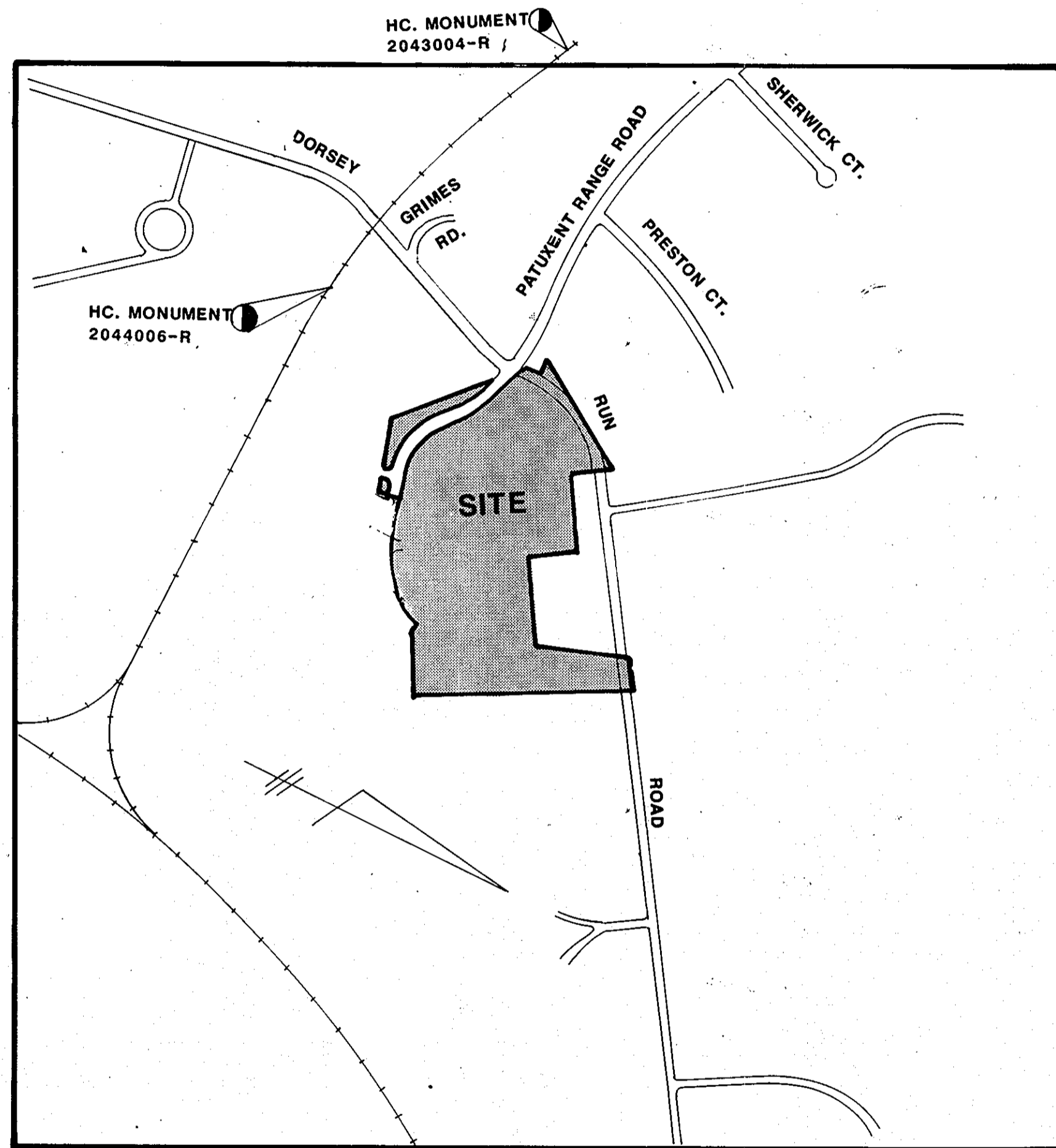


DORSEY RUN INDUSTRIAL PARK

General Notes

1. Tax Map: 48 Parcel: 109
2. Deed Reference: 666/543
3. Existing Zoning: M-2
4. Proposed Site Use: Offices and Warehouses
5. Area of Site: 32.86 Ac. or 1,431,381.6 Sq. Ft.
6. All construction and materials shall be in accordance with the Howard County Road Construction Code and Specifications.
7. Utilities to be utilized:
Water- Public
Sewer- Public
8. All on site driveways and parking areas are private.
9. Patuxent Range Drive, Public Road
10. Any damage to a county owned Right of Way shall be corrected at developer's expense.
11. Contractor to verify location of all underground utilities prior to beginning work.
12. Contractor to notify Miss Utility at 1-800-297-7777 at least five (5) days prior to beginning construction.
13. The contractor or developer shall contact the construction Inspections Division of Howard County at 792-7272 at least 24 hours prior to starting construction.
14. Boundary shown hereon was supplied by owner and is based on a topographic survey prepared by STV/Lyon Associates, in February 1987.
15. ANY CHANGE IN TENANT OR USE ON THIS SITE MUST BE EVALUATED BY THE DP&Z FOR ADEQUACY OF PARKING AND VEHICLE CIRCULATION PRIOR TO MAKING APPLICATION FOR ANY INTERIOR BUILDING ALTERATIONS OR CHANGE IN USE PERMITS.



VICINITY MAP

SCALE: 1" = 600'

Bearings and coordinates as shown hereon are based on the Maryland State Plane Coordinate system as adapted by Howard County, as referenced from Traverse Stations:

No. 2043004 N477,538.979 E857,445.252 EL. 238.274
No. 2044006 N476,9229.101 E859,068.366 EL. 210.767

Site Analysis

1. Area of Parcel: 32.86 Ac. or 1,431,381.6 Sq. Ft.
2. Existing Zoning: M-2
3. Floor space per use: Office-17,054 sq. ft.
Warehouse-360,996 sq. ft.
4. Maximum number of employees per use: Office- 30 employees
Warehouse- 15 employees
5. Open space to remain on site: Not Required
6. Building coverage of site: 378,050 sf. or 26%
7. Landscaped Islands:
Parking area-124,767 sq. ft.
Landscaped Islands-15,183 sq. ft. or 12%
8. ▲ Denotes exterior lighting.
9. All exterior lighting shall be directed / reflected away from adjacent public right of way and any residentially zoned properties.
10. Parking:

Use	Area	Spaces Required	Spaces Provided
Office	17,054 sq. ft.	85	119
Warehouse	360,996 sq. ft.	181	211 ▲
Totals	378,050 sq. ft.	266	330* ▲

▲*Including 13 Handicapped Spaces

NOTE:
WP-05-56
PETITION REQUEST TO WAIVE SECTION 16.150(m)(1) TO REACTIVATE
THE APPROVAL OF SDP-89-130 HAS BEEN GRANTED ON APRIL 8, 2005.

REVISION #1, 2 AND #3
PREPARED BY: BALTIMORE LAND DESIGN GROUP, INC.
CONSULTING ENGINEERS
222 SCHILLING CIRCLE, SUITE 105
HUNT VALLEY, MARYLAND 21030

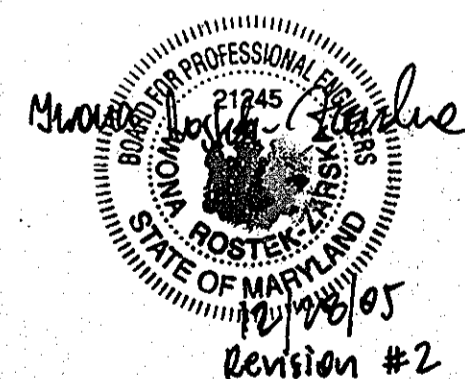
REVISION #1 6/02/05
REVISE "SITE ANALYSIS" DATA
ADDED WAIVER PETITION WP-05-56 NOTE

REVISION #2 10/7/05

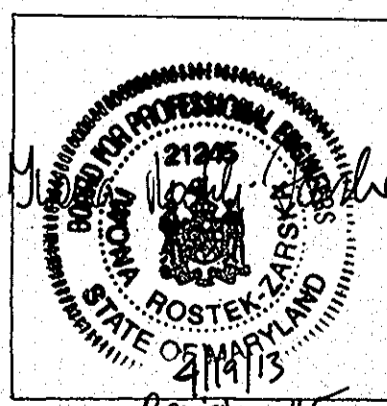
REVISION #3 11/05/06
REVISE "SITE ANALYSIS" DATA, ADDED
A RETAINING WALL AND 9 PARKING SPACES.



Revision #1 only



Revision #2



Revision #5

REVISION ▲ MARCH 18, 2013
ADDITION OF A VAN ACCESSIBLE
HANDICAP SPACE WITH A VERTICAL
ADA LIFT. REVISED "SITE ANALYSIS"
DATA.
PREPARED BY: BALTIMORE LAND DESIGN GROUP, INC.
CONSULTING ENGINEERS
230 SCHILLING CIRCLE, SUITE 364
HUNT VALLEY, MARYLAND 21030

NOTE
"THE APPLICANT / DEVELOPER SHALL APPLY FOR A BUILDING PERMIT
TO INITIATE CONSTRUCTION OF BUILDING "C" ON OR BEFORE 4/08/06"

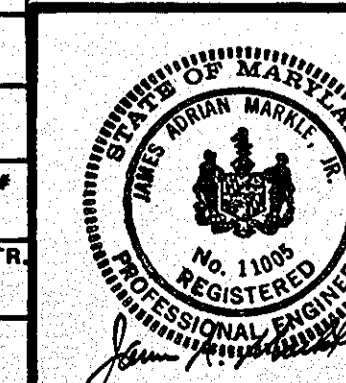
DATE	DESCRIPTION	BY
4/15/06	REVISION #3 NOTE TO THE LEFT	BLDG
4/18/05	REVISED "SITE ANALYSIS" DATA	BLDG

ADDRESS CHART						
LOT NUMBER	STREET ADDRESS					
Bldg. A	8240 Patuxent Range Road					
Bldg. B	8230 Patuxent Range Road					
Bldg. C	8220 Patuxent Range Road					

SUBDIVISION NAME						
DORSEY RUN INDUSTRIAL PARK						
PLAT # OR L/E	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.	
666/543	2 & 3	M-2	48	6TH	6064	
WATER CODE			SEWER CODE			

OWNER / DEVELOPER

DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
ARUNDEL BUILDING 110 WEST ROAD
BALTIMORE, MD 21204



TITLE SHEET	
PROJECT: DORSEY RUN INDUSTRIAL PARK	
O.P.&Z. FILE NOS.: S-88-45, F-39-89, SDP-89-130	
TAX MAP: 48, BLOCK: , PARCEL: 109	
6TH ELECTION DISTRICT: HOWARD COUNTY, MD.	
DES. BY: RLR	DRAWN BY: CAB
CHKD. BY: THM	DATE: 11-25-05

CIVIL ENGINEERS - SITE PLANNERS
SUBCONS
DST&A ssoc. inc.
11 WARREN ROAD
BALTIMORE, MD. 21208
(301) 484-4100
SCALE: 1" = 600' SHEET 1 OF 15

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT.
James A. Mankoff 6-2-87
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
James A. Mankoff 6-6-05
PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM
DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY
DEPARTMENT OF PUBLIC WORKS
James A. Mankoff 6-6-05
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM
DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY
DEPARTMENT OF PUBLIC WORKS
James A. Mankoff 6-6-05
CHIEF, BUREAU OF ENGINEERING DATE

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
James A. Mankoff 2/28/87
ENGINEER DATE

DEVELOPER'S CERTIFICATION
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
James A. Mankoff 10/26/88
DEVELOPER DATE

REVIEWED FOR HOWARD S. C. D. AND MEETS TECHNICAL REQUIREMENTS
James M. Hall
 SOIL CONSERVATION SERVICE
 DATE: 2/18/88

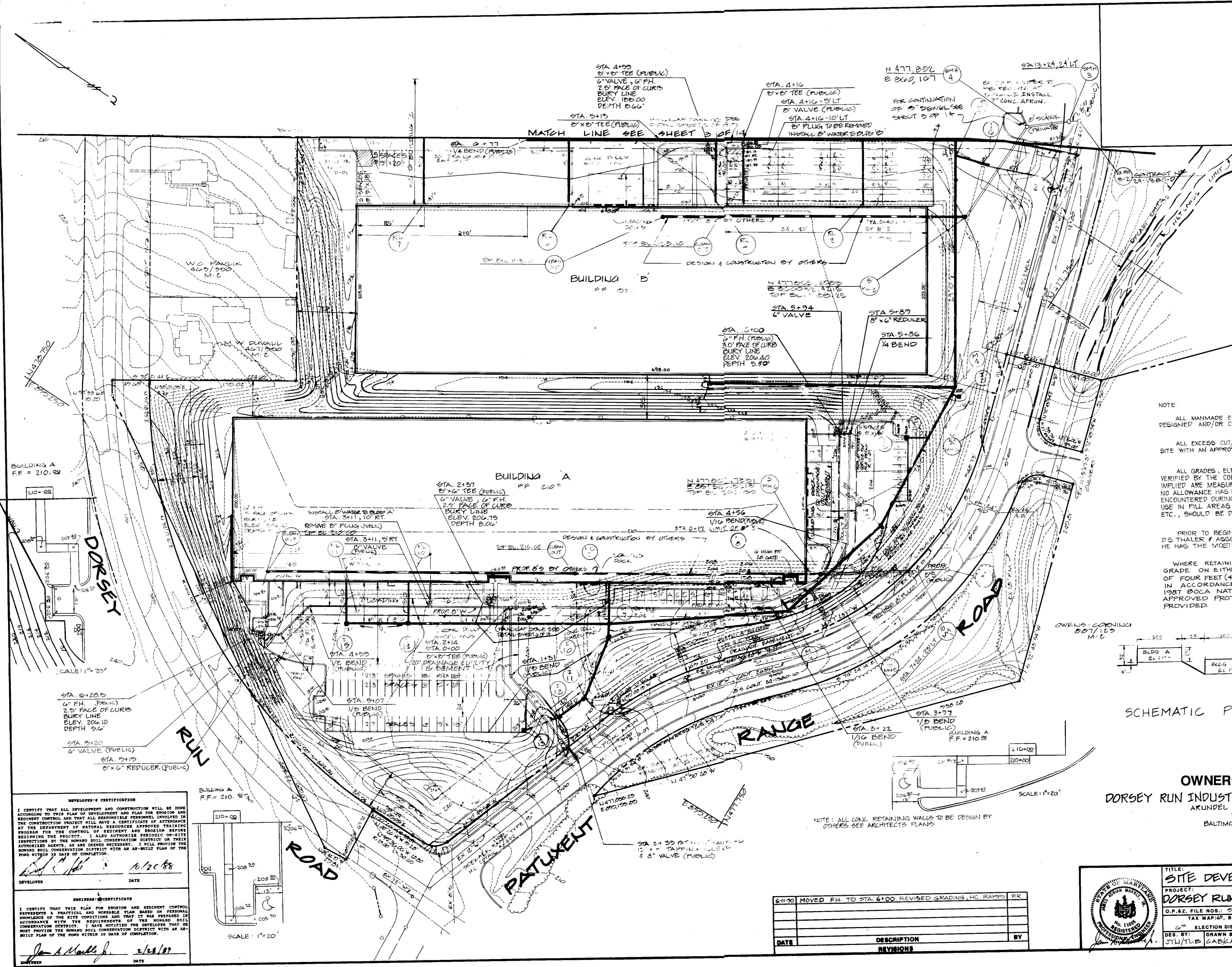
THIS DEVELOPMENT IS APPROVED SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
James M. Hall
 SOIL CONSERVATION DISTRICT
 DATE: 6/19/88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
James M. Hall
 COUNTY HEALTH OFFICER
 DATE: 6-2-88

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
James M. Hall
 PLANNING DIRECTOR
 DATE: 6.6.88

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC WORKS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James M. Hall
 DIRECTOR
 DATE: 6/6/88

James M. Hall
 CHIEF, BUREAU OF ENGINEERING
 DATE: 2.18.88



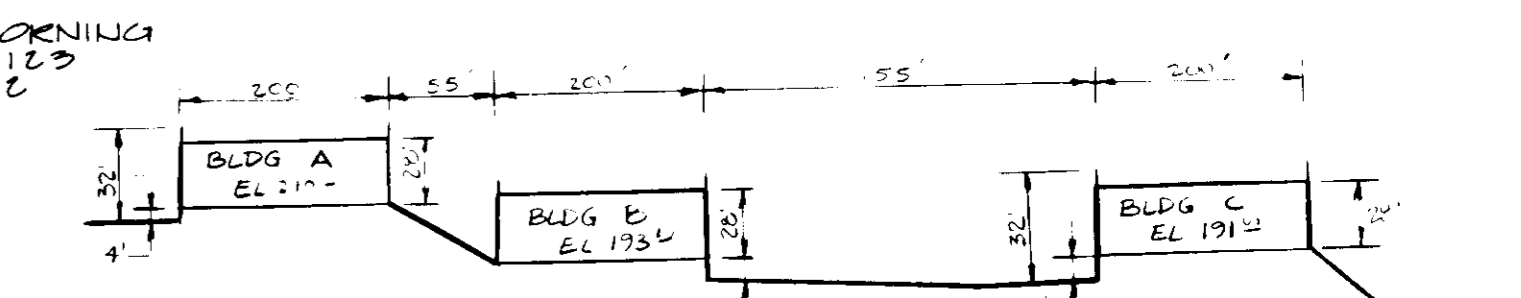
NOTE
 ALL MANMADE EMBANKMENTS OVER 10' IN HEIGHT SHALL BE DESIGNED AND/OR CERTIFIED BY A SOILS ENGINEER.

