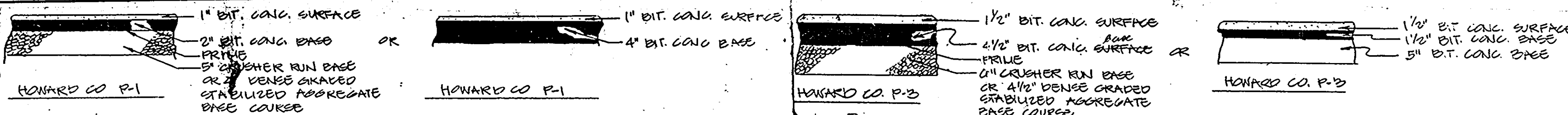


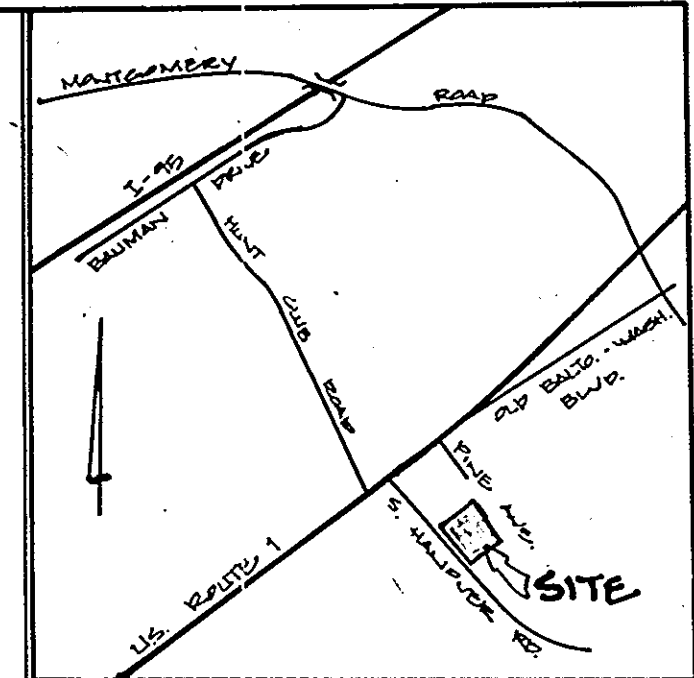
**GENERAL NOTES**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, OR AS SHOWN ON THESE PLANS.
- ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN AT LEAST 2' LEVEL BENCH BEHIND ALL CURB AND GUTTER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
- ALL SLOPES SHALL BE 2:1 OR FLATTER.
- THE CONTRACTOR SHALL NOTIFY THE C & P TELEPHONE CO. AND THE GAS AND ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK SHOWN ON THESE PLANS BY CALLING "MISS UTILITY" CALL COLLECT 1-559-0100.
- FOR DETAILS OF RAMPS AND SIGNS FOR THE HANDICAPPED SEE THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED AND AS SHOWN HEREON.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5' OF COVER OVER ALL PROPOSED WATER LINES, UNLESS OTHERWISE NOTED ON THE PLAN.
- THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION/INSPECTION/SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 992-2417 OR 792-7272.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING, CURB AND GUTTER, ETC... THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
- ALL UTILITIES INSTALLED UNDER PAVING SHALL RECEIVE FULL TRENCH COMPACTION.
- ALL WATER MAIN TEES, BENDS, CAPS, ETC... SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
- CONTRACTOR TO PROVIDE "AS-BUILT" LOCATION AT WATER MAIN IF THERE IS ANY DEVIATION FROM THE PLAN LOCATION.
- ALL CURB & GUTTER SHALL BE HOWARD COUNTY STD. COMBINATION CONCRETE CURB & GUTTER.
- FILE NUMBERS: VP 85-150, V.P. 85-130A1, F 86-57, F 89-133, S0P 89-139

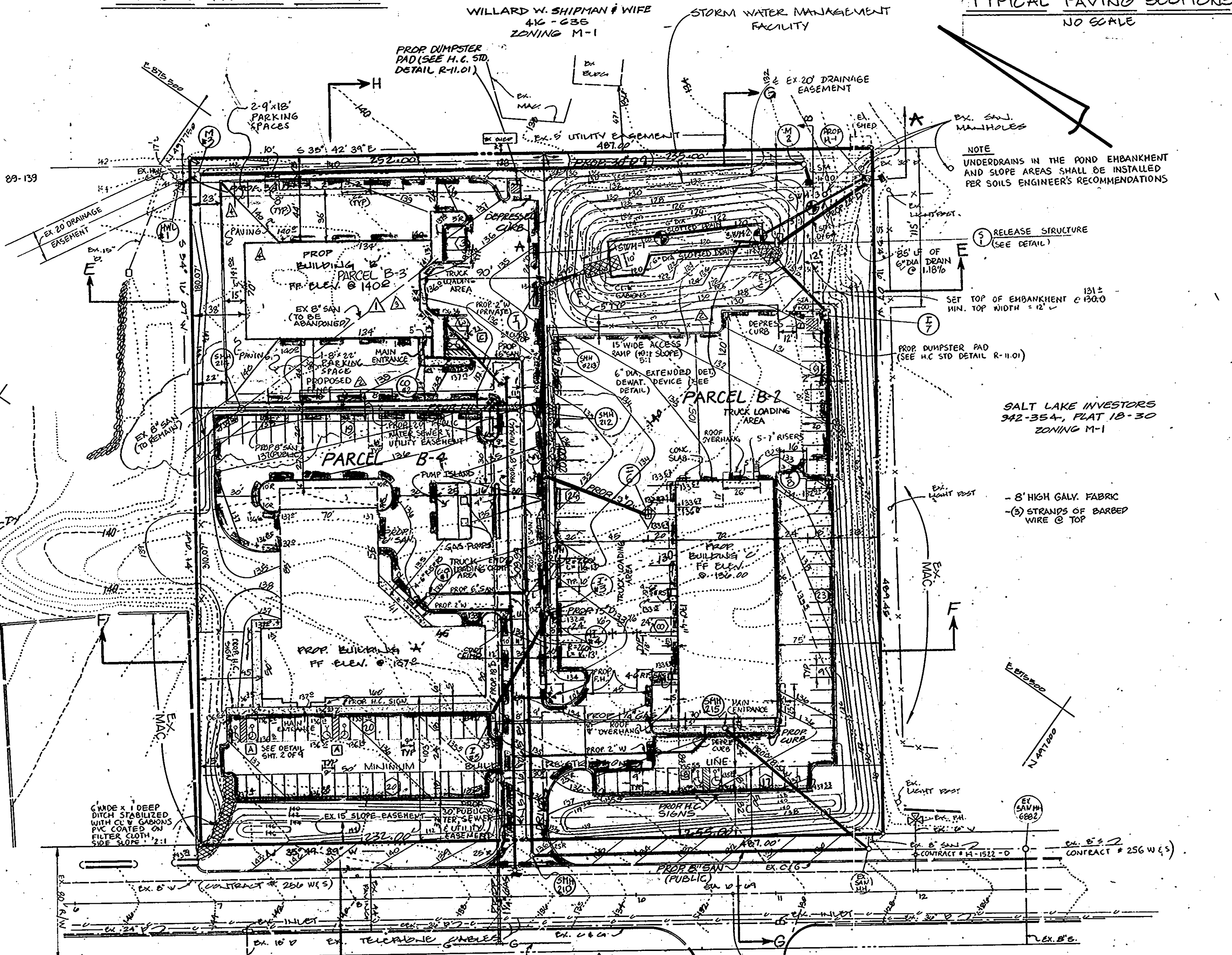


TYPICAL PAVING SECTIONS

TYPICAL PAVING SECTIONS



VICINITY MAP



NOTE: THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE SIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE STATEMENT SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

**PARKING TABULATION (PARCEL B-4)**  
 PARKING REQUIRED:  
 BUILDING A = 15,600 S.F.  
 OFFICE = 6,400 S.F. = 1 EMP/150 S.F. = 220 EMP, 7 PS/10 EMP = 19 PS  
 WAREHOUSE = 2,000 S.F. = 1 RS/1500 S.F. = 1 RS  
 SHOP = 7,000 S.F. = 1 RS/1500 S.F. = 1 RS  
 TOTAL REQ. 19 PS (4 HANDICAPPED)  
 TOTAL PROVIDED 19 PS (4 HANDICAPPED)

**PARKING TABULATION (PARCEL B-3)**  
 PARKING REQUIRED:  
 BUILDING B = 7360 S.F.  
 OFFICE = 100 S.F. = 1 EMP/200 S.F. = 1 EMP, 7 PS/10 EMP = 1 PS  
 WAREHOUSE = 8910 S.F. = 1 RS/1500 S.F. = 1 RS  
 TOTAL REQ. 19 PS (1 HANDICAPPED)  
 TOTAL PROVIDED 19 PS (1 HANDICAPPED)

**PARKING TABULATION (PARCEL B-2)**  
 PARKING REQUIRED:  
 BUILDING C = 11,923 S.F.  
 OFFICE = 1080 S.F. = 1 EMP/250 S.F. = 8 EMP, 7 PS/10 EMP = 6 PS  
 WAREHOUSE = 9,913 S.F. = 1 RS/1500 S.F. = 7 RS  
 TOTAL REQ. 20 PS  
 TOTAL PROVIDED 20 PS  
 PARKING SPACES PROVIDED, INCLUDING 2 HANDICAPPED = 20 PS  
 PARKING SPACES TRUCKS PROVIDED = 10 X 20 = 20  
 13 X 20 = 26

**SITE DATA**  
 TOTAL AREA OF SITE = 5.48 AC  
 PARCEL B-4 = 1.052 AC  
 PARCEL B-3 = 1.042 AC  
 PARCEL B-2 = 2.784 AC  
 EXISTING ZONING: M-1  
 PROPERTY REFERENCE: EVELYN SILVER SUBDIVISION, PLOT 177-091 PLAT 7975  
 EXISTING USE: VACANT  
 PROP. USE: OFFICE/WAREHOUSE  
 AREA TO BE CONSTRUCTED = 22,240 S.F. = 0.51 AC  
 AREA TO BE VEGETATIVELY STABILIZED = 102,144 S.F. = 2.34 AC  
 PARCEL B-4  
 BUILDING COVERAGE = 22,240 S.F.  
 FLOOR AREA = 22,240 S.F.  
 % BUILDING COVERAGE = 0.46 AC / 1.052 AC = 43%  
 % OPEN SPACE = 1.20 AC / 2.30 AC = 52%  
 % BUILDING COVERAGE WITH PAVING = 0.88 AC / 2.30 AC = 38%  
 PARCEL B-3  
 BUILDING COVERAGE = 7360 S.F.  
 FLOOR AREA = 7360 S.F.  
 % BUILDING COVERAGE = 0.17 AC / 1.042 AC = 16%  
 % OPEN SPACE = 0.87 AC / 1.042 AC = 83%  
 % BUILDING COVERAGE WITH PAVING = 0.17 AC / 1.042 AC = 16%  
 PARCEL B-2  
 BUILDING COVERAGE = 11,923 S.F.  
 FLOOR AREA = 11,923 S.F.  
 % BUILDING COVERAGE = 0.43 AC / 2.784 AC = 15%  
 % OPEN SPACE = 2.35 AC / 2.784 AC = 85%  
 % BUILDING COVERAGE WITH PAVING = 0.43 AC / 2.784 AC = 15%

AS-BUILT CERTIFICATION  
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS & SPECIFICATIONS.  
 SIGNED: *R. Alby Childers* DATE: April 14, 1994  
 PE# 10227

OWNER/DEVELOPER  
**CREANEY AND SMITH HANOVER LTD. PARTNERSHIP**  
 3511 EAST NORTH AVENUE  
 BALTIMORE, MD 21213  
 TEL. 301-342-1100

DEVELOPER'S CERTIFICATE  
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERSONNEL ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINE "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
 DATE: 1/13/89  
 TITLE: PARTNER

DESIGNED: I.R.-Z.  
 DRAWN: C.H.-U./R.P.T.  
 CHECKED: T.  
 REVISIONS:  
 1) S.W.M. FACILITY ENLARGED  
 2) SITE OF BLDG. 12 CHANGED  
 3) SUBDIVISION LINE CHANGED  
 4) ADDED 1 1/2" GAS LINE  
 11/1/91

These plans have been reviewed for the Howard Soil Conservation District to meet the technical requirements for small pond construction, soil erosion and sediment control.  
 Approved: *James M. Hata* 1-31-90  
 U.S. Soil Conservation Service Date  
 Approved: *Robert W. Zickman* 4/30/90  
 Howard Soil Conservation District Date

APPROVED: For public water and public sewerage systems  
 Howard County Health Department.  
 Approved: *Jim Boyle* 4-23-90  
 County Health Officer Date  
 Approved: *Howard County Department of Planning & Zoning* 5-18-90  
 Director Date  
 Approved: *James P. ...* 4/19/90  
 Chief Bureau of Engineering Date

BUILDING #	STREET ADDRESS
A & B	6205 SOUTH HANOVER ROAD
C	6215 SOUTH HANOVER ROAD

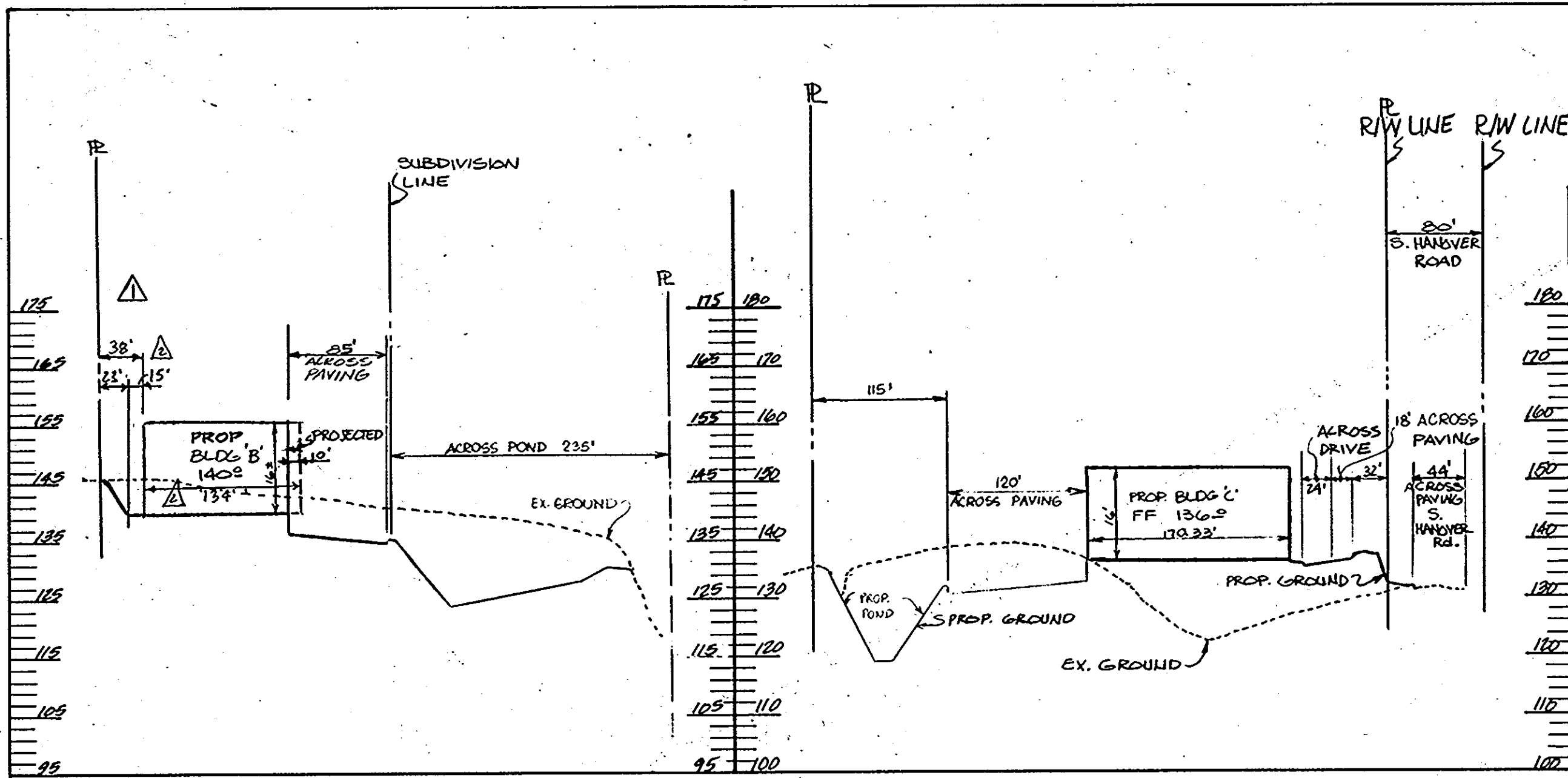
**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 303 ALLEGHENY AVENUE  
 TOWSON, MARYLAND 21204  
 (301) 825-8120



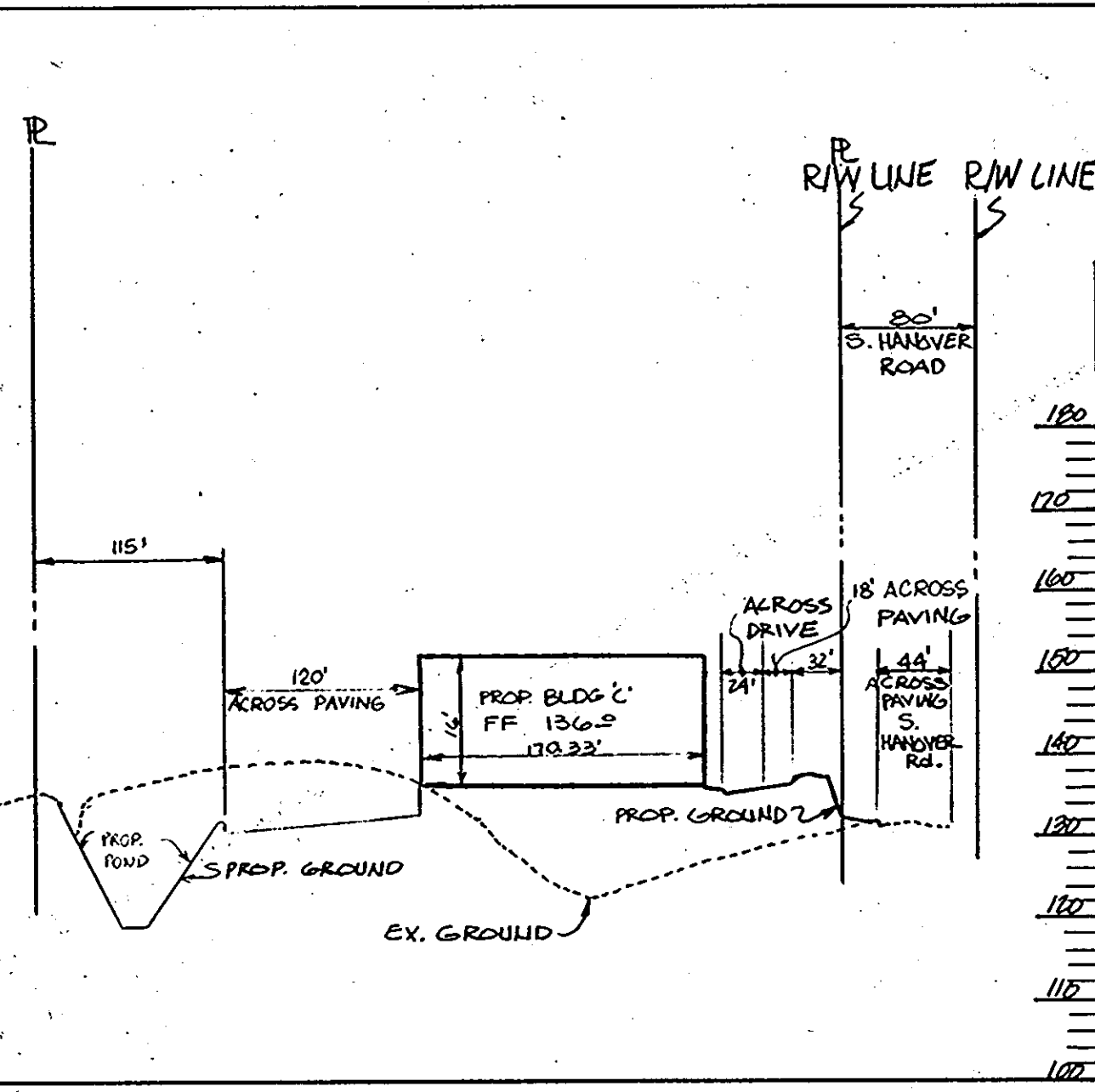
ENGINEER'S CERTIFICATE  
 I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
 ENGINEER: *J. ...*  
 REG. NO. 8734  
 DATE: 4/13/89

SUBDIVISION NAME: HANOVER BUSINESS PARK  
 BLOCK # 13  
 ZONE M-1  
 TAX/ZONE MAP 33  
 ELECT. DIST. 1  
 CENSUS TRACT 81-142-2  
 WATER CODE: A 01  
 SEWER CODE: 215016

