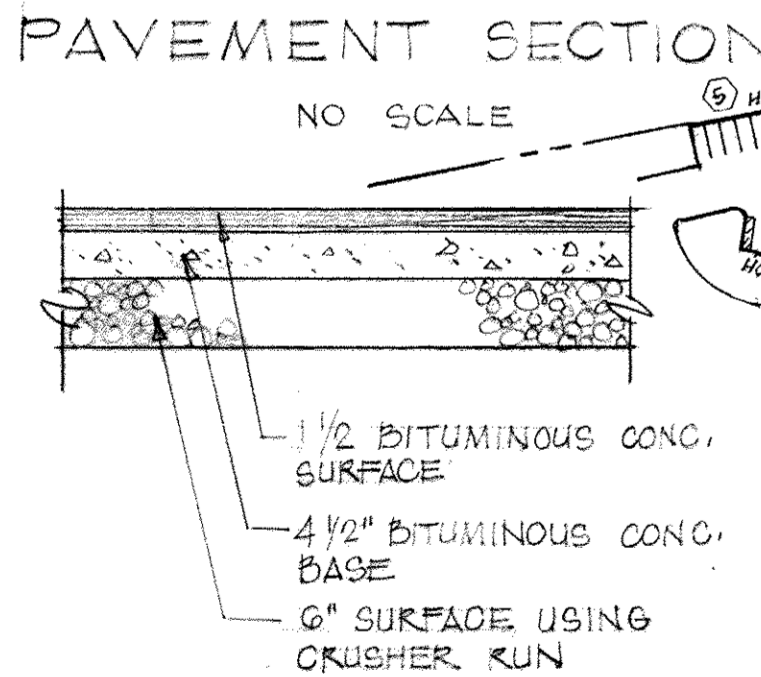
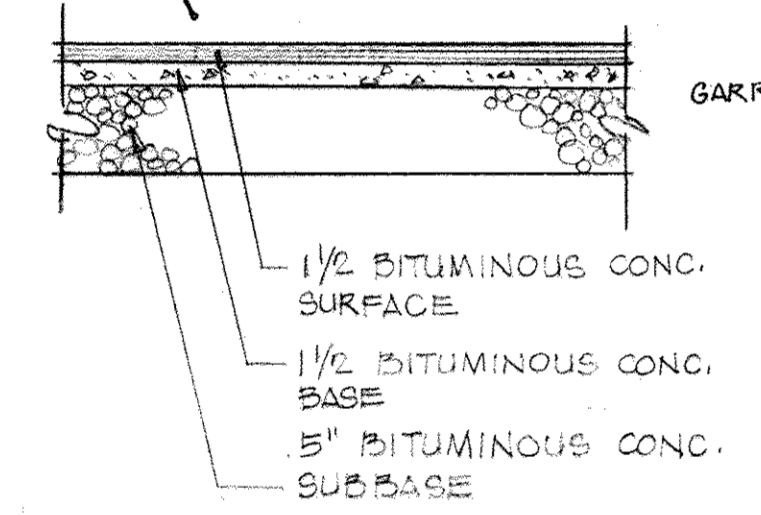
1. MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME II.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE G.P. TELEPHONE COMPANY AND THE GAS & ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK SHOWN ON THESE PLANS BY CALLING "MISS UTILITY". CALL COLLECT 1-557-0100
4. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5' COVER ALL PROPOSED WATER LINES.
5. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' CLEARANCE AT ALL WATER, SEWER AND STORM DRAIN CROSSING.
6. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION/SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 972-2417 OR 972-2418
7. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS IV.
8. MAN-HOLE SHALL BE PRECAST IN ACCORDANCE WITH HOWARD COUNTY STANDARD G-511.
9. HANDICAPPED PARKING SIGN SHALL CONFORM TO MARYLAND BLDG. CODE FOR THE HANDICAPPED. BOTTOM EDGE OF SIGN MOUNTED 7'-6" MIN. ABOVE GRADE. ADDITIONAL SIGN DISPLAYING AMOUNT OF SPACES SHALL BE MOUNTED NO LOWER THAN 7'-0" ABOVE GRADE (HOWARD CO. COUNCIL BILL 58-84)
10. SHADED AREA DENOTES NEW PAVEMENT.
11. WATER & SEWER SERVICE TO BE THROUGH EXISTING EXISTING UTILITIES IN EXISTING BUILDING.
12. HANDICAP ACCESS TO BE PROVIDED BY MECHANICAL LIFTS INSIDE BLDG. SEE ARCHITECTURAL DWGS. FOR DETAILS.
13. BUILDING IS TO BE SPRINKLERED

LEGEND

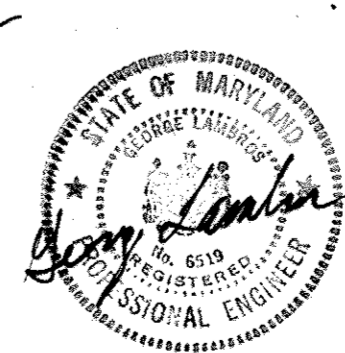
- 3.00 EXIST. GROUND
- 3.00 PROP. GRADE
- 5-5 SILT FENCE
- LIMIT OF DISTURBANCE
- STABILIZED CONSTR. ENTR.

SITE ANALYSIS

1. AREA OF SITE = 2.70 AC. = 117,612 SQ. FT.
2. EXISTING ZONING = NEW TOWN (FDP-55)
3. FLOOR SPACE: EXISTING = 54,223 SQ. FT. (MIXED USES). TOTAL = 53,885 SQ. FT. + 330 SQ. FT. = 54,223 SQ. FT.
4. OPEN SPACE = 2.70 AC. x 0.20 = 0.54 AC. = (20% OF TOTAL)
5. GREEN AREA = 0.54 AC. (20%)
6. NUMBER OF EMPLOYEES: 22 OFFICE AND 20 WAREHOUSE.
7. PARKING REQUIREMENTS: SEE SHEET FOR TENANT CHART
 - 32,871 SQ. FT. WAREHOUSE @ 0.75 P.S./1,000 SQ. FT. = 20 P.S.
 - 12,880 SQ. FT. PRIVATE ACADEMIC (62 STUDENTS) @ 1 P.S./3 STUDENTS = 21 P.S.
 - 170 SQ. FT. RETAIL @ 5 P.S./1,000 SQ. FT. = 3 P.S.
 - 2,600 SQ. FT. COMMERCIAL BEVERAGE ESTABLISHMENT @ 6 P.S./1,000 SQ. FT. = 5 P.S.
 - 693 SQ. FT. RESTAURANT CARRYOUT @ 6 P.S./1,000 SQ. FT. = 5 P.S.
8. TOTAL PARKING SPACE PROVIDED = 97 (INCL. 5H.C.)
9. BUILDING COVERAGE OF SITE = 48,223 SQ. FT. AND 41 %
10. PARKING LOT AREA = 18,100 SQ. FT. LANDSCAPED ISLAND AREA = 905 SQ. FT. (5% OF TOTAL)
11. LANDSCAPING TO BE IN ACCORDANCE TO HOWARD COUNTY REGULATIONS. SEE LANDSCAPE PLAN.
12. STORM WATER MANAGEMENT. FACILITY TO BE PRIVATE AND MAINTAINED BY OWNER.



AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE AS-BUILT IS ACCURATE AND COMPLETE AND THAT AS CONSTRUCTED MEETS THE REQUIREMENTS OF THE STANDARDS AND SPECIFICATIONS FOR POND S.
SIGNED: *George Lambros* P.E. #6519, DATE: 12-17-91



AS-BUILT
12-17-91

| ADDRESS CHART | |
|---------------|------------------------------------|
| LOT NO. | STREET ADDRESS |
| 10 | EXISTING BUILDING 9570 BERGER ROAD |
| 10 | PROPOSED BUILDING 9590 BERGER ROAD |

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James M. Miller 3/5/90
DIRECTOR DATE
George Lambros 3-5-90
CHIEF BUREAU OF ENGINEERING DATE
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
John Boyle 3-14-90
COUNTY HEALTH OFFICER DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
George Lambros 4-2-90
DIRECTOR DATE
David V. DeAngelis 4/2/90
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

BUILDING ADDITION TO SDP-71-25C & SDP 72-52C

REVISIONS 10/27/98

| DATE | REVISIONS |
|----------|---|
| 1-11-91 | ADD DOM/FIRE SEEN, 8" S. FORSE MAIN, EST. WALL |
| 10/27/98 | ADD STRUCTURE W/ SCREEN WALL & REVISE SITE ANALYSIS |
| 11/01/97 | REVISE STAIRS & PARKING NOTE |