ALL EXCESS CUT/BORROW MATERIAL WILL BE TAKEN TO/FROM A SITE WITH AN APPROVED SEDIMENT CONTROL PLAN.

ALL GRADES, ELEVATIONS, EARTH QUANTITIES, ETC., ARE TO BE VERIFIED BY THE CONTRACTOR. ANY EARTH QUANTITIES SHOWN OR IMPLIED ARE MEASURED TO FINAL GRADE AND ARE APPROXIMATE. NO ALLOWANCE HAS BEEN MADE FOR UNSUITABLE MATERIAL ENCOUNTERED DURING CONSTRUCTION. SUITABILITY OF SOIL FOR USE IN FILL AREAS OR STABILITY OF CUT AREAS, COMPACTION, ETC., SHOULD BE DETERMINED BY A SOILS ENGINEER.

PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR IS TO CALL D.S. THALER & ASSOCIATES, INC., AT 404-4100 TO VERIFY THAT HE HAS THE MOST CURRENT PLAN.

WHERE RETAINING WALLS HAVE A DIFFERENCE IN GRADE ON EITHER SIDE OF THE WALL IN EXCESS OF FOUR FEET (4'), A GUARDRAIL CONSTRUCTED IN ACCORDANCE WITH SECTION 87.0 OF THE 1987 BOCA NATIONAL BUILDING CODE (OR OTHER APPROVED PROTECTIVE MEASURE SHALL BE PROVIDED.



OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 ARUNDEL BUILDING, SUITE 203
 110 WEST ROAD
 BALTIMORE, MARYLAND 21204

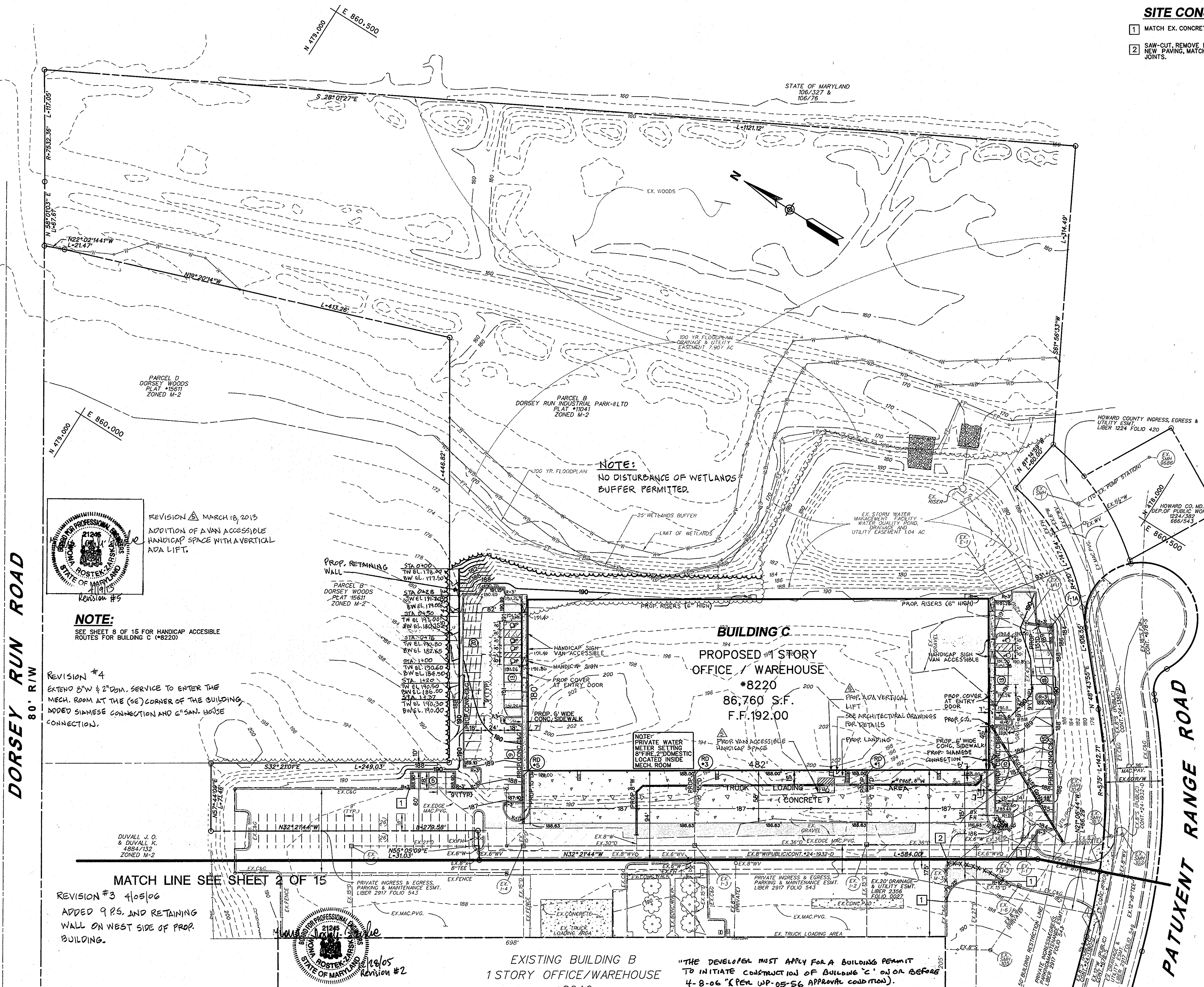
DEVELOPER'S CERTIFICATION
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
James M. Hall
 DEVELOPER
 DATE: 6/2/88

ENGINEER'S CERTIFICATION
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
James M. Hall
 ENGINEER
 DATE: 2/18/88

DATE	DESCRIPTION	BY
6-11-80	MOVED FH. TO STA. 6+00 REVISED GRADING, HC RAMP, RR	RR

THE STATE OF MARYLAND
 CIVIL ENGINEERS & SITE PLANNERS SURVEYORS
D.S. Thaler & Associates, Inc.
 11 WARREN ROAD
 BALTIMORE, MD. 21208
 (301) 484-4100

TITLE: **SITE DEVELOPMENT PLAN**
 PROJECT: **DORSEY RUN INDUSTRIAL PARK**
 O.P.#2, FILE NOS.: 2-80-40 F-89-99, SPP89-180
 TAX MAP: 20, BLOCK: , PARCEL: 180
 6th ELECTION DISTRICT, HOWARD COUNTY, MD.
 DES. BY: JML/TLB DRAWN BY: CAB/KAD CHKD. BY: THM/TLB DATE: 11-25-80
 SCALE: 1" = 20' SHEET 2 OF 14
SPF-87-130



SITE CONSTRUCTION NOTES:

- 1 MATCH EX. CONCRETE CURB AND GUTTER FOR GRADE AND LINE
- 2 SAW-CUT, REMOVE EXISTING CURB & GUTTER, GRADE, INSTALL NEW PAVING, MATCH EXISTING PAVING FOR GRADE AND SEAL JOINTS.

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. CONCRETE CURB & GUTTER
- EX. STORM DRAIN, MANHOLE & INLET
- EX. SANITARY SEWER, MANHOLE & CLEANOUT
- EX. WATER MAIN, VALVE & FIRE HYDRANT
- EX. ELECTRIC LINE & TRANSFORMER
- EX. GAS LINE & VALVE
- EX. LIGHT POLE
- EX. TELEPHONE LINE
- EX. TREE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- EX. CONCRETE CURB & GUTTER TO BE REMOVED
- PROP. CONCRETE CURB & GUTTER
- PROP. STORM DRAIN, MANHOLE & INLET
- PROP. SANITARY SEWER, MANHOLE & CLEANOUT
- PROP. WATER MAIN, VALVE & FIRE HYDRANT
- PROP. INDEX CONTOURS
- PROP. INTERMEDIATE CONTOURS
- PROP. PARKING COUNT
- LIMIT OF WETLAND
- 25' WETLAND BUFFER
- 100 YR FLOODPLAIN

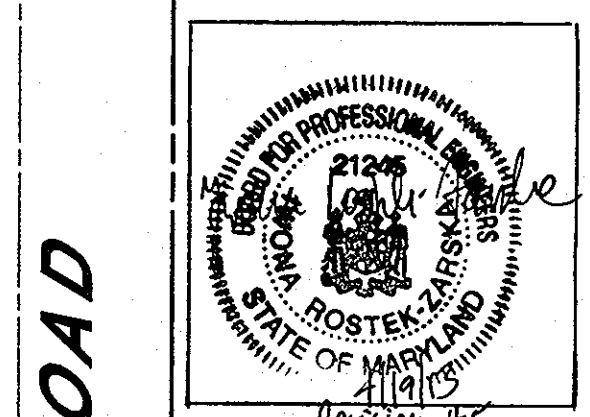
PAVEMENT SECTION LEGEND

- HEAVY DUTY PAVING
- LIGHT DUTY PAVING
- OVERLAY PAVING
- CONCRETE PAVING

PAVEMENT SECTION DETAILS

- HEAVY DUTY PAVING P-5: 1.5" BIT. CONC. SURFACE, 1.5" BIT. CONC. BASE, 5" BIT. CONC. BASE, 6" GRADED AGGREGATE BASE (GAB)
- LIGHT DUTY PAVING P-3: 1.5" BIT. CONC. SURFACE, 4.5" BIT. CONC. BASE, 5" GRADED AGGREGATE BASE (GAB)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING				
Chief, Development Engineering Division			Date: 8/12/05	
Chief, Land Development Division			Date: 8/12/05	
Director			Date: 8/12/05	
ADDRESS CHART				
LOT / PARCEL NO.	STREET ADDRESS			
PARCEL B (plus 'c')	8220 PATUXENT RANGE ROAD			
PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.		
DORSEY RUN INDUSTRIAL PARK	N / A	P. 109		
PLAT NO.	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.
11041	2	M - 2	48	6TH
WATER CODE	SEWER CODE			
802	3020000			



REVISION #3 MARCH 18, 2013
ADDITION OF A VAN ACCESSIBLE HANDICAP SPACE WITH A VERTICAL ADA LIFT.

NOTE:
SEE SHEET 8 OF 15 FOR HANDICAP ACCESSIBLE ROUTES FOR BUILDING C (#8220)

REVISION #4
EXTEND 8" W & 2" DOM. SERVICE TO ENTER THE MECH. ROOM AT THE (SE) CORNER OF THE BUILDING, ADD SHAMSE CONNECTION AND 6" SAN. HOUSE CONNECTION.

REVISION #3 4/05/06
ADDED 9 R.S. AND RETAINING WALL ON WEST SIDE OF PROP. BUILDING.



REVISION #2
RELOCATED LANDSC. ISLANDS AND HANDICAP SPACES, REVISED GRADING WITHIN PARKING AREAS, PERMIT #27643
ADDED PROP. COVER AT ENTRY DOORS, INCREASED LENGTH OF TRUCK LOADING AREA AND DEPRESSED CURB.

"THE DEVELOPER MUST APPLY FOR A BUILDING PERMIT TO INITIATE CONSTRUCTION OF BUILDING 'C' ON OR BEFORE 4-8-06 *K.PEN. WP-05-56 APPROVAL CONDITION*"

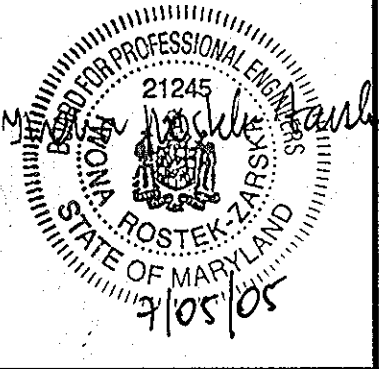
**INCREASED WIDTH OF TRUCK LOADING AREA FROM 15' TO 17'5".
REDUCED FOOTPRINT OF PROPOSED BUILDING C FROM 106,730 SF TO 86,760 SF. ADDED ADDITIONAL PARKING SPACES ON NORTH-WEST SIDE OF PROP BUILDING C. ADDED STORM DRAIN SYSTEM FROM I-1A TO M-1. REVISED GRADING / SEWER LINE.

OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
6/2/05	**REVISION #1	BLDG, INC.
10/7/05	REVISION #2	BLDG, INC.
4/05/06	REVISION #3 NOTE TO THE LEFT	BLDG, INC.
4/12/06	REVISION #4 NOTE TO THE LEFT	BLDG, INC.
8/11/05	REVISION #5 NOTE	BLDG, INC.

REVISED SITE DEVELOPMENT PLAN
SITE, GRADING & UTILITY PLAN
DORSEY RUN INDUSTRIAL PARK
PARCEL B
SDP-89-130
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
SHEET 3 OF 15
DATE: JULY, 2005

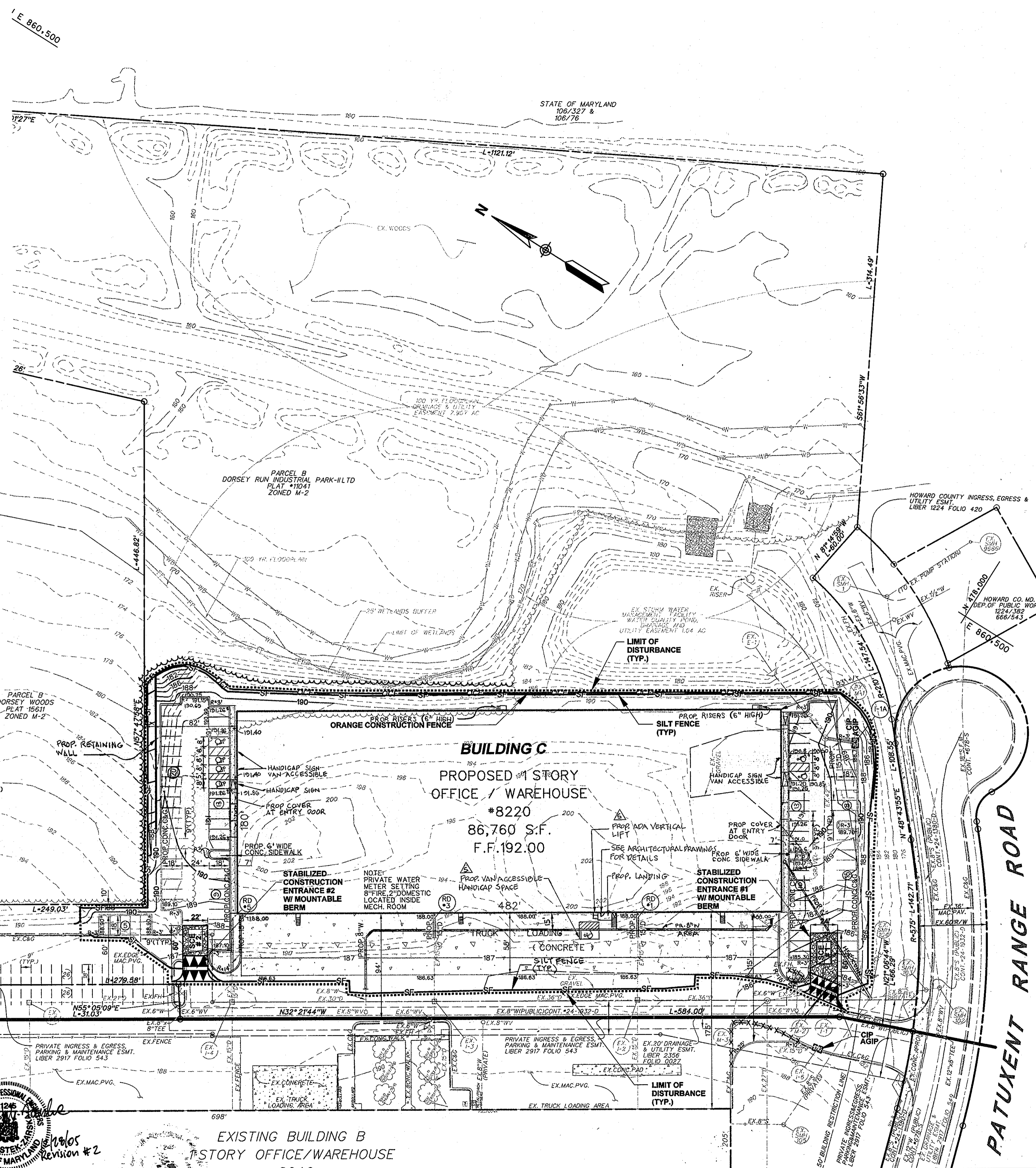
BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21093
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



SEDIMENT CONTROL STANDARD GENERAL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY MANUAL," STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDINGS, SOOS, TEMPORARY SEEDING AND MULCHING (SECTION G). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OR SITE	14.099	ACRES +/-
AREA DISTURBED	3.97	ACRES +/-
AREA TO BE ROOFED OR PAVED	3.50	ACRES +/-
AREA TO BE VEGETATIVELY STABILIZED	0.47	ACRES +/-
TOTAL CUT	17,000.00 +/-	CUBIC YARDS*
TOTAL FILL	1,000.00 +/-	CUBIC YARDS*
OFF-SITE WASTE/BORROW AREA LOCATION WASTE	16,000.00 +/-	CUBIC YARDS*
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE DAY, WHICHEVER IS SHORTER.
- EARTH QUANTITY VOLUMES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS ADVISED TO PERFORM HIS OWN ANALYSIS PRIOR TO PLACING A BID ON THIS ITEM.