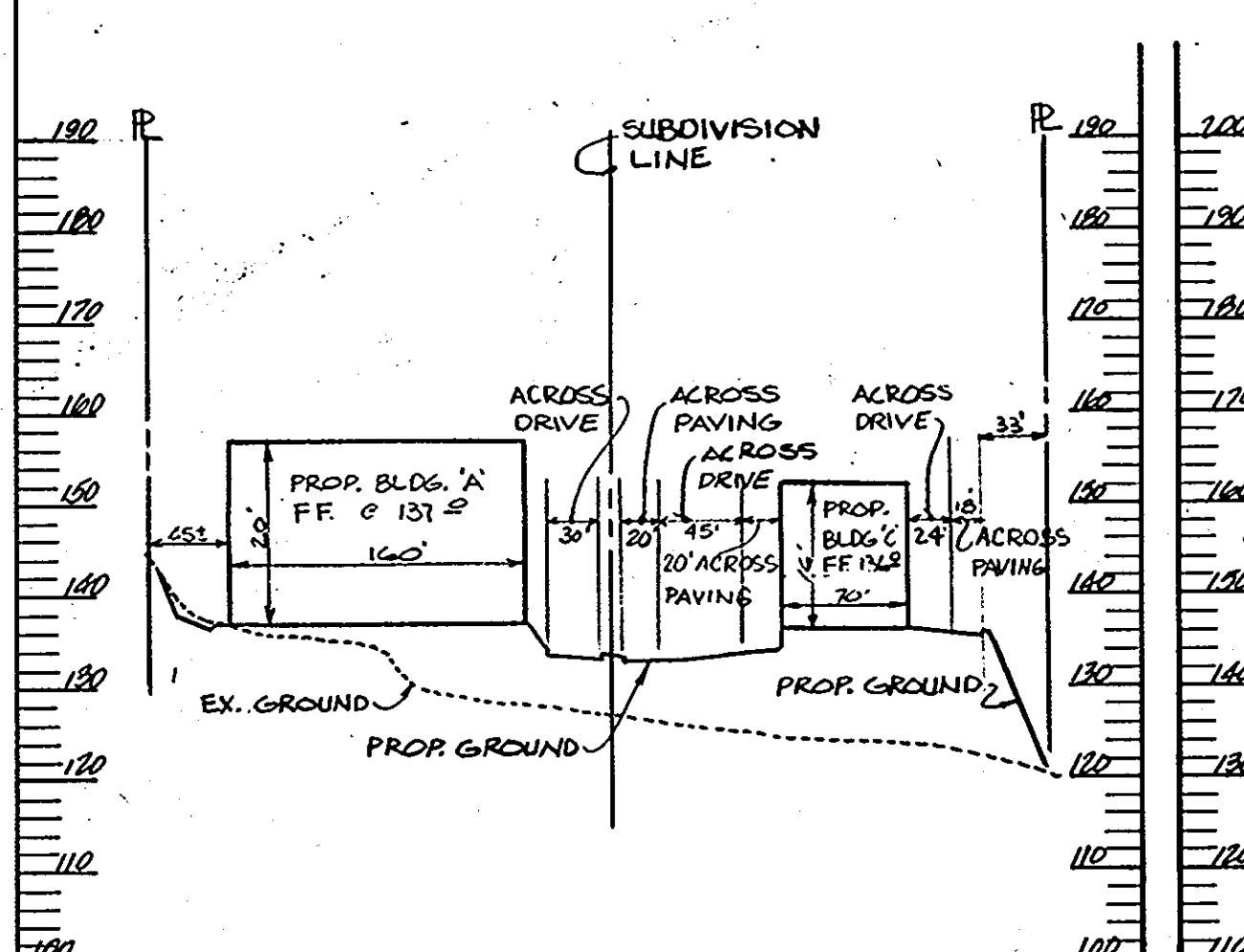
SDP 89-139



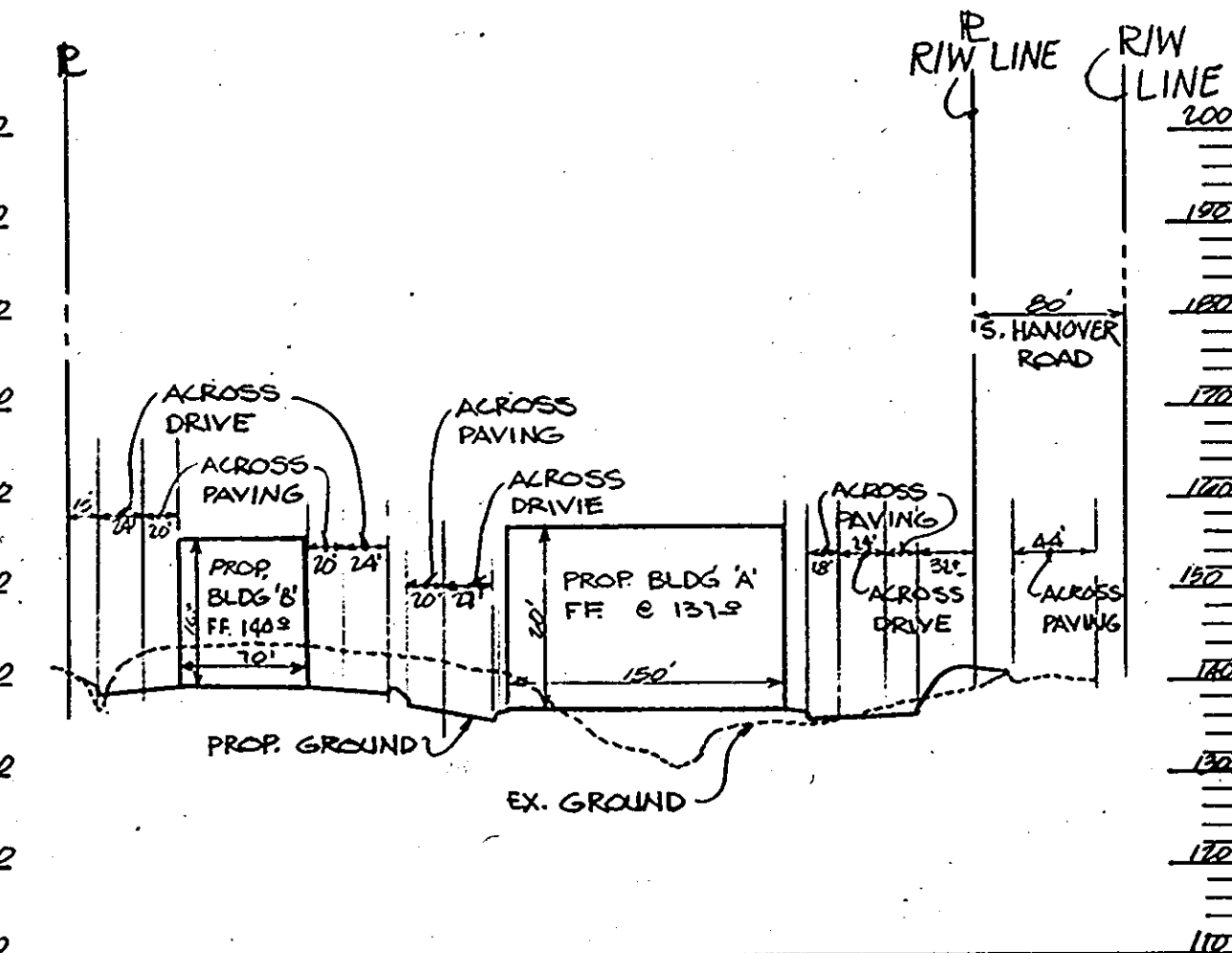
SECTION E-E  
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SCALE: VERT.: 1"=20'



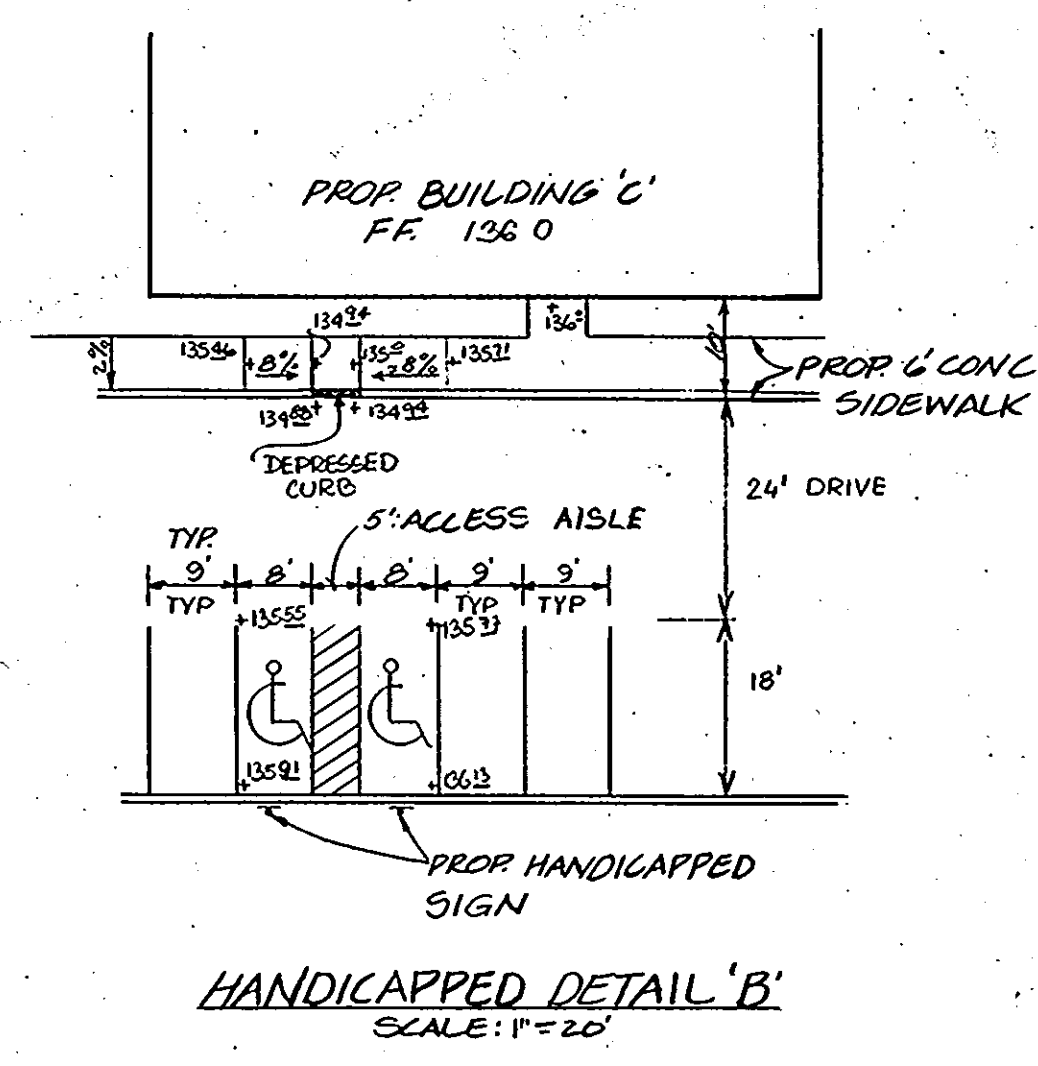
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SCALE: VERT.: 1"=20'



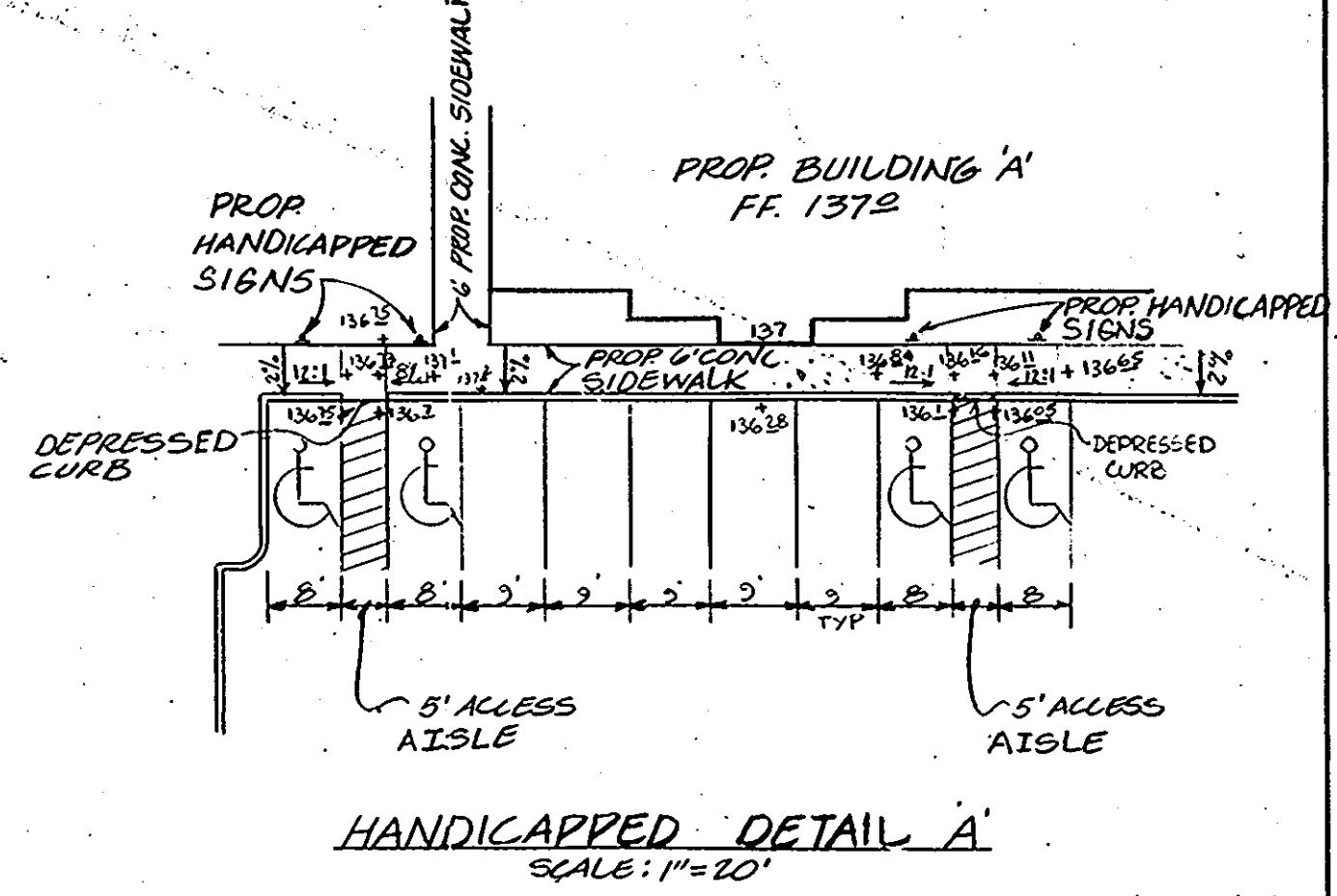
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SCALE: VERT.: 1"=20'



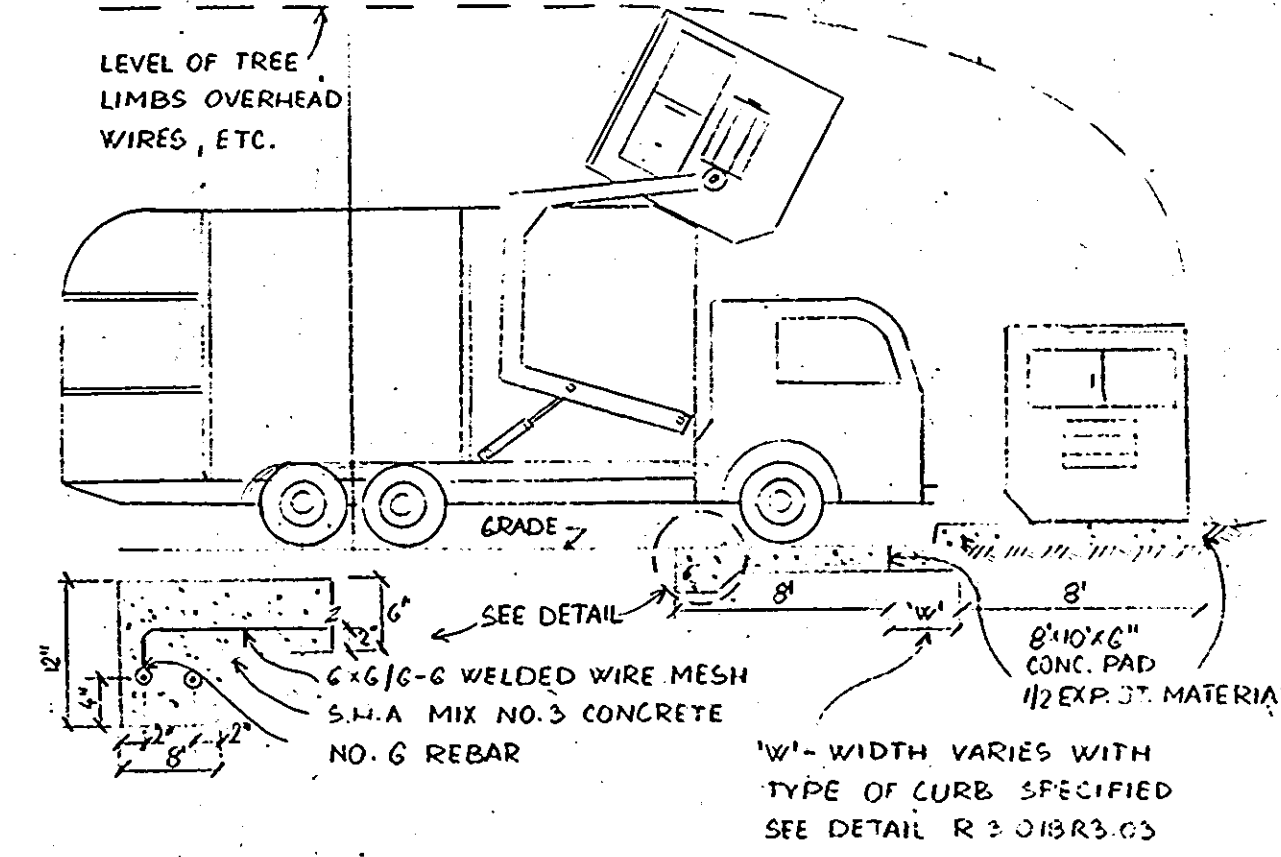
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SCALE: VERT.: 1"=20'



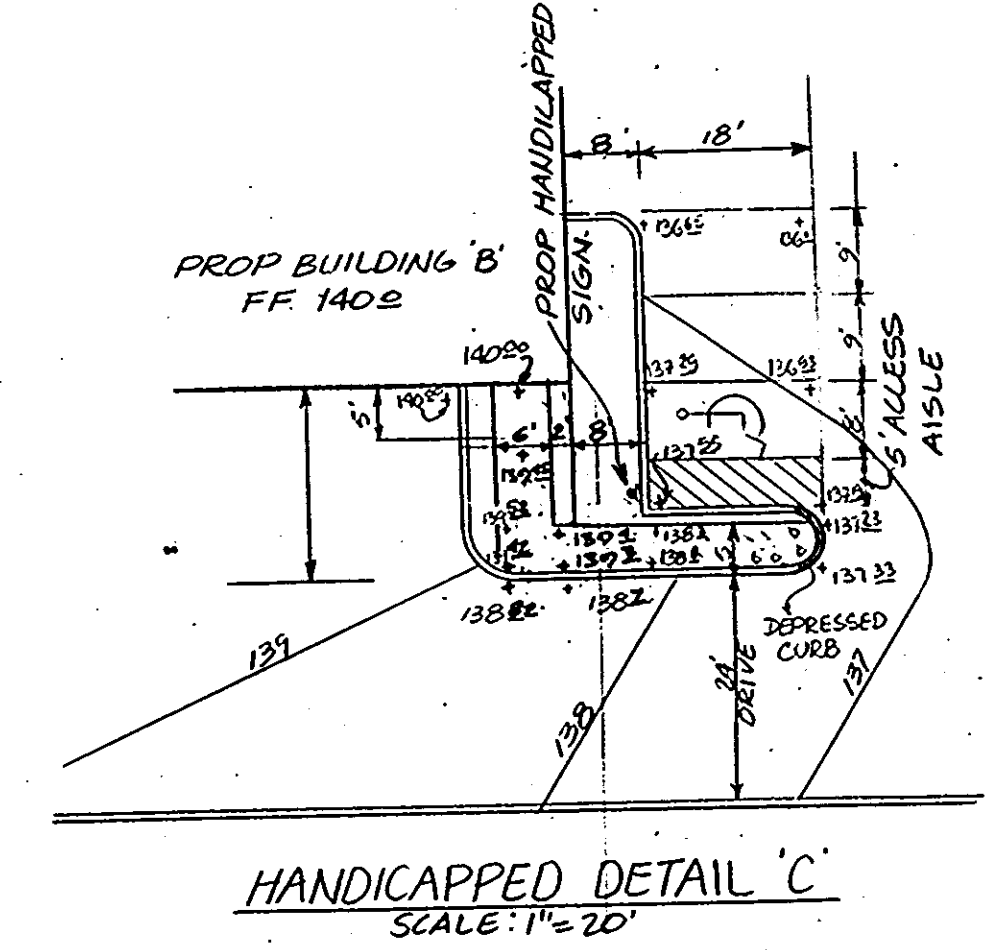
HANDICAPPED DETAIL 'B'  
SCALE: 1"=20'



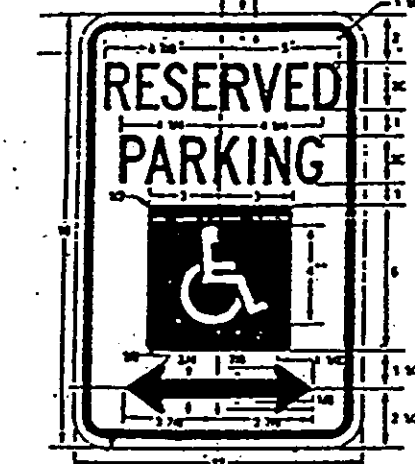
HANDICAPPED DETAIL 'A'  
SCALE: 1"=20'



DUMPSTER DETAIL



HANDICAPPED DETAIL 'C'  
SCALE: 1"=20'



COLORS:  
GREEN - LEGEND AND BORDER  
WHITE SYMBOL ON BLUE BACKGROUND  
WHITE - BACKGROUND



STANDARD RT-8 RESERVE PARKING SIGN  
\$90 FILE SIGN  
Sign to utilize an aluminum blank 6" x 12" x 0.060 inch thick with two single hole mounting holes.  
The text and border shall be standard green to match that on RT-8 and the background shall be reflective white. Text shall be 1 1/2" characters.  
Sign shall be mounted directly below the standard RT-8 Reserved Parking for Handicapped sign. Its bottom edge shall be no less than 2 feet above ground. If the sign is placed against a building, structure, or other location where vehicle or pedestrian traffic is not obstructed the bottom edge of sign shall be at least 6 feet but not more than 10 feet above ground.

APPROVED  
DATE: 1/31/90

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*James M. Hahn* 1-31-90  
U.S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Robert W. Zieher* 1/31/90  
HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT.

*John Boyle* 7-23-90  
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*W.H.* 5-18-90  
DIRECTOR

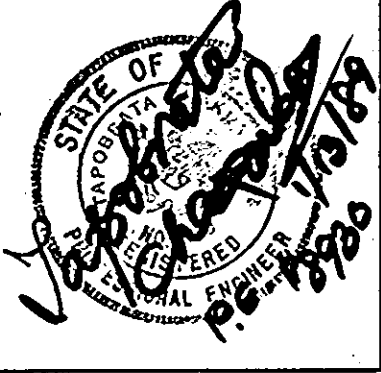
*Mark S. P. Smith* 5/14/90  
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

*James M. Hahn* 4-11-90  
DIRECTOR

*William E. P. Smith* 2-7-90  
CHIEF BUREAU OF ENGINEERING

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21204  
(301)825-9120



DEVELOPER'S CERTIFICATE:  
I CERTIFY THAT ALL NECESSARY PERMITS AND CONSTRUCTION SHALL BE DONE ACCORDING TO THESE PLANS AND THAT ALL RESPONSIBLE PERSONNEL EMPLOYED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AS A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE REMOVAL ALL-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT AND THEIR AUTHORIZED AGENTS AND ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.M.H. FACILITY WITHIN 100 DAYS OF COMPLETION.

DEVELOPER: *[Signature]* DATE: 1-13-89

OWNER/DEVELOPER  
**CREANEY AND SMITH HANOVER LTD. PARTNERSHIP**  
3511 EAST NORTH AVE.  
BALTIMORE, MD. 21213  
(301) 342-1100

DESIGNED: I.R. Z.  
DRAWN: N.K.  
CHECKED: T.C. IRZ.

REVISIONS:  
SECTION E-E  
H.C. DETAIL 'C'  
(10/30/90)  
9/15/98 REVISED BLDG. SECTION E-E BY G.W.S.