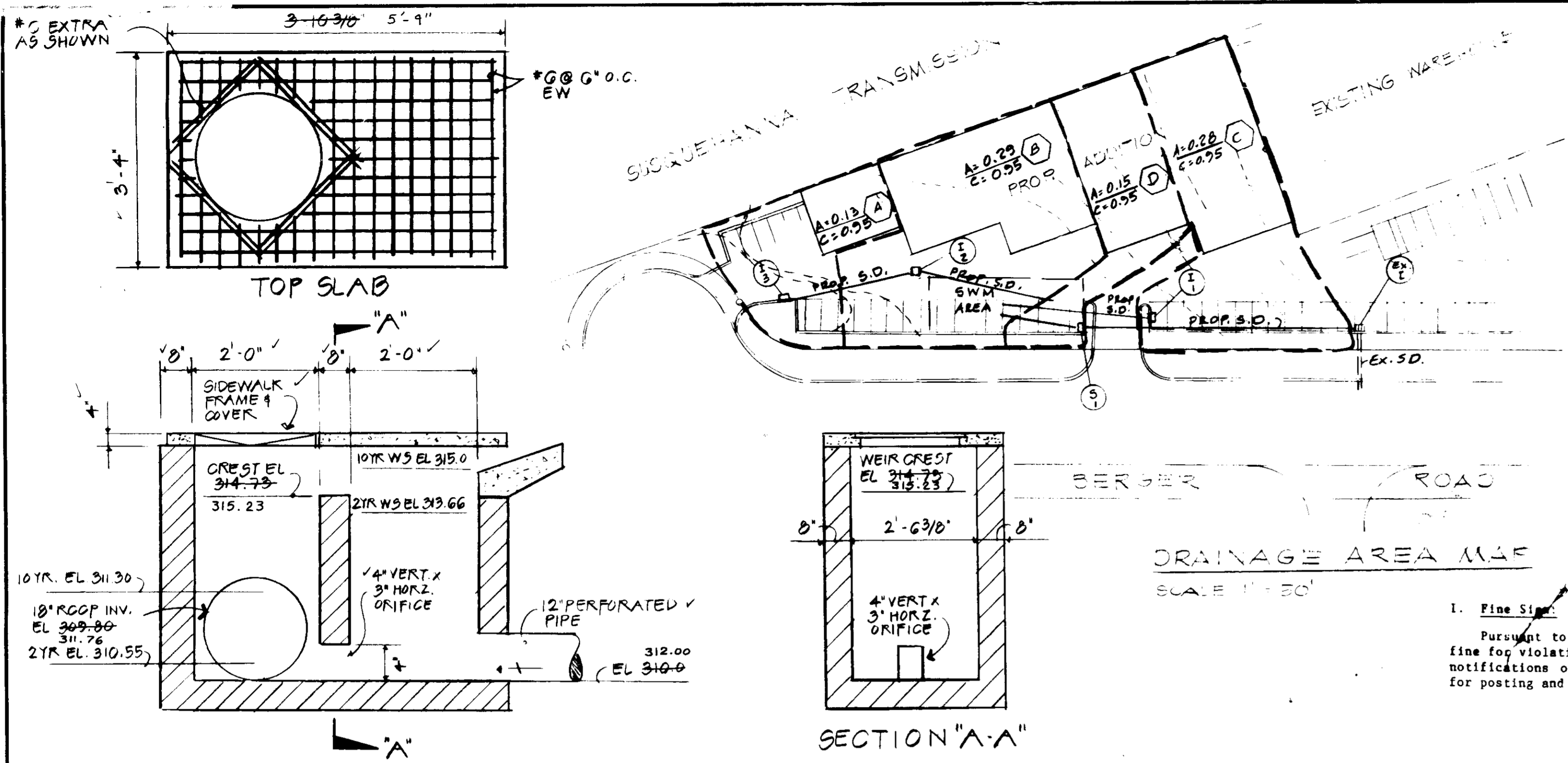
PAUL LEE ENGINEERING, INC.
304 W. PENNSYLVANIA AVENUE
TOWSON, MD. 21204 TEL. 821-5241

OWNER:
PATS INCORPORATED
9570 BERGER ROAD
COLUMBIA, MARYLAND

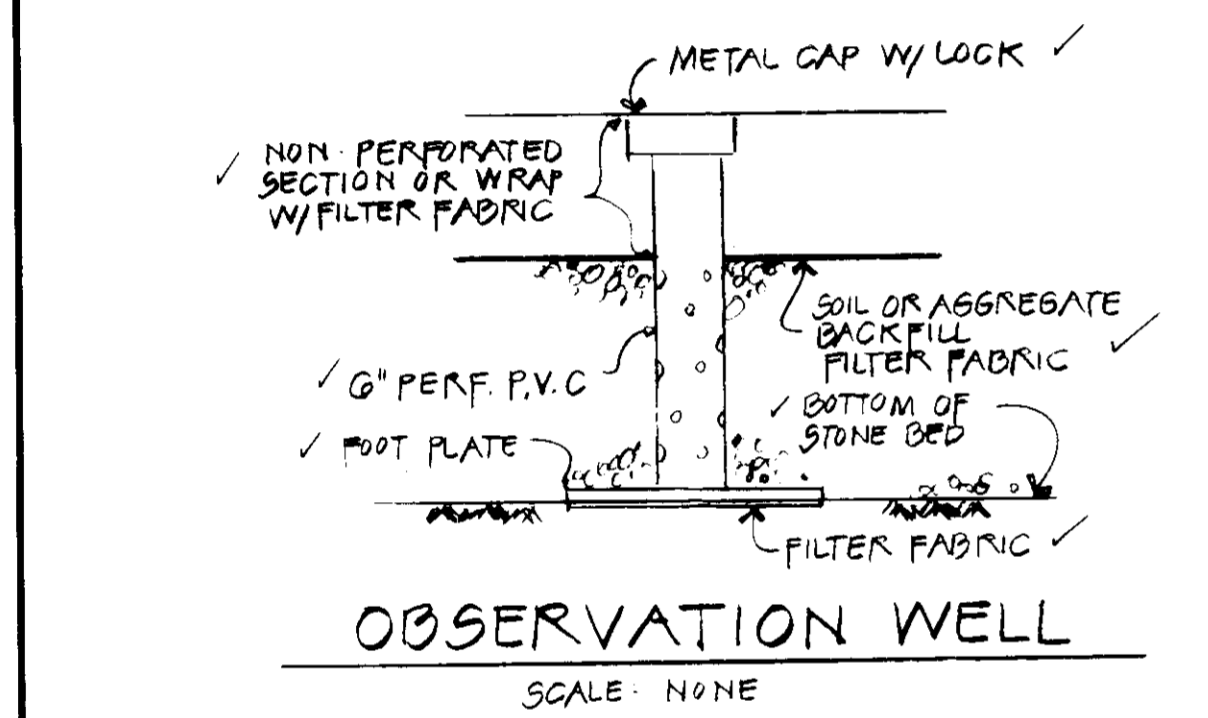
| SUBDIVISION NAME | SECT./AREA | LOT/PARCEL |
|-----------------------------|---------------------------------------|------------|
| E.G.U. | 2 / 2 | 10 |
| PLAT OR L.P. BLOCK NO. ZONE | TAX / ZONE MAP SECT. DIST. CENSUS TR. | |
| 17 / 36 M-2 | 42 | |
| WATER CODE | SEWER CODE | |
| E O G | 5240000 | |

AS-BUILT SWM
SITE PLAN
PROPOSED ADDITION - LOT 10, EGU
9570 BERGER ROAD
6TH ELECTION DISTRICT
HOWARD COUNTY, MD.