LEGEND

RIGHT-OF-WAY LINE	---
PROPERTY LINE	---
EX. CONCRETE CURB & GUTTER	EX.C&G
EX. STORM DRAIN, MANHOLE & INLET	EX.15" D
EX. SANITARY SEWER, MANHOLE & CLEANOUT	EX.8" S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX.12" W
EX. ELECTRIC LINE & TRANSFORMER	E
EX. GAS LINE & VALVE	G
EX. LIGHT POLE	*
EX. TELEPHONE LINE	T
EX. TREE	(Tree Symbol)
EX. INDEX COUNTOURS	190
EX. INTERMEDIATE COUNTOURS	188
EX. CONCRETE CURB & GUTTER TO BE REMOVED	PROP.C&G
PROP. CONCRETE CURB & GUTTER	PROP.15" D
PROP. STORM DRAIN, MANHOLE & INLET	PROP.8" S
PROP. SANITARY SEWER, MANHOLE & CLEANOUT	PROP.8" W
PROP. WATER MAIN, VALVE & FIRE HYDRANT	190
PROP. INDEX COUNTOURS	188
PROP. INTERMEDIATE COUNTOURS	188
LIMIT OF WETLAND	WB
25' WETLAND BUFFER	WB
100 YR. FLOODPLAIN	FF

SEDIMENT CONTROL LEGEND

LIMIT OF DISTURBANCE	---
ORANGE CONSTRUCTION FENCE	OCF
SILT FENCE	SF
STABILIZED CONSTRUCTION ENTRANCE	SCE
MOUNTABLE BERM TYPE A	(Berm Symbol)
STANDARD INLET PROTECTION	SIP
AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP

Reviewed for Howard SCD and meets Technical Requirements

Jim Meyer 2/15/05
 Date

USDA - Natural Resources Conservation Service
 development plan is approved for soil erosion and sediment control by the
 HOWARD SOIL CONSERVATION DISTRICT

John R. Khatami 2/15/05
 Date

HOWARD CO. SCD

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Maura Vesich-Aurilio 2/15/05
 Date

iwona Rostek-Zoraka, P.E. 21245

DEVELOPER'S CERTIFICATE
 I/ we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

John S. Wachs 2/15/05
 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John S. Wachs 2/15/05
 Date

Chief, Development Engineering Division (M)

John S. Wachs 2/15/05
 Date

Chief, Land Development Division

John S. Wachs 2/15/05
 Date

Director

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B (486.2')	8220 PATUXENT RANGE ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
DORSEY RUN INDUSTRIAL PARK	N / A	P. 109
PLAT NO.	GRID NO.	ZONING
11041	2	M - 2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
48	6TH	6069201
WATER CODE	SEWER CODE	
B02	3020000	

SEQUENCE OF OPERATION (BUILDING C)

- OBTAIN GRADING PERMIT. (1 DAY)
- NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (1 DAY)
- INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN. (1 DAY)
- INSTALL ORANGE CONSTRUCTION FENCE & SILT FENCE AS SHOWN ON THE PLAN. PROVIDE INLET PROTECTION FOR EX. INLETS I-1 & I-6. (3 DAYS)
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR BEGIN GRADING OPERATIONS. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES AT ALL TIMES. (10 DAYS)
- AS WORK PROGRESSES BEGIN INSTALLATION OF UTILITIES. INSTALL DRAIN SYSTEM FROM EX. TO PROP. INLET I-1A AND PROVIDE INLET PROTECTION FOR NEWLY INSTALLED INLET I-1A. (8 DAYS)
- BEGIN CONSTRUCTION OF PROPOSED BUILDING. (20 DAYS)
- PROCEED WITH GRADING OPERATIONS AND CONTINUE BUILDING CONSTRUCTION. (15 DAYS)
- FINE GRADE ALL AREAS, INSTALL CONCRETE CURB AND GUTTER AND STONE SUB-BASE. (12 DAYS)
- AFTER OBTAINING PERMISSION FROM SEDIMENT CONTROL INSPECTOR REMOVE THE REMAINING SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES AND PROCEED WITH PAVING AND LANDSCAPING INSTALLATION. (8 DAYS)

REVISION #3 MARCH 18, 2013
 ADDITION OF A VAN ACCESSIBLE HANDICAP SPACE WITH A VERTICAL ADA LIFT.

REVISION #3 04/05/06
 ADDED 9 P.S. AND RETAINING WALL ON WEST SIDE OF PROP. BUILDING.

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers

222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21093
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

EXISTING BUILDING B
 1-STORY OFFICE/WAREHOUSE
 #8240
 F.F. ELEV. 193.10 +/-
 PERMIT #27643

PARCEL A
 DORSEY RUN INDUSTRIAL PARK-ILTD
 PLAT #11041
 ZONED M-2

REVISION #2
 RELOCATED LANDSC. ISLANDS AND HANDICAP SPACES. REVISED GRADING WITHIN PARKING AREAS. ADDED PROP. COVER AT ENTRY DOORS. INCREASED LENGTH OF TRUCK LOADING AREA AND DEPRESSED CURB.

REVISION #1
 **REVISED SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES FOR BUILDING C. ADDED SEQUENCE OF OPERATION.

OWNER / DEVELOPER
 DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093-8288
 (443) 689-8000

DATE	ITEM	BY
6/2/05	**REVISION #1	BLDG, INC.
10/7/05	REVISION #2	BLDG, INC.
04/05/06	REVISION #3 NOTE TO THE LEFT	BLDG, INC.
3/18/13	REVISION #5 NOTE	BLDG, INC.

REVISED SITE DEVELOPMENT PLAN
 EROSION AND SEDIMENT CONTROL PLAN
DORSEY RUN INDUSTRIAL PARK
 PARCEL B
 SDP-89-130

HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'

SHEET 5 OF 15
 DATE: JULY, 2005

SDP-89-130

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER *[Signature]* 6-2-89 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR *[Signature]* 6-6-89 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
[Signature] 5/6/89 DATE

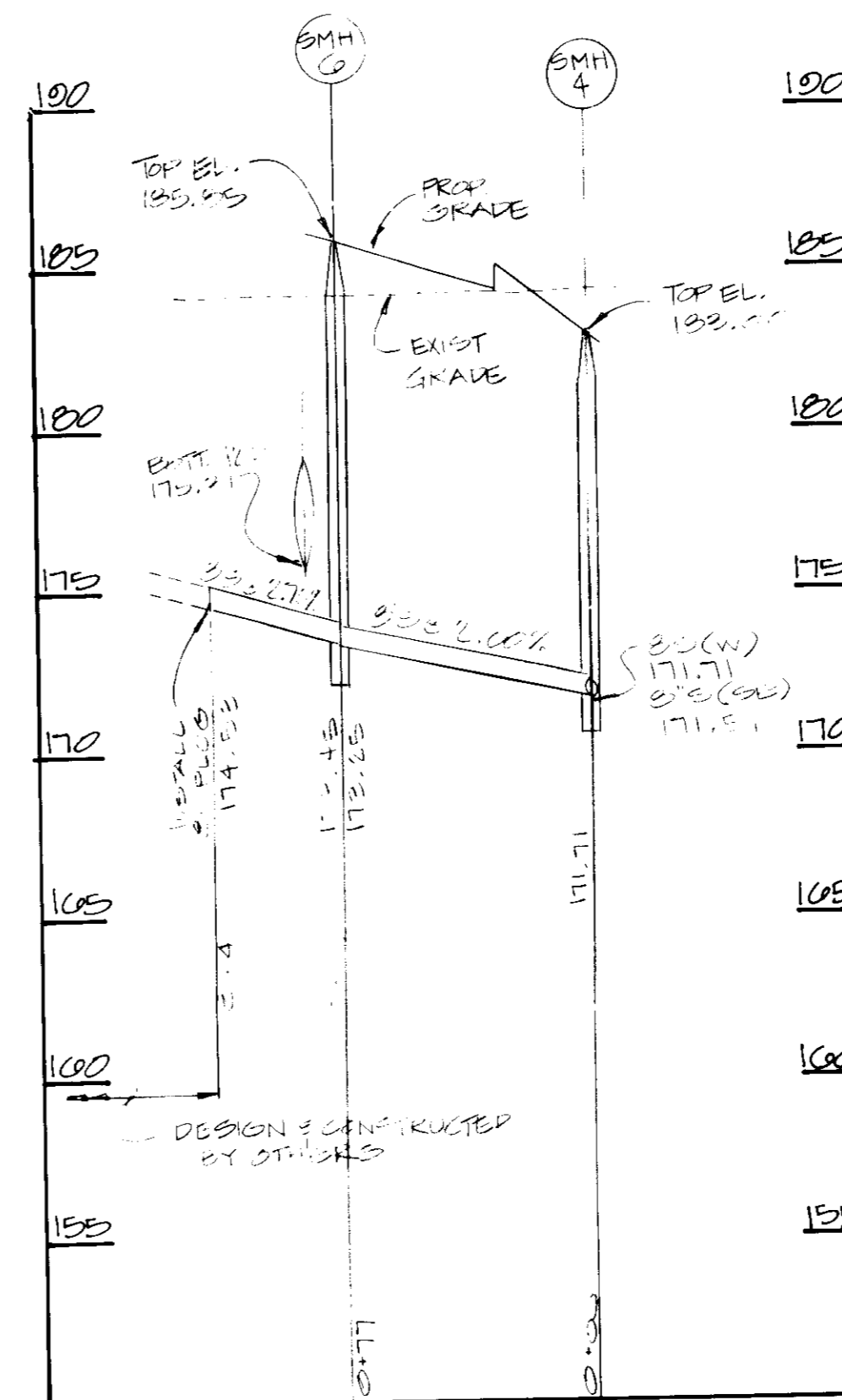
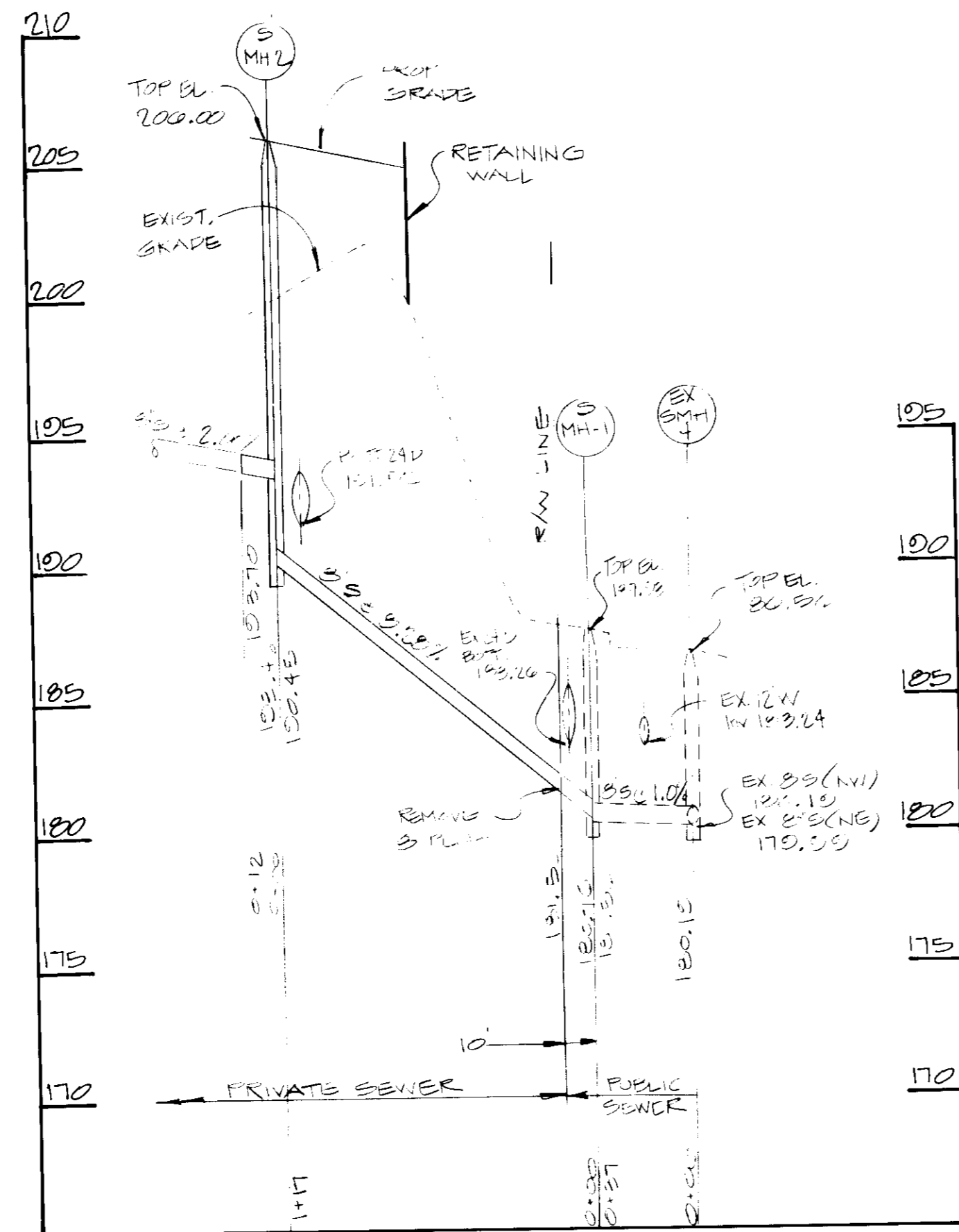
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR *[Signature]* 5/26/89 DATE

CHIEF, BUREAU OF ENGINEERING *[Signature]* 5/26/89 DATE

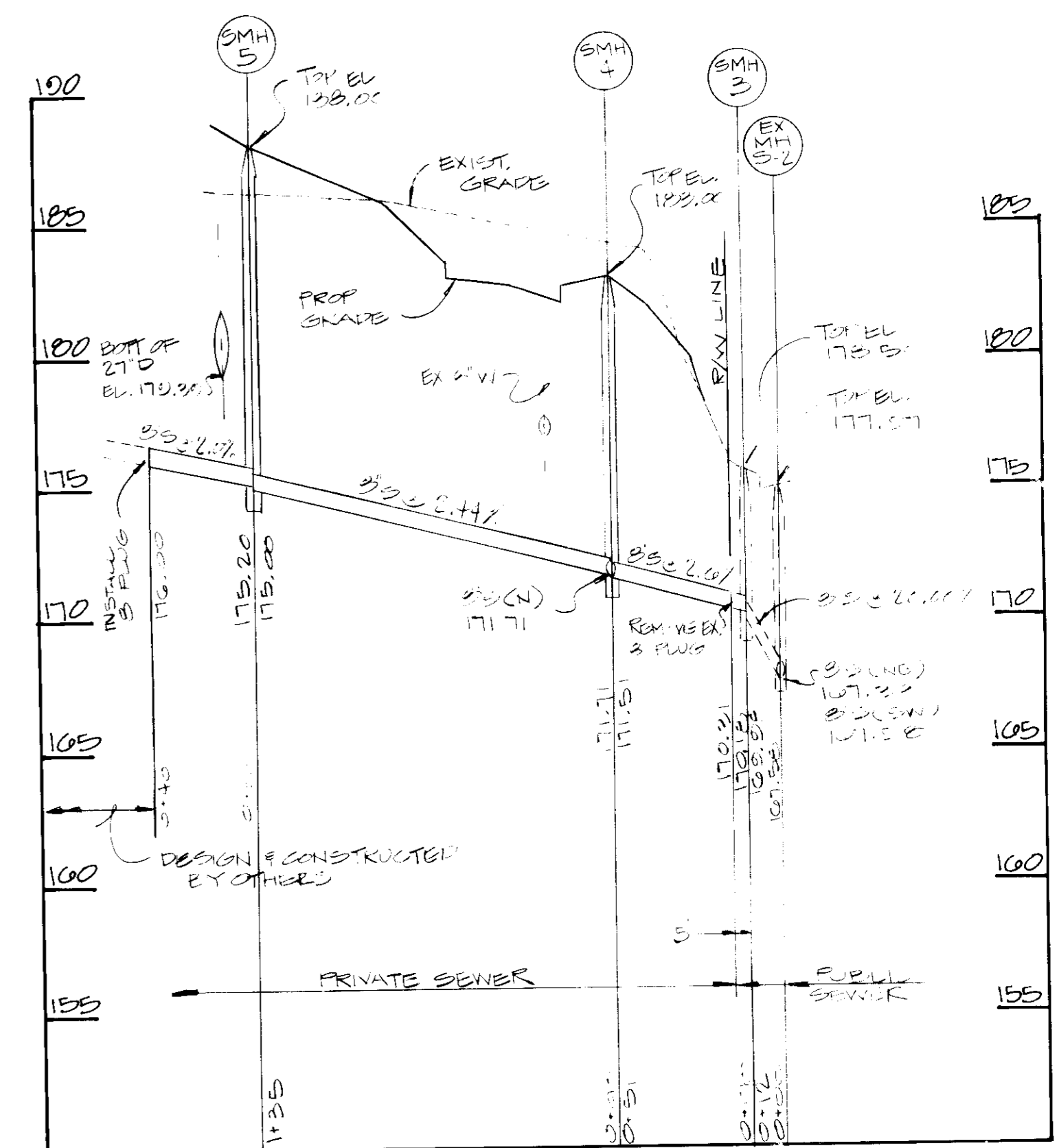
SEDIMENT CONTROL MEASURES FROM THIS CONTRACT WILL BE IMPLEMENTED IN ACCORDANCE WITH ARTICLE 15 OF THE SPECIFICATIONS AND AS SHOWN ON

HOWARD SOIL CONSERVATION DISTRICT REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
[Signature] 5/9/89 DATE
 SOIL CONSERVATION SERVICE

PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
[Signature] 5/9/89 DATE
 HOWARD SOIL CONSERVATION DISTRICT

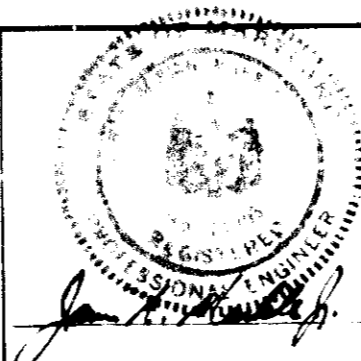


PROFILES
 SCALE: HORIZ. 1"=50'
 VERT. 1"=5'



D.S. THALER & ASSOC. INC.