ENGINEER: *[Signature]*  
DATE: 1/13/89

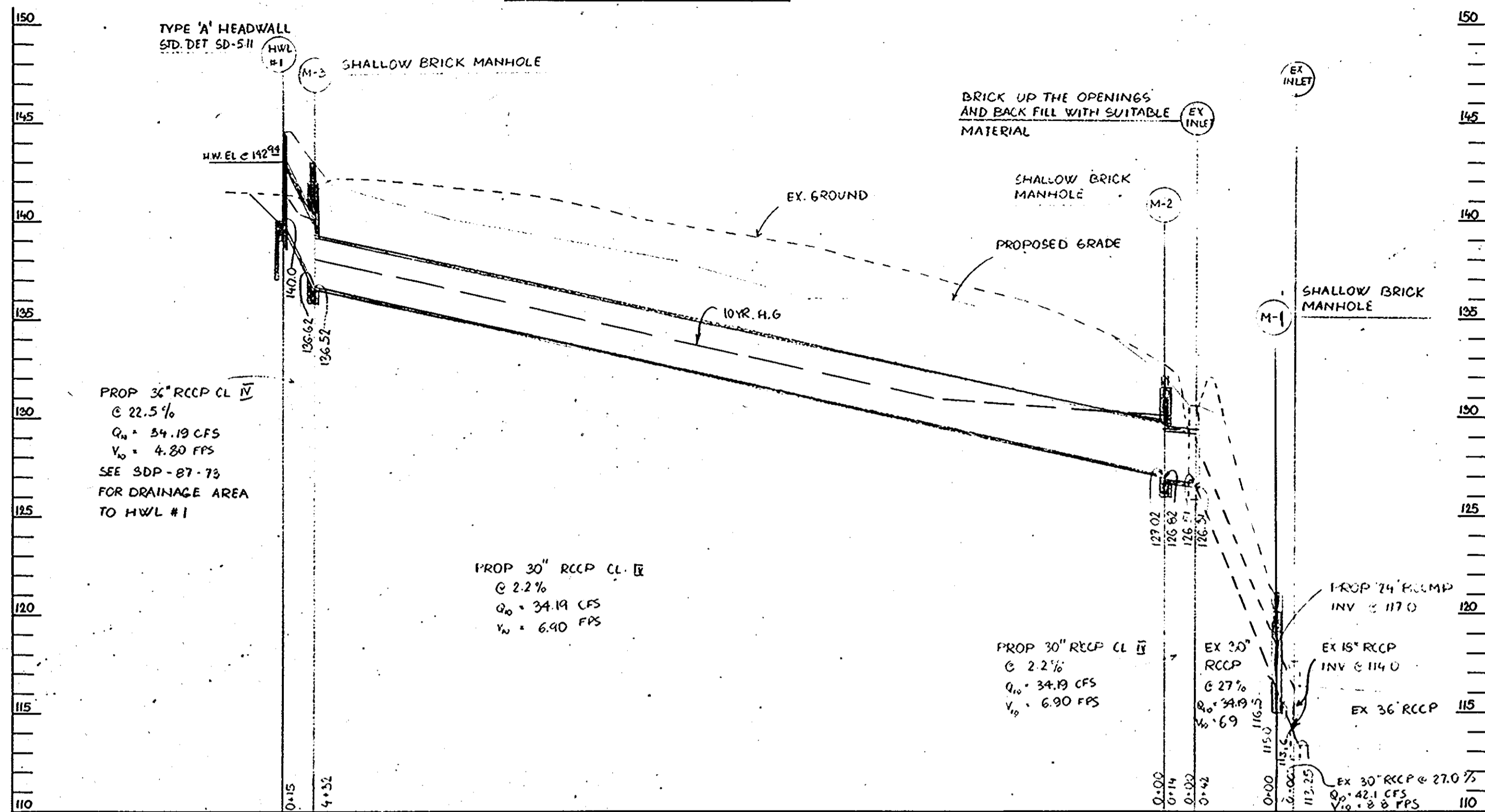
PROFILES AND DETAILS  
PROPOSED OFFICE/WAREHOUSE  
**HANOVER BUSINESS PARK**  
PARCELS B-2, B-3 & B-4  
(A RESUBDIVISION OF PARCEL B, DIVISION SILVER EUBDIVISION) PLAT # 89-05

THE MAP: 89  
HOWARD CO., MD.  
SCALE: AS SHOWN

PARCEL: B-3  
ELECTRA DISTRICT I  
JANUARY 13, 1989  
SHEET 2 OF 4

SDP 89-139

**STORM DRAIN PROFILE** SCALE: 1" = 50' HORZ 1" = 5' VERT



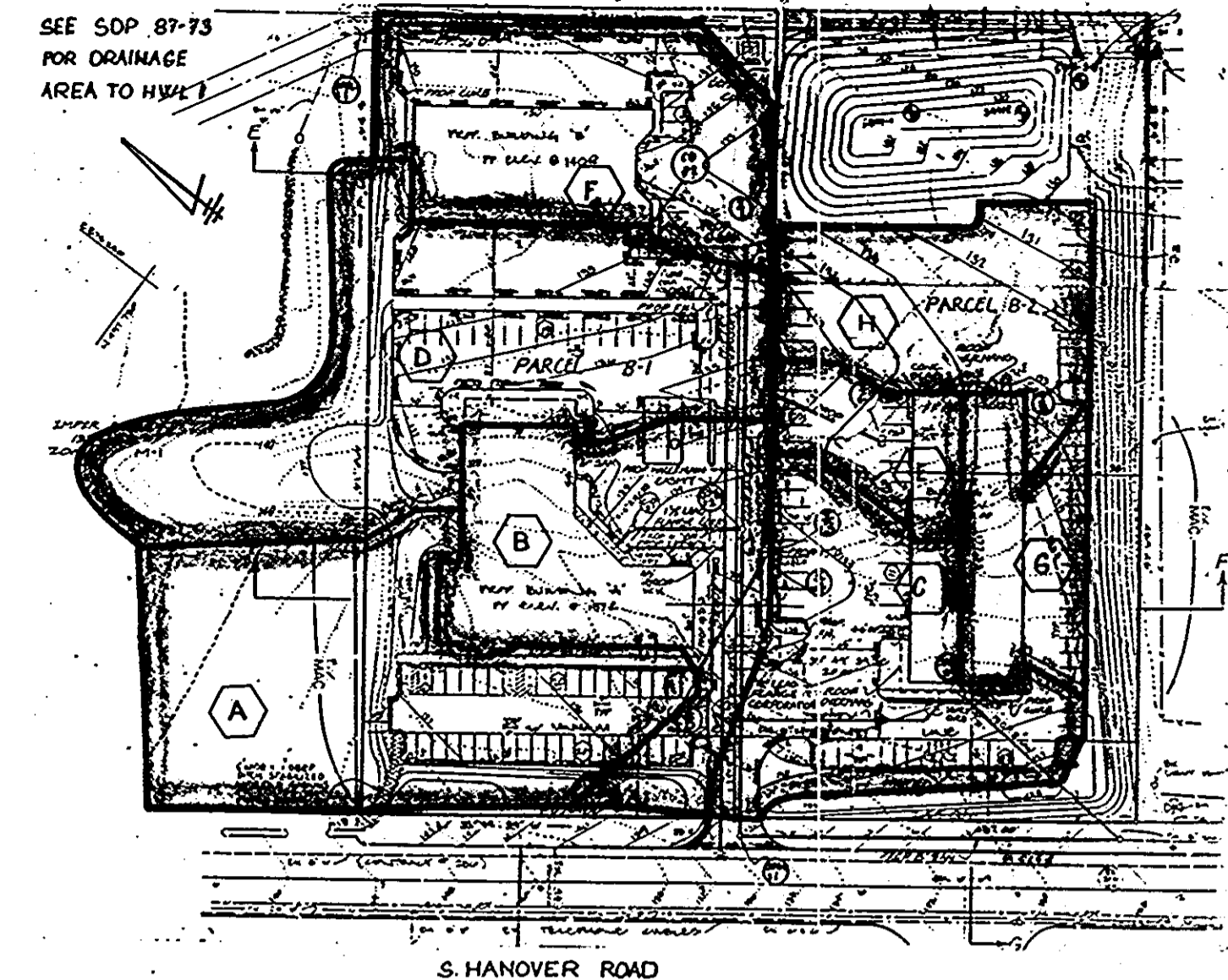
**INLET SCHEDULE**

NO	TYPE	TOP ELEV	INV IN	INV OUT	REMARKS
I-1	TYPE 'A-5'	* 134.6	125.72	125.52	SEE HO CO STD DET SD-4.61
I-2	TYPE 'A-5'	* 134.9	127.09	126.84	SEE HO CO STD DET SD-4.01
I-3	TYPE 'A-5'	* 133.0	126.77	126.52	SEE HO CO STD DET SD-4.01
I-4	TYPE 'A-5'	* 132.0	-	129.16	SEE HO CO STD DET SD-4.01
I-5	TYPE 'A-10'	* 135.57	-	130.22	SEE HO CO STD DET SD-4.01
I-6	TYPE 'S'	132.87	-	128.76	SEE HO CO STD DET SD-4.22
I-7	SINGLE 'S' COMB	** 120.06	125.51	125.74	SEE HO CO STD DET SD-4.34
I-8	SINGLE 'S' COMB	** 133.51	-	129.06	SEE HO CO STD DET SD-4.32

\* DENOTES TOP OF SLAB ELEV  
\*\* DENOTES TOP CURB ELEV

**STRUCTURE SCHEDULE**

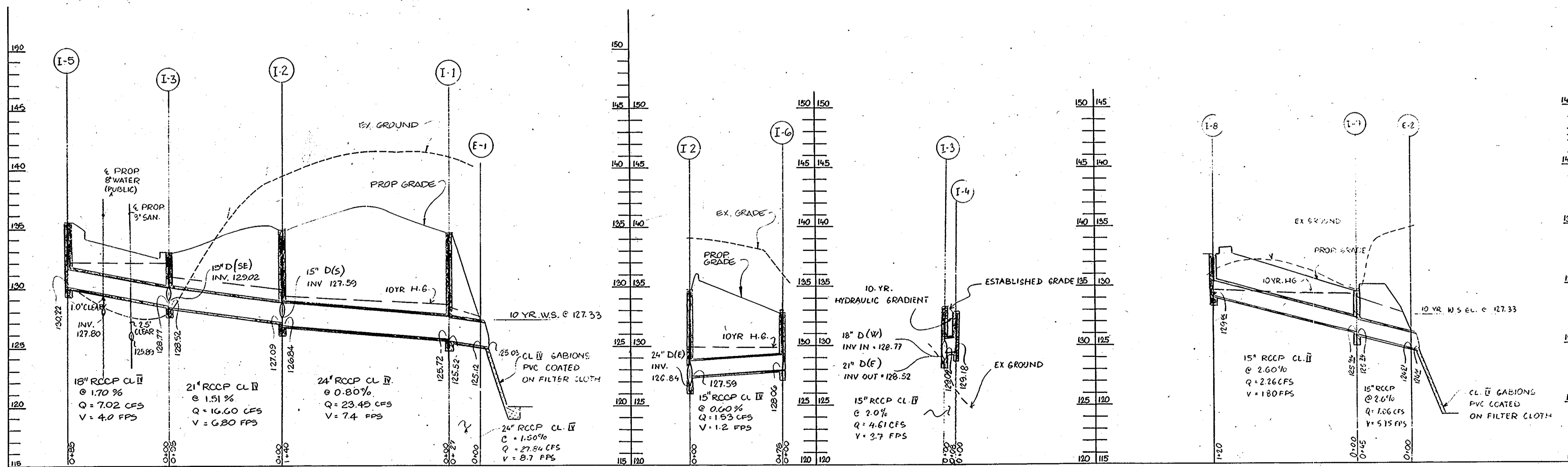
NO	TYPE	TOP ELEV	INV IN	INV OUT	REMARKS
HWL1	TYPE 'A' HEADWALL	144.0	-	141.0	SEE HO CO STD DET SD-5.11
M-1	SHALLOW BRICK MANHOLE	121.0	116.0, 117.0	115.00	SEE HO CO STD DET 6-5.05
M-2	SHALLOW BRICK MANHOLE	132.0	127.02	126.82	SEE HO CO STD DET 6-5.05
M-3	SHALLOW BRICK MANHOLE	143.0	136.62	136.52	SEE HO CO STD DET 6-5.05
E-1	CONC. END SECTION	127.12	-	125.12	SEE HO CO STD DET SD-5.51
E-2	CONC. END SECTION	125.82	-	124.51	SEE HO CO STD DET SD-5.51
S-1	RELEASE STRUCTURE	129.0	-	118.6	SEE DETAIL SH-5.0F9



**STORM DRAIN DRAINAGE AREA MAP**

SCALE: 1" = 100'

AREA	AC.	C-FACTOR
A	1.01	0.81
B	0.72	0.88
C	0.63	0.86
D	1.0	0.63
E	0.19	0.95
F	0.70	0.88
G	0.28	0.95
H	0.59	0.95



**STORM DRAIN PROFILES** SCALE: 1" = 50' HORZ 1" = 5' VERT

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

*James M. Taylor* 1-31-90  
Soil Conservation Service Date

Approved: *Robert J. Ziehm* 1-31-90  
Howard Soil Conservation District Date

Plan Number

APPROVED: For public water and public sewerage systems  
Howard County Health Department.

*James P. Coy* 4-23-90  
County Health Officer Date

APPROVED: *Walt* 1-18-90  
Howard County Department of Planning & Zoning Date

Director

*Harsh J. J. J.* 5/14/90  
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT Date

APPROVED: For public water and public sewerage storm drainage systems and public roads Howard County Department of Public Works.

*James J. J.* 4/19/90  
Director Date

*William E. P.* 2-7-90  
Chief Bureau of Engineering Date

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21204  
(301) 825-8120

ENGINEERS' CERTIFICATE:  
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *George William Stephens, Jr.*  
DATE: 1/13/89

OWNER/DEVELOPER  
**CREANEY AND SMITH HANOVER LTD. PARTNERSHIP**  
3511 EAST NORTH AVENUE  
BALTIMORE, MD, 21213  
(301) 342-1100

DEVELOPER'S CERTIFICATE  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINE "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: *Creaney and Smith*  
DATE: 1/13/89  
TITLE: PARTNERSHIP

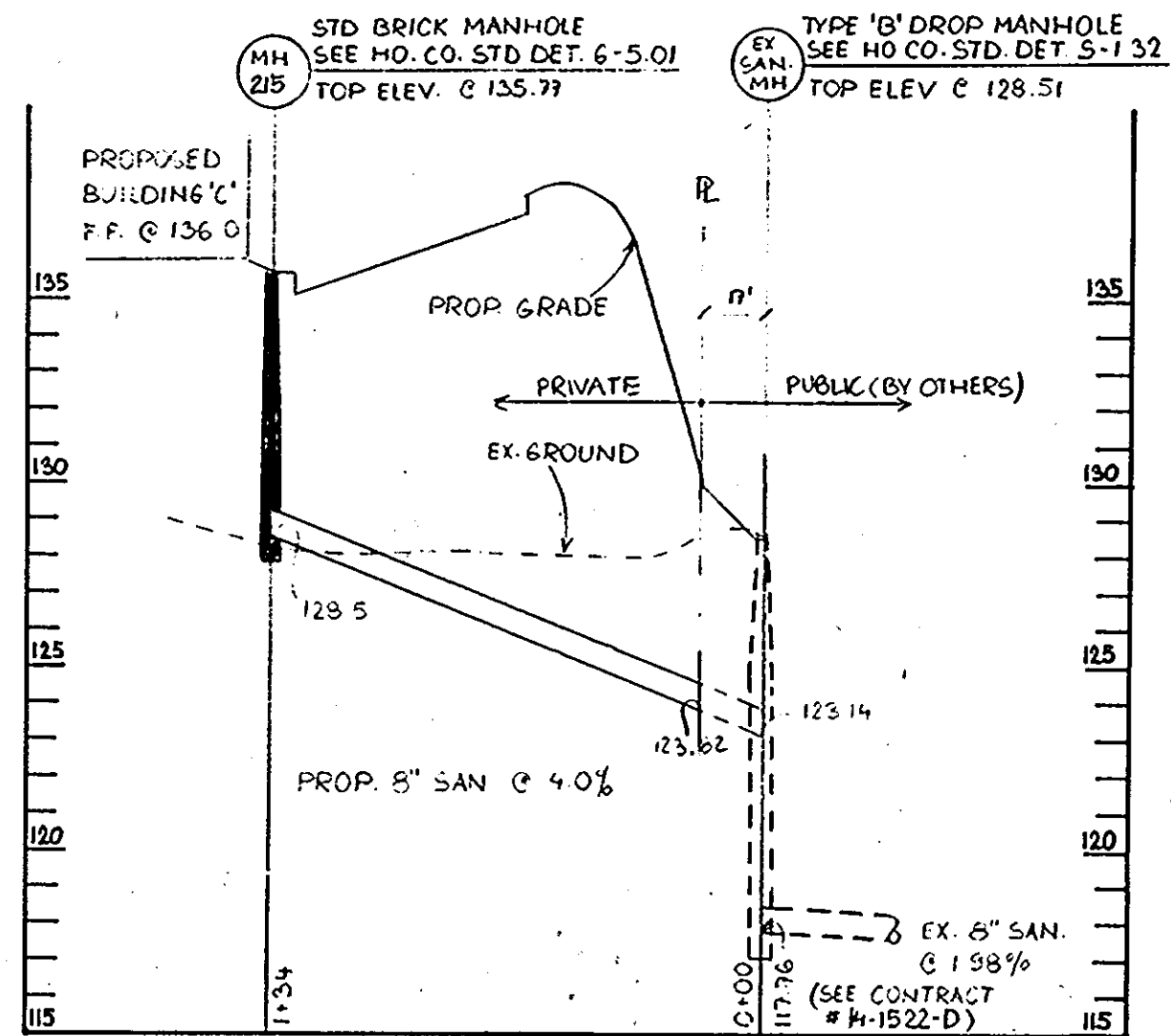
DESIGNED: IRZ  
DRAWN: C.W.G. III/DR  
CHECKED: T.C./I.R.Z.  
REVISIONS:

PROFILES AND DETAILS  
**PROPOSED OFFICE/WAREHOUSE HANOVER BUSINESS PARK**  
PARCELS B-2, B-3, & B-4  
(A RESUBDIVISION OF PARCEL B BY SUBDIVISION SILVER GULLY SUBDIVISION)  
PLAT # 1989

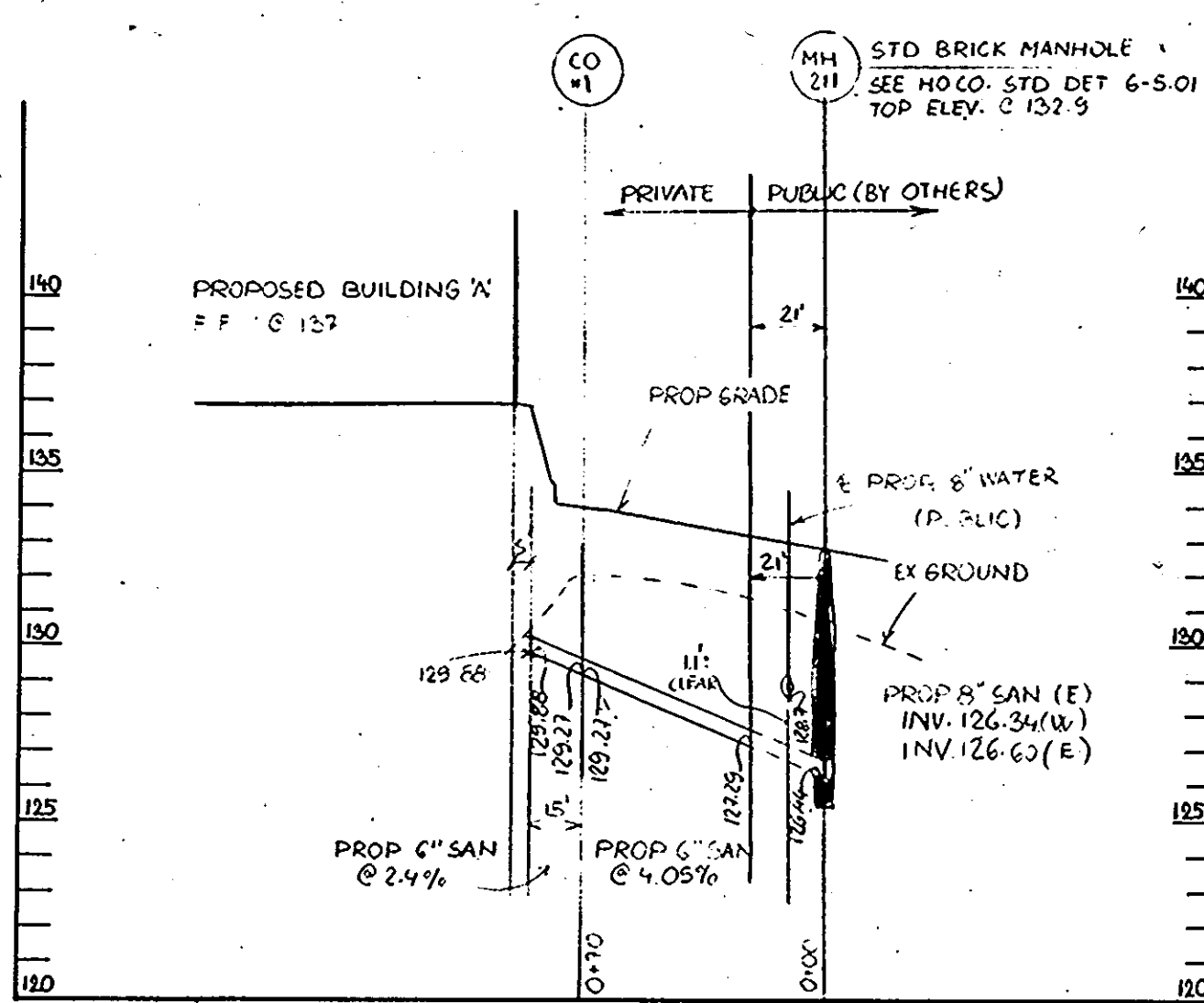
TAX MAP: 28  
HOWARD CO., MD.  
SCALE: AS SHOWN

PARCEL: 105  
ELECTRIC DISTRICT: 1  
JANUARY, 1989  
SHEET: 30F.9

**SANITARY PROFILE** SCALE: 1" = 50' HORIZ 1" = 5' VERT

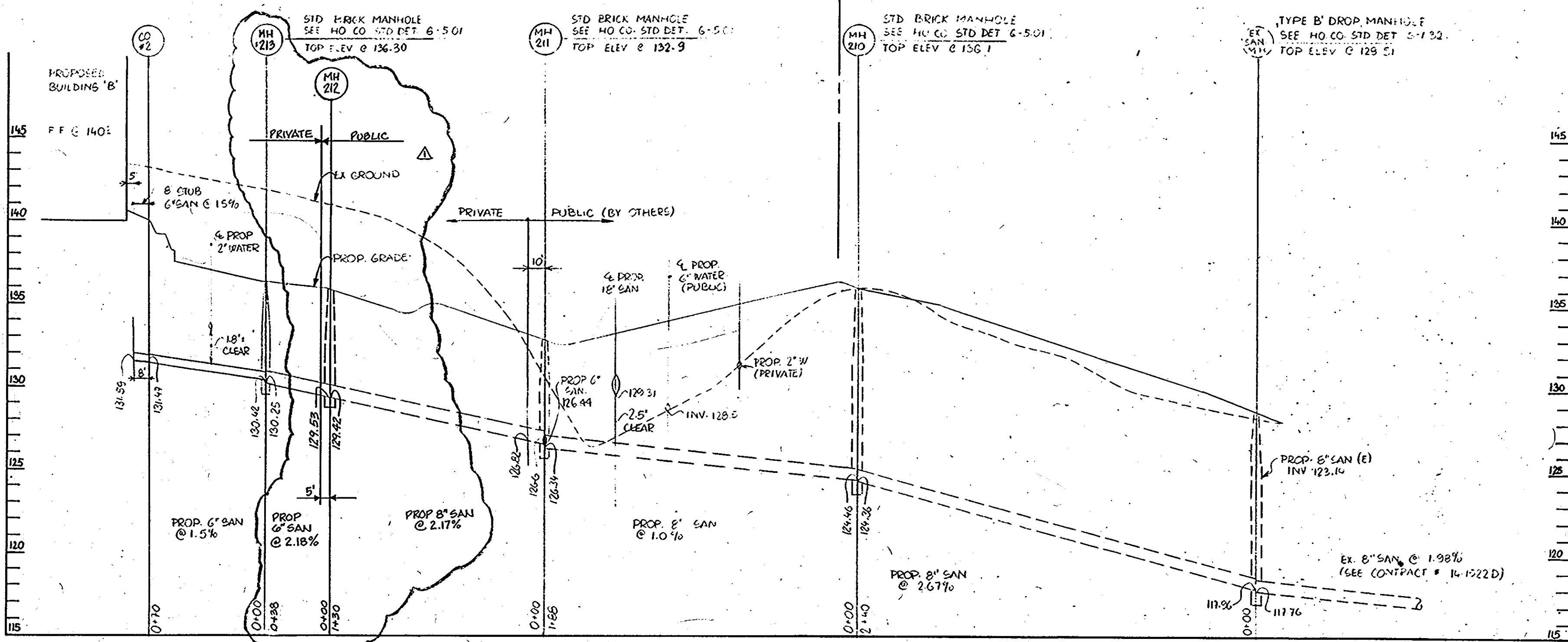


**SANITARY PROFILE** SCALE: 1" = 50' HORIZ 1" = 5' VERT



NO	TYPE	TOP ELEV	INV IN	INV OUT	REMARKS
SMH 210	STD BRICK MANHOLE	132.10	124.46	124.36	SEE HO CO STD DET 6-5-01
SMH 211	STD BRICK MANHOLE	132.90	126.34	126.34	SEE HO CO STD DET 6-5-01
SMH 212	STD BRICK MANHOLE	185.90	129.89	129.42	SEE HO CO STD DET 6-5-01
SMH 215	STD BRICK MANHOLE	135.77	-	128.50	SEE HO CO STD DET 6-5-01
SMH 219	STD BRICK MANHOLE	136.30	130.42	130.25	SEE HO CO STD DET 6-5-01

**SANITARY PROFILE** SCALE: 1" = 50' HORIZ 1" = 5' VERT. R/W



APPROVED  
 COUNTY OF HOWARD  
 DEPARTMENT OF PLANNING & ZONING  
 DATE: 1-31-90

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

APPROVED: *[Signature]* 1-31-90  
 U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

Approved: *[Signature]* 1-31-90  
 Howard Soil Conservation District, Date

Plan Number

APPROVED: For public water and public sewerage systems  
 Howard County Health Department.