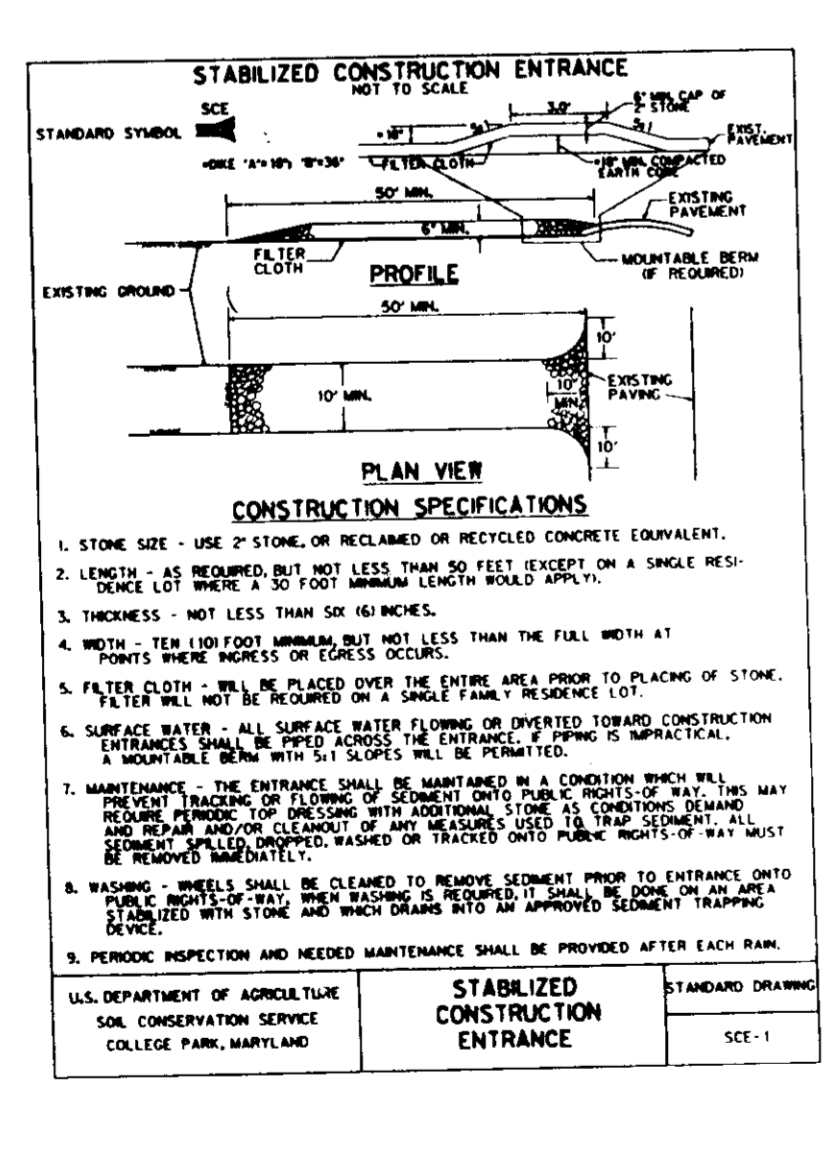
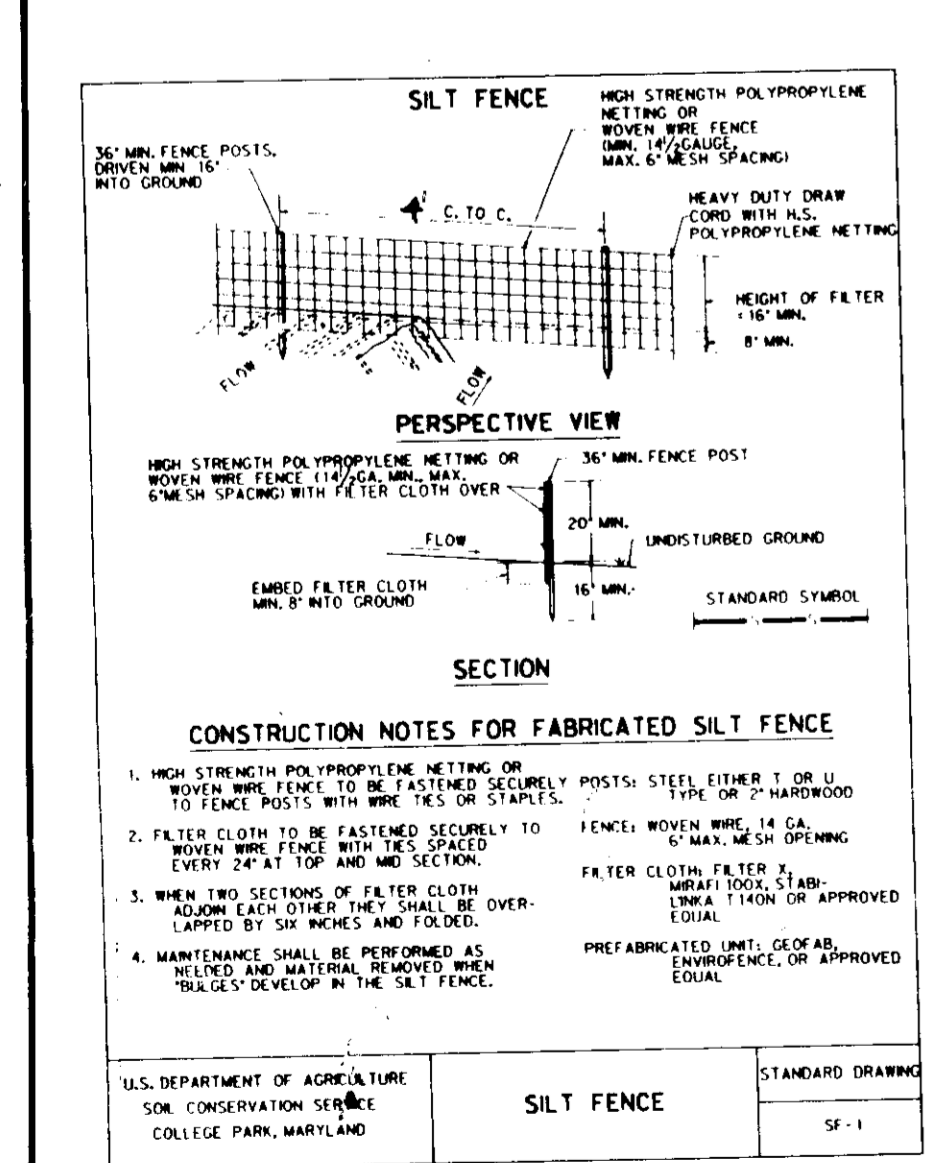
| SHEET | DATE | JOB NUMBER |
|-------|----------|------------|
| 1 | JAN 1989 | |
| OF | SCALE | |
| 3 | 1" = 50' | 88057 |



S-1 MODIFIED TYPE A-2 INLET
SCALE NONE



OBSERVATION WELL
SCALE NONE



| Check | DATE | REVISIONS |
|--------|------|-----------|
| Check | GL | |
| Design | GL | |
| Check | GL | |

PAUL LEE ENGINEERING, INC.
304 W. PENNSYLVANIA AVENUE
TOWSON, MD. 21204 TEL. 821-5241

OWNER:
FATS INCORPORATED
9570 BERGER ROAD
COLUMBIA, MARYLAND

By the Developer:
"I/we certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."
Signature of Developer: LARRY OHLER
Date: 1-20-89

By the Engineer:
"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the Developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."
Signature of Engineer: GEORGE LABROS
Date: 1-20-89

HANDICAPPED PARKING SIGN SPECIFICATIONS
I. Fine Sign
Pursuant to Howard County Council Bill #58-84, which established a \$50.00 fine for violating provisions for handicapped parking and provided for posting notifications of that fine, this specification describes the sign authorized for posting and the associated mounting detail.



Sign to utilize an aluminum blank 6" x 12" x 0.080 inch thick with two (2) single post mounting holes. The text and border shall be standard green to match the R-7-8 reserved parking sign and the background shall be reflective white. The text shall be 3" characters.

II. Mounting:
The above fine sign shall be mounted underneath the below R-7-8 reserved parking sign. The bottom edge shall be no less than 7 feet above ground. If the sign is placed against a building, structure or other location where vehicle or pedestrian traffic is not obstructed, the bottom edge of the sign shall be at least 6 feet, but no more than 10 feet above ground. Because this is in addition to existing sign installations, some adjustment in height will be necessary.



- SEQUENCE OF OPERATION**
1. Obtain Grading Permit
 2. Notify Howard Co. Dept. of Permits and Licenses Sediment Control Division at least 48 hours prior to beginning work.
 3. Clear and grub for Sediment & Erosion Control Measures or Devices only.
 4. Install all Sediment & Erosion Control Measures and Devices.
 5. Notify Howard Co. Dept. of Permits and Licenses, Sediment Control Division, upon completion of said installation.
 6. With the approval of Howard Co. Dept. of Permits & Licenses and the Sediment Control Inspector, clear and grub remainder of site.
 7. Rough grade site.
 8. Building construction phase, including SWM facility.
 9. Fine grade & stabilize all areas disturbed by construction, buildings & walk or by methods prescribed in "Standards & Specifications for Erosion & Sediment Control in Developing Areas" all temporary sediment control measures shall be removed with permission of Sediment Control Inspector. Stabilize all remaining areas after sediment control measures are removed.

- BORING B-1**
- 3.5' - 5.0' - CLAY
 - 6.0' - 7.5' - SAND
 - 8.5' - 10.0' - DETRIORATED ROCK
 - 10.0' - 11.5' - SAND

GROUND WATER ENCOUNTERED AT 8.5'

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Approved: [Signature] Date 4/14/90
Howard S.C.D.