11 WARREN ROAD
 BALTIMORE, MARYLAND 21208
 301-484-4100



DES. M.L.T.

DRN. M.L.T.

CHK. T.H.M.

DATE 4/17/89

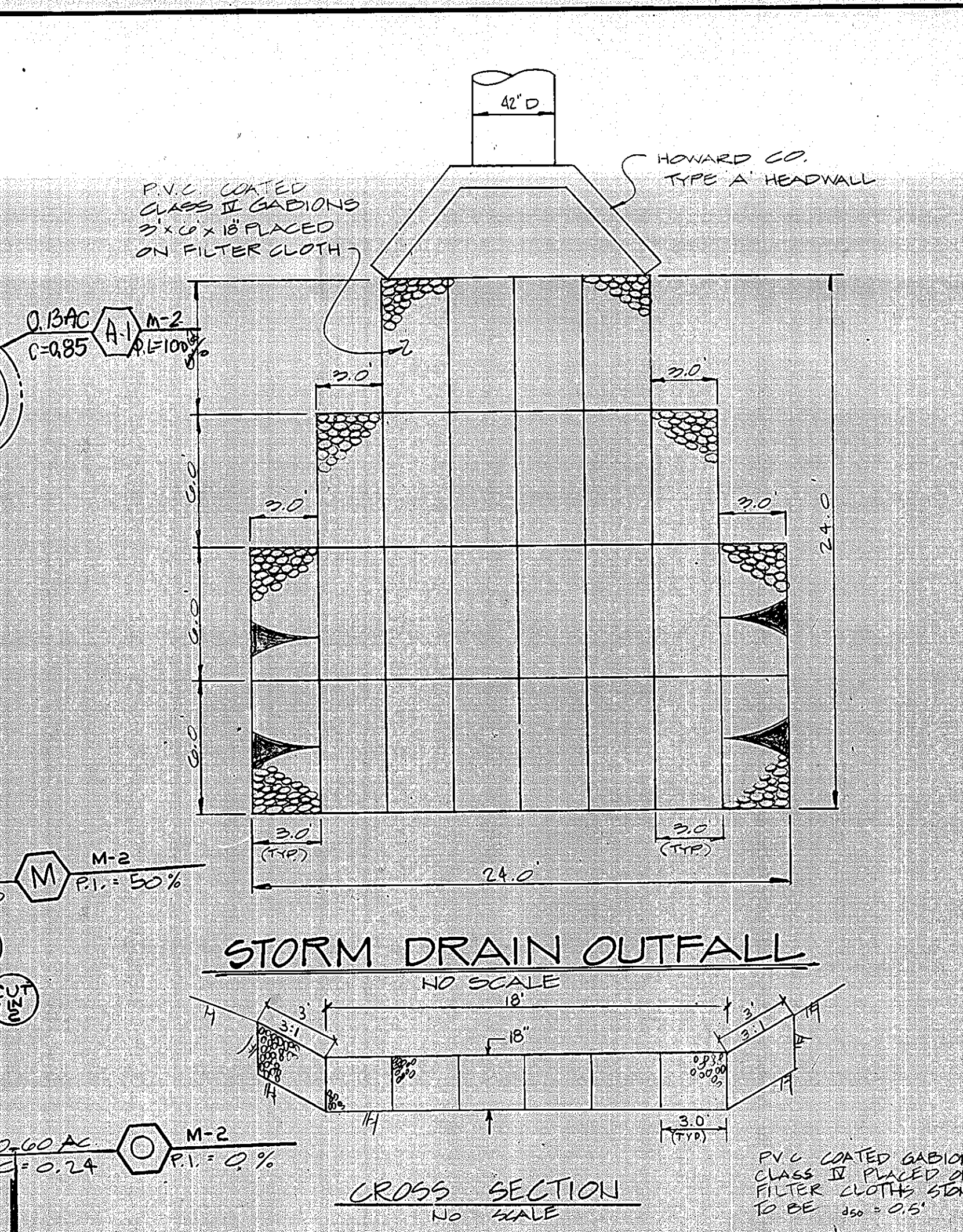
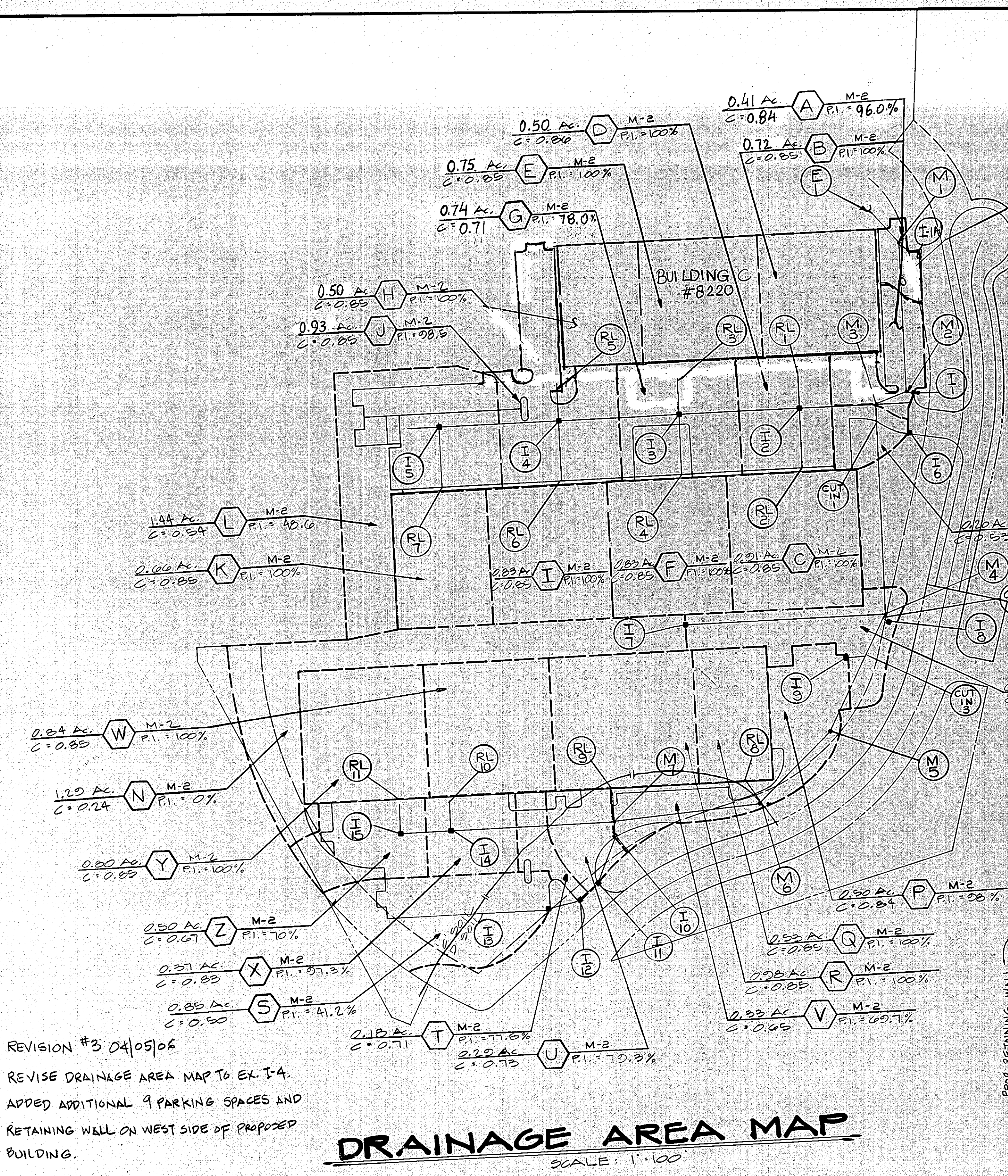
NO.	REVISION	DATE

PRIVATE SEWER

DORSEY RUN INDUSTRIAL PARK

6TH ELECTION DISTRICT

HOWARD COUNTY, MD

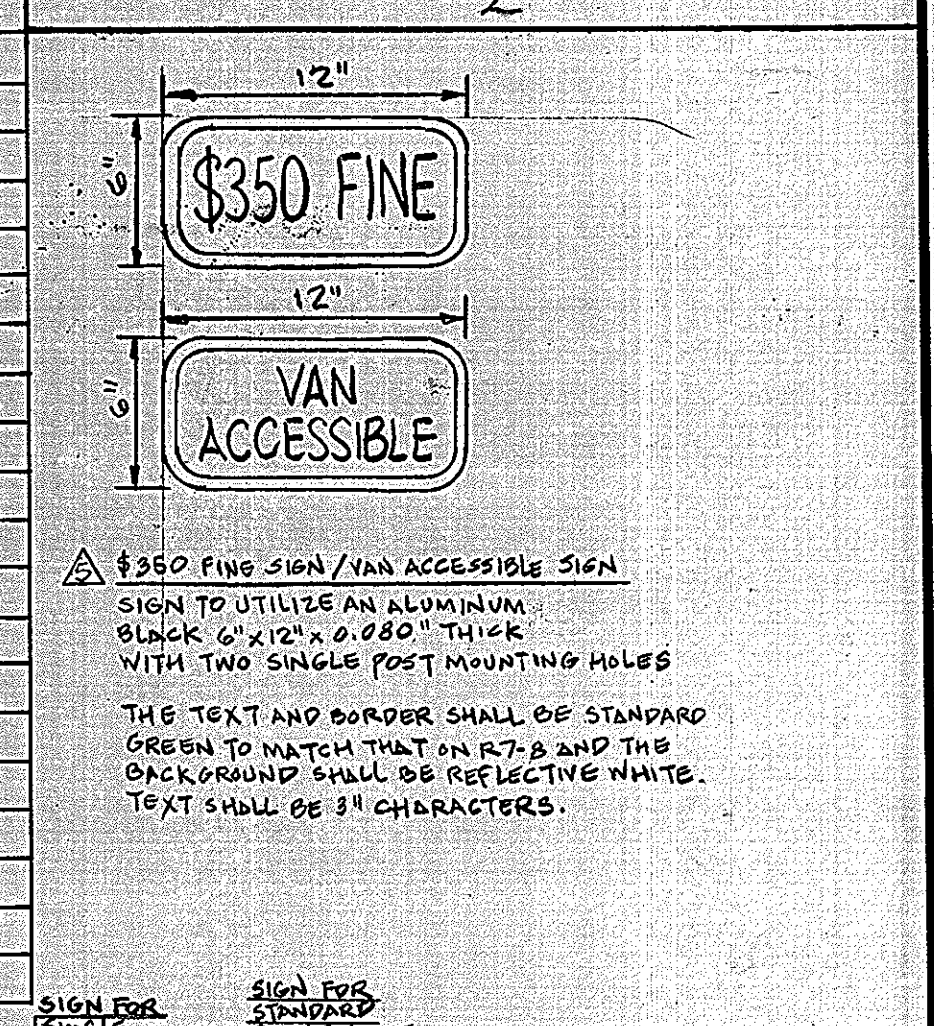


STRUCTURE SCHEDULE				
No.	TYPE	INV. IN	INV. OUT	TOP EL. REMARKS
I-1	DOUBLE 3" COMB.		179.25	184.00*
I-2	3" INLET	178.15	177.95	184.10
I-3	3" INLET	179.55	179.05	186.10
I-4	3" INLET	181.20	180.45	186.10
I-5	3" INLET	182.60	182.10	186.10
I-6	3" COMB.		179.20	183.00*
I-7	3" INLET		180.27	189.75
I-8	3" INLET		184.1	187.40
I-9	3" INLET		191.27	202.40
I-10	3" INLET	197.77	197.57	204.80*
I-11	DOUBLE 3" COMB.	198.77	198.57	202.60*
I-12	DOUBLE 3" COMB.	199.29	199.09	202.60*
I-13	3" INLET		200.19	203.75
I-14	3" INLET	200.64	200.37	205.50
I-15	3" INLET	201.77	201.54	205.50
I-1A	DOUBLE 3" COMB.		180.08	189.30*
M-1	STANDARD PRECAST M.H.	174.25	174.15	190.30
M-2		176.25	176.15	184.42
M-3		177.51	176.60	185.45
M-4		182.32	183.07	190.00
M-5		190.21	190.01	203.80
M-6		193.16	192.96	206.35
M-7	STANDARD PRECAST M.H.	194.71	190.40	204.45
E-1	TYPE A HEADWALL	173.00	173.00	170.00

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.



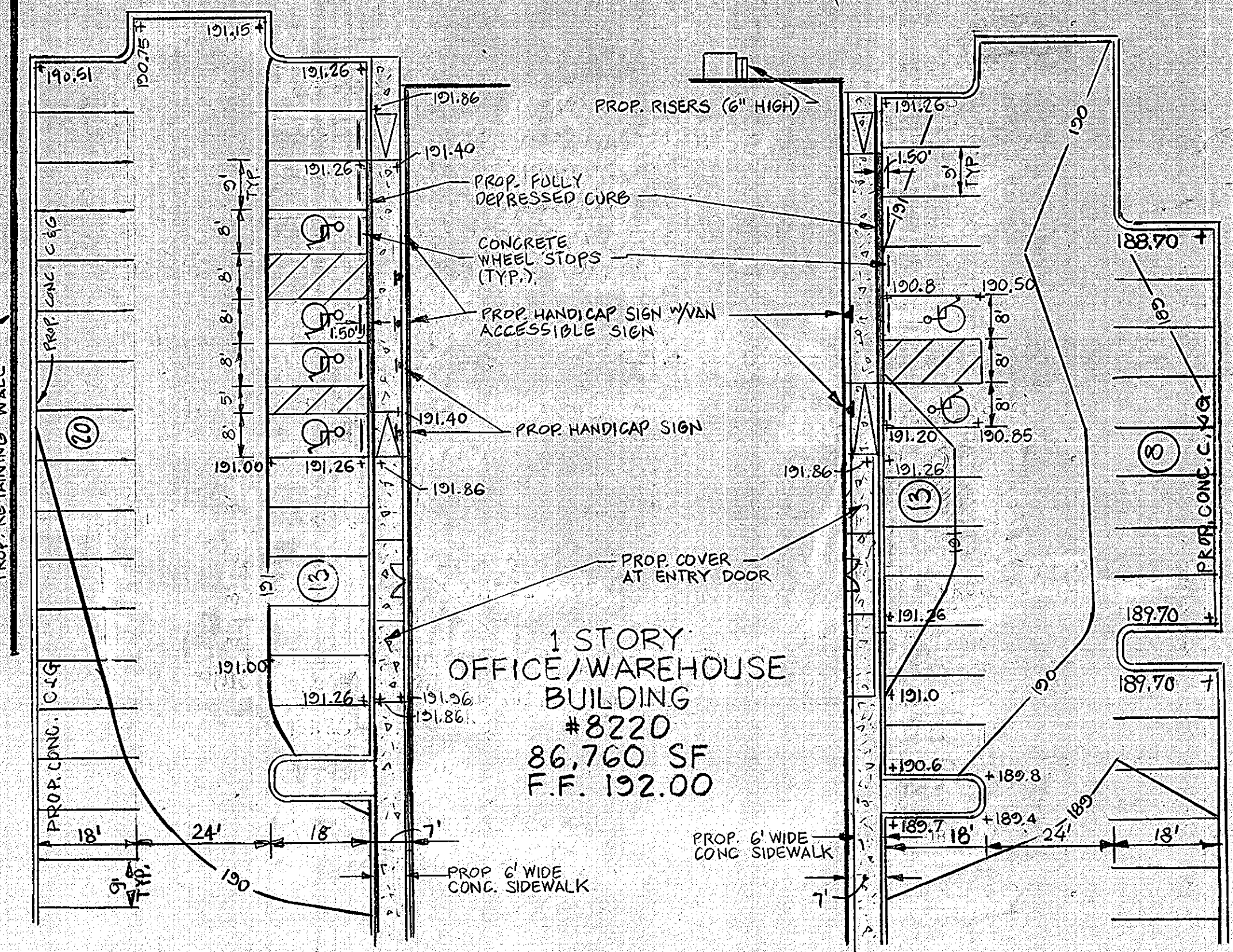
REVISION #3 04/05/06
 REVISE DRAINAGE AREA MAP TO EX. I-4.
 ADDED ADDITIONAL 9 PARKING SPACES AND
 RETAINING WALL ON WEST SIDE OF PROPOSED
 BUILDING.