*[Signature]* 4-23-90  
 County Health Officer Date

APPROVED: *[Signature]* 5-18-90  
 Director Date

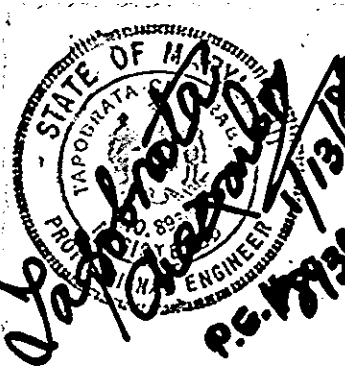
*[Signature]* 5/14/90  
 Chief Division of Community Planning and Land Development Date

APPROVED: For public water and public sewerage storm drainage systems and public roads Howard County Department of Public Works.

*[Signature]* 4-19-90  
 Director Date

*[Signature]* 2-7-90  
 Chief Bureau of Engineering Date

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 303 ALLEGHENY AVENUE  
 TOWSON, MARYLAND 21204  
 (301) 825-8120



**ENGINEERS' CERTIFICATE:**  
 I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
 ENGINEER: *[Signature]*  
 REG. NO: *[Signature]* DATE: 1/13/89

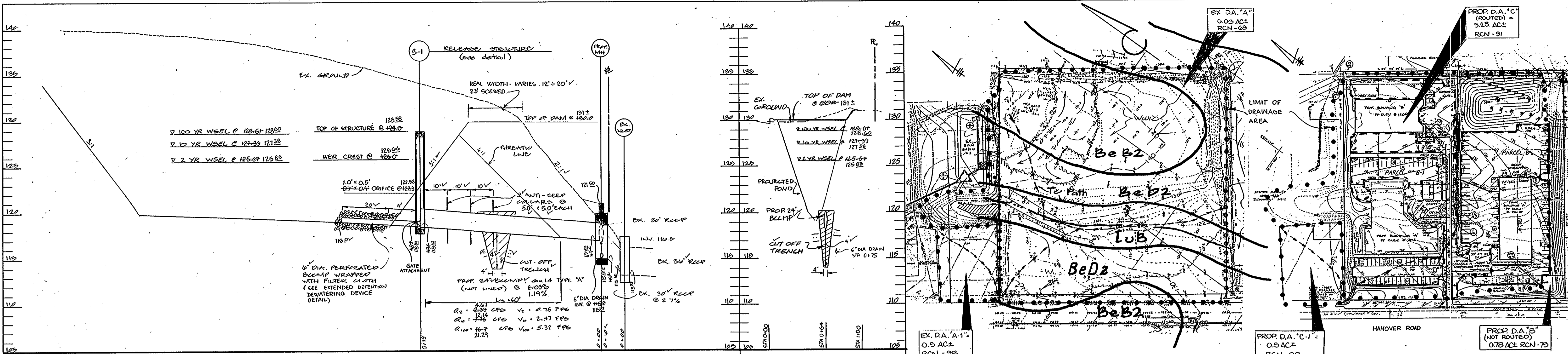
**OWNER/DEVELOPER:**  
**CREANEY AND SMITH HANOVER LTD. PARTNERSHIP**  
 3511 EAST NORTH AVENUE  
 BALTIMORE, MD 21213  
 (301) 342-1100

**DEVELOPER'S CERTIFICATE:**  
 I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINE "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
 DEVELOPER: *[Signature]* DATE: 1-13-89  
 NAME: *[Signature]* TITLE: PARTNER

DESIGNED: I.R.Z.  
 DRAWN: D.R.  
 CHECKED: T.C./I.R.Z.

REVISIONS:  
 1 REV. LOCATION SMH 212 4/18/91

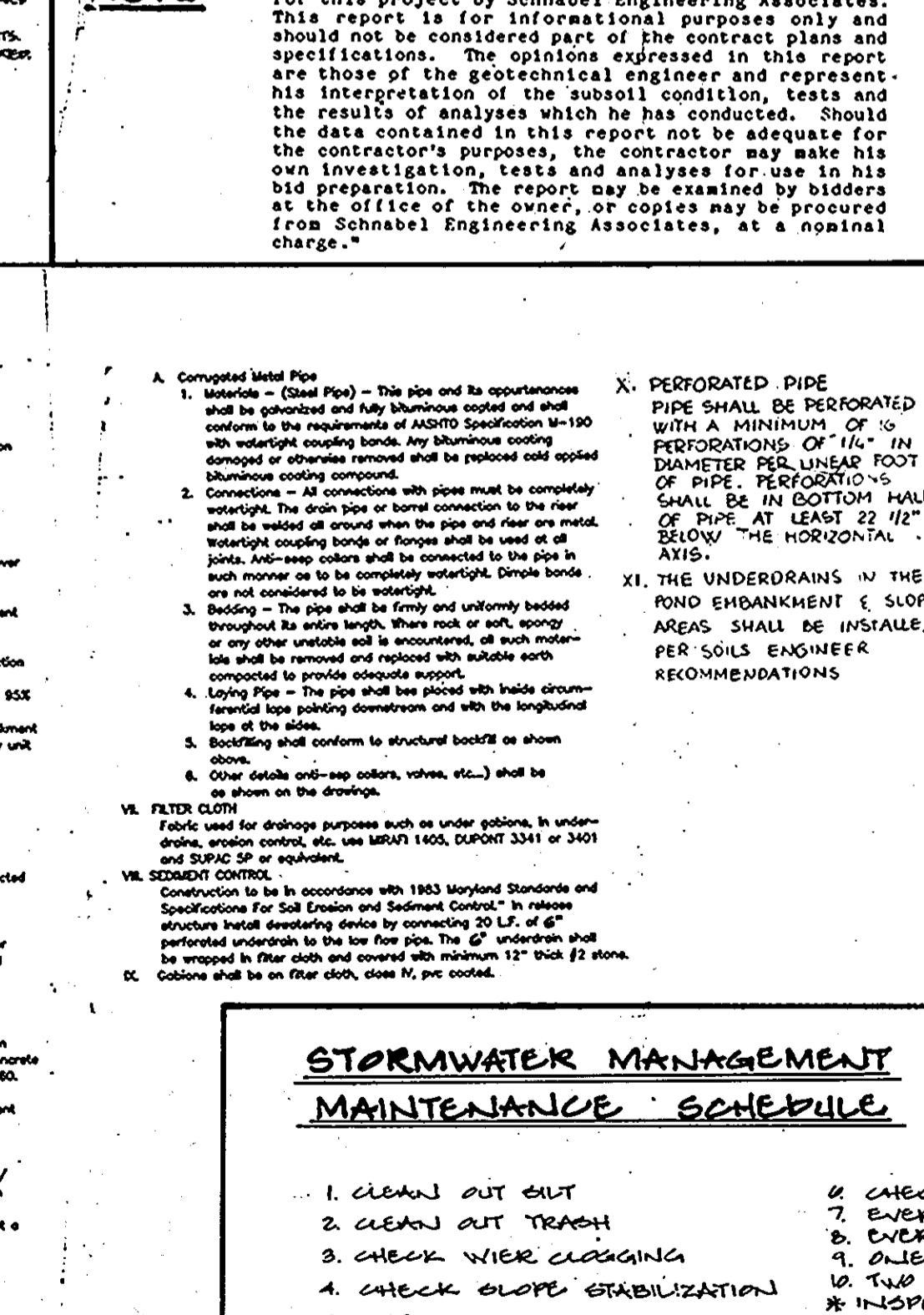
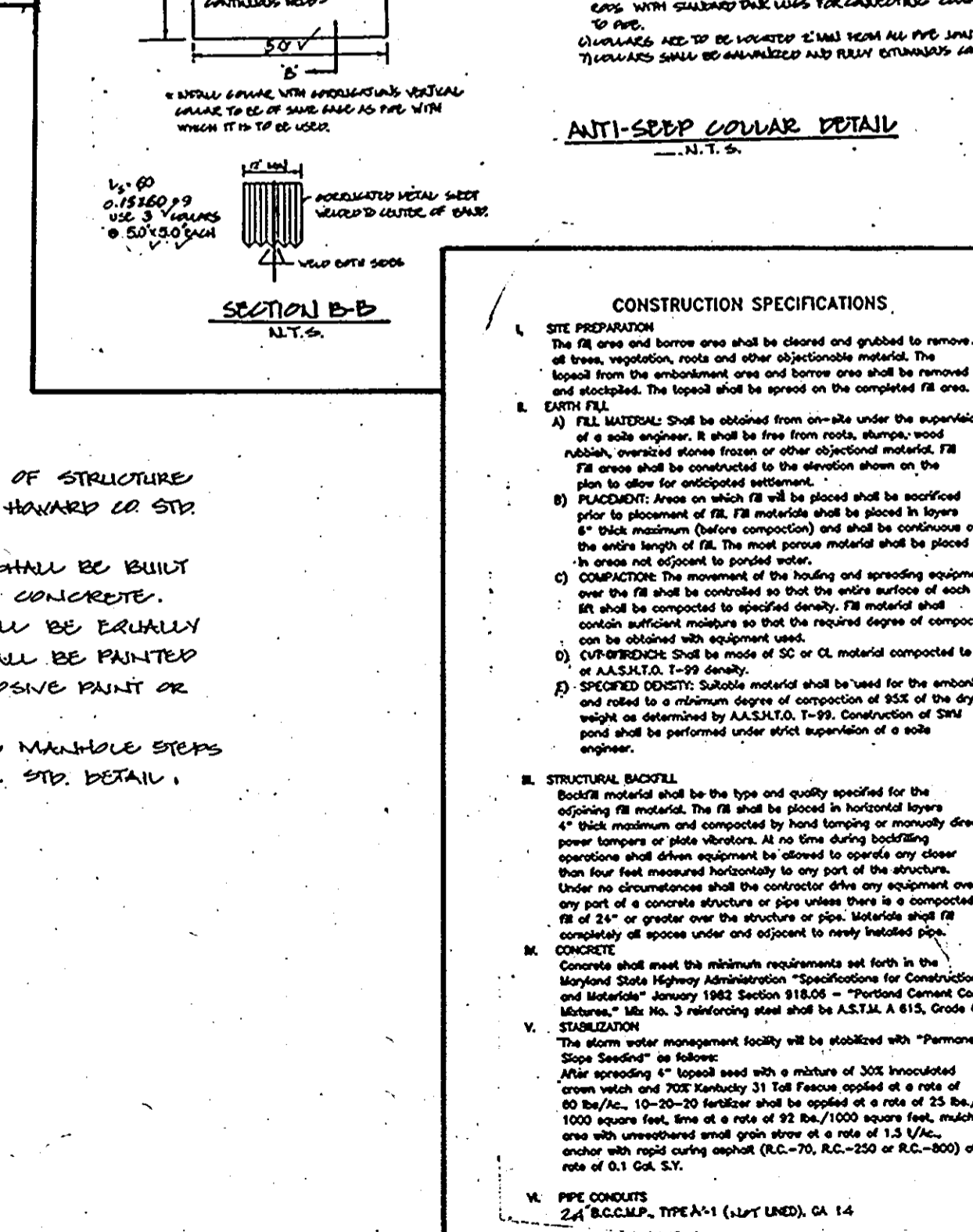
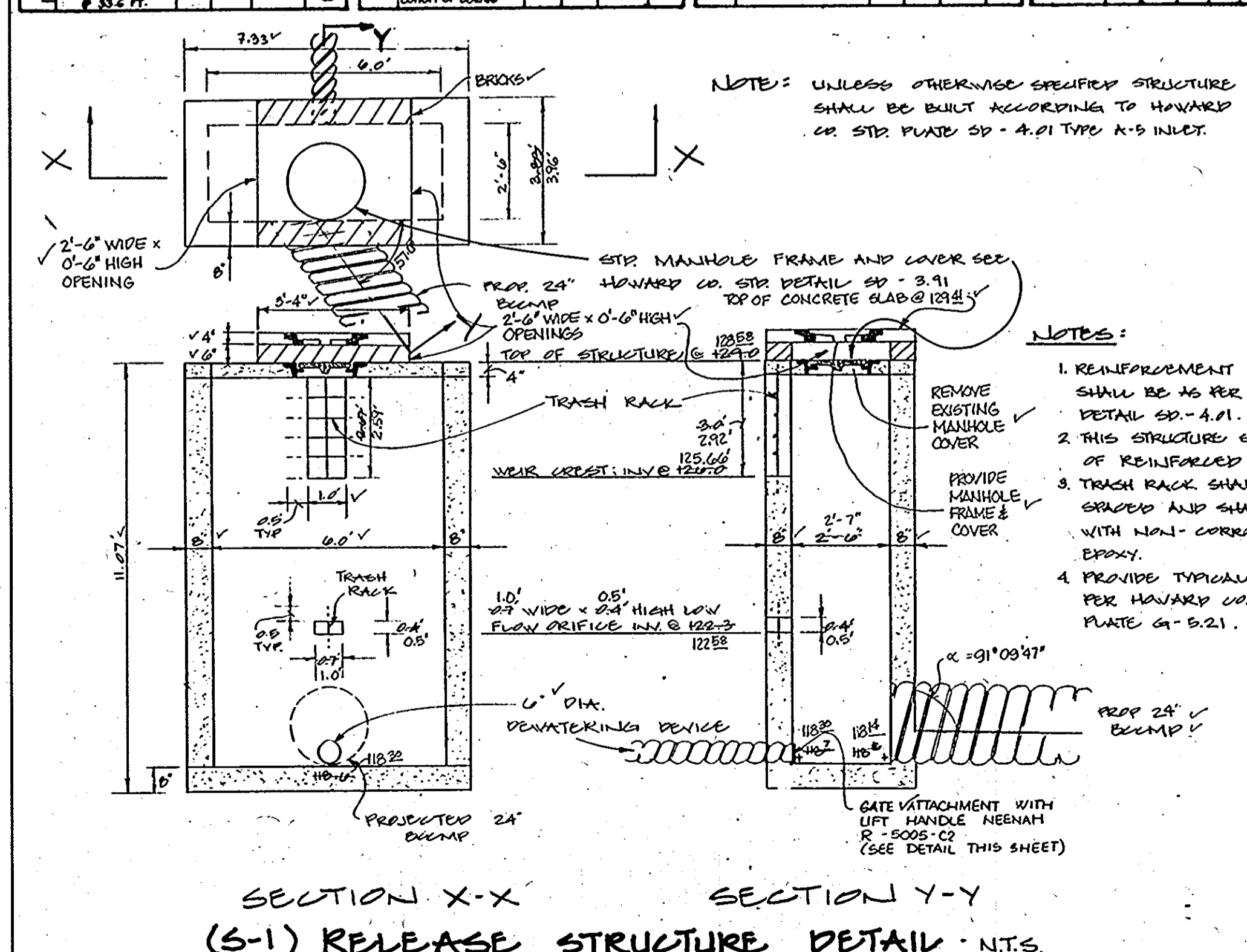
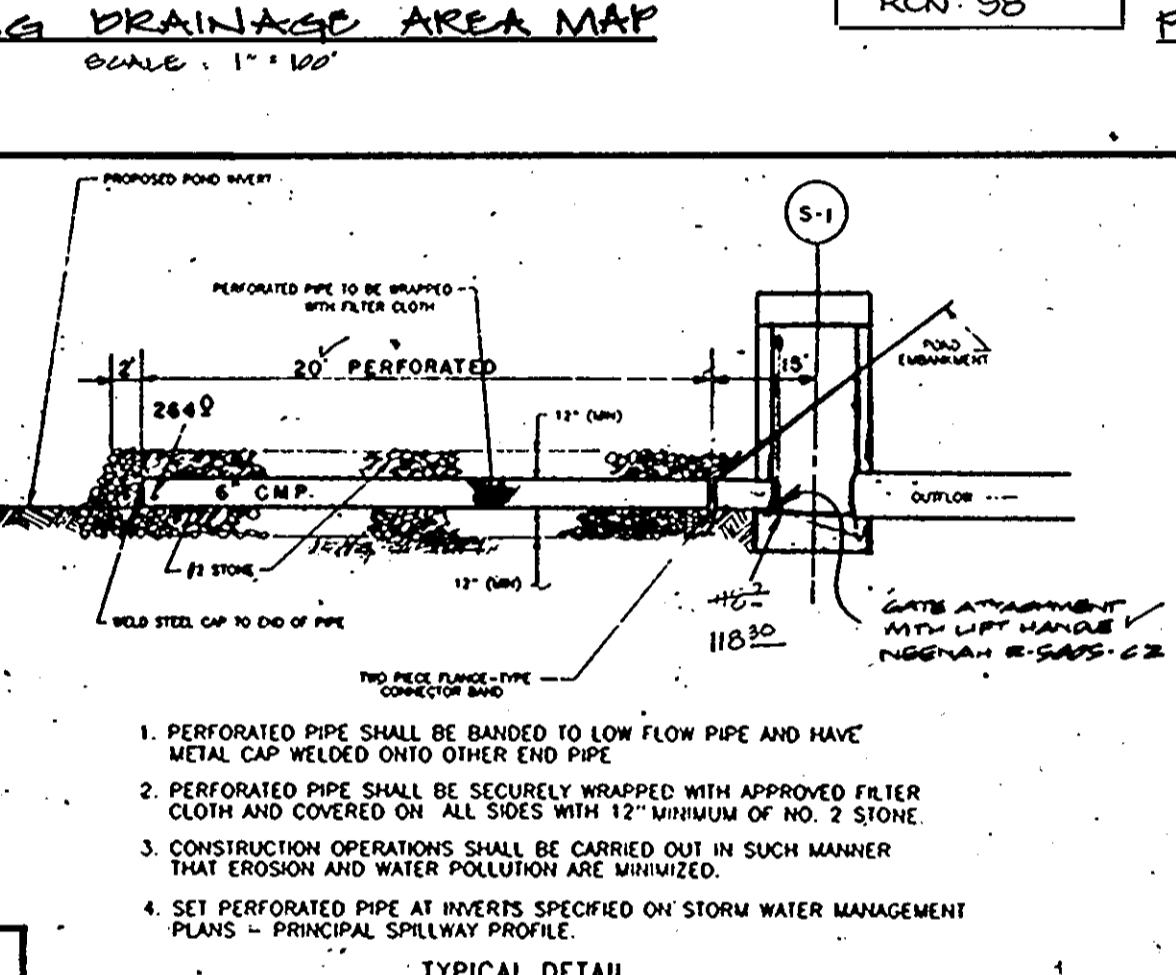
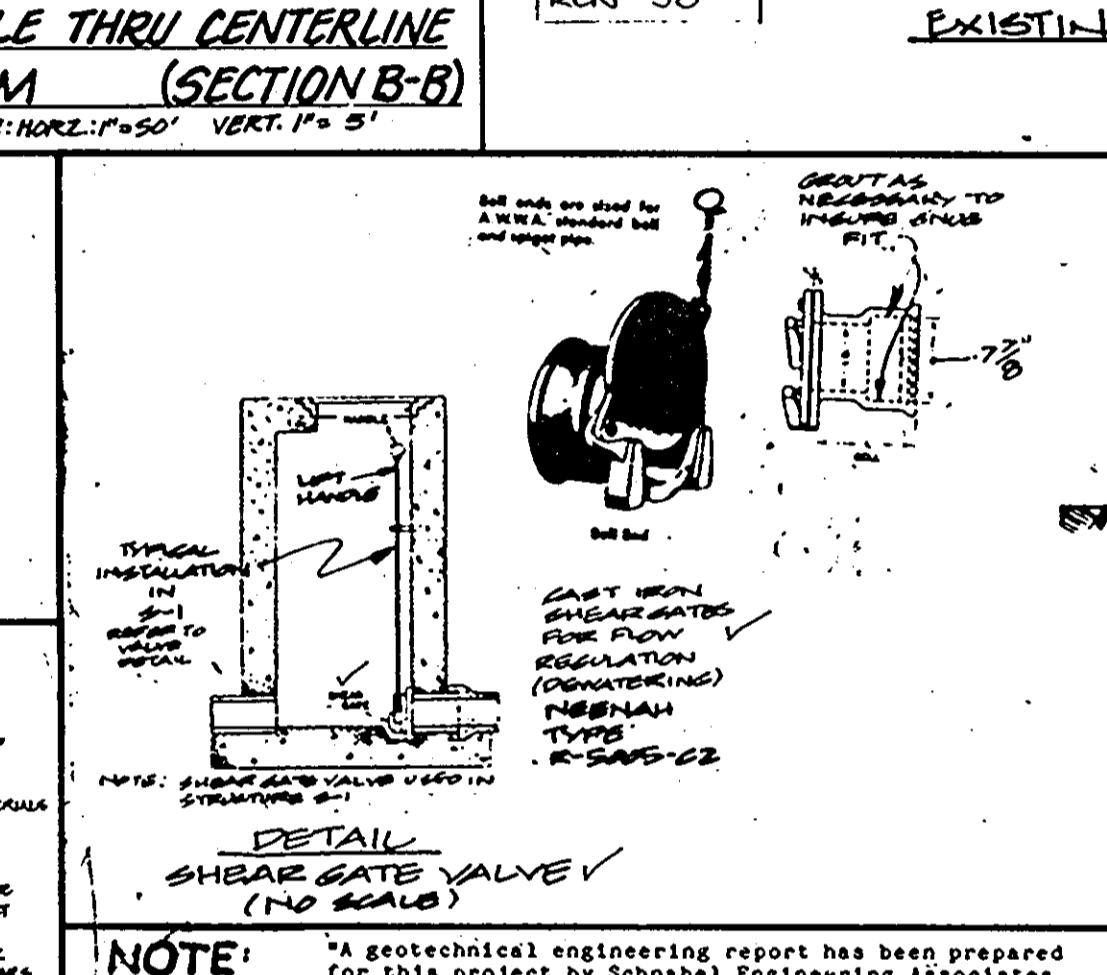
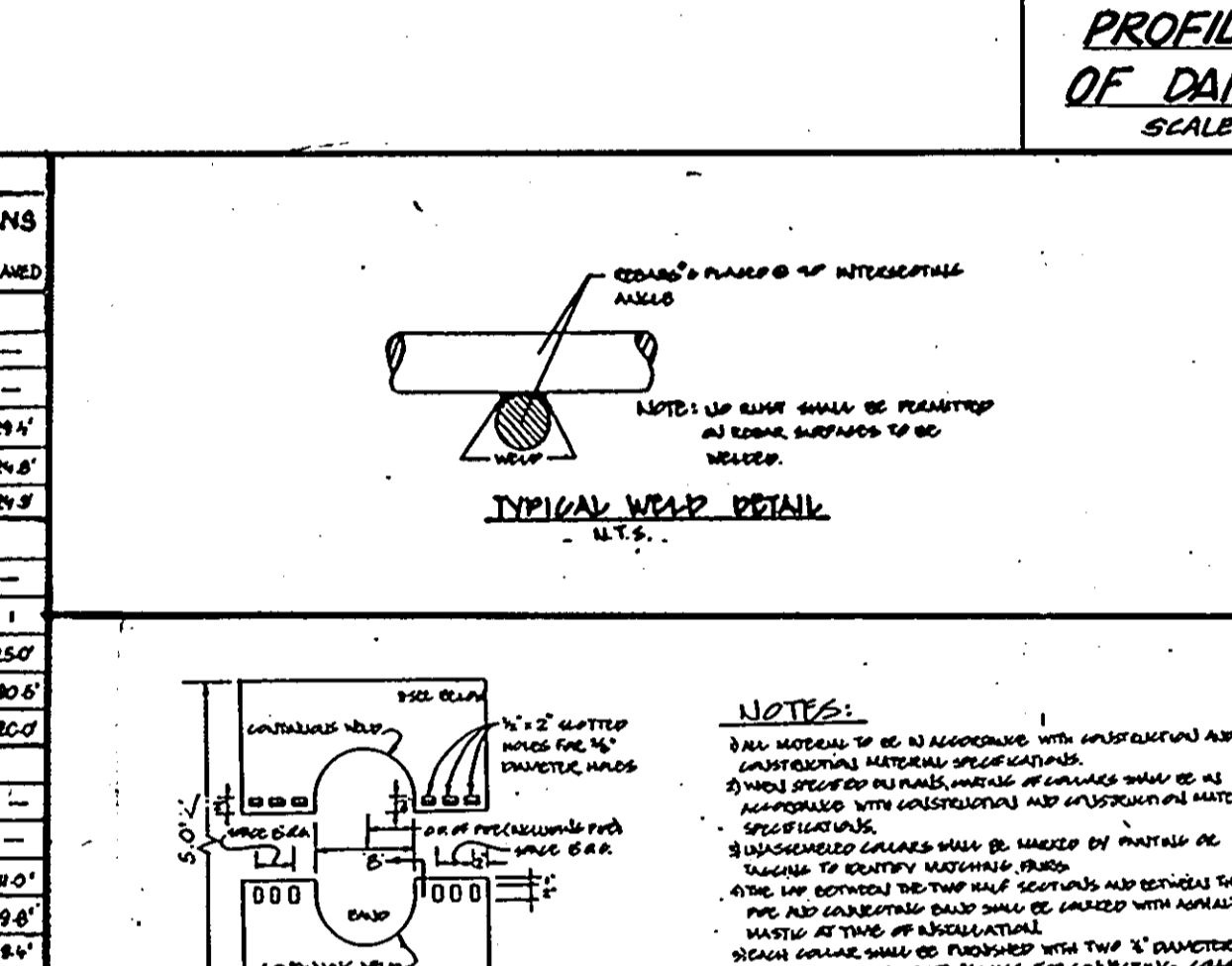
PROFILES AND DETAILS  
**PROPOSED OFFICE WAREHOUSE**  
**HANOVER BUSINESS PARK**  
 PARCELS 8-2, 8-3 & 8-4  
 (A RESUBDIVISION OF PARCELS 8 DIVISION 8 UNDER SUBDIVISION)  
 PLAN # 15525  
 THE MAP: 80  
 HOWARD CO, MD  
 SCALE: AS SHOWN  
 PARCEL: 815  
 ELECTION DISTRICT: 1  
 JANUARY 3, 1989  
 SHEET 4 OF 3