Howard Soil Conservation District
[Signature] Date 1/20/89
U.S. Soil Conservation Service

PERMANENT SEEDING NOTES
Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.
Soil Amendment: In lieu of soil test recommendations, use one of the following substances:
1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureamiform fertilizer (9 lbs/1000 sq ft).
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disk into upper three inches of soil.
Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 40 lbs per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of seeding lowgrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well amended straw mulch and seed as soon as possible in the spring. Option (2) Use seed. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and match with 2 tons/acre well anchored straw.
Muhling - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES
Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.
Soil Amendment: - Apply 60 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
Seeding: - For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of seeding lowgrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use seed.
Muhling: - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.
Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

- EROSION MANAGEMENT FACILITIES CONSTRUCTION SPECIFICATIONS**
1. SPECIFICATIONS AND DETAILS - Erosion management facilities shall be constructed in accordance with the HOWARD COUNTY Department of Public Works Standard Specifications and Details for Construction unless otherwise indicated.
 2. INSPECTION BY LICENSED ENGINEER - The construction of all erosion management facilities shall be under the supervision of a registered Professional Engineer. The Engineer must certify that the facilities have been built in accordance with the plans and submit written certification immediately following the completion of the project.
 3. TRINGS - Trings shall not be discharged to underground SWM facilities until all upstream drainage areas have been stabilized. Discharge pipes from trings shall be plugged until all areas are stabilized.
 4. EROSION CONTROL FACILITIES - All disturbed areas shall be stabilized by erosion and sediment control devices in accordance with a plan approved by H.C.D.
 5. CURBS OF NEW BUILDING CONSTRUCTION - All work shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary ditches, basins, and drainage structures necessary to protect the work area from water. The Contractor shall maintain all necessary pumping and other equipment required for removal of water from various parts of the work. After having served their purpose, all temporary facilities and equipment shall be removed.
 6. MATERIALS
CONCRETE - Concrete shall be mix (No. 3) concrete. Reinforcing steel shall be ASTM A-615, Grade 60.
COMPACTED STEEL PIPE - Pipe shall be fully galvanized and fully heliarc welded and shall conform to ASTM A-199, Type A. The clear area of the pipe shall be protected by the application of the heliarc welding shall be at least 75 percent of the clear area heliarc welded. Pipe shall be supplied with watertight connecting heads.
STONE FILL - Stone shall be #566 Size #2.
FILTER FABRIC - Filter fabric shall be Polyfilter - a or equivalent.
BACKFILL MATERIAL - Fill shall be free of roots, stumps, wood, rubbish, coarse stones, frozen or other objectional materials, and shall meet the requirements for subgrade material.

7. INSTALLATION
SEEDING - Prepare seedbeds to design dimensions. Seeded materials shall be placed immediately after seeding to ensure soil stability. Large tree roots shall be trimmed with the sides to prevent fabric tearing or puncturing during subsequent installation procedures. The side walls of seedbeds which have been sheared and sealed by connecting equipment shall be resurfaced before fabric is placed.
FABRIC LAYING - The filter fabric roll shall be out to the proper width prior to fabric laying. Fabric shall be placed to completely line the trench and to conform to any irregularities in the excavation. Fabric shall be anchored with metal staples or other approved methods. Where overlaps between two rolls are required, the upstream roll shall lap a minimum of 2 feet over the downstream roll in order to provide a shingle effect. Overlap on the top of trenches and beds shall be a minimum of 6 inches.
STONE PLACEMENT - Stone shall be placed with care to avoid tearing or displacing filter fabric. Stone fill shall be placed in lifts and compacted using plate compactors or other approved equipment. Maximum loose lift thickness shall be 12 inches.
COMPLETION - Care shall be exercised to prevent natural or fill soils from becoming disturbed with the stone fill. All contaminated stone fill shall be removed and replaced with uncontaminated stone.
MULCHING - After stone fill has been placed, the top of the stone storage bed shall be covered with filter cloth. Mulch shall be placed in lifts with a maximum thickness of 6 inches and thoroughly compacted using hand-operated vibratory tamper or other approved equipment to 95 percent of ASTM D-79 maximum density. Mulch materials shall meet the specifications for present subgrade.
OBSERVATION WELL - An observation well shall be constructed for each facility where indicated on the drawings. The depth of the well at the time of installation shall be marked on the site.

- SEDIMENT CONTROL NOTES**
- 1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
 - 2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - 3) Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 14 days as to all other disturbed or graded areas on the project site.
 - 4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - 5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 - 6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector
 - 7) Site Analysis:
Total Area of Site 2.7 Acres
Area Disturbed 0.85 Acres
Area to be roofed or paved 0.70 Acres
Area to be vegetatively stabilized 0.15 Acres
Total Cut 500 Cu. yds
Total Fill 2000 Cu. yds
Offsite waste/borrow area location
 - 8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - 9) Additional sediment controls must be provided, if deemed necessary by the Howard County DPM sediment control inspector.
 - 10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

STORM WATER MANAGEMENT DATA

| | | |
|--------------------------------------|----------|---------|
| Drainage Area | ROUTED | 0.85 |
| MCN (existing) | | 73 |
| MCN (after development) | | 57 |
| Allowable Release - Proposed Release | | 118,000 |
| Q 2 Year | 0.72 cfs | 2.90 |
| Q 10 Year | 1.03 cfs | 4.81 |
| Storage Required (10 Year) | | 4890 CF |
| Storage Provided to Elev. | | 3150 |
| Surface Area | | 0.12 AC |

Structure Classification

| | |
|--------------------------|---------|
| Structure Class | "a" |
| Storage X Weight Product | 0.85 AC |
| Normal Surface Area | DRY |
| Structure Classification | URBAN |

HYDROLOGIC CRITERIA

| | |
|-----------------------------|---------------------------|
| 10 Year Management Provided | UNDERGROUND STONE STORAGE |
|-----------------------------|---------------------------|

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 3-5-90
DIRECTOR DATE
[Signature] 3-5-90
CHIEF BUREAU OF ENGINEERING DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 3-15-90
COUNTY HEALTH OFFICER DATE
[Signature] 4-2-90
PLANNING DIRECTOR DATE
[Signature] 3/4/90
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE
J.B.

AS-BUILT
12-17-91

AS-BUILT SWM

DETAILS & SPECIFICATIONS
PROPOSED ADDITION - LOT 10, EGU
9570 BERGER ROAD
GTH ELECTION DISTRICT
HOWARD COUNTY, MD.

| | | |
|-------|----------|------------|
| SHEET | DATE | JOB NUMBER |
| 2 | JAN 1989 | |
| OF | SCALE | |
| 3 | AS SHOWN | 88459 |

| Check | DATE | REVISIONS |
|--------|------|-----------|
| Check | GL | |
| Design | GL | |
| Check | GL | |

PAUL LEE ENGINEERING, INC.
304 W. PENNSYLVANIA AVENUE
TOWSON, MD. 21204 TEL. 821-5241

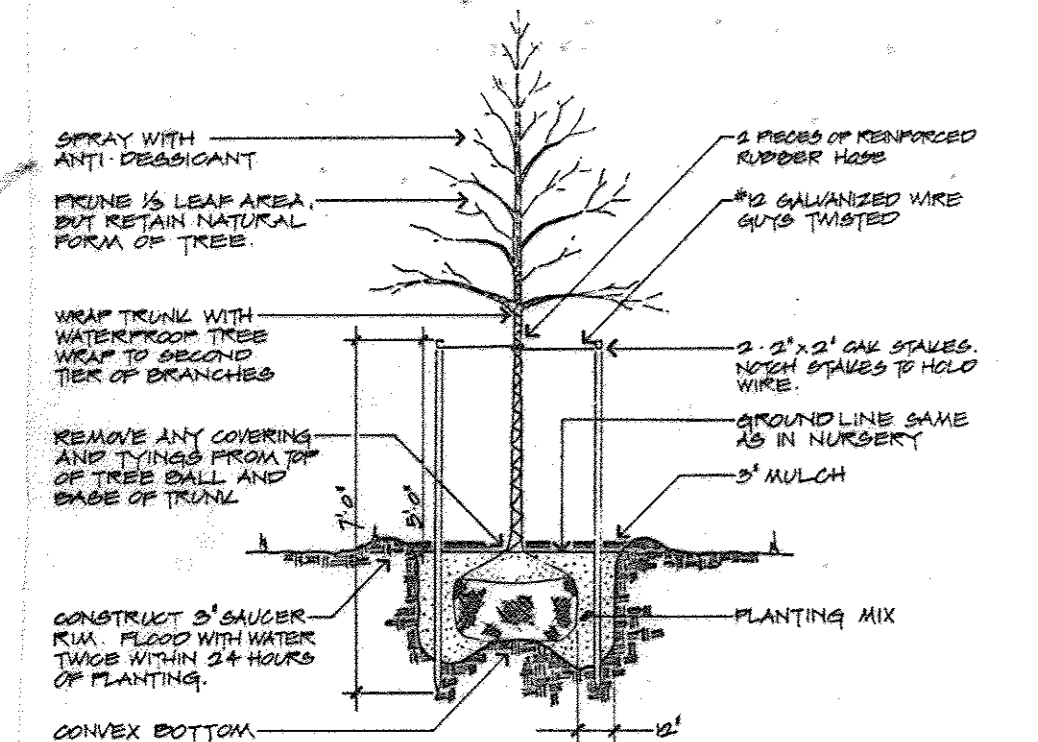
OWNER:
FATS INCORPORATED
9570 BERGER ROAD
COLUMBIA, MARYLAND

SUBDIVISION NAME: E.G.U.
PLAT OR L.R. BLOCK/ZONE: 17/36
WATER CODE: EOG
SECT./AREA: 2/10
LOT/PARCEL: 10
TAX/ZONE MAP/ELC. DIST. CENSUS TR.: G
SEWER CODE: 5840000