DRAINAGE AREA MAP

SCALE: 1"=100'

REVISION #1 6/2/05
 REVISED DRAINAGE AREA MAP.
 ADDED I-1A TO STRUCTURE SCHEDULE.
 ADDED HANDICAP ACCESSIBLE ROUTE
 FOR PROPOSED BUILDING C.

REVISION #2
 RELOCATED LANDSCAPE ISLANDS
 AND HANDICAP SPACES, REVISED
 GRADING WITHIN HC SPACES,
 ADDED PROP. COVER AT ENTRY
 DOORS, INCREASED LENGTH OF
 DEPRESSED CURB.



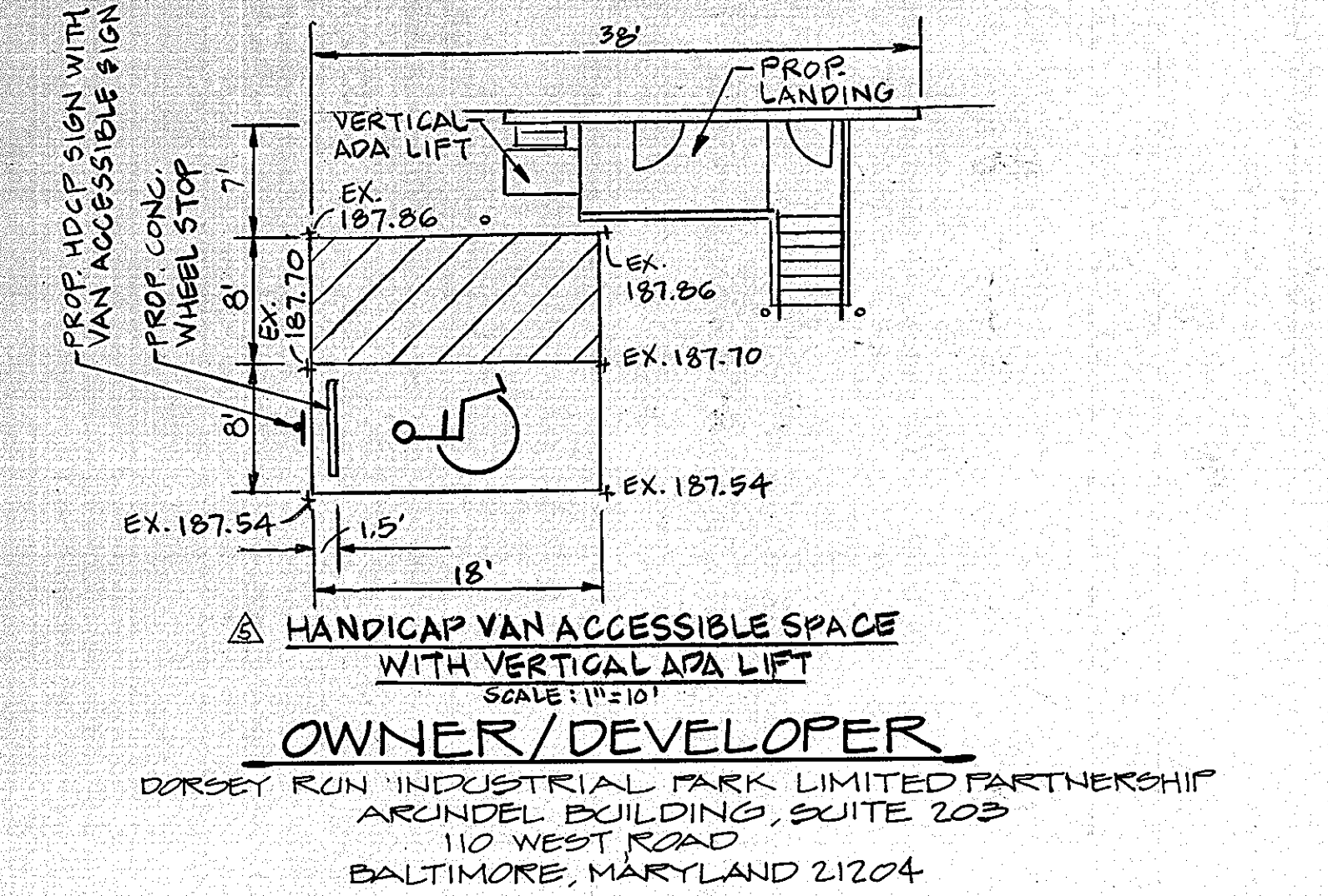
HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING - WEST SIDE AND EAST SIDE

SCALE 1"=20'

NOTE: SIGN TO BE A MIN. OF 2'-0" FROM FACE OF CURB.

SIGN COLORS
 - LETTERS AND BORDER - GREEN
 - WHITE H.C. SYMBOLS ON BLUE BACKGROUND
 - BACKGROUND - WHITE

DETAIL HANDICAP PARKING SIGNS
 NOT TO SCALE



DEVELOPER'S CERTIFICATION
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZED PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

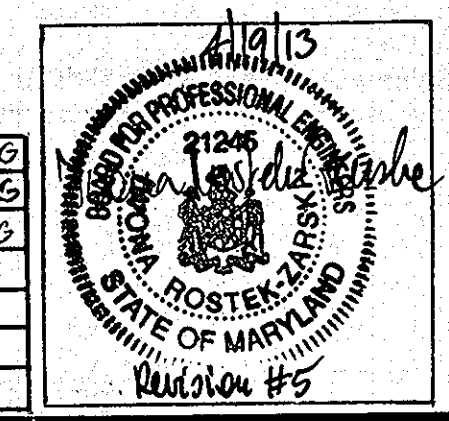
DATE: 1/26/05

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTICED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

DATE: 2/28/05

Revision #1 only
 Revision #2

DATE	DESCRIPTION	BY
10/7/05	REVISION #2	BLG
4/5/06	REVISION #3 NOTE TO THE LEFT.	BLG
3/18/08	REVISION #5	BLG

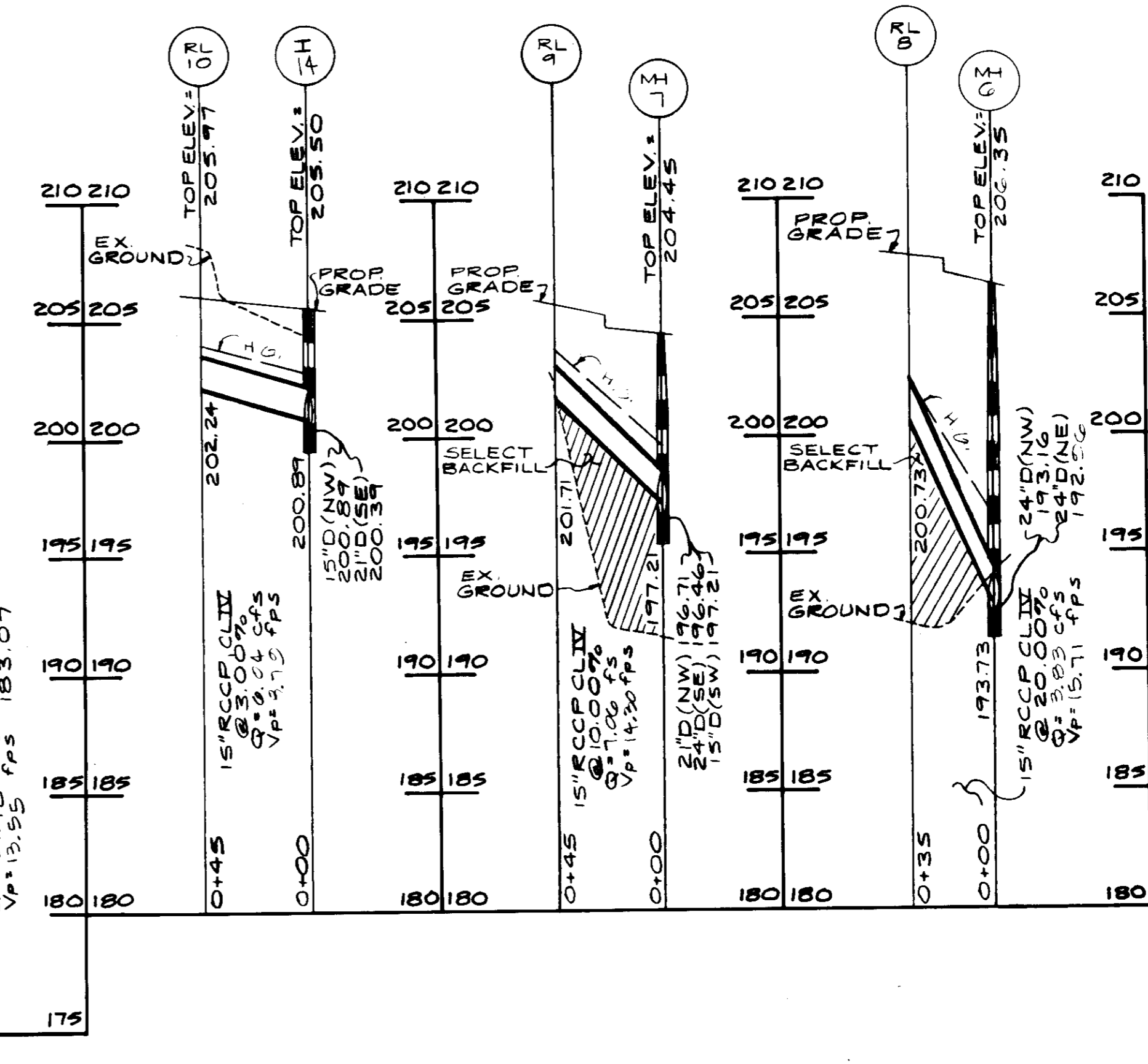
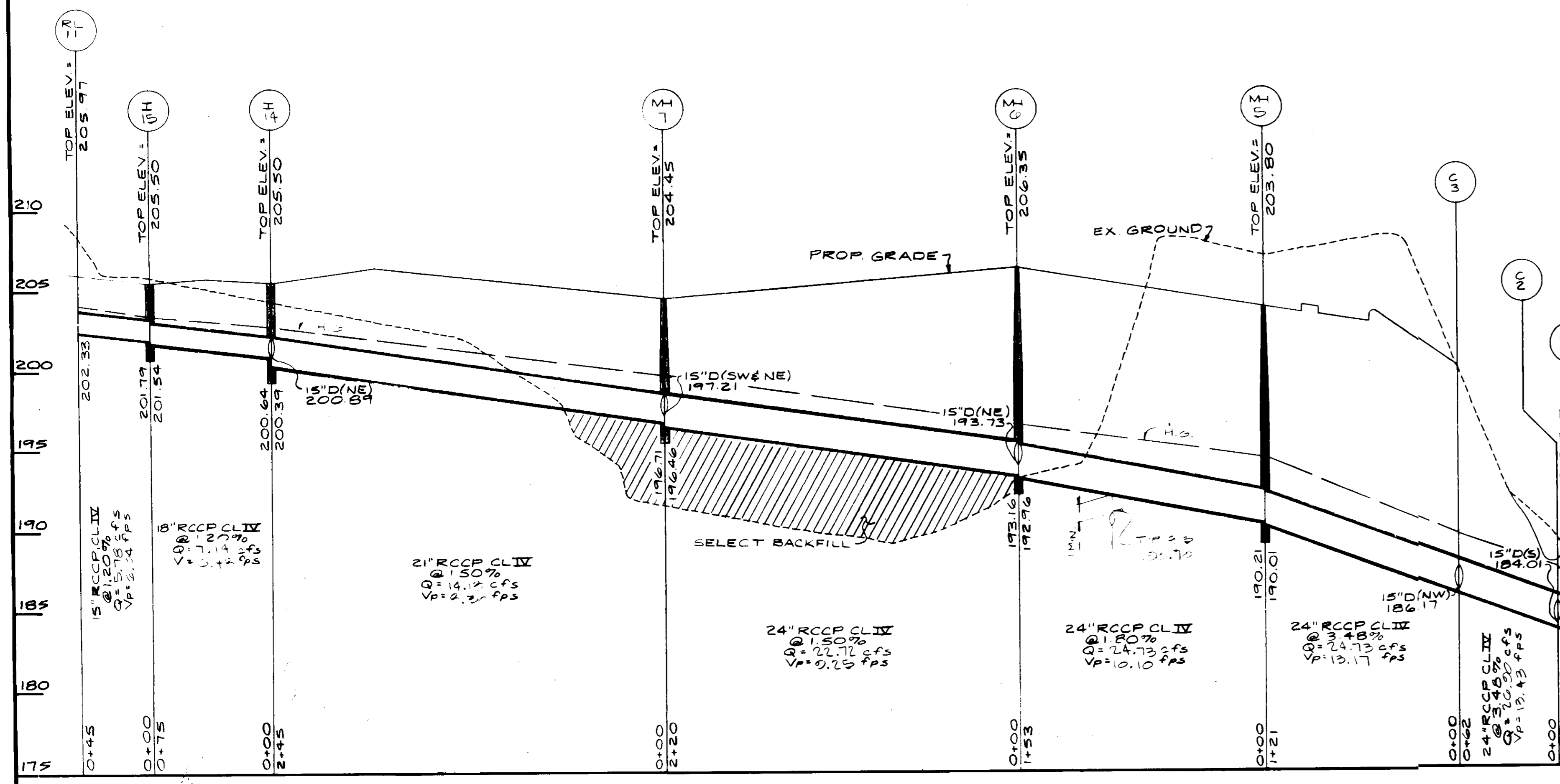
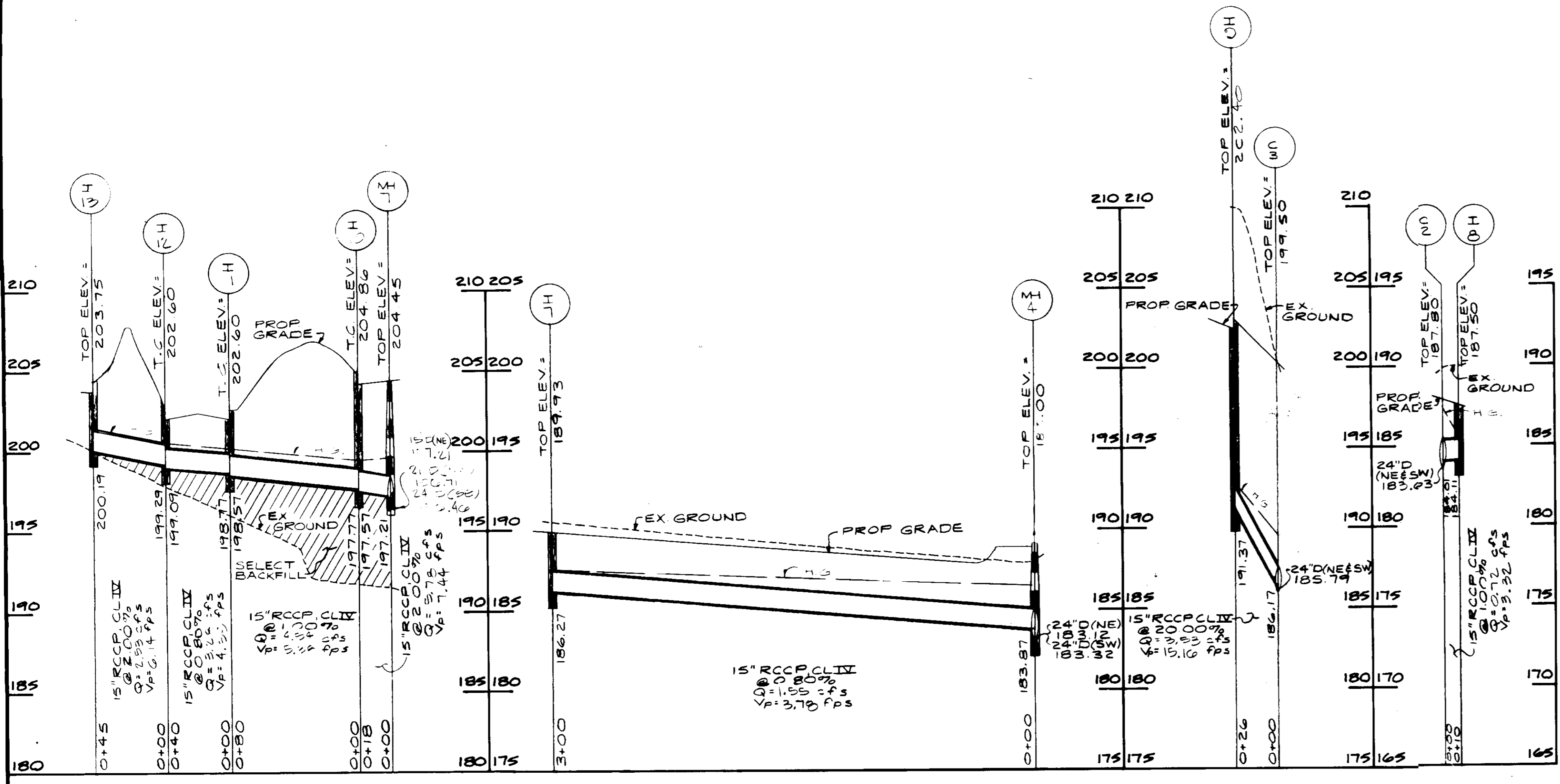


REVISION A MARCH 18, 2010
 ADDITION OF A VAN ACCESSIBLE
 HANDICAP SPACE WITH A VERTICAL
 ADA LIFT.