### SOIL BORINGS

SCALE: HORIZ. 1" = 20' VERT. 1" = 5'

BORING NO.	DEPTH (FT)	SOIL DESCRIPTION	CLASS	REMARKS
BORING NO. SW-1	0-10	TOPSOIL - 0 SANDY SILT, TRACE GRAVEL, MOIST, BROWN	ML	
	10-15	SANDY SILT, MOIST, BROWN AND GRAY	ML	
	15-20	SANDY SILT, MOIST, BROWN AND GRAY	ML	
	20-25	SANDY SILT, MOIST, BROWN AND GRAY	ML	
BORING NO. SW-2	0-5	TOPSOIL - 10 SILTY SAND, WITH GRAVEL, MOIST, LIGHT BROWN	SM	
	5-10	SANDY SILT, MOIST, TAN AND GRAY	ML	
	10-15	SANDY SILT, MOIST, TAN AND GRAY	ML	
	15-20	SANDY SILT, MOIST, TAN AND GRAY	ML	
BORING NO. SW-3	0-5	TOPSOIL - 10 SANDY SILT, WITH GRAVEL, MOIST, BROWN	SM	
	5-10	SANDY SILT, MOIST, TAN AND GRAY	ML	
	10-15	SANDY SILT, MOIST, TAN AND GRAY	ML	
	15-20	SANDY SILT, MOIST, TAN AND GRAY	ML	



### AS-BUILT STORM WATER MANAGEMENT

SOIL GROUP	EXISTING COEFFICIENT	PROPOSED COEFFICIENT	ROUDED C-1
C	0.05	0.05	0.05
D	0.05	0.05	0.05
E	0.05	0.05	0.05
F	0.05	0.05	0.05
G	0.05	0.05	0.05
H	0.05	0.05	0.05
I	0.05	0.05	0.05
J	0.05	0.05	0.05
K	0.05	0.05	0.05
L	0.05	0.05	0.05
M	0.05	0.05	0.05
N	0.05	0.05	0.05
O	0.05	0.05	0.05
P	0.05	0.05	0.05
Q	0.05	0.05	0.05
R	0.05	0.05	0.05
S	0.05	0.05	0.05
T	0.05	0.05	0.05
U	0.05	0.05	0.05
V	0.05	0.05	0.05
W	0.05	0.05	0.05
X	0.05	0.05	0.05
Y	0.05	0.05	0.05
Z	0.05	0.05	0.05

### MAP SYMBOL SOIL GROUP

MAP SYMBOL	SOIL GROUP
BcB2	C
BcD2	C
Tu B	C
BeD2	C

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 303 ALLEGHENY AVENUE  
 TOWSON, MARYLAND 21204  
 (301) 825-8120

**ENGINEER'S CERTIFICATE:**  
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**OWNER/DEVELOPER:**  
**CREANEY AND SMITH HANOVER LTD. PARTNERSHIP**  
 3511 EAST NORTH AVENUE  
 BALTIMORE, MD. 21213  
 (301) 342-1100

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**DESIGNED:** J.K.Z.  
**DRAWN:** R.P.T.  
**CHECKED:** T.H.R.Z.

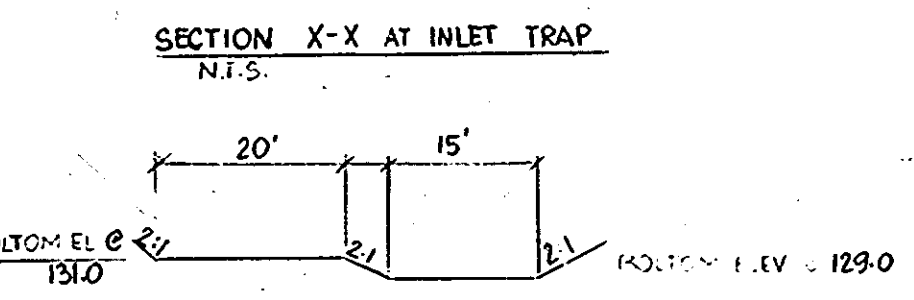
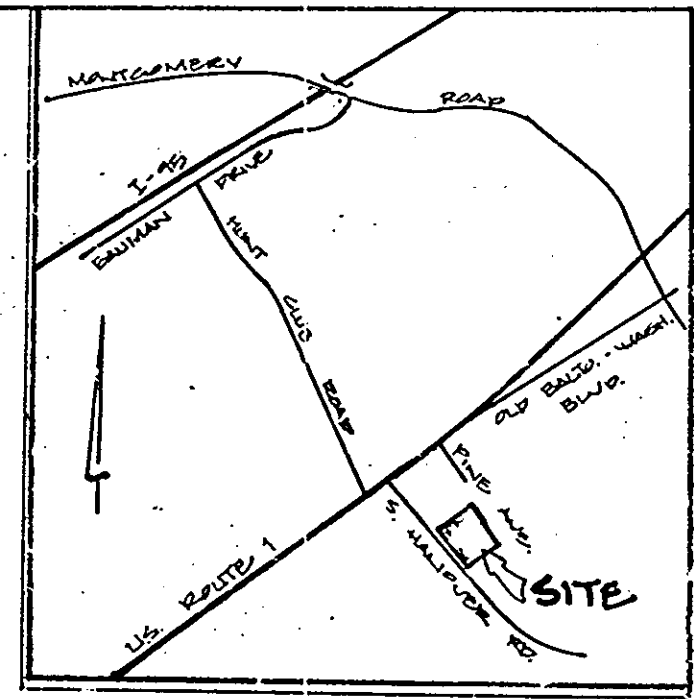
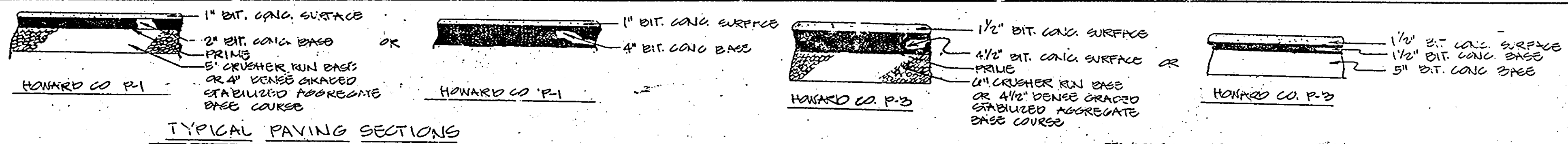
**DATE:** 11-29-90  
**TITLE:** PARTNER

**STORMWATER MANAGEMENT PROFILES & DETAILS**  
**HANOVER BUSINESS PARK**  
 PARCELS B-2, B-3 & B-4  
 (A RESUBDIVISION OF PARCEL B, EMBANK SILVER SUBDIVISION)  
 PLAT # 75-13

**DESIGNED:** J.K.Z.  
**DRAWN:** R.P.T.  
**CHECKED:** T.H.R.Z.

**DATE:** 11-29-90  
**TITLE:** PARTNER

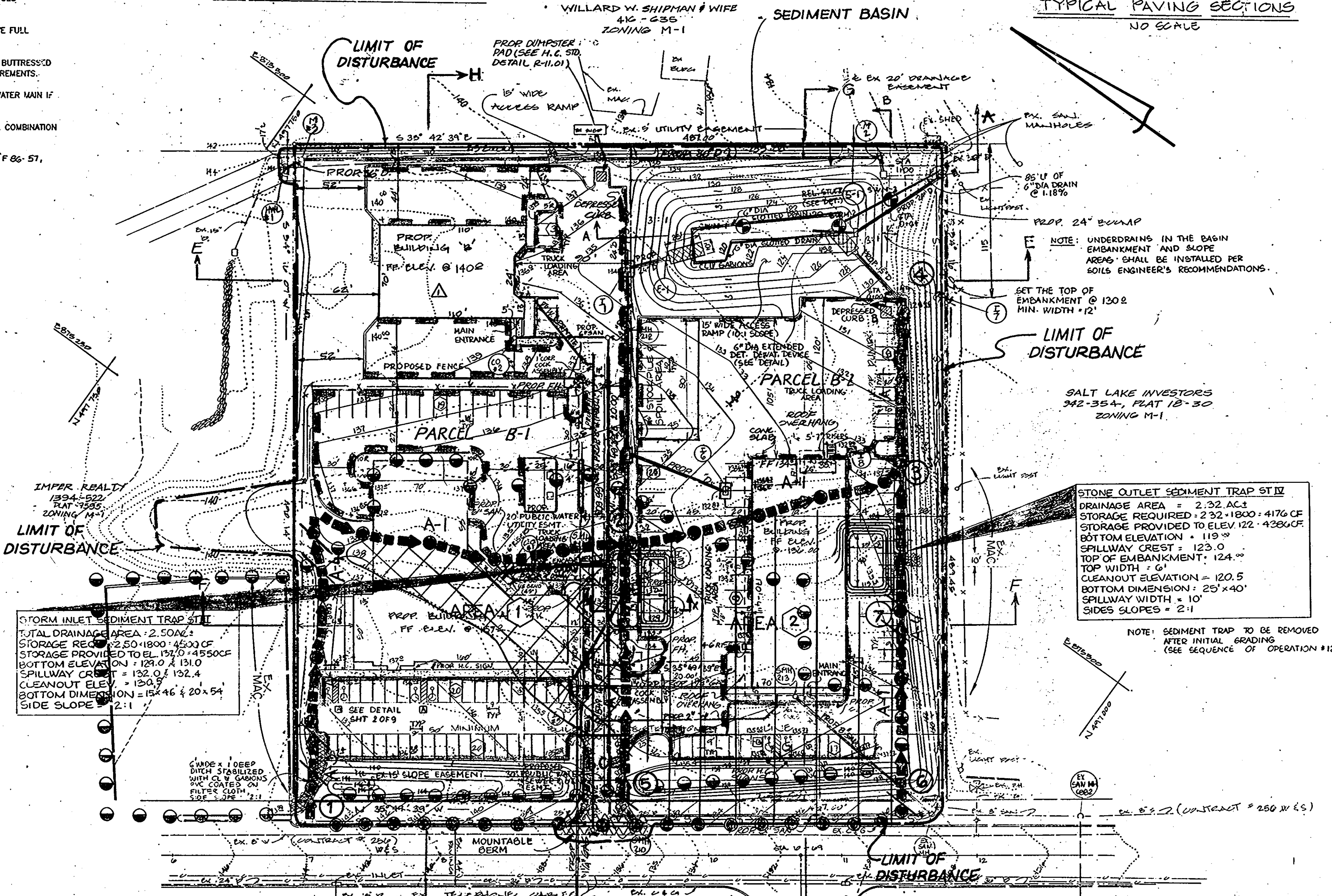
- GENERAL NOTES**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, OR AS SHOWN ON THESE PLANS.
  2. ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
  3. ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
  4. THE CONTRACTOR SHALL MAINTAIN AT LEAST 2' LEVEL BENCH BEHIND ALL CURB AND GUTTER.
  5. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
  6. ALL SLOPES SHALL BE 2:1 OR FLATTER.
  7. THE CONTRACTOR SHALL NOTIFY THE C & P TELEPHONE CO. AND THE GAS AND ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK SHOWN ON THESE PLANS BY CALLING "MISS UTILITY" CALL COLLECT 1-559-0100.
  8. FOR DETAILS OF RAMPS AND SIGNS FOR THE HANDICAPPED SEE THE MARYLAND BUILDINGS CODE FOR THE HANDICAPPED AND AGED AND AS SHOWN HEREON.
  9. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5' OF COVER OVER ALL PROPOSED WATER LINES, UNLESS OTHERWISE NOTED ON THE PLAN.
  10. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION/INSPECTION/SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 992-2417 OR 792-7272.
  11. THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING, CURB AND GUTTER, ETC., THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
  12. ALL UTILITIES INSTALLED UNDER PAVING SHALL RECEIVE FULL TRENCH COMPACTION.
  13. ALL WATER MAIN TEES, BENDS, CAPS, ETC., SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
  14. CONTRACTOR TO PROVIDE "AS-BUILT" LOCATION AT WATER MAIN IF THERE IS ANY DEVIATION FROM THE PLAN LOCATION.
  15. ALL CURB & GUTTER SHALL BE HOWARD COUNTY STD. COMBINATION CONCRETE CURB & GUTTER.
  16. FILE NUMBERS: VP 85-130, V.P. 85-130A1, F 86-57, F 89-133, SPP 89-139



- LEGEND**
- ① - EARTH NUMBER
  - - DRAINAGE AREA TO BASIN - SEE D.A. MAP SHEET 2 OF 9
  - - DRAINAGE AREA TO SED. TRAP ST-IV
  - - DRAINAGE AREA TO SED. TRAP ST-III
  - ▬▬▬▬ - EARTH DIKE
  - ▬▬▬▬ - MOUNTABLE BERM
  - S.C.E. - STABILIZED CONSTRUCTION ENTRANCE
  - - INLET PROTECTION
  - — — - LIMIT OF DISTURBANCE
  - — — - SILT FENCE
  - - SEDIMENT TRAP

**NOTE:**  
THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNATED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE STATEMENT SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

- LEGEND**
- TRACT OUTLINE
  - EXISTING GRAUND
  - PROPOSED GRAUND
  - NUMBER PARKING SPACES
  - HANDICAP PARKING
  - HOWARD CO. PAVING P-1
  - HOWARD CO. PAVING P-2



**PARKING TABULATION (PARCEL B-1)**

BUILDING A = 219,600 S.F.  
OFFICE = 6,600 S.F. = 1 EMP/150 S.F. = 27.0 EMP, 7 RS/10 EMP = 19 RS, 4 RS  
WAREHOUSE = 2,000 S.F. = 1 RS/1500 S.F. = 1 RS  
SHOP = 7,000 S.F. = 1 RS/1500 S.F. = 1 RS

BUILDING B = 7,560 S.F.  
OFFICE = 100 S.F. = 1 EMP/150 S.F. = 0.6 EMP, 7 RS/10 EMP = 1 RS  
WAREHOUSE = 7,460 S.F. = 1 RS/1500 S.F. = 5 RS

TOTAL REQUIRED = 53 RS  
TOTAL PARKING SPACES PROVIDED INCLUDING 4 HANDICAPPED = 65

**PARKING TABULATION (PARCEL B-2)**

PARKING REQUIRED:

BUILDING C = 11,923 S.F.  
OFFICE = 100 S.F. = 1 EMP/150 S.F. = 0.6 EMP, 7 RS/10 EMP = 1 RS  
WAREHOUSE = 3,913 S.F. = 1 EMP/1500 S.F. = 2 RS

TOTAL REQUIRED = 26 RS  
PARKING SPACES PROVIDED INCLUDING 2 HANDICAPPED INCLUDED = 40  
PARKING SPACES TRUCKS PROVIDED = 13 x 20' = 33  
13 x 20' = 5

**SITE DATA**

TOTAL AREA OF SITE = 5.48 AC ±  
PARCEL B-1 = 2.493 AC ±  
PARCEL B-2 = 2.987 AC ±  
EXISTING ZONING = M-1  
PROPERTY REFERENCE: C/5/SLIN SILVER SUBDIVISION, DEED 1779-D-31 PLAT 1395  
EXISTING USE: VACANT  
PROPOSED OFFICE/WAREHOUSE  
AREA TO BE DISTURBED: 102,648 SF = 5.8 AC ±  
AREA TO BE VEGETATIVELY STABILIZED: 102,145 SF = 5.8 AC ±

**PARCEL B-1**  
BUILDING COVERAGE:  
BUILDING A = 219,600 S.F.  
BUILDING B = 7,560 S.F.  
TOTAL = 227,160 S.F.  
% OPEN SPACE = 20.8% AC ± (2,093 ± 51%)  
% BUILDING COVERAGE WITH PAVING = 1.8% AC ± (2,093 AC ± 60%)  
(WITHOUT PAVING)

**PARCEL B-2**  
BUILDING COVERAGE: BUILDING C = 11,923 S.F.  
FLOOR AREA: BUILDING C = 4,921 S.F.  
% OPEN SPACE = 1.20 AC ± (2.76 AC ± 20%) = 43%  
% BUILDING COVERAGE WITH PAVING = 2.15 AC ± (2.76 AC ± 51%)  
% BUILDING COVERAGE WITHOUT PAVING = 0.28 AC ± (2.76 AC ± 97%)  
TOTAL AREA OF LANDSCAPED ISLANDS = 0.83 AC ±  
% OF LANDSCAPING = 1.11 AC ± PARKING AREA = 5.3 AC ±

**STONE OUTLET SEDIMENT TRAP ST-IV**  
DRAINAGE AREA = 2.32 AC ±  
STORAGE PROVIDED = 2,32 x 1800 = 4176 CF  
STORAGE REQUIRED TO ELEV. 122 = 4366 CF  
BOTTOM ELEVATION = 119.00'  
SPILLWAY CREST = 123.00'  
TOP OF EMBANKMENT = 124.00'  
TOP WIDTH = 6'  
CLEANOUT ELEVATION = 120.50'  
BOTTOM DIMENSIONS: 25' x 40'  
SPILLWAY WIDTH = 10'  
SIDES SLOPES = 2:1

NOTE: SEDIMENT TRAP TO BE REMOVED AFTER INITIAL GRADING (SEE SEQUENCE OF OPERATION #12)

APPROVED  
DIVISION OF COMMUNITY PLANNING AND DEVELOPMENT  
HOWARD COUNTY, MARYLAND

These plans have been reviewed for the Howard Soil Conservation District to meet the technical requirements for small pond construction, soil erosion and sediment control.