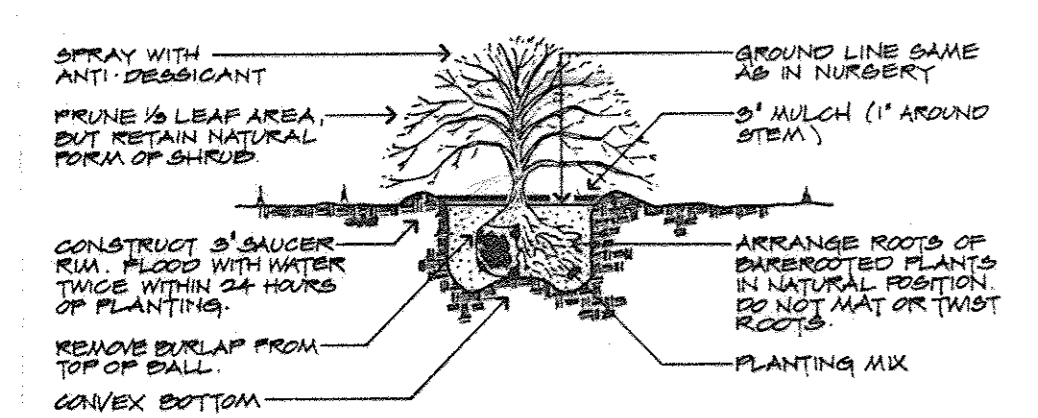
DETAILS & SPECIFICATIONS
PROPOSED ADDITION - LOT 10, EGU
9570 BERGER ROAD
GTH ELECTION DISTRICT
HOWARD COUNTY, MD.

| SHEET | DATE | JOB NUMBER |
|-------|----------|------------|
| 2 | JAN 1989 | |
| OF | SCALE | |
| 3 | AS SHOWN | 88459 |

SDP 87-211



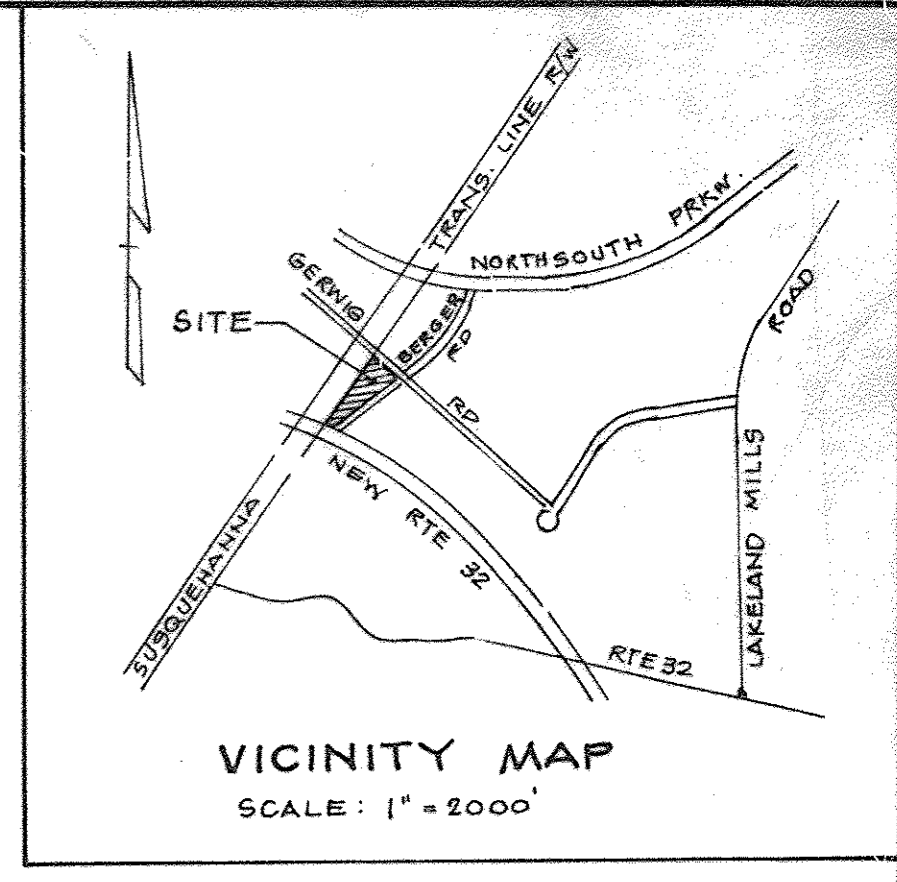
PLANTING DETAIL FOR TREES - 1/4\"/>



PLANTING DETAIL FOR EVERGREEN AND DECIDUOUS SHRUBS

CONSTRUCTION NOTES

1. MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME IX.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE C&P TELEPHONE COMPANY AND THE GAS & ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK. SHOWN ON THESE PLANS BY CALLING MISS UTILITY, CALL COLLECT 1-550-0100
4. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5.5' COVER ALL PROPOSED WATER LINES.
5. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' CLEARANCE AT ALL WATER, SEWER AND STORM DRAIN CROSSING.
6. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION/SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 992-6417 OR 992-2418.
7. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS IV.
8. MANHOLE SHALL BE PRECAST IN ACCORDANCE WITH HOWARD COUNTY STANDARD G-511.
9. HANDICAPPED PARKING SIGN SHALL CONFORM TO MARYLAND 580G CODE FOR THE HANDICAPPED. BOTTOM EDGE OF SIGN MOUNTED 7'-6\"/>