TITLE: STORM DRAIN
 DRAINAGE AREA MAP
 PROJECT: DORSEY RUN INDUSTRIAL PARK
 O.P.#2, FILE NOS.: S-08-00, F-09-99, SDF-09-130
 TAX MAP: 42 BLOCK: , PARCEL: 100
 6TH ELECTION DISTRICT: HOWARD COUNTY, MD.
 DES. BY: M.L.T. DRAWN BY: M.L.T. CHK. BY: T.H.M. DATE: 11-25-08

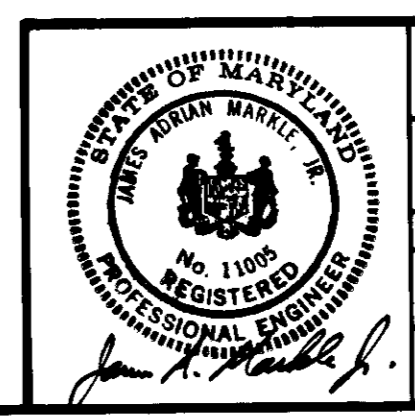
CIVIL ENGINEERS - SITE PLANNERS
 D&T haler & ASSOC. Inc.
 11 WARREN ROAD
 BALTIMORE, MD. 21.
 (301) 484-4100
 SCALE: AS NOTED SHEET 2 OF 15



PROFILES
HORIZ. 1" = 50'
VERT. 1" = 5'

OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 ARUNDEL BUILDING, SUITE 203
 110 WEST ROAD
 BALTIMORE, MARYLAND 21204

DATE	DESCRIPTION	BY



TITLE: **PROFILES STORMDRAIN**
 PROJECT: **DORSEY RUN INDUSTRIAL PARK**
 O.P. & Z. FILE NO.: S-53-49, P. 87-79, SPP-89-120
 TAX MAP: 42, BLOCK: 105
 6TH ELECTION DISTRICT: HOWARD COUNTY, MD.
 DES. BY: M.L.T. DRAWN BY: M.A.N. CHKD. BY: T.H.M. DATE: 11-25-58

CIVIL ENGINEERS - SITE PLANNERS SURVEYORS
DST&A Inc.
 11 WARREN ROAD
 BALTIMORE, MD. 21.
 12011 484-4100
 SCALE: AS SHOWN SHEET 14

REVIEWED FOR HOWARD S. C. D. AND MEETS TECHNICAL REQUIREMENTS
James M. Haler 5/9/89 DATE
 SOIL CONSERVATION SERVICE
 THIS DEVELOPMENT IS APPROVED SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
James M. Haler 4/1/89 DATE
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
James M. Haler 6-2-89 DATE
 COUNTY HEALTH OFFICER
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
James M. Haler 6-6-89 DATE
 PLANNING DIRECTOR
James M. Haler 4/6/89 DATE
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James M. Haler DATE
 CHIEF, BUREAU OF ENGINEERING DATE

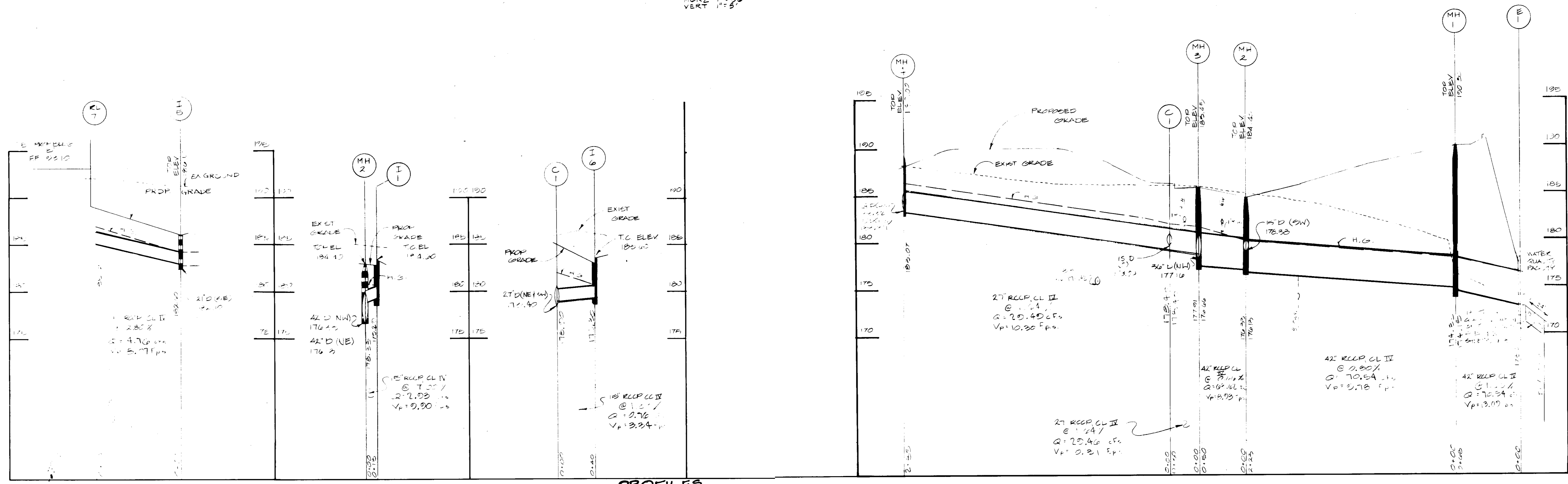
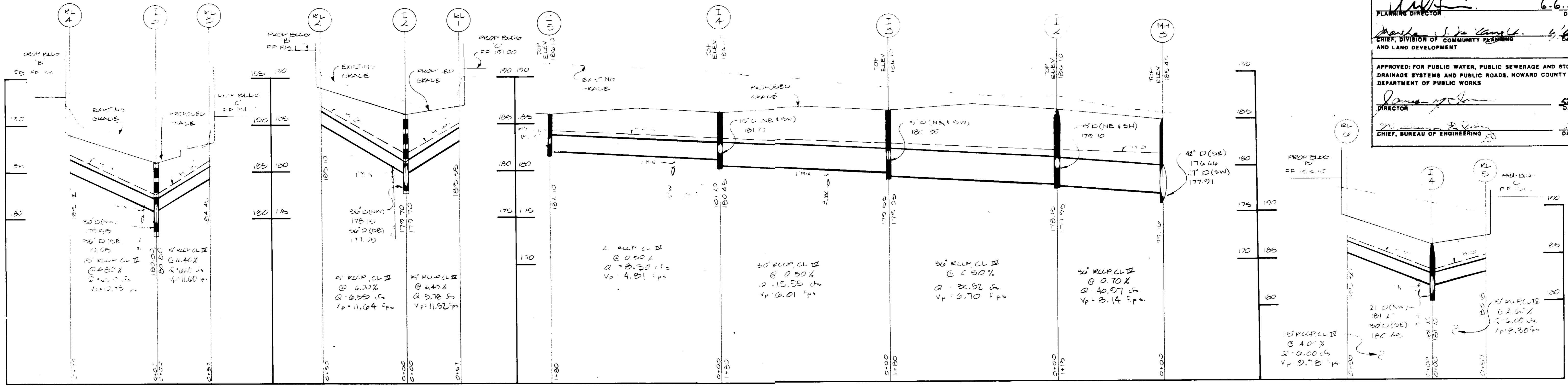
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT.
 J. [Signature] 6-2-89
 COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 [Signature] 6-6-89
 PLANNING DIRECTOR DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM
 DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 [Signature] 4/6/89
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

DIRECTOR [Signature] DATE

CHIEF, BUREAU OF ENGINEERING [Signature] DATE



OWNER / DEVELOPER
 DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 ARNOLD BUILDING, SUITE 203
 110 WEST ROAD
 BALTIMORE, MARYLAND 21204

DATE	DESCRIPTION	BY

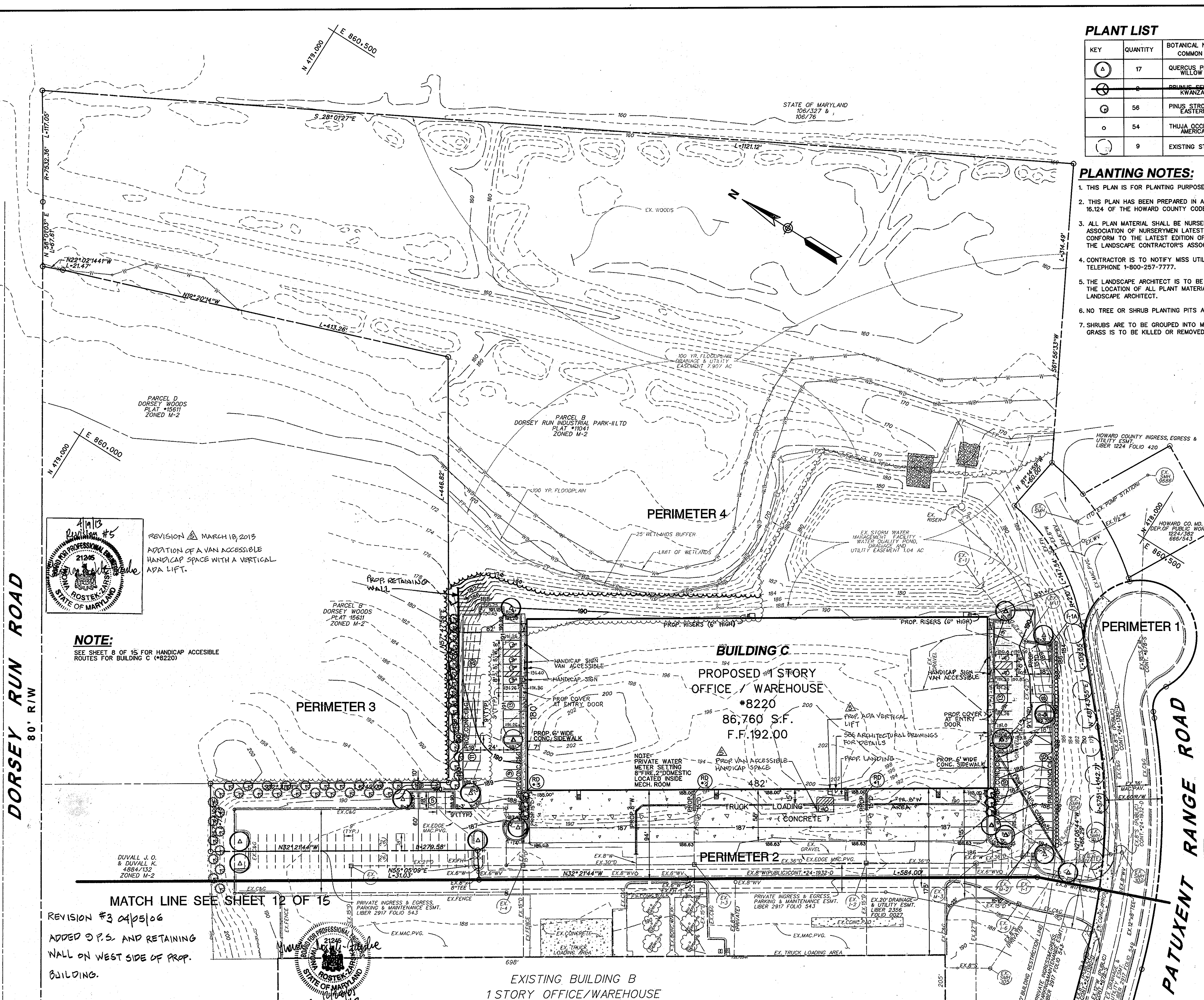
TITLE: STORM DRAIN PROFILES

PROJECT: DORSEY RUN INDUSTRIAL PARK

O.P. & Z. FILE NOS.: S-03-45, F89-99, SDP-89-130
 TAX MAP: 15, BLOCK: 1, PARCEL: 100
 ELECTION DISTRICT: HOWARD COUNTY, MD.

DES. BY: M.L.T. DRAWN BY: M.D.F. CHKD. BY: T.H.M. DATE: 11-25-85

CIVIL ENGINEERS - SITE PLANNERS SURVEYORS
DST&A Inc.
 11 WARREN ROAD
 BALTIMORE, MD. 21.
 (301) 484-4100
 SCALE: AS SHOWN SHEET 10 OF 14



PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
⊙	17	QUERCUS PHELLOS WILLOW OAK	2.5" CAL.	B & B	SPACE AS SHOWN
⊙	8	PRUNUS CERULEA IKWANZANI KWANZAN CHERRY	8'-10' HT.	B & B	SPACE AS SHOWN
⊙	56	PINUS STROBUS EASTERN WHITE PINE	6'-8' HT.	B & B	SPACE AS SHOWN
⊙	54	THUJA OCCIDENTALIS AMERICAN ARBORVITAE	3'-4' HT.	B & B	SPACE 4' O.C.
⊙	9	EXISTING STREET TREE		B & B	

PLANTING NOTES:

- THIS PLAN IS FOR PLANTING PURPOSES ONLY.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN LATEST STANDARDS. PLANT INSTALLATION MUST CONFORM TO THE LATEST EDITION OF THE "LANDSCAPE SPECIFICATION GUIDELINES" BY THE LANDSCAPE CONTRACTOR'S ASSOCIATION.
- CONTRACTOR IS TO NOTIFY MISS UTILITY A MINIMUM OF 72 HOURS PRIOR TO DIGGING. TELEPHONE 1-800-257-7777.
- THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN FIELD BY THE LANDSCAPE ARCHITECT.
- NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
- SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING.

**SCHEDULE A PERIMETER
LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES	
	1	2	3	4
Perimeter Number				
Landscape Type	E	NOT REQ'D	A	A
Linear Feet of Roadway Frontage/ Perimeter	305' LF (215' TRNG' E)	N/A	446 LF	1121 LF
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	N/A	N/A	N/A	YES-1121 LF
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	N/A	N/A	N/A	NO
Number of Plants Required	8	0	7	0
Shade Trees	0	0	0	0
Evergreen Trees	54	0	0	0
Shrubs				
Number of Plants Provided	8	0	3	0
Shade Trees	0	0	48	0
Evergreen Trees	0	0	0	0
Other Trees (2:1 substitution)	0	0	0	0
Shrubs (10:1 substitution)	54	0	0	0

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	85
Number of Trees Required	4
Number of Trees Provided	4
Shade Trees	
Other Trees (2:1 substitution)	
Internal Islands Required	4
Internal Islands Provided (Min. 200 S.F.)	

NOTE:

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

DEVELOPER'S / BUILDER'S CERTIFICATE:

IF WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY LANDSCAPE MANUAL, I, WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATE OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

James S. White Jr. 7/25/05
SIGNATURE DATE

NOTE: CONTRACTOR TO CHECK WITH MARYLAND AVIATION ADMINISTRATION MR. JOE CORBETT @ 410-859-7370 IF ANY SUBSTITUTIONS ARE REQUIRED.

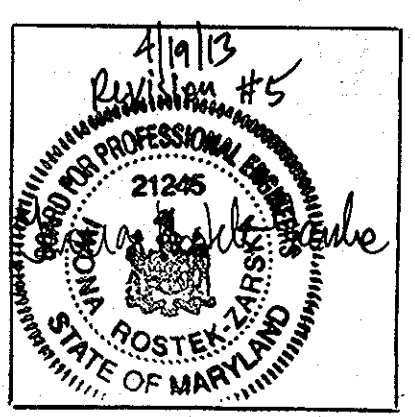
- THIS PLAN IS FOR PLANTING PURPOSES ONLY.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN LATEST STANDARDS. PLANT INSTALLATION MUST CONFORM TO THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF THE "LANDSCAPE SPECIFICATION GUIDELINES" BY THE LANDSCAPE CONTRACTOR'S ASSOCIATION.