Approved: *[Signature]* 1-31-90  
Date: 1-31-90  
Howard Soil Conservation District

Approved: *[Signature]* 4-23-90  
Date: 4-23-90  
County Health Officer

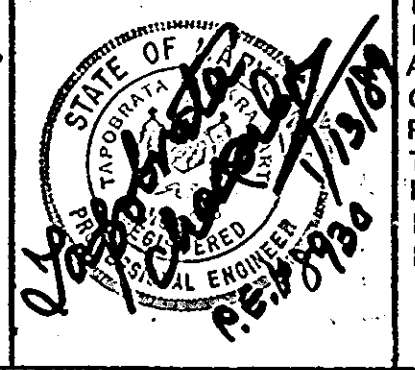
Approved: *[Signature]* 6-18-90  
Date: 6-18-90  
Director

Approved: *[Signature]* 5/4/90  
Date: 5/4/90  
Chief Division of Community Planning and Land Development

Approved: *[Signature]* 4/16/90  
Date: 4/16/90  
Director

Approved: *[Signature]* 2-7-90  
Date: 2-7-90  
Chief Bureau of Engineering

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21284  
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ENGINEER: *[Signature]*  
REG. NO. 115079 DATE: 1/13/90

**OWNER/DEVELOPER**  
**CREANEY AND SMITH HANOVER LTD PARTNERSHIP**  
3511 EAST NORTH AVENUE  
BALTIMORE, MD 21213  
(301) 342-1100

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DEVELOPER: *[Signature]* DATE: 1/13/90  
NAME: CREANEY SMITH TITLE: LL

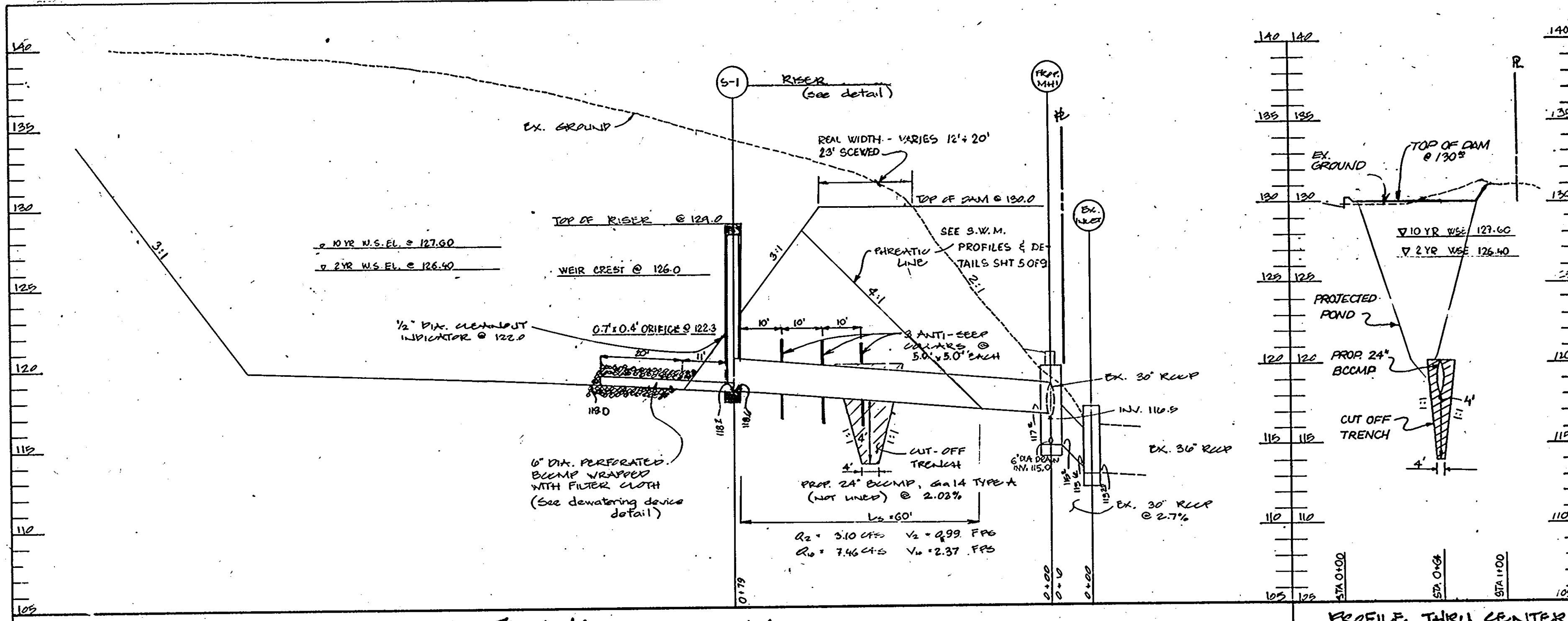
DESIGNED: T.R.Z.  
DRAWN: C.W.G.III  
CHECKED: Te  
REVISIONS:  
1) S.W.M. FACILITY ENLARGED  
2) SIZE OF BLDG. CHANGED  
3) SUBDIVISION LINE CHANGED

**SEDIMENT AND EROSION CONTROL PLAN**  
**PROPOSED OFFICE/WAREHOUSE**  
**HANOVER BUSINESS PARK**  
PARCELS B-2, B-3 & B-4  
(A RESUBDIVISION OF PARCEL B, EVILYN SILVER SUBDIVISION)  
FLAT #1515

TAX MAP: 36  
HOWARD CO., MD.  
SCALE: AS SHOWN

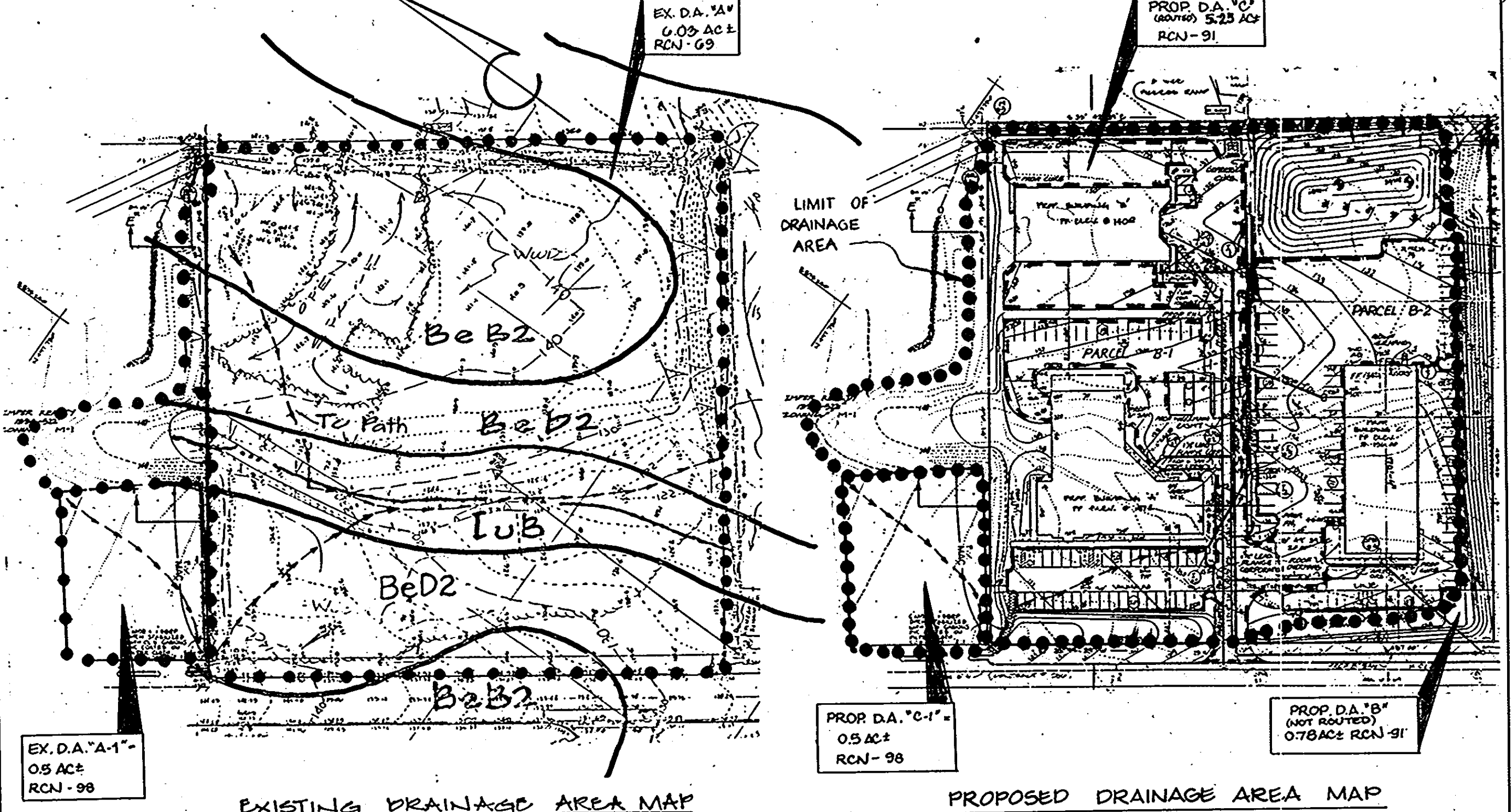
PARCEL: 013  
ELECTRIC DISTRICT: 1  
JANUARY 19, 1989  
SHEET 6 OF 4

BLDG 'B' REDUCED SITE DATA REVISED PAVING TAB REVISED ADDED GAS LINE (10/30/90)  
**SDP 89-139**



PROFILE THROUGH PRINCIPAL SPILLWAY SECTION A-A  
SCALE: HORIZ. 1" = 20' VERT. 1" = 5'

PROFILE THRU CENTER LINE OF DAM  
SCALE: HORIZ. 1" = 50' VERT. 1" = 5'



EXISTING DRAINAGE AREA MAP SCALE: 1" = 100'

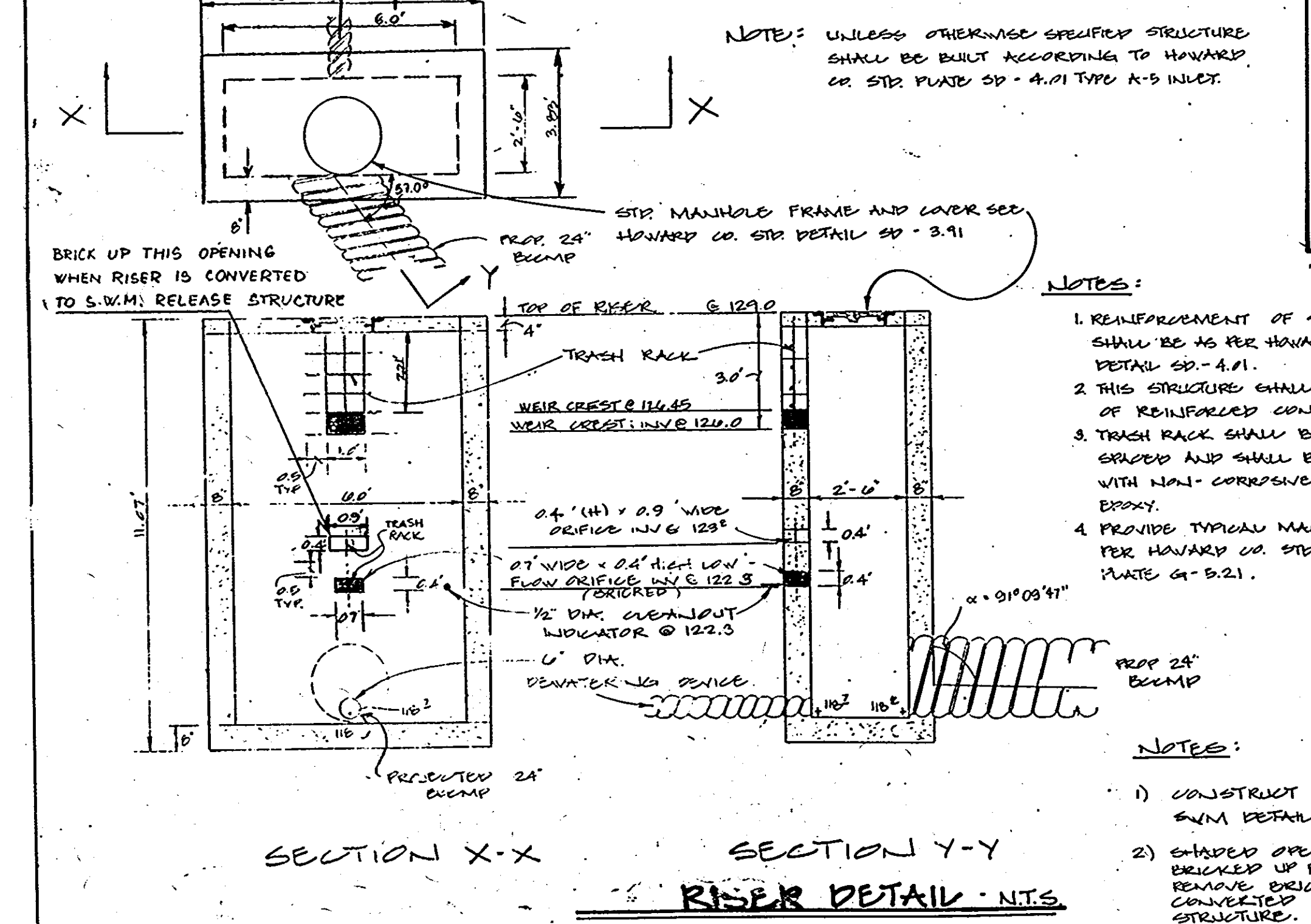
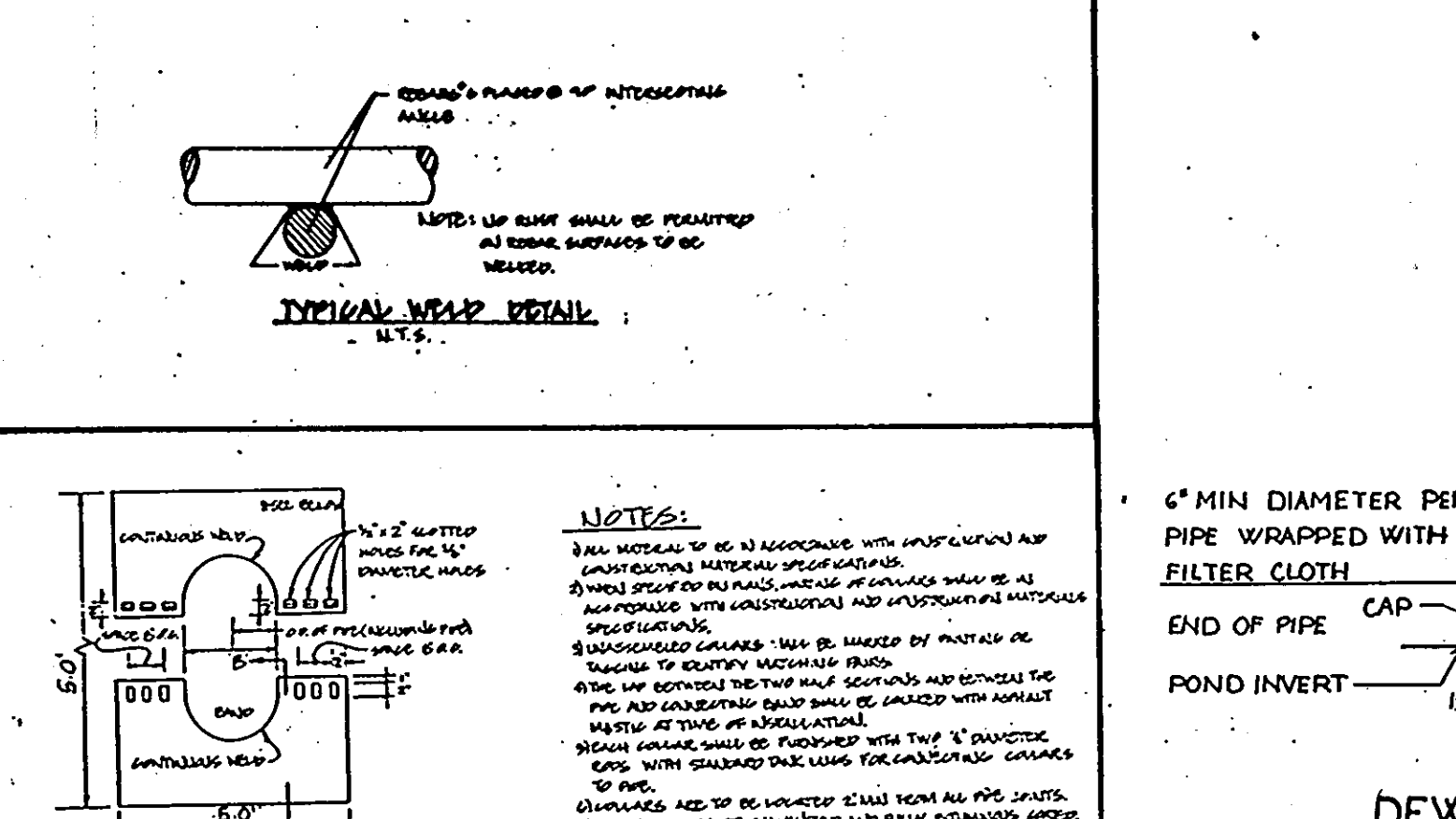
PROPOSED DRAINAGE AREA MAP SCALE: 1" = 100'

**SOIL BORINGS**

BORING NO.	DEPTH (FT)	STRATA DESCRIPTION	CLASS	REMARKS
BORING NO. SW-1	0.0	TOPSOIL - 0 SANDY SILT, TRACE GRAVEL, MOIST, BROWN	ML	
	4.0	SANDY SILT, MOIST, BROWN AND GRAY	ML	
BORING NO. SW-2	0.0	TOPSOIL - 10" SILTY SAND, WITH GRAVEL, MOIST, LIGHT BROWN	SM	
	6.5	SILT SAND, MOIST, GRAY	SM	
BORING NO. SW-3	0.0	TOPSOIL - 10" SANDY SILT, WITH GRAVEL, TRACE PROPS, MOIST, BROWN	ML	
	3.5	SANDY SILT, MOIST, TAN AND GRAY	ML	

**GROUNDWATER OBSERVATIONS**

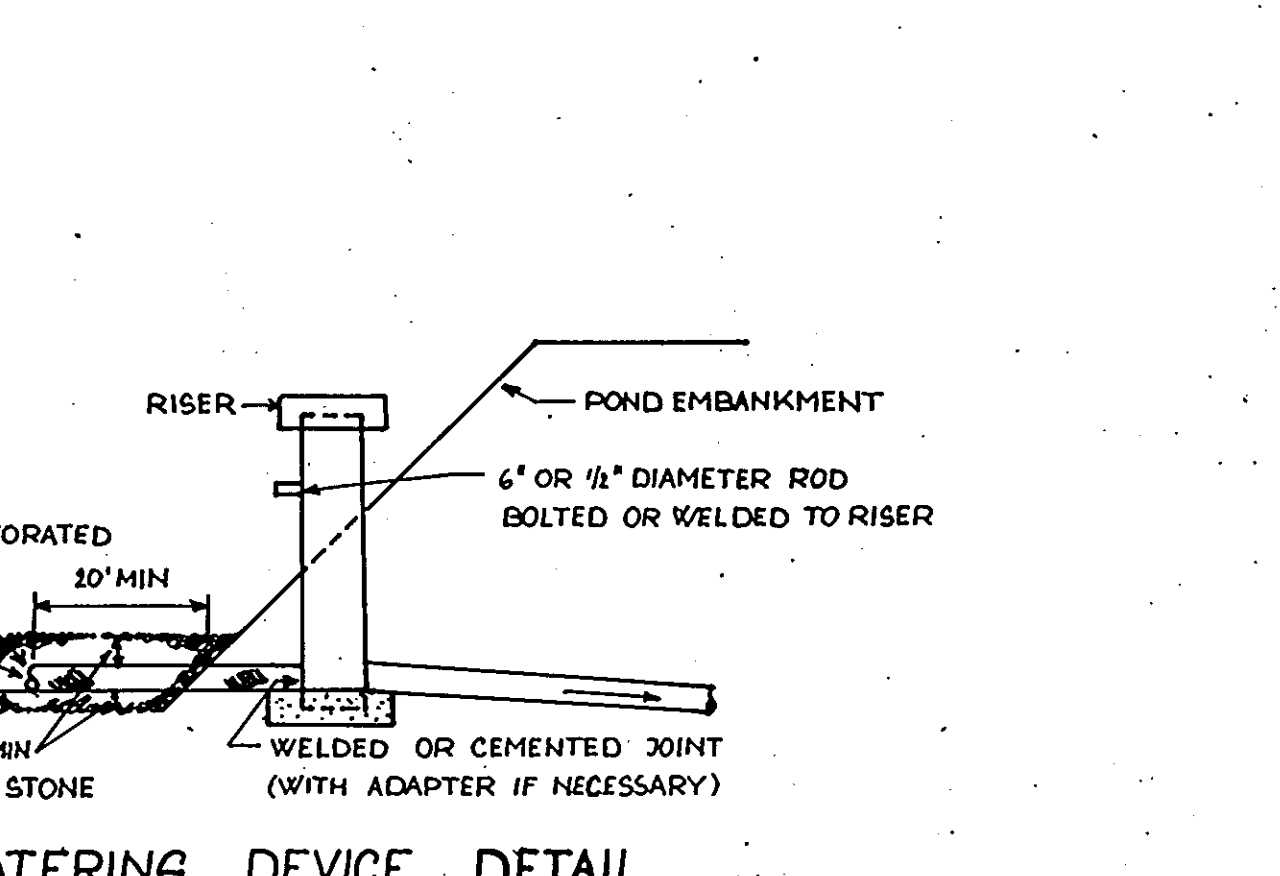
BORING NO.	DATE	TIME	DEPTH (FT)	WATER LEVEL (FT)	REMARKS
BORING NO. SW-1	11-18	10:07	10.0	11.5	
	11-18	11:52	10.0	11.4	
	11-18	12:15	10.0	11.4	



RISER DETAIL - N.T.S.

**CONSTRUCTION SPECIFICATIONS FOR S.W.M. POND**

- PREPARATION: The fill area and borrow area shall be cleared and graded to remove all trees, vegetation, rocks and other objectionable material. The topsoil from the embankment area and borrow area shall be removed and stockpiled. The topsoil shall be spread on the completed fill area.
- FILL MATERIAL: The fill material shall be obtained from on-site under the supervision of a soils engineer. It shall be free from rocks, stumps, limbs, rubbish, manure, animal manure or other objectionable material. The fill shall be compacted to the maximum density in accordance with the plan to allow for anticipated settlement.
- FOUNDATION: Areas on which the fill material shall be placed in layers shall be compacted to the maximum density. The maximum depth of compacted fill shall be 12 inches. The maximum depth of compacted fill shall be 12 inches.
- STRUCTURAL DETAILS: Reinforcement shall be placed in the concrete structure in accordance with the plan. The reinforcement shall be placed in the concrete structure in accordance with the plan.