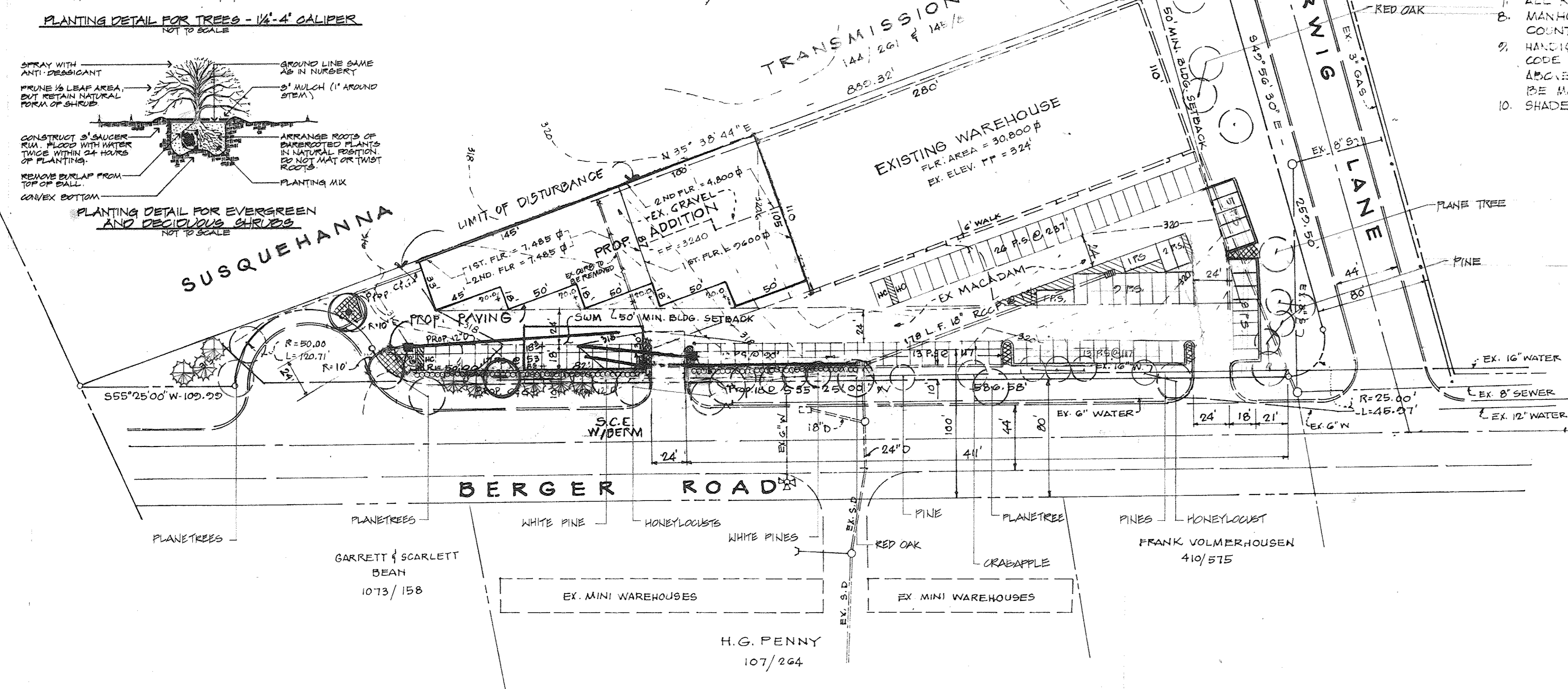


SITE ANALYSIS

1. AREA OF SITE = 2.70 AC. ± = 117,612 SQ. FT.
2. EXISTING ZONING = M-2 (HEAVY INDUSTRIAL)
3. FLOOR SPACE:
 - PROP. = 47,845 SF (WAREHOUSE) & 12,245 SF (OFFICE)
 - TOTAL = 60,170 SF
4. OPEN SPACE = 2.70 AC. x 0.20 = 0.54 AC. ± = 60,170 SQ. FT. (20% OF TOTAL)
5. GREEN AREA = 0.54 AC. (20%)
6. NUMBER OF EMPLOYEES: 50 OFFICE & 20 WAREHOUSE
7. PARKING REQUIREMENTS: 50 OFFICE @ 7 PS./10 PERSONS = 35 PS. 20 WAREHOUSE @ 1 PS./EMPLOYEE = 20 PS. 55 PS. REQ'D.
8. TOTAL PARKING SPACE PROVIDED = 75 (INCL. 3 H.C.)
9. BUILDING COVERAGE OF SITE = 60,170 SQ. FT. AND 51%
10. PARKING LOT AREA = 18,100 SQ. FT. LANDSCAPED ISLAND AREA = 905 SQ. FT. (5% OF TOTAL) 1003 SF SHOWN
11. LANDSCAPING TO BE IN ACCORDANCE TO HOWARD COUNTY REGULATIONS: 2 1/2\"/>

LEGEND

- 3.00 --- EXIST. GROUND
- 3.00 --- PROP. GRADE
- S --- S --- SILT FENCE
- --- LIMIT OF DISTURBANCE
- --- STABILIZED CONSTR. ENTR.



PLAN SCALE: 1\"/>

PLANT LIST:

| KEY | QUANTITY | BOTANICAL NAME COMMON NAME | SIZE | CONDITION | REMARKS |
|----------|----------|---|-----------------|-----------|---------|
| (Symbol) | 8 | PINUS STROBUS WHITE PINE | 8-10' HT. | BEB | |
| (Symbol) | 1 | PLATANUS ACERIFOLIA LONDON PLANETREE | 2 1/2-3' CAL. | BEB | |
| (Symbol) | 1 | QUERCUS BOREALIS (RUBRA) NORTHERN RED OAK | 1 1/2-1 3/4\"/> | | |

| TENANT | USE | COMMERCIAL BEVERAGE ESTABLISHMENT | PRIVATE ACADEMIC | RETAIL | RESTAURANT CARRYOUT | WAREHOUSE |
|--|-----------------------------------|-----------------------------------|------------------|-----------|---------------------|-----------|
| CENTRAL MD YOUTH BALLET | DANCE STUDIO | | 4,134 SF | | | |
| GREG MATULEVICH | PERSONAL TRAINING STUDIO | | 1,255 SF | | | |
| MONTGOMERY AUCTION | AUCTIONEER | | | | | 2,065 SF |
| FLINT GROUP NORTH AMERICA CORPORATION | INK DISTRIBUTOR | | | | | 3,138 SF |
| NORRIS R.A. (CARQUEST) | AUTO SUPPLY WHOLESALE DISTRIBUTOR | | | | | 6,025 SF |
| AMERICAN STOREFRONT GLASS DOOR PRODUCTS | GLASS INSTALLER | | | | | 5,719 SF |
| LOST ARK DISTILLING COMPANY | WHISKEY DISTILLERY | 1,022 SF | | 470 SF | | 3,440 SF |
| TEAR STEWART / GRACIE JUI JUJU | MARTIAL ARTS GYM | | 7,500 SF | | | |
| CAPITAL LIGHTING & SUPPLY (CAPITAL TRISTATE) | ELECTRICAL SUPPLY DISTRIBUTOR | | | | | 7,381 SF |
| HYSTERIA BREWERY | BREWERY | 7,578 SF | | | | 7,992 SF |
| BULLHEAD PIT BEEF | CARRYOUT RESTAURANT | | | | 693 SF | |
| VACANT | WAREHOUSE | | | | | 693 SF |
| TOTAL AREA | | 54,223 SF | 2,600 SF | 12,899 SF | 470 SF | 37,575 SF |

SPECIFICATION FOR PLANTING

Plant Identification: All plants shall be properly marked for identification and labeling.

List of Plant Material: The Contractor will verify plant quantities prior to shipping and any discrepancy shall be brought to the attention of the Landscape Architect. The Contractor shall furnish and plant all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of the Landscape Architect. This contract will be based on the Bidder having verified, prior to bidding, the availability of the required plant materials as specified on the plant list.

Plant Quality: All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been sheared regularly, and shall be vigorous, healthy and of good color. All plants shall be sound, free of plant disease or insect injury and shall have a healthy normal root system. Plants shall be heavily grown. Plants shall not be pruned prior to delivery. The shape of the plant shall in general conform to the natural growth proportions unless otherwise specified. All plants including container grown shall conform to the following: caliper, ball size, height, specifications of the American Standard for Nursery Stock (ANSI Z60.1-1973), and shall have a well-shaped, heavy branch structure for the species. Evergreen trees are to have an internode no greater than 24\"/>

Planting: Backfilling shall be done with soil mix, reasonably free of stones, humus, clay, lumps, stumps, roots, weeds, branches, twigs, litter, toxic substances, or any other material which may be harmful to plant growth or hinder, retard, or injure the plant. Operations should only be undertaken if suitable planting conditions exist such as fairly moist conditions or chemical residues. They should be called to the attention of the Landscape Architect and Owner for adjustments before planting. The plant shall be set plumb and upright and shall be staked at the time of planting. Small plants shall be well worked about the roots and settled by watering. Plants shall be planted higher than surrounding grade. Stakes will be 3\"/>

- NOTES:
1. Contractor shall notify Miss Utility a minimum of 72 hours prior to digging. Telephone: 1-800-257-7777.
 2. The location of all plant material is to be approved in the field by the Landscape Architect.
 3. The Landscape Architect is to be notified 48 hours before planting begins.
 4. This plan is to be used for planting only.



NOTE:
BOUNDARY & TOPOGRAPHICAL SURVEY DATA TAKEN FROM PLAN PREPARED BY ENELL, BOWHART & ASSOC. DATED JUNE 3, 1971 REV. 10-20-71 (SDP 71-23 C)

| LOT NO. | STREET ADDRESS |
|---------|------------------|
| 10 | 9570 BERGER ROAD |

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James J. ... 3/5/90
DIRECTOR DATE

William S. Reay 3-5-90
CHIEF BUREAU OF ENGINEERING DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