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT UNDER SDP-B9-130.
 (10) SHADE TREES @ \$300 EACH \$3,000.00
 (15) SHRUBS @ \$20 EACH \$3,000.00
 \$6,000.00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING		
Chief, Development Engineering Division	<i>[Signature]</i>	Date: 5-12-05
Chief, Land Development Division	<i>[Signature]</i>	Date: 5/12/05
Director	<i>[Signature]</i>	Date: 5/12/05

ADDRESS CHART				
LOT / PARCEL NO.	STREET ADDRESS			
PARCEL B (8,062')	8220 PATUXENT RANGE ROAD			
PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.		
DORSEY RUN INDUSTRIAL PARK	N / A	P. 109		
PLAT NO.	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.
11041	2	M - 2	48	6TH
WATER CODE	SEWER CODE			
B02	3020000			



REVISION #3 MARCH 18, 2013
ADDITION OF A VAN ACCESSIBLE HANDICAP SPACE WITH A VERTICAL ADA LIFT.

NOTE:
SEE SHEET 8 OF 15 FOR HANDICAP ACCESSIBLE ROUTES FOR BUILDING C (#8220)



REVISION #2
RELOCATED TWO LANDSCAPE ISLANDS, INCREASED LENGTH OF TRUCK LOADING AREA, RELOCATED PROP. TREES WITHIN REVISED ISLANDS.

EXISTING BUILDING B
1 STORY OFFICE/WAREHOUSE
#8240
F.F. ELEV. 193.10 +/-
PERMIT #27643

PARCEL A
DORSEY RUN INDUSTRIAL PARK-ILTD
PLAT #11041
ZONED M-2

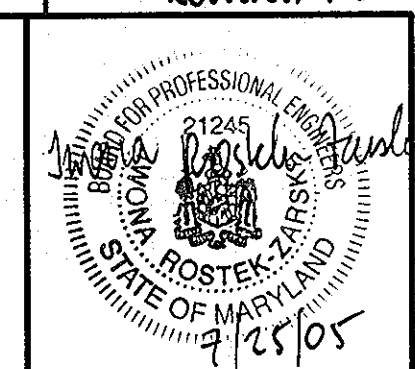
**REVISE LANDSCAPING FOR BUILDING C

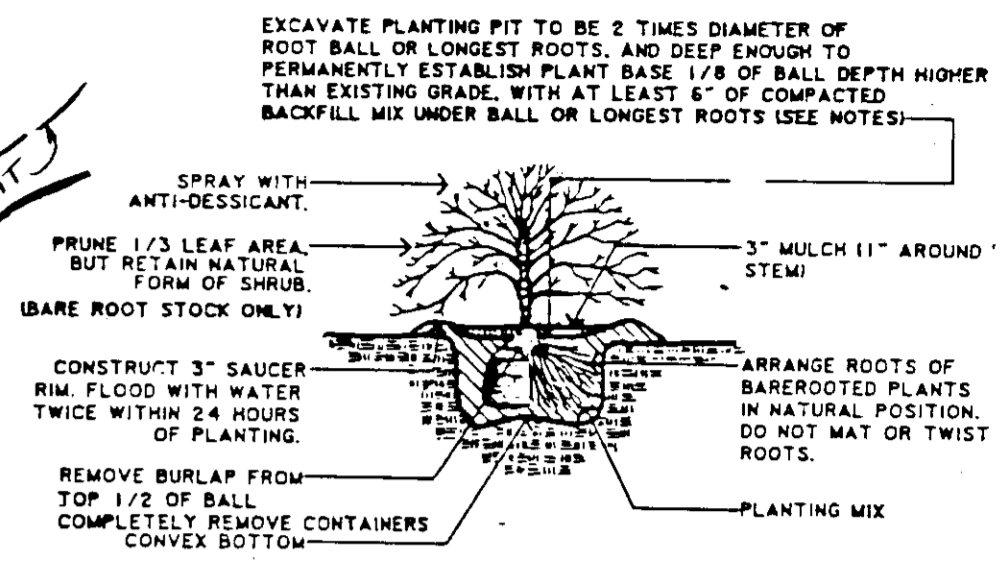
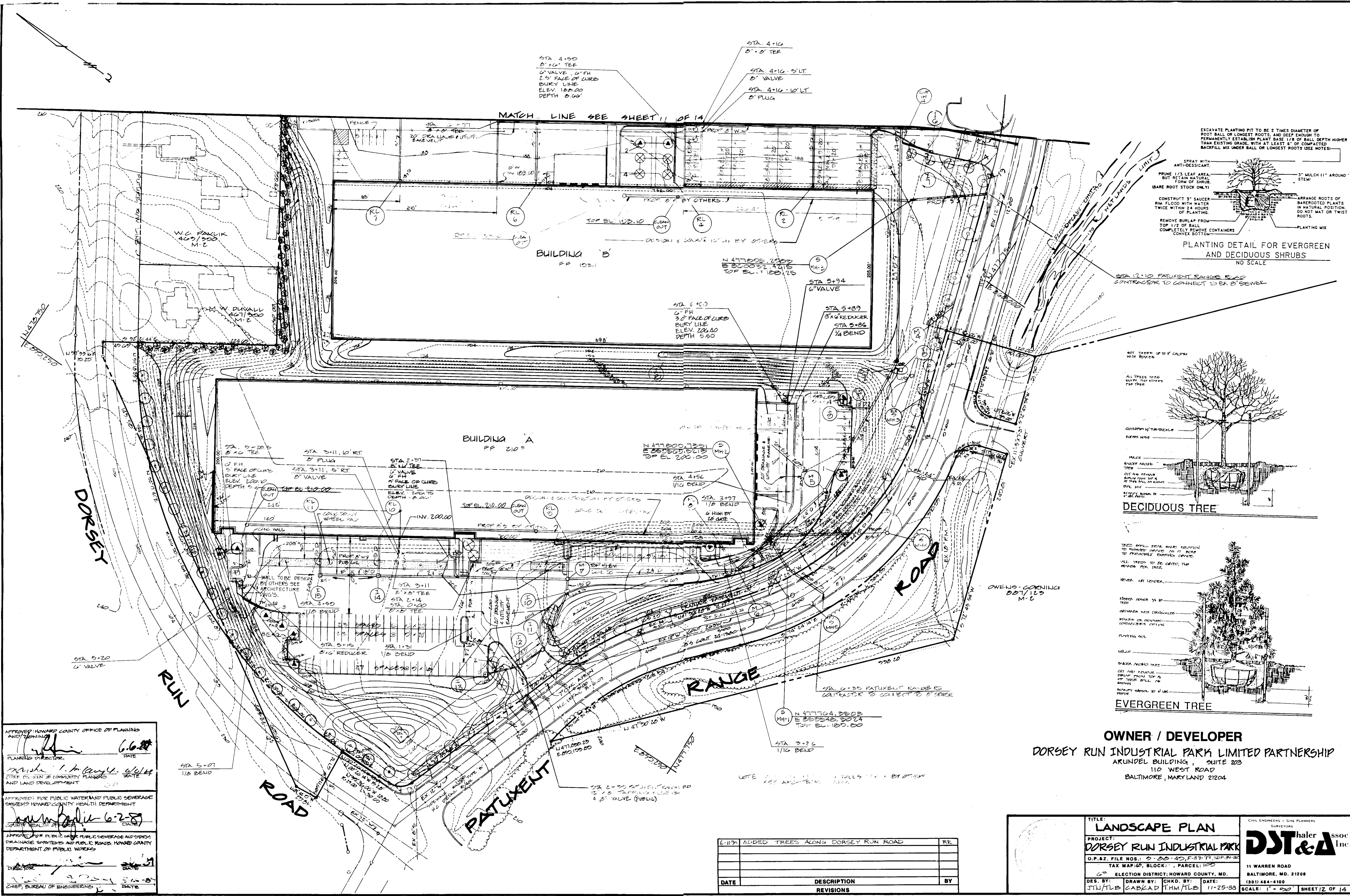
OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL
PARK LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
6/2/05	**REVISION #1	BLDG, INC.
10/7/05	REVISION #2	BLDG, INC.
04/09/06	REVISION #3 NOTE TO THE LEFT	BLDG, INC.
3/18/13	REVISION #6	BLDG, INC.

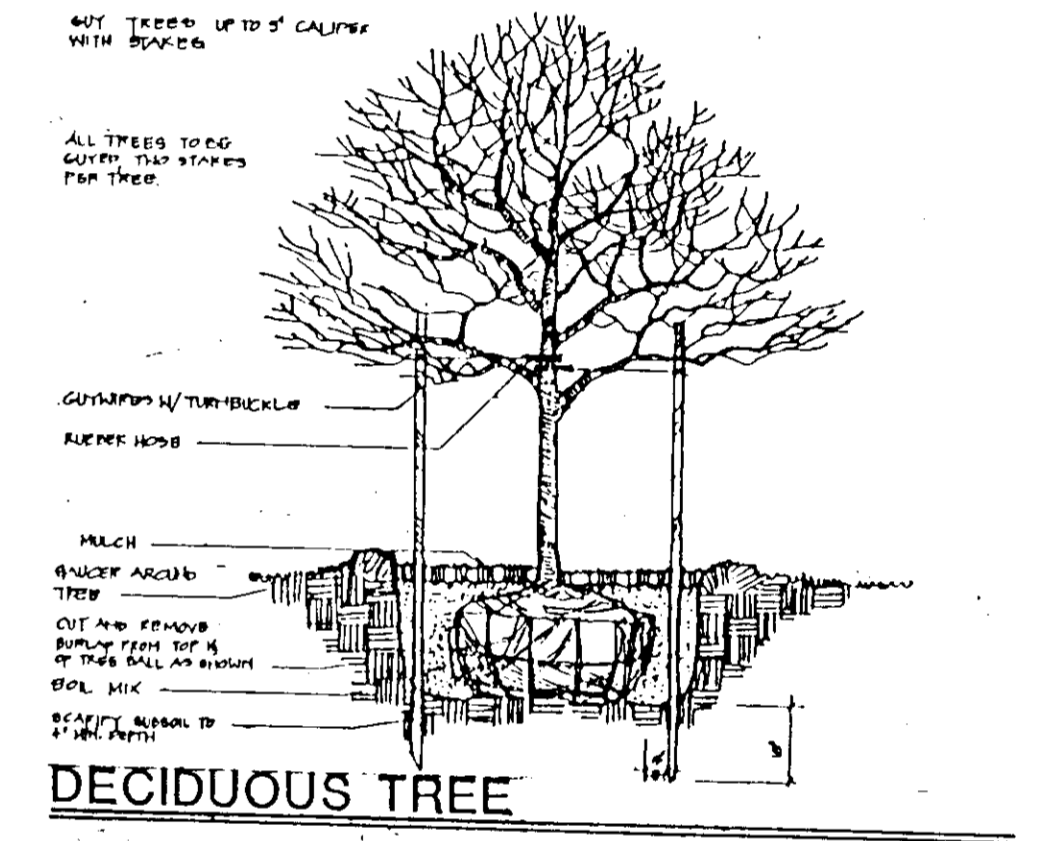
**REVISED SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
DORSEY RUN INDUSTRIAL PARK**
PARCEL B
SDP-B9-130
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
SHEET 11 OF 15
DATE: JULY, 2005

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21093
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

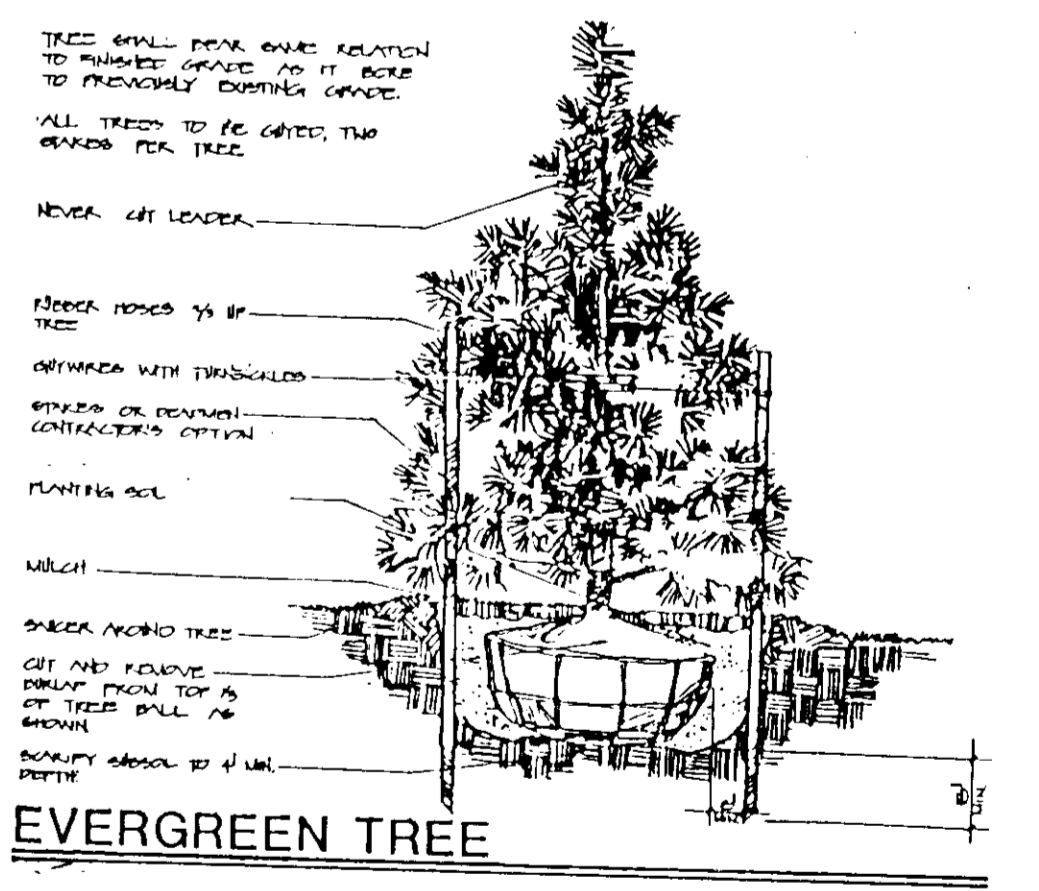




PLANTING DETAIL FOR EVERGREEN AND DECIDUOUS SHRUBS
NO SCALE



DECIDUOUS TREE



EVERGREEN TREE

OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 ARUNDEL BUILDING, SUITE 203
 110 WEST ROAD
 BALTIMORE, MARYLAND 21204

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 DATE: 6-6-88
 PLANNING DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS: HOWARD COUNTY HEALTH DEPARTMENT
 DATE: 6-2-88
 COUNTY HEALTH OFFICER

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DATE: 6-2-88
 CHIEF, BUREAU OF ENGINEERING

DATE	DESCRIPTION	BY
6-11-88	ADDED TREES ALONG DORSEY RUN ROAD	RE

TITLE: LANDSCAPE PLAN

PROJECT: DORSEY RUN INDUSTRIAL PARK

O.P.#2, FILE NOS.: 5-88-40, F-87-19, S-87-10

TAX MAP: 40, BLOCK: 1, PARCEL: 103

ELECTION DISTRICT: HOWARD COUNTY, MD.

DES. BY: JTL/TLB DRAWN BY: CHKD. BY: DATE: 11-25-88

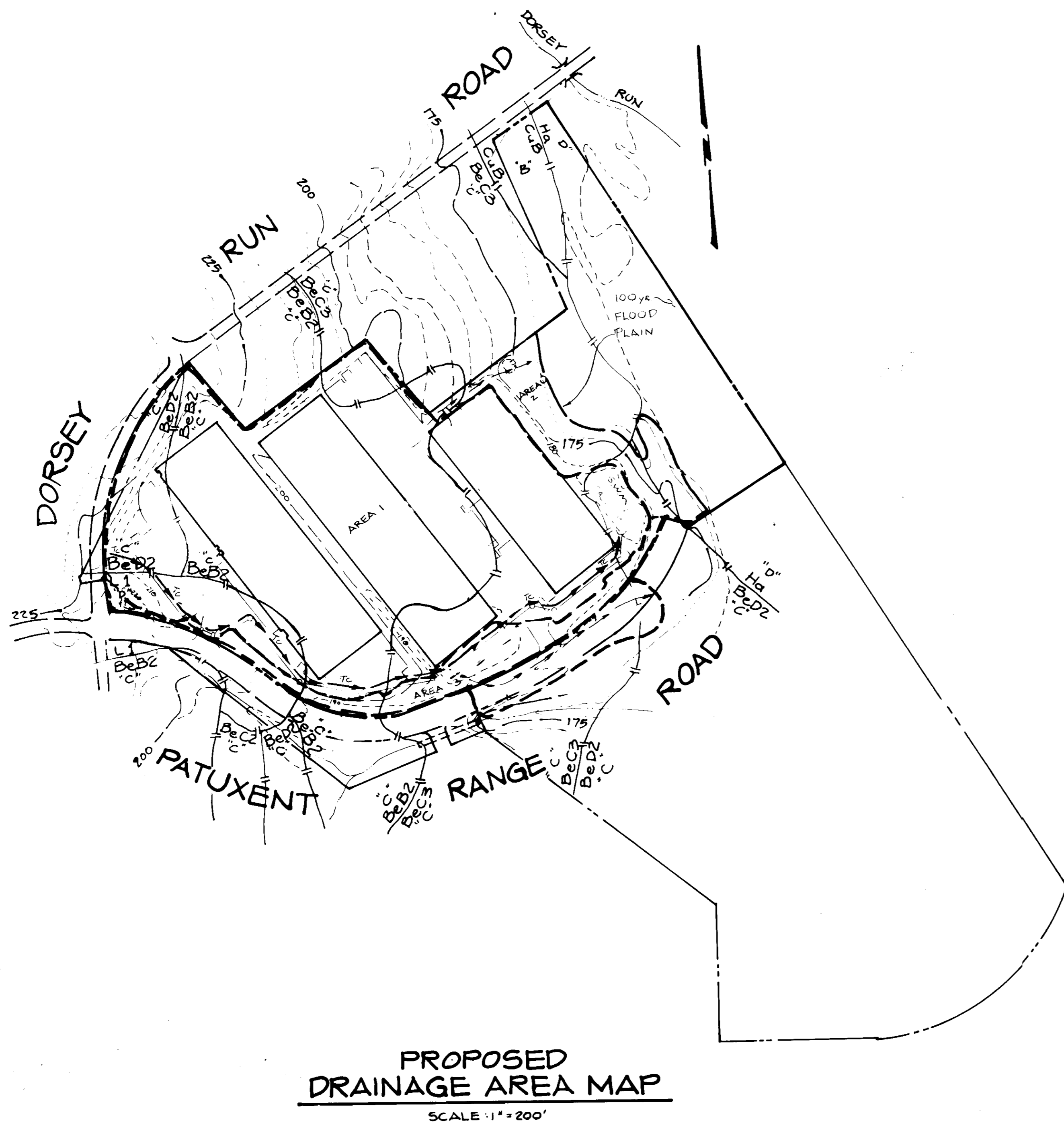
CIVIL ENGINEERS - SITE PLANNERS SURVEYORS

DST&A Assoc. Inc.