DEWATERING DEVICE DETAIL NOT TO SCALE

MAP SYMBOL	SOIL GROUP
B2B2	C
B2B2	C
IUB	C

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21284  
(301) 825-6120

**ENGINEER'S CERTIFICATE:**  
I CERTIFY THAT THIS PLAN FOR CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
ENGINEER: *George W. Stephens, Jr.*  
REG. NO. 8140 THE STATE OF MARYLAND: 1/13/89

**OWNER/DEVELOPER**  
**CREANEY AND SMITH HANOVER LTD. PARTNERSHIP**  
3511 EAST NORTH AVENUE  
BALTIMORE, MD 21213  
(301) 342-1100

**DEVELOPER'S CERTIFICATE:**  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A SEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
DEVELOPER: *Craig Smith*  
NAME: *CRAIG SMITH* TITLE: *PARTNER*

DESIGNED: I.R.Z.  
DRAWN: R.B.T.  
CHECKED: T.I.R.Z.  
REVISIONS:

**DEPARTMENT AND EROSION CONTROL PLAN**  
**PROPOSED OFFICE/WAREHOUSE**  
**HANOVER BUSINESS PARK**  
PARCELS: B-2, B-3, B-4  
(A RESUBDIVISION OF PARCEL B, DIVISION SILVER SUBDIVISION) PLAT # 1975  
PARCEL # 83  
ELECTRIC DISTRICT 1  
JANUARY, 1989  
SHEET # 104

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

*James M. Helm* 1-31-90  
U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

Approved: *Robert Zichner* 1-31-90  
Howard Soil Conservation District Date

Plan Number: \_\_\_\_\_

APPROVED: For public water and public sewerage systems  
Howard County Health Department.

*James Boyle* 4-23-90  
County Health Officer Date

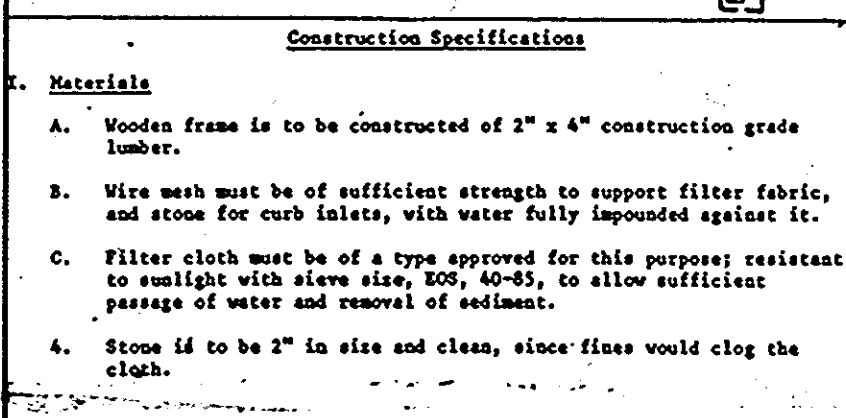
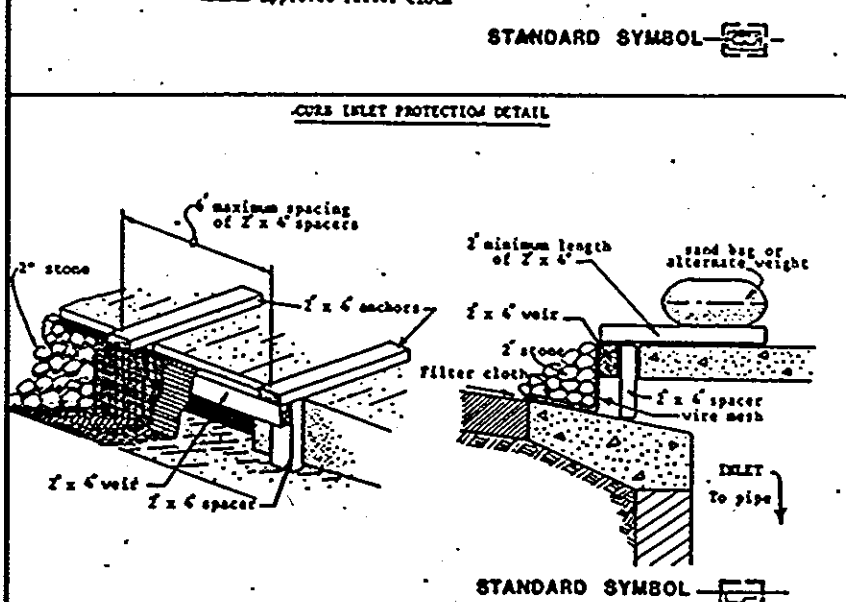
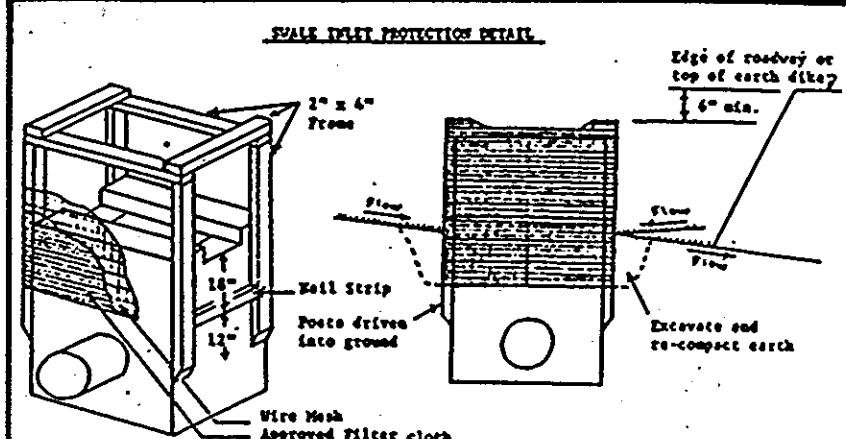
Approved: *Chris* 1-18-90  
Howard County Department of Planning & Zoning Date

Director: *Chris* 5/1/89  
Chief Division of Land Development & Zoning Administration Date

APPROVED: For public water and public sewerage storm drainage systems and public roads Howard County Department of Public Works.

*James J. Helm* 4/19/90  
Director Date

*James J. Helm* 2-7-90  
Chief Bureau of Engineering & Planning Date

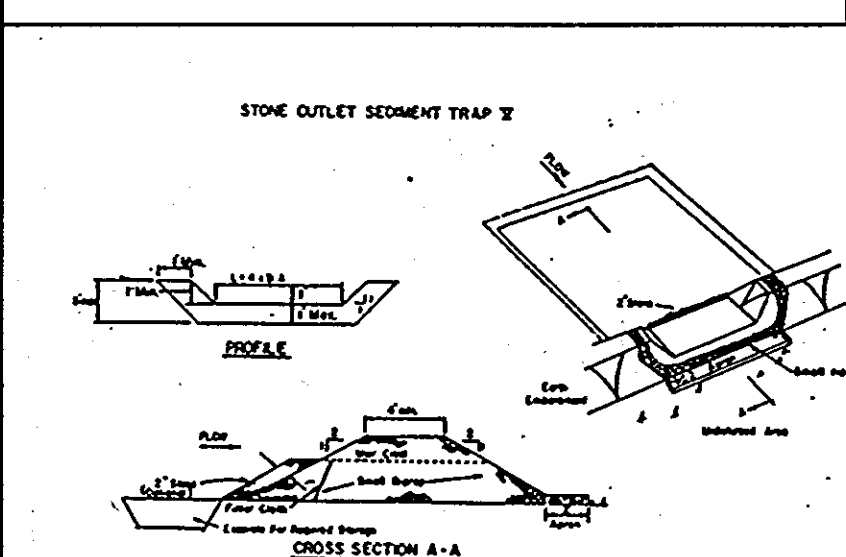


**Construction Specifications**

- Wooden frame is to be constructed of 2" x 4" construction grade lumber.
- Wire mesh must be of sufficient strength to support filter fabric, and stone for curb inlets, with water fully impounded against it.
- Filter cloth must be of a type approved for this purpose; resistant to sunlight with low slope, 500, 40-85, to allow sufficient passage of water and removal of sediment.
- Stone is to be 2" in size and clean, since fines would clog the cloth.

**II. Procedure**

- A. A walls, ditchline or yard face protection.**
  - Excavate completely around inlet to a depth of 18" below notch elevation.
  - Drive 2 x 4 post 1' face ground at four corners of inlet. Place nail strips between posts on ends of inlet. Assemble top portion of 2 x 4 frame using overlap joints shown. Top of frame (weir) must be 6" below edge of roadway adjacent to inlet.
  - Stretch wire mesh tightly around frame and fasten securely. Ends must meet at post.
  - Stretch filter cloth tightly over wire mesh, the cloth must extend from top of frame to 18" below inlet notch elev. Fasten securely to frame. Ends must meet at post, be overlapped and folded, then fastened down.
  - Backfill around inlet in compacted 6" layers until layer of earth is even with notch elevation on ends and top elevation on sides.
- If the inlet is not in a low point, construct a compacted earth dike in the ditchline below it. The top of this dike is to be at least 6" higher than the top of frame (weir).**
- This structure must be inspected frequently and the filter fabric replaced when clogged.
- Curb Inlet Protection.**
  - Attach a continuous piece of wire mesh (30" dia. with 1/2" throat length plus 4") to the 2" x 4" weir (ensuring throat length plus 2") as shown on the standard drawing.
  - Place a piece of approved filter cloth (40-85 size) of the same dimensions as the wire mesh over the weir mesh and securely attach to the 2" x 4" weir.
  - Securely nail the 2" x 4" weir to 3" long vertical stakes to be located between the weir and inlet face (max. 6" apart).
  - Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations. These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
  - The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
  - Form the wire mesh and filter cloth to the concrete gutter and against the face of curb on both sides of the inlet. Place clean 2" stones over the wire mesh and filter fabric in such a manner that water flows from entering the inlet under or around the filter cloth.
  - This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
  - Assure that storm flow does not bypass inlet by installing temporary earth or asphalt dike directing flow into inlet.



**CONSTRUCTION SPECIFICATIONS FOR FILTER CLOTH**

- Filter cloth shall be of a type approved for this purpose; resistant to sunlight with low slope, 500, 40-85, to allow sufficient passage of water and removal of sediment.
- Filter cloth shall be secured to the frame by means of staples or other suitable fasteners.
- Filter cloth shall be replaced when clogged with sediment.
- Filter cloth shall be inspected frequently and replaced when clogged with sediment.

**PERSONNEL SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

**Soil Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

**Soil Amendment:** In lieu of soil test recommendations, use one of the following schedules:

- Preferred:** Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 500 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Narrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 20-20-20 fertilizer (5 lbs/1000 sq ft).
- Alternative:** Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1800 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Narrow or disk into upper three inches of soil.

**Seeding:** For the period March 1 thru April 30, and from August 1 thru October 15, seed with 100 lbs per acre of the following seed mix: 30% Kentucky 31 Tall fescue per acre and 70% Kentucky 31 Tall fescue per acre and 3 lbs per acre (.05 lbs/1000 sq ft) of seeding legumes. During the period of October 16 thru February 28, project site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring; Option (2) Use soil. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall fescue and seed as soon as possible in the spring, or use soil.

**Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using main anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

**Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseedings.

**TOPSOIL SEEDING NOTES**

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

**Soil Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

**Soil Amendment:** Apply 60 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

**Seeding:** For the period March 1 thru April 30, and from August 1 thru October 15, seed with 2-1/2 tons per acre of annual ryegrass (12 lbs/1000 sq ft). For the period November 1 thru February 28, project site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use soil.

**Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using main anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

**GENERAL NOTES**

- Refer to "1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control" for detailed details and detailed specifications of each practice specified herein.
- With the approval of the sediment control inspector, minor field adjustments can and will be made to favor the control of any sediment. Change in sediment control practices require prior approval of the sediment control inspector and the Baltimore County Soil Conservation District.
- At the end of each working day, all sediment control practices will be inspected and left in operational condition.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) seven calendar days at or the surface of all perimeter controls, dikes, walls, ditches, perimeter slopes, and all slopes greater than 3:1 horizontal to 1 vertical (3H:1V) and b) fourteen days as to all other disturbed or graded areas on the project site.
- Any change to the grading proposed on this plan requires re-submission to Baltimore County Soil Conservation District for approval.
- Dust control will be provided for all disturbed areas. Refer to 1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control, pp. 21.01 and 21.02 for acceptable methods and specifications for dust control.
- Any variation from the sequence of operations stated on this plan requires the approval of the sediment control inspector and the Baltimore County Soil Conservation District prior to the initiation of the change.
- Excavate out or borrow material shall go to or come from, respectively, a site with an approved sediment control plan.
- The following items may be used as applicable:

**MINOR STABILIZATION**

TYPE OF DISTURBANCE	OPERATIONAL PRACTICE	DIKE A	DIKE B
1	5-3:0E	Seed and Straw Mulch	Seed and Straw Mulch
2	3-1.5:0E	Seed and Straw Mulch	Seed and Straw Mulch
3	5-1:0E	Seed with Straw Mulch or Straw	Seed with Straw Mulch or Straw
4	2-1:0E	Level Run-Rip 4-8"	Excavation/Rebuild

1. Stone to be 2" in size, or smaller concrete equivalent, in a layer at least 3 inches in thickness and be placed into the soil with construction equipment.

2. All dike slopes shall be 1:1 or flatter.

3. Permanent stabilization shall be provided for all of the above materials.

4. SEDIMENT INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED WITH EACH RAIN EVENT.

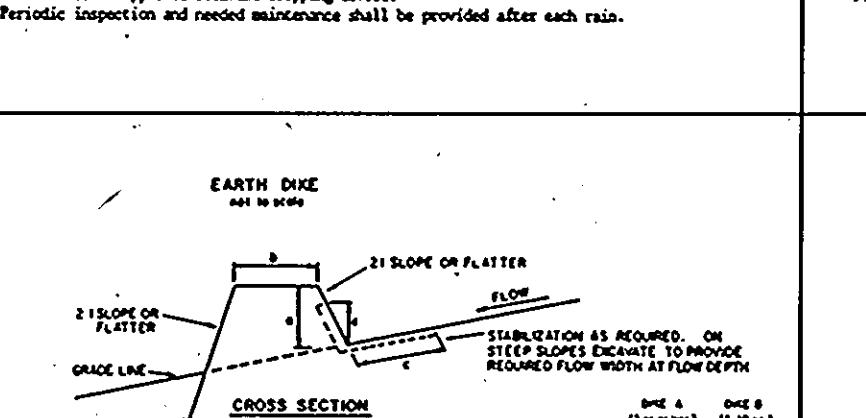
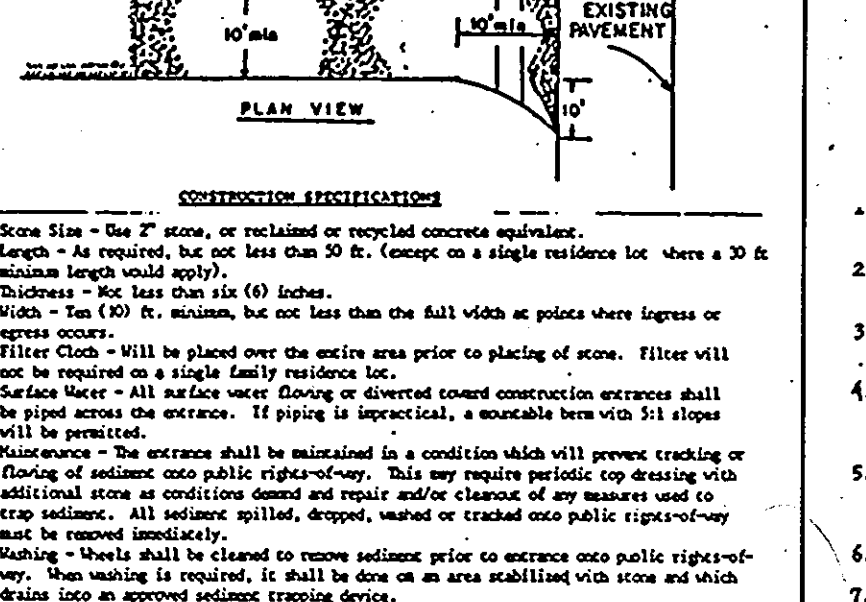
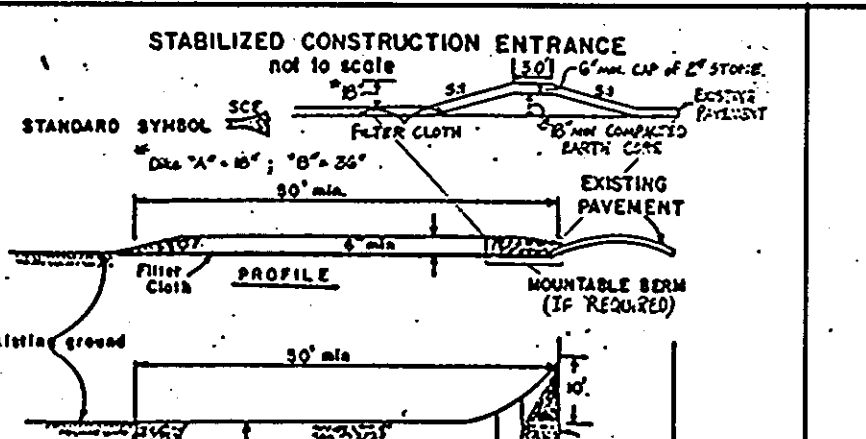
**SEDIMENT CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, walls, ditches, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 31) and (Sec. 34), temporary seedings (Sec. 30) and mulching (Sec. 32). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysts:
 

Total Area of Site	5.48 Acres
Area Disturbed	5.80 Acres
Area to be roofed or paved	2.11 Acres
Area to be vegetatively stabilized	2.21 Acres
Total Cut	23,000 Cu. yds
Total Fill	21,800 Cu. yds
Office waste/borrow area location	
- Any sediment control practice which is disturbed by grading activities for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Material Will Be Obtained From A Site With An Approved Sediment Control Plan.

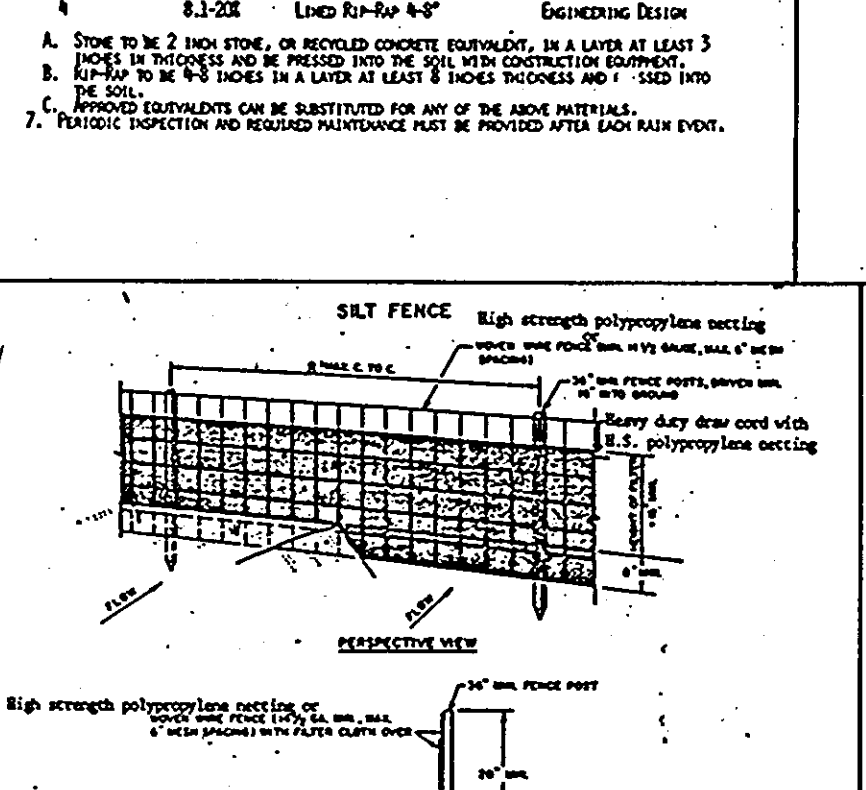
**CONSTRUCTION SPECIFICATIONS FOR FILTER CLOTH**

- Filter cloth shall be of a type approved for this purpose; resistant to sunlight with low slope, 500, 40-85, to allow sufficient passage of water and removal of sediment.
- Filter cloth shall be secured to the frame by means of staples or other suitable fasteners.
- Filter cloth shall be replaced when clogged with sediment.
- Filter cloth shall be inspected frequently and replaced when clogged with sediment.



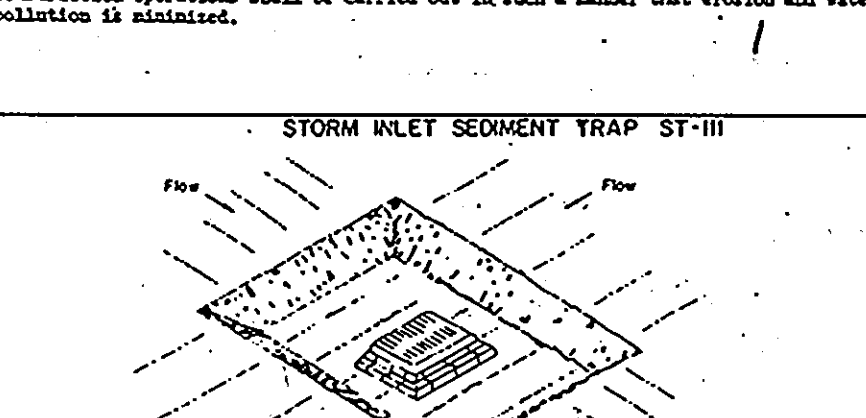
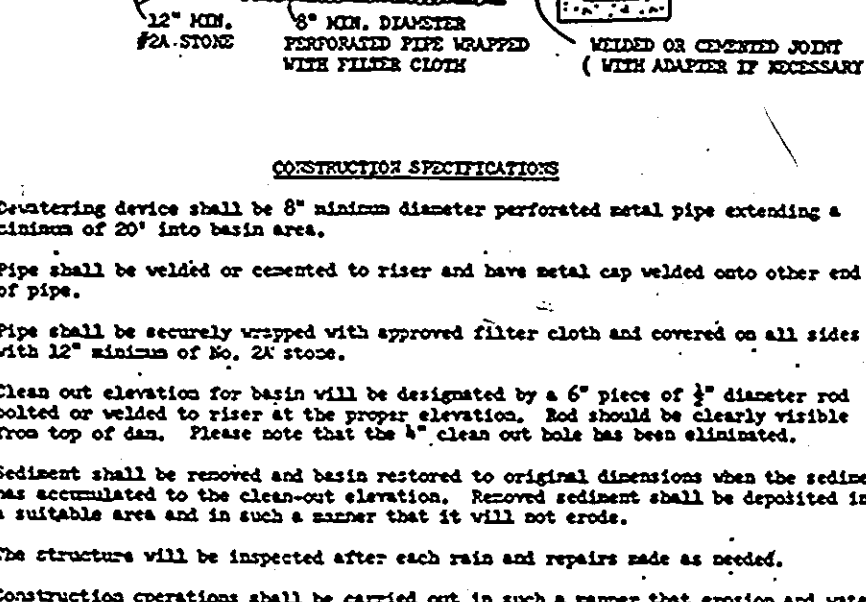
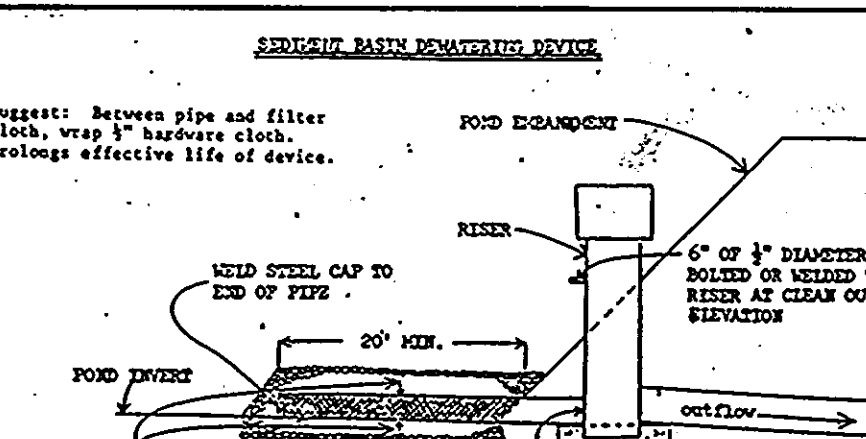
**CONSTRUCTION SPECIFICATIONS**

- Stone Size - 2" to 3" stone, or equivalent recycled concrete equivalent.
- Length - As required, but not less than 20 ft. (except on a single residence lot where a 20 ft. minimum length would apply).
- Thickness - Not less than 18 inches.
- Width - Ten (10) ft. minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence.
- Surface Water - All surface water flowing or diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a removable berm with 3:1 slopes will be provided.
- Maintenance - Will be maintained in a condition which will prevent tracking or flooding of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any manure used to train sediments. All sediments spilled, stored or tracked onto public right-of-way must be removed immediately.
- Structures shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.