John B. ... 3-15-90
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

W. ... 4-2-90
PLANNING DIRECTOR DATE

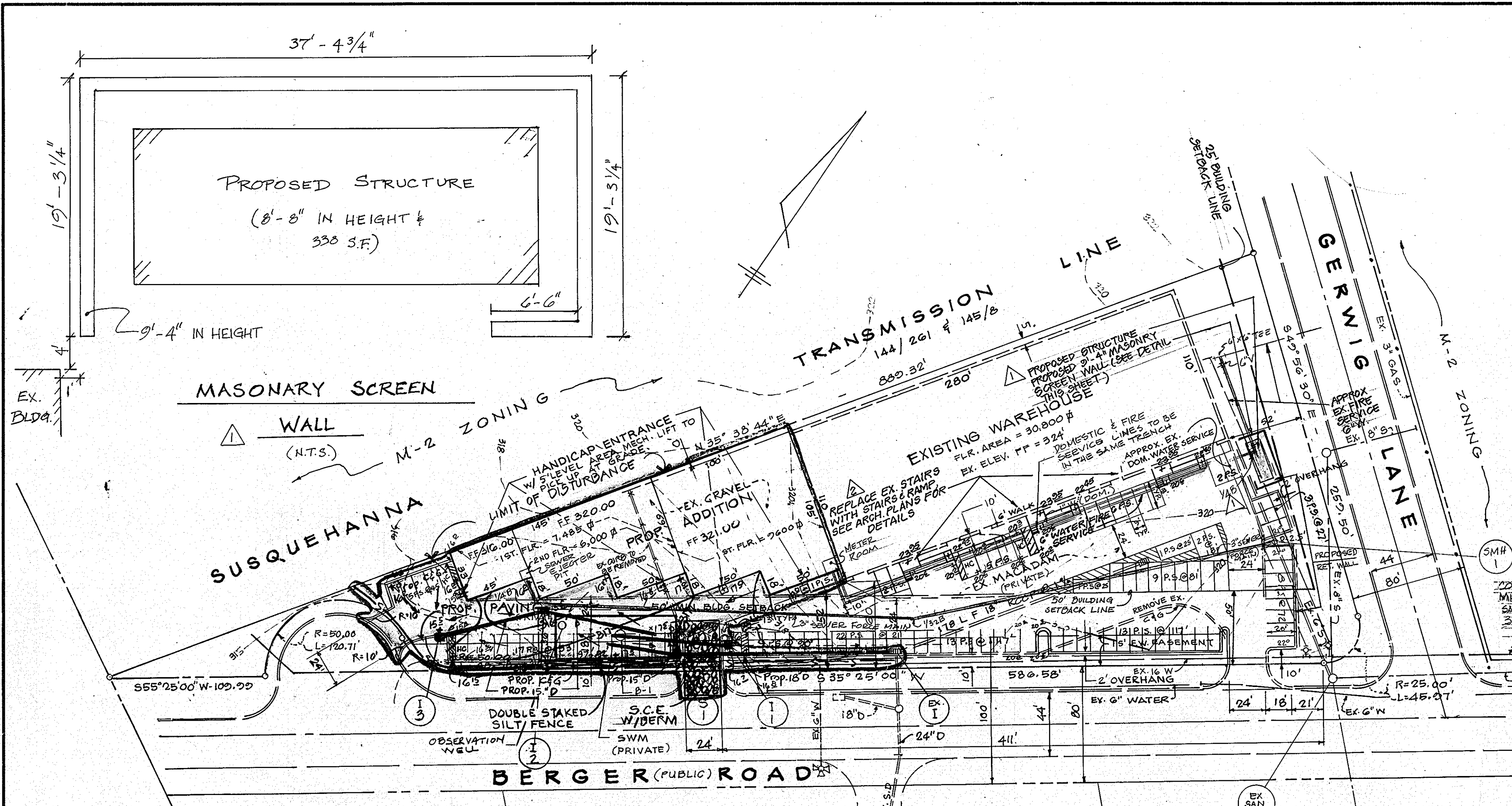
Robert V. ... 3/22/90
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE



HUMAN & ROHDE, INC.
Landscape Architects
110 E. Pennsylvania Avenue
Towson, Maryland 21204
1301 825-3885

BUILDING ADDITION TO SDP-71-25C & SDP 79-52C

| | | | | | | | | | | |
|--------------|---------------|-----------------------------|--|--------------------------|-----------------|----------------|--|---------------|-----------------|-------------------|
| Drafting: JR | DATE: 04/11/8 | REVISIONS: ADD TENANT CHART | OWNER: PATS INCORPORATED, 9570 BERGER ROAD, COLUMBIA, MARYLAND | SUBDIVISION NAME: E.G.U. | SECT./AREA: 2/2 | LOT/PARCEL: 10 | LANDSCAPE PLAN, PROPOSED ADDITION - LOT 10, EGU, 9570 BERGER ROAD, 6TH ELECTION DISTRICT, HOWARD COUNTY, MD. | SHEET: 3 OF 3 | DATE: 7-27-1989 | JOB NUMBER: 88052 |
|--------------|---------------|-----------------------------|--|--------------------------|-----------------|----------------|--|---------------|-----------------|-------------------|



GENERAL NOTES

1. MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME II.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE C.F.P. TELEPHONE COMPANY AND THE GAS & ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK. SHOWN ON THESE PLANS BY CALLING "MISS UTILITY". CALL COLLECT 1-550-0100.
4. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5' COVER ALL PROPOSED WATER LINES.
5. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' CLEARANCE AT ALL WATER, SEWER AND STORM DRAIN CROSSING.
6. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION/SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 992-2417 OR 992-2418.
7. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS II.
8. MANHOLE SHALL BE PRECAST IN ACCORDANCE WITH HOWARD COUNTY STANDARD G-511.
9. HANDICAPPED PARKING SIGN SHALL CONFORM TO MARYLAND BLDG. CODE FOR THE HANDICAPPED, BOTTOM EDGE OF SIGN MOUNTED 7'-6" MIN. ABOVE GRADE. ADDITIONAL SIGN DISPLAYING AMOUNT OF PINE SHALL BE MOUNTED NO LOWER THAN 7'-0" ABOVE GRADE (HOWARD CO. COUNCIL BILL 58-84).
10. SHADED AREA DENOTES NEW PAVEMENT.
11. WATER & SEWER SERVICE TO BE THROUGH EXISTING UTILITIES IN EXISTING BUILDING.
12. HANDICAP ACCESS TO BE PROVIDED BY MECHANICAL LIFTS INSIDE BLDG. SEE ARCHITECTURAL DWGS. FOR DETAILS.
13. BUILDING IS TO BE SPRINKLERED.

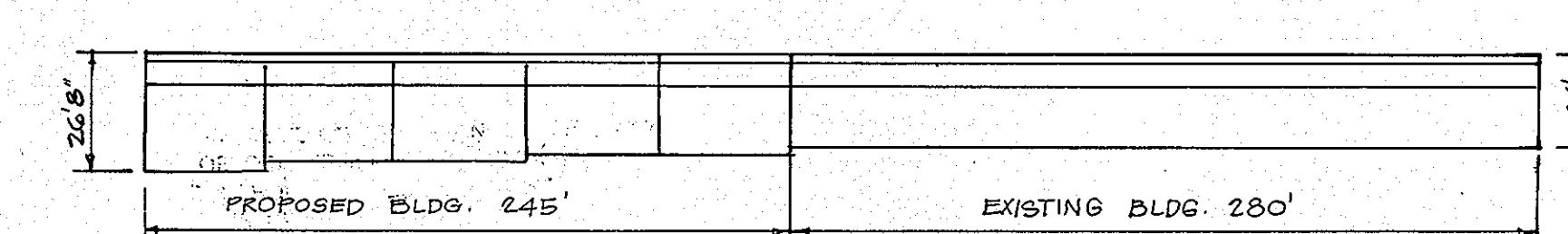
LEGEND

- - - - - EXIST. GROUND
- --- PROP. GRADE
- — — — SILT FENCE
- — — — LIMIT OF DISTURBANCE
- — — — STABILIZED CONSTR. ENTR.

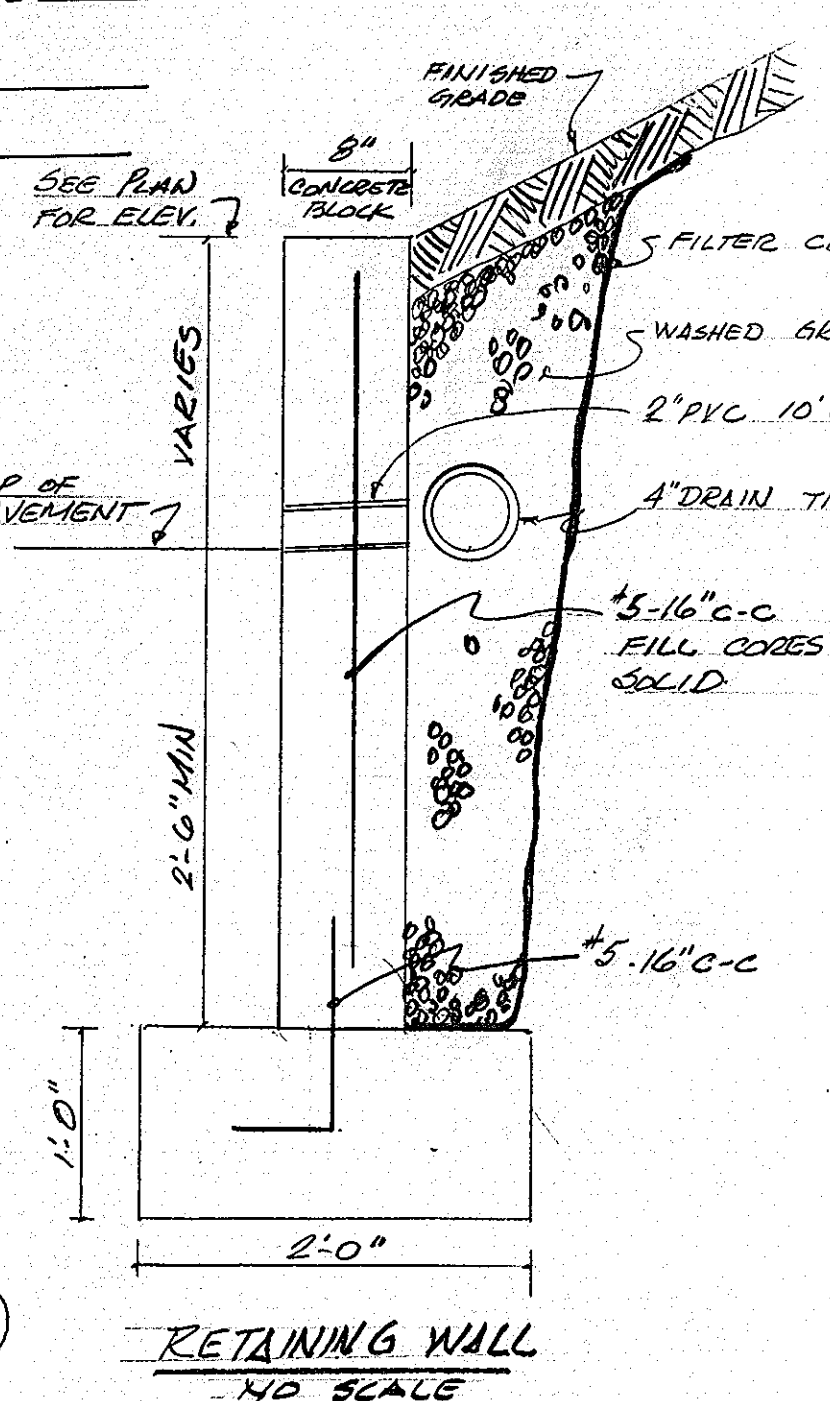
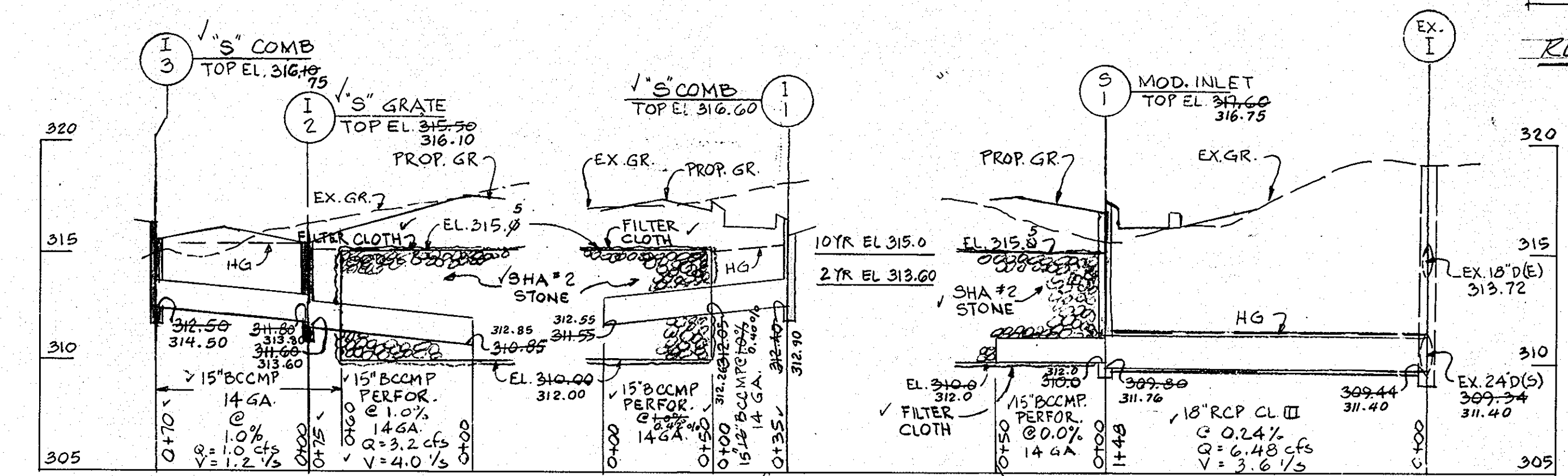
SITE ANALYSIS

1. AREA OF SITE = 2.70 Ac. ± = 117,612 SQ. FT.
2. EXISTING ZONING = NEW TOWN (FDP-55)
3. FLOOR SPACE:
PROP. = 17,085 SF (WAREHOUSE) + 6,000 SF (OFFICE)
EX. = 30,800 SF (WAREHOUSE)
TOTAL = 53,885 SF + 338 SF = 54,223 SF
4. OPEN SPACE = 2.70 Ac. x 0.20 = 0.54 Ac. ± (20% OF TOTAL)
5. GREEN AREA = 0.54 Ac. (20%)
6. NUMBER OF EMPLOYEES: 22 OFFICE & 20 WAREHOUSE
7. PARKING REQUIREMENTS: 40213 + OFFICE @ 2 PPS/1000 + (PER FDP-55) = 81 PPS.
338 SF + 13,472 SF WAREHOUSE @ 0.5 PPS/1,000 SF = 7 PPS
88 PPS. REQ'D.
8. TOTAL PARKING SPACE PROVIDED = 101 (INCL. 5H.C.)
9. BUILDING COVERAGE OF SITE = 48,223 SQ. FT. AND 41%
10. PARKING LOT AREA = 18,100 SQ. FT.
LANDSCAPED ISLAND AREA = 905 SQ. FT. (5% OF TOTAL)
11. LANDSCAPING TO BE IN ACCORDANCE TO HOWARD COUNTY REGULATIONS. SEE LANDSCAPE PLAN.
12. STORM WATER MANAGEMENT FACILITY TO BE PRIVATE AND MAINTAINED BY OWNER.

PLAN
SCALE: 1" = 50'



SOUTH ELEVATION
NO SCALE

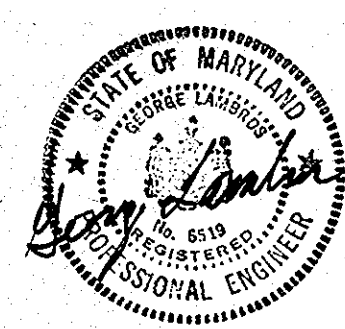


Reviewed for **Howard** S.G.D.
and meets Technical Requirements
James M. Miller Date *1/22/90*
Signature
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Approved *James M. Miller* Date *1/22/90*
Howard S.G.D.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE AS-BUILT IS ACCURATE AND COMPLETE AND THAT AS CONSTRUCTED MEETS THE REQUIREMENTS OF THE STANDARDS AND SPECIFICATIONS FOR PONDS.
SIGNED *Shayne Chamber* P.E. #6519 DATE: 12-17-91



AS-BUILT
12-17-91

ADDRESS CHART

| LOT NO. | STREET ADDRESS |
|---------|------------------------------------|
| 10 | EXISTING BUILDING 9570 BERGER ROAD |
| 10 | PROPOSED BUILDING 9590 BERGER ROAD |

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James M. Miller 3/5/90
DIRECTOR DATE

Shayne Chamber 3-5-90
CHIEF BUREAU OF ENGINEERING DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

James M. Miller 3-14-90
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Shayne Chamber 4-2-90
DIRECTOR DATE

Shayne Chamber 4/2/90
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

BUILDING ADDITION TO SDP-71-25C & SDP 70-52C
RED LINE REVISIONS 10/27/98

AS-BUILT SWM

SITE PLAN
PROPOSED ADDITION - LOT 10, EGU
9570 BERGER ROAD
6TH ELECTION DISTRICT HOWARD COUNTY, MD.

| SHEET | DATE | JOB NUMBER |
|-------|----------|------------|
| 1 | JAN 1989 | |
| OF | SCALE | |
| 3 | 1" = 50' | 88052 |

| Drafting | DATE | REVISIONS |
|----------|----------|---|
| JR | 1-11-91 | ADD DOM/FIRE SERV, 8" S. FORCE MAIN, RET. WALL |
| GL | 10/27/98 | ADD STRUCTURE W/ SCREEN WALL & REVISE SITE ANALYSIS |
| GL | 11/01/07 | REVISE STAIRS & PARKING NOTE |

PAUL LEE ENGINEERING, INC.
304 W. PENNSYLVANIA AVENUE
TOWSON, MD. 21204 TEL. 821-5041

OWNER:
PATS INCORPORATED
9570 BERGER ROAD
COLUMBIA, MARYLAND

| SUBDIVISION NAME | SECT./AREA | LOT/PARCEL |
|------------------------|---------------------------------------|------------|
| E.G.U. | 2/2 | 10 |
| FLAT OR L.F. BLOCK NO. | TAX / ZONE MAP ELEV. DIST. CENSUS TR. | |
| 17/36 | M-2 42 | 6 |
| WATER CODE | SEWER CODE | |
| E.O.G. | 524000 | |