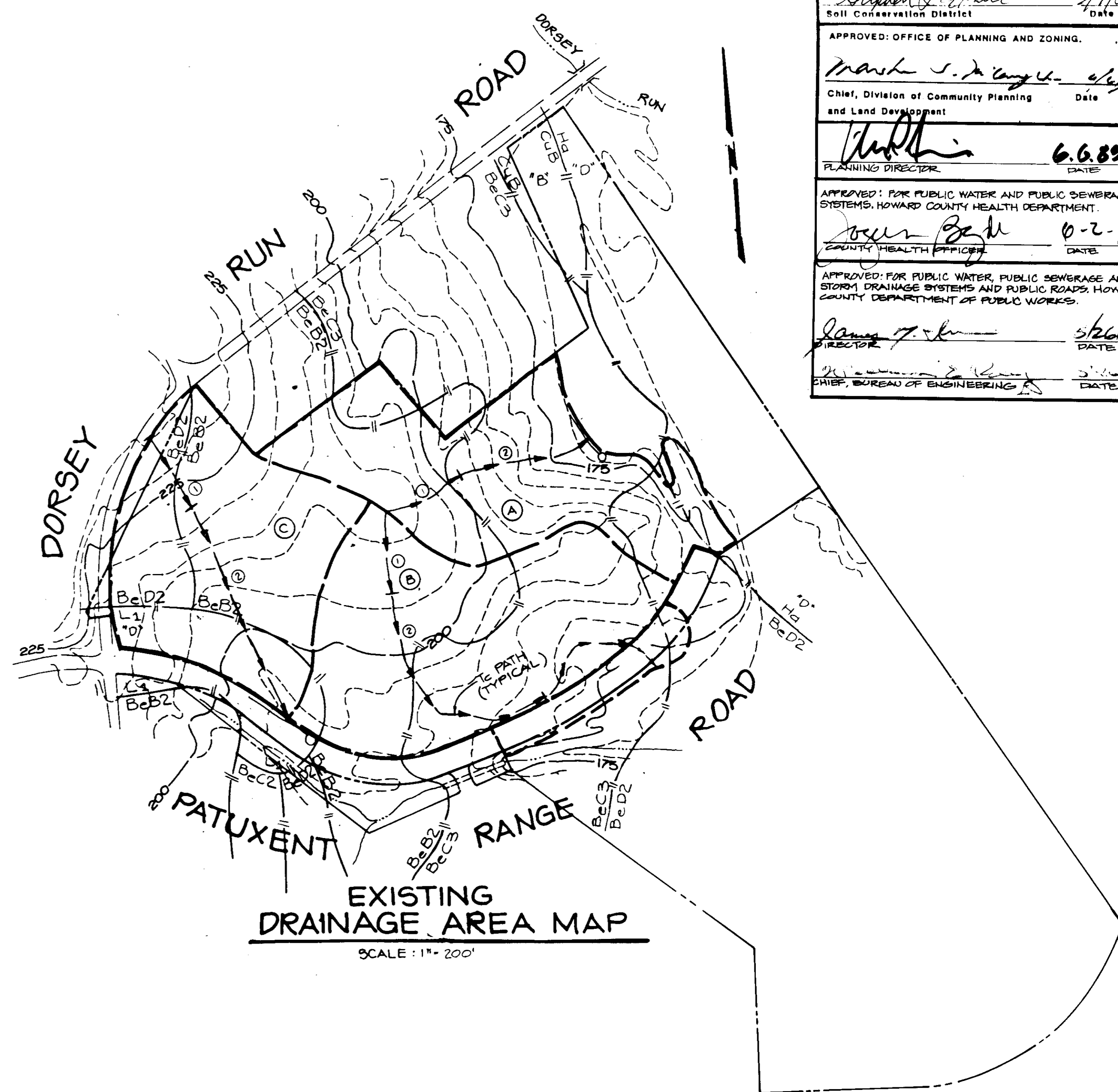
11 WARREN ROAD
 BALTIMORE, MD. 21208
 (301) 484-4100

SCALE: 1" = 20'

SHEET 12 OF 14



PROPOSED DRAINAGE AREA MAP
SCALE: 1" = 200'



EXISTING DRAINAGE AREA MAP
SCALE: 1" = 200'

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

James H. Haler 5/19/89
Soil Conservation Service Date

THIS DEVELOPMENT IS APPROVED FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Stephen L. Fisher 5/7/89
Soil Conservation District Date

APPROVED: OFFICE OF PLANNING AND ZONING, and Land Development

Mark S. Langley 6/6/89
Chief, Division of Community Planning and Land Development Date

John 6.6.89
PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Boyer Bell 6-2-89
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

James F. ... 5/26/89
DIRECTOR DATE

... 5/26/89
CHIEF, BUREAU OF ENGINEERING DATE

DEVELOPER'S CERTIFICATION

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

John H. Haler 10/26/88
DEVELOPER DATE

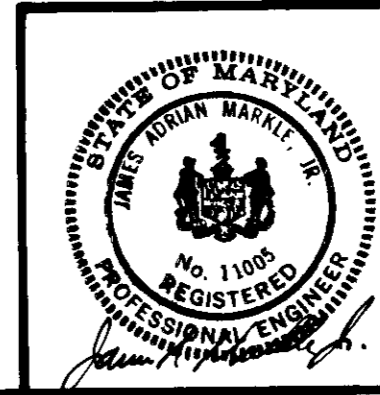
ENGINEER'S CERTIFICATION

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

John A. Hailer, Jr. 2/28/89
ENGINEER DATE

DATE	DESCRIPTION	BY

OWNER/DEVELOPER
DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
ARUNDEL BUILDING, SUITE 203
110 WEST ROAD
BALTIMORE, MARYLAND 21204



TITLE: WATER QUALITY & S.W.M. DRAINAGE AREA MAP
PROJECT: DORSEY RUN INDUSTRIAL PARK
O.P.&Z. FILE NOS.: S-88-49, F&T-77, SDP-89-130
TAX MAP: 45, BLOCK: , PARCEL: 123
ELECTION DISTRICT: HOWARD COUNTY, MD.
DES. BY: RLR, DRAWN BY: RLR, CHKD. BY: THM, DATE: 12-9-89

CIVIL ENGINEERS & SITE PLANNERS SURVEYORS
DST & A Inc.
11 WARREN ROAD
BALTIMORE, MD. 21205
(301) 484-4100
SCALE: 1" = 200' SHEET 14 OF 14

STANDARDS AND SPECIFICATIONS FOR STORM WATER MANAGEMENT PONDS

I. SITE PREPARATION

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, rocks and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1.

Areas to be covered by the pond or reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise noted on the plans. Topsoil shall be spread and a top layer of approximately 2 inches of topsoil shall be placed on the ground surface.

All cleared and grubbed material shall be disposed of outside and below the 1 mile of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

II. EARTH FILL

The fill material shall be taken from approved designed borrow area or areas. It shall be free of roots, stumps, wood, rubbish, concrete blocks or other objectionable materials. The embankment shall be constructed to an elevation which provides for anticipated settlement to the design elevation. The fill height all along the length of the embankment shall be increased above the design elevation (including freeboard) as shown on the plans.

Placement Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be compacted over the entire length of the fill. The most porous borrow material shall be placed in the downstream portions of the embankment.

Compaction The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by the front or rear track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction can be obtained with the equipment used.

Where a minimum required density is specified, each layer of fill shall be compacted as necessary to obtain that density and is to be certified by the Engineer.

III. STRUCTURAL BACKFILL

Backfill material shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe unless there is a compacted fill of twenty-four inches or greater over the structure or pipe.

IV. PIPE CONDUITS

All pipes shall be circular in cross section.

A. Corrugated Metal Pipe

1. Materials - (Steel Pipe) - This pipe and its appurtenances shall be galvanized and fully bituminous coated and shall conform to the requirements of AASHTO Specification M-190 Type A with watertight coupling bands. Any bituminous coating compound.

2. Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Watertight coupling bands or flanges shall be used for all joints. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Dimple bands are not considered to be watertight.

3. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

4. Laying pipe - The pipe shall be placed with inside circumferential laps pointing downstream and with the longitudinal laps at the sides.

5. Backfilling shall conform to structural backfill as shown above.

6. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

B. Reinforced Concrete Pipe

- 1. Materials - Reinforced concrete pipe shall have a rubber gasket joint and shall conform to or exceed ASTM Specification C-361. An approved equivalent is ASTM Specification C-301.
2. Bedding - All reinforced concrete pipe conduits shall be laid in a concrete bedding for their entire length. This bedding shall consist of a 4" slump concrete placed under the pipe and up the sides of the pipe at least 10% of its outside diameter with a minimum thickness of 1" or as shown on the drawings.
3. Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire length, the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe.
4. Backfilling shall conform to the structural backfill as shown above.
5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.
6. For pipes of other materials, specific specifications shall be shown on the drawings.

C. CONCRETE

- 1. Materials
a. Cement - Normal Portland cement shall conform to the latest ASTM Specification C-150.
b. Water - The water used in concrete shall be clean, free from oil, acid, alkali, scales, organic matter or other objectionable substances.
c. Sand - The sand used in concrete shall be clean, hard, strong and durable, and shall be well graded with 100 percent passing a No. 40 sieve and 5 percent passing a No. 20 sieve.
d. Coarse Aggregate - The coarse aggregate shall be clean, hard, strong and durable, and free from clay or dirt. It shall be well graded with a maximum size of one and one-half (1 1/2) inches.
e. Reinforcing Steel - The reinforcing steel shall be deformed bars of intermediate grade billet steel or rail steel conforming to ASTM Specification A-615.

- 2. Design Mix - The concrete shall be mixed in the following proportions, measured by weight: the water-cement ratio shall be 5-1/2 to 6-1/2 gallons of water per 94 pound bag of cement. The proportion of materials for the trial mix shall be 1:2:3-1/2. The combination of aggregates may be adjusted to produce a plastic and workable mix that will not produce harshness in placing or honeycombing in the structure.
3. Mixing - The concrete ingredients shall be mixed in batch mixers until the mixture is homogeneous and of uniform consistency. The mixing of each batch shall continue for not less than one and one-half minutes after all the ingredients, except the full amount of water, are in the mixer. The minimum mixing time is predicted on proper control of the speed of rotation of the mixer and of the introduction of the materials, including water, into the mixer. Water shall be added prior to, during, and following the introduction of the materials. Truck mixing will be allowed provided that the use of this method shall cause no violation of any applicable provisions of the specifications given here.

- 4. Forms - The forms shall have sufficient strength and rigidity to hold the concrete and to withstand the necessary pressure, lapping, and vibration without deflection from the prescribed lines. They shall be mortar-tight and constructed so that they can be removed without hammering or prying against the concrete.
5. Reinforcing Steel - All reinforcing material shall be free of dirt, rust, scale, oil, paint or any other coatings. The steel shall be accurately placed and securely tied and blocked into position so that no movement of the steel will occur during placement of concrete.

- 6. Consolidating - Concrete shall be consolidated with internal type mechanical vibrators. Vibration shall be supplemented by spading and hand tamping as necessary to insure smooth and dense concrete along form surfaces, in corners, and around embedded items.
7. Finishing - Defective concrete, honeycombed areas, voids left by the removal of the rods, ridges on all concrete surfaces permanently exposed to view or exposed to water after the removal of forms. All voids shall be removed and completely filled with dry-patching mortar.

- 8. Protection and Curing - Exposed surfaces of concrete shall be protected from the direct rays of the sun for at least the first three (3) days. All concrete shall be kept continuously moist for at least ten (10) days after being placed. Moisture may be applied by spraying or sprinkling as necessary to prevent the concrete from drying. Concrete shall not be exposed to freezing during the curing period. Curing compounds may also be used.

- 9. Placing Temperature - Concrete may not be placed at temperatures below 32 degrees F with the temperature falling, or 36 degrees with the temperature rising.

VI. STABILIZATION

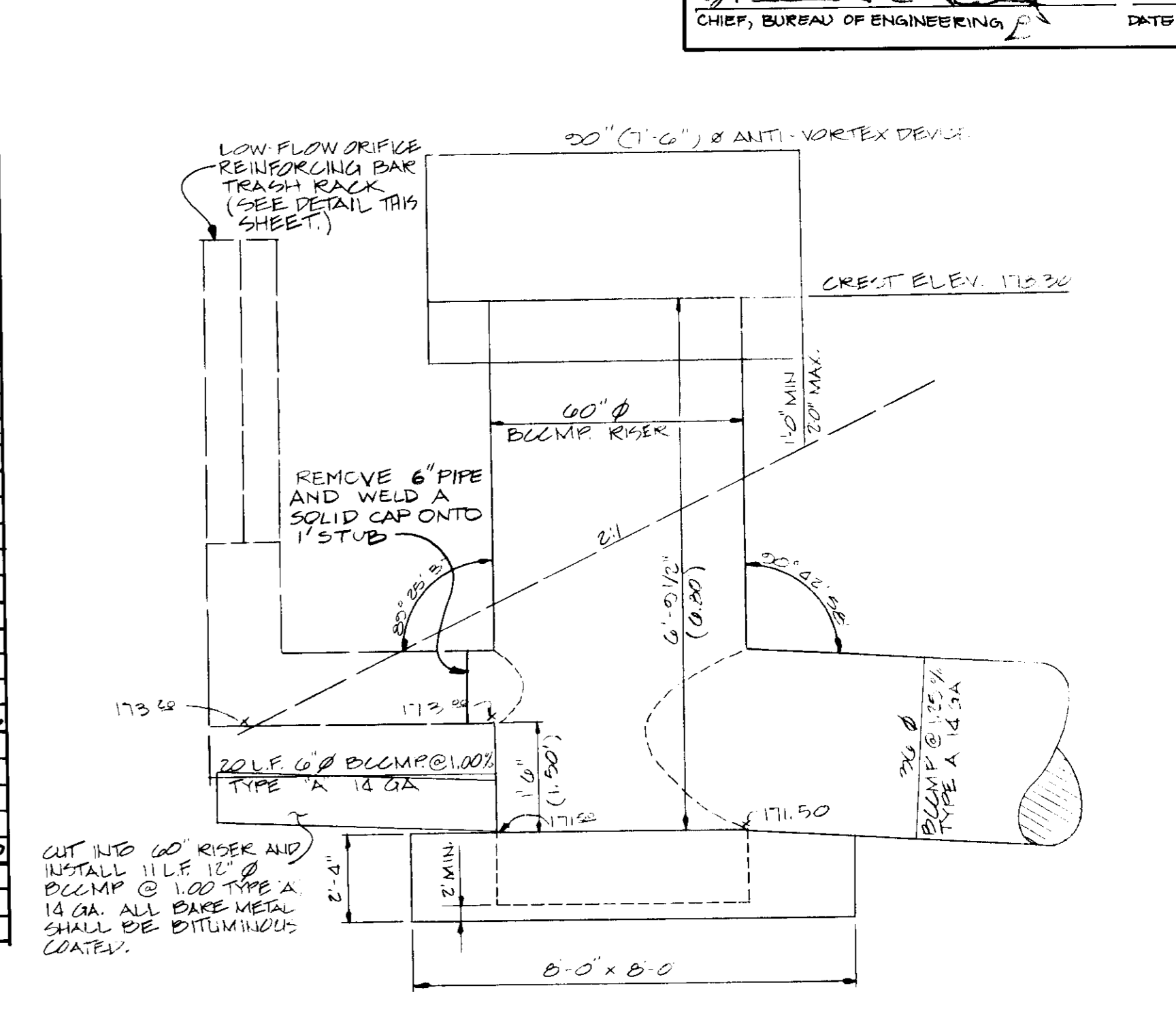