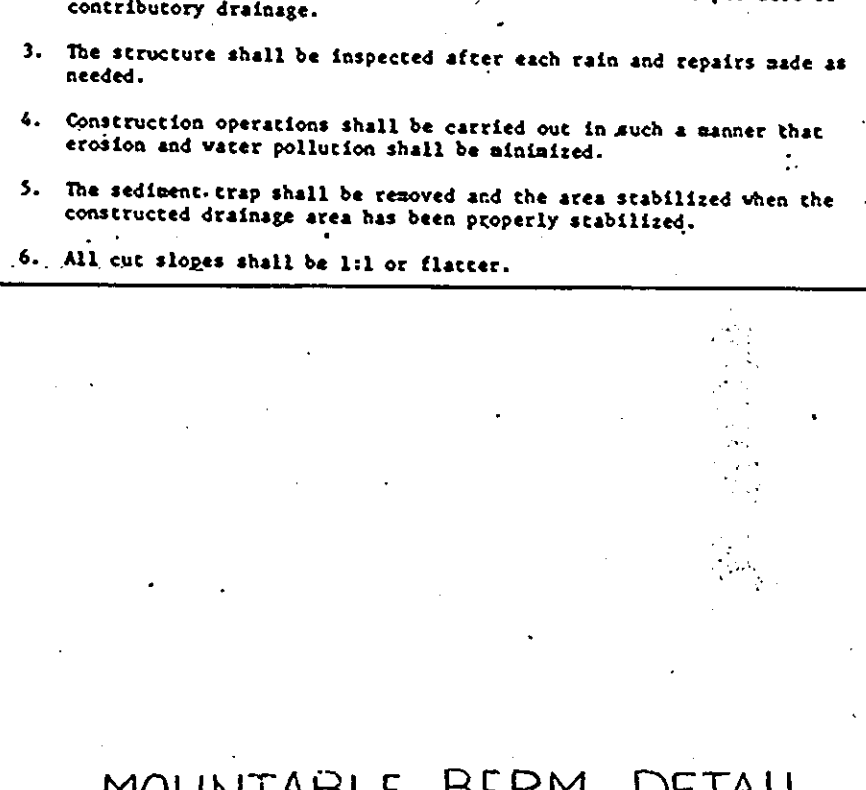
**CONSTRUCTION NOTES FOR PROPOSED SILT FENCE**

- High strength polypropylene netting or fabric shall be used in all cases.
- Filter cloth to be fastened securely to stone with rope with ties spaced every 20' at top and mid section.
- When the fabric of filter cloth is anchored to stone, the fabric shall be overlapped by 10 inches and pulled.
- Disturbance shall be prevented as much as possible in the silt fence.



**CONSTRUCTION SPECIFICATIONS FOR ST-III**

- Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The volume of sediment storage shall be 1800 cubic feet per acre of contributory drainage.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
- The sediment trap shall be removed and the area stabilized when the constructed drainage area has been properly stabilized.
- All cut slopes shall be 1:1 or flatter.



**MOUNTABLE BERM DETAIL**

NO SCALE

6" MIN. #2 STONE

3 FT. MINIMUM

5:1 SIDE SLOPES

18" MIN. COMPACTED EARTH

1. High strength polypropylene netting or fabric shall be used in all cases.

2. Filter cloth to be fastened securely to stone with rope with ties spaced every 20' at top and mid section.

3. When the fabric of filter cloth is anchored to stone, the fabric shall be overlapped by 10 inches and pulled.

4. Disturbance shall be prevented as much as possible in the silt fence.

**SEQUENCE OF OPERATIONS**

- NOTIFY THE HOWARD COUNTY DEPT. OF PERMITS AND LICENSES INSPECTOR 48 HRS BEFORE BEGINNING WORK.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- CLEAR AND GRUB AREAS UNDER SEDIMENT BASIN, SILT FENCE, EARTH DIKE (1, 2, 3, 4) ALSO CLEAR AND GRUB AREA UNDER PROP. PUBLIC STORM DRAIN EX. INLET TO M-3 TO HWL -1.
- INSTALL PUBLIC STORM DRAINS EX. INLET TO M-3 TO HWL -1.
- INSTALL SILT FENCE THEN SEDIMENT BASIN AND THEN EARTH DIKE (5) TO (6) TO (7) TO (8). MAINTAIN POSITIVE DRAINAGE TO SEDIMENT BASIN. SED. BASIN SHALL BE CONSTRUCTED AS PER THE CONSR. SPECIFICATIONS FOR STORM WATER MANAGEMENT POND.
- EXCAVATE SEDIMENT TRAP ST. -II.
- CLEAR AND GRUB AREA (9) (CROSS HATCHED) AND THEN FILL IT UP TO ELEVATION 33.0.
- INSTALL EARTH DIKE (9) - (9) AND (9) - (9).
- REMOVE EARTH DIKE (1) - (2).
- CLEAR AND GRUB THE REMAINING AREA.
- DO AS MUCH GRADING ON SITE AS NEEDED TO BRING AREA 2 (SEE PLAN FOR THE LOCATION) TO GRADE.
- ELIMINATE SEDIMENT TRAP ST. -II AS SOON AS POSSIBLE.
- INSTALL THE EARTH DIKE (1) TO (8) IMMEDIATELY AFTER THE TRAP REMOVAL.
- REMOVE THE EARTH DIKE (2) TO (5) AND (2) TO (3).
- CONTINUE GRADING MAINTAINING POSITIVE DRAINAGE TO THE SED. BASIN.
- INSTALL STORM DRAINS.
- INSTALL STORM INLET SEDIMENT TRAP ST. III.
- INSTALL REMAINING UTILITIES.
- BEGIN FOUNDATION WALLS.
- INSTALL CURB & GUTTER.
- STABILIZE AREAS NOT RECEIVING PAVING.
- INSTALL SUBBASE MATERIAL IN PARKING - DRIVE AREAS AND PAVE THOSE AREAS.
- REMOVE THE INLET PROTECTION.
- AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE SEDIMENT CONTROL DEVICES STABILIZE THE REMAINING DISTURBED AREAS & CONVERT THE SEDIMENT BASIN TO S.W. MANAGEMENT FACILITY PER APPROVED PLAN.

**APPROVED**

DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

HOWARD COUNTY, MARYLAND

These plans have been reviewed for the Howard Soil Conservation District meet the technical requirements for small pond construction, soil erosion and sediment control.

Approved: *Robert Zickler* 1-31-90  
Howard Soil Conservation District. Date

Plan Number

APPROVED: For public water and public sewerage systems  
Howard County Health Department.

Approved: *James P. Galt* 4-23-90  
County Health Officer Date

Approved: *William J. Galt* 5-18-90  
Howard County, Department of Planning & Zoning Date

Director: *Mark S. Galt* 5/18/90 Date

Chief Division of Community Planning and Land Development: *D.B.* Date

APPROVED: For public water and public sewerage storm drainage systems and public roads Howard County Department of Public Works.

Approved: *James P. Galt* 4/18/90 Date

Director: *William J. Galt* 2-7-90 Date

Chief Bureau of Engineering

**GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.**

CIVIL ENGINEERS & LAND SURVEYORS

303 ALLEGHENY AVENUE  
TOWSON, MARYLAND 21284  
(301) 825-8120

ENGINEER'S CERTIFICATE:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: *George Williams Stephens, Jr.*  
REG. NO. 8930 DATE: 1/13/89

OWNER: *Creeaney & Smith Hanover Ltd Partnership*

3511 EAST NORTH AVE.  
BALTIMORE, MD. 21218  
(301) 342-1100

DEVELOPER'S CERTIFICATE:

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATIONS FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: *Creeaney & Smith* DATE: 1-13-89

DESIGNED: IR-2  
DRAWN: RT  
CHECKED: TC / IR-2

REVISIONS:

SEDIMENT & EROSION CONTROL PLAN  
PROPOSED OFFICE WAREHOUSE  
HANOVER BUSINESS PARK  
PARCELS B-2, B-3 & B-4  
(A RESUBDIVISION OF PARCEL B, BAYVIEW SUBDIVISION)  
PLAT # 1985

TRK MAP: 56  
HOWARD CO. MD.  
SCALE: AS SHOWN

PARCEL: 015  
ELECTRIC DISTRICT 1  
JANUARY, 1989  
SHEET 3 OF 4



**GENERAL NOTES**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, OR AS SHOWN ON THESE PLANS.
- ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN AT LEAST 2' LEVEL BENCH BEHIND ALL CURB AND GUTTER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
- ALL SLOPES SHALL BE 2:1 OR FLATTER.
- THE CONTRACTOR SHALL NOTIFY THE C & P TELEPHONE CO. AND THE GAS AND ELECTRIC COMPANY FIVE DAYS PRIOR TO STARTING WORK SHOWN ON THESE PLANS BY CALLING "MISS UTILITY" CALL COLLECT 1-559-0100.
- FOR DETAILS OF RAMPS AND SIGNS FOR THE HANDICAPPED SEE THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED AND AS SHOWN HEREON.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5' OF COVER OVER ALL PROPOSED WATER LINES, UNLESS OTHERWISE NOTED ON THE PLAN.
- THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION/INSPECTION/SURVEY DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 992-2417 OR 792-7272.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING, CURB AND GUTTER, ETC... THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
- ALL UTILITIES INSTALLED UNDER PAVING SHALL RECEIVE FULL TRENCH COMPACTION.
- ALL WATER MAIN TEES, BENDS, CAPS, ETC. SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
- CONTRACTOR TO PROVIDE "AS-BUILT" LOCATION AT WATER MAIN IF THERE IS ANY DEVIATION FROM THE PLAN LOCATION.
- ALL CURB & GUTTER SHALL BE HOWARD COUNTY STD. COMBINATION CONCRETE CURB & GUTTER.
- FILE NUMBERS: V.P. 85-150, V.P. 85-150A1, F 86-51, F 89-139, SDP 89-139

**PLANTING PLAN**

KEY	QTY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
⊖	21	QUERCUS FALLOSTRI PIN OAK	2 1/2-3" C	B & D	
⊕	3	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2 1/2-3" C	B & D	
⊕	14	TILIA CORDATA GREENHOPIRE GREENHOPIRE LINDEN	2 1/2-3" C	B & D	
⊕	25	ZELKOVA SERRATA VILLAGE GREEN VILLAGE GREEN ZELKOVA	2 1/2-3" C	D & E	
⊕	7	MAGNOLIA SOULANGIANA SAUCEUR MAGNOLIA	8-10' HT	D & E	HEAVY
⊕	9	PIHUS STROBUS EASTERN WHITE PINE	6-8' HT	D & E	
⊕	10	TELIKA CANADENSIS CANADIAN HEMLOCK	6-8' HT	D & E	

**NOTES:**

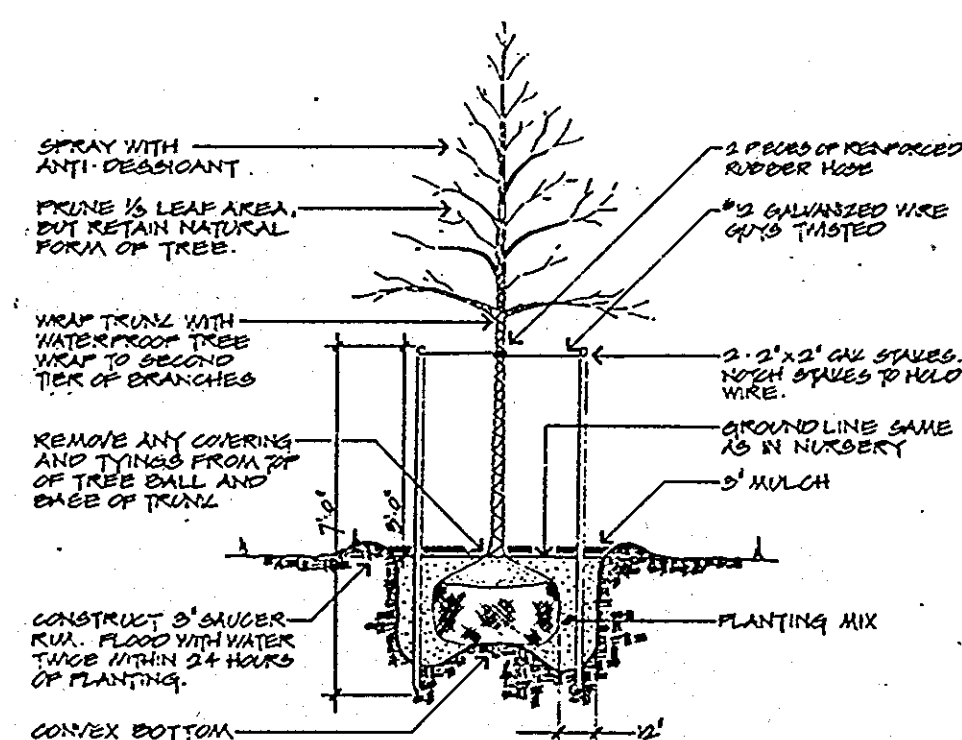
- Contractor shall notify Miss Utility a minimum of 72 hours prior to digging. Telephone: 1-800-257-7777.
- The location of all plant material is to be approved in the field by the Landscape Architect.
- The Landscape Architect is to be notified 48 hours before planting begins.
- This plan is to be used for planting only.

**NOTE:**

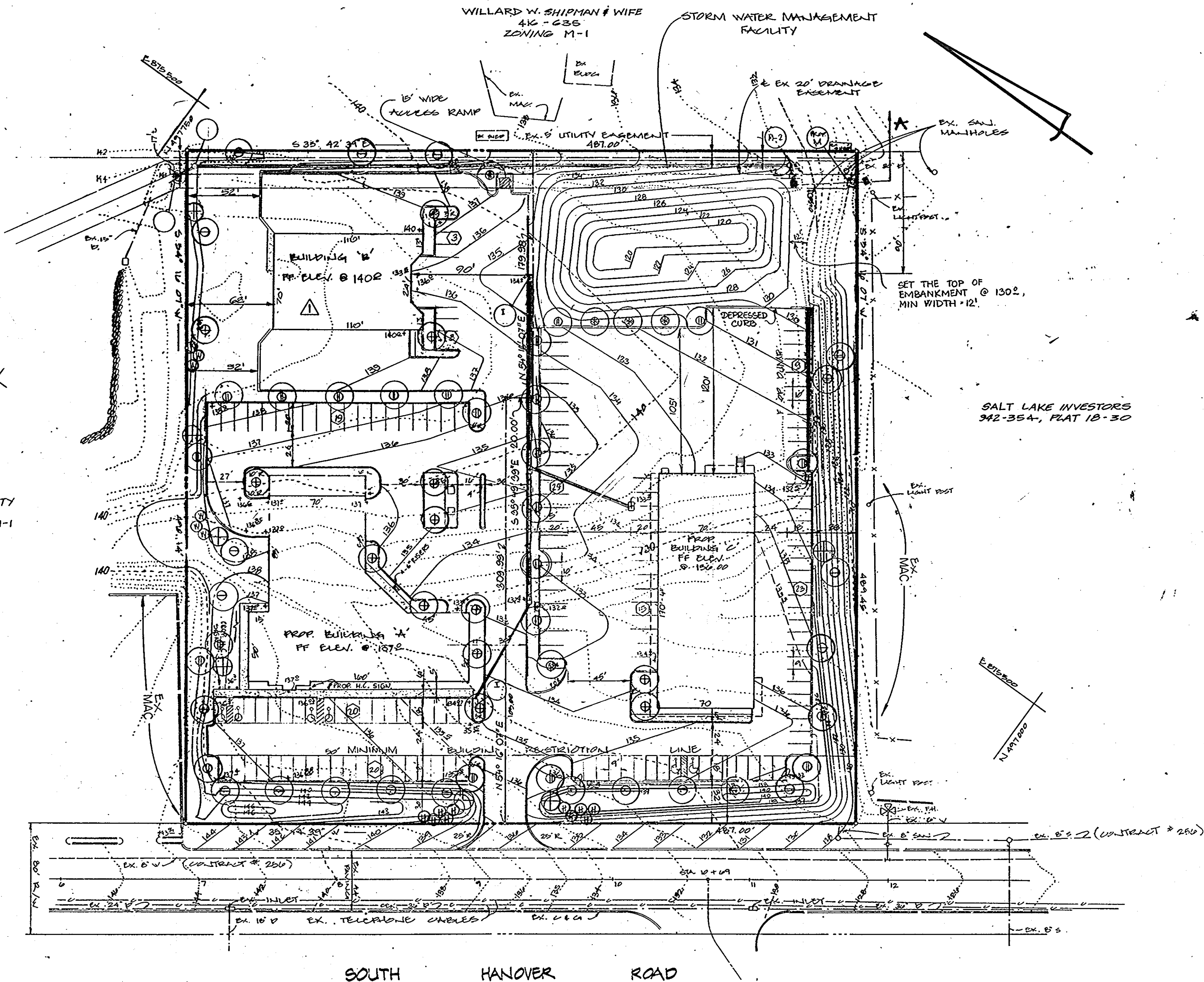
THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE STATEMENT SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.

**LEGEND**

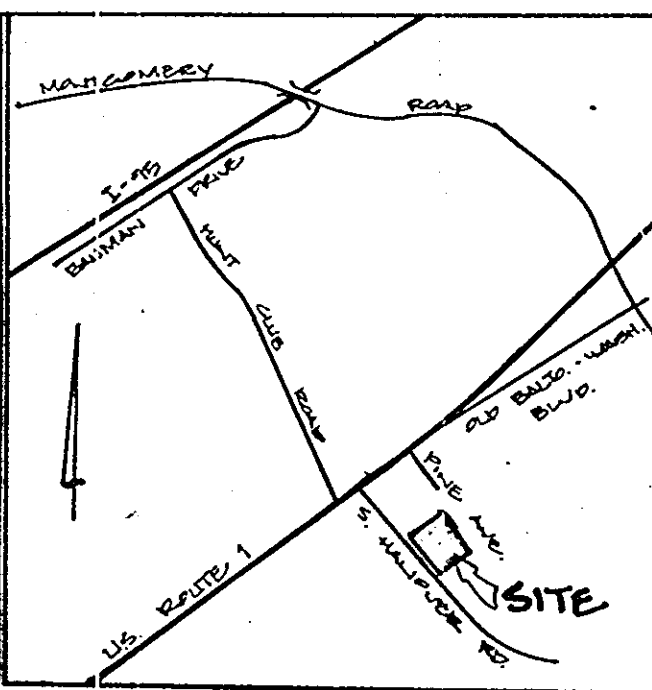
- TRACT OUTLINE
- EXISTING GRADE
- PROPOSED GRADE
- NUMBER PARKING SPACES
- HANDICAPPED PARKING
- HOWARD CO. PARKING P-1
- HOWARD CO. PARKING P-2



**PLANTING DETAIL FOR TREES - 1/4-4' CALIPER**  
NOT TO SCALE



PLAN: 1"=50'



**VICINITY MAP**  
SCALE: 1" = 2000'

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION & SEDIMENT CONTROL.

*James M. Helm* 1-31-90  
U.S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

*Robert D. Ziehm* 1-31-90  
APPROVED: HOWARD CONSERVATION DISTRICT

PLAN NUMBER

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT.

*Joselyn B. Fogle* 4-23-90  
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Walt* 5-18-90  
DIRECTOR

*Shawn S. Langley* 5/24/90  
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS & PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

*James J. Sk...* 4/1/90  
DIRECTOR

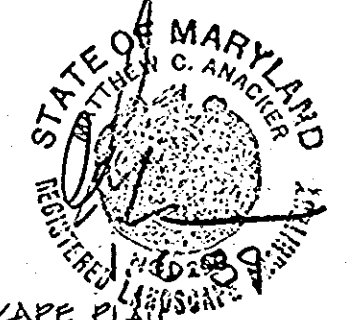
*William B. Z...* 2-2-90  
CHIEF BUREAU OF ENGINEERING

ADDRESS CHART	
BUILDING #	STREET ADDRESS
A & B	6205 SOUTH HANOVER ROAD
C	6215 SOUTH HANOVER ROAD

SUBDIVISION NAME	SECT./AREA	PARCEL
HANOVER BUSINESS PARK		B-1 & B-2
PLAT # 122B	ZONE M-1	TAX/ZONE MAP 20
WATER CODE 201	SEWER CODE 202B10	ELECT. DIST. CENSUS TRACT

**M.C. ANACKER & ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS  
PLANNERS  
PO BOX 527  
COLUMBIA MARYLAND 21045  
PHONE 301-706-8440  
FAX 301-730-4760



LANDSCAPE PLAN REVISIONS: 7-11-89

**ENGINEERS' CERTIFICATE:**  
I CERTIFY THAT THIS PLAN FOR S.W.M. FACILITY CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_  
REG. NO. \_\_\_\_\_

**OWNER/DEVELOPER**  
**CREANEY AND SMITH HANOVER LTD. PARTNERSHIP**  
3511 EAST NORTH AVENUE  
BALTIMORE, MD 21213  
(301) 342-1100

**DEVELOPER'S CERTIFICATE**  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINE "AS-BUILT" OF THE S.W.M. FACILITY WITHIN 30 DAYS OF COMPLETION.  
DEVELOPER: \_\_\_\_\_ DATE: 1-13-90  
NAME: \_\_\_\_\_ TITLE: LANDSCAPE ARCHITECT

BLDG 'B' REDUCED 10/30/90

**LANDSCAPE PLAN PROPOSED OFFICE/WAREHOUSE PARK HANOVER BUSINESS PARK**  
PARCELS B-2, B-3 & B-4  
(A RESUBDIVISION OF PARCELS B, BENEVOLENT SUBDIVISION) PLAT # 122B  
TAX MAP: 50 PARCEL 1813  
HOWARD CO. MD. ELECTION DISTRICT 1  
SCALE: AS SHOWN JANUARY 5, 1990  
SHEET 9 OF 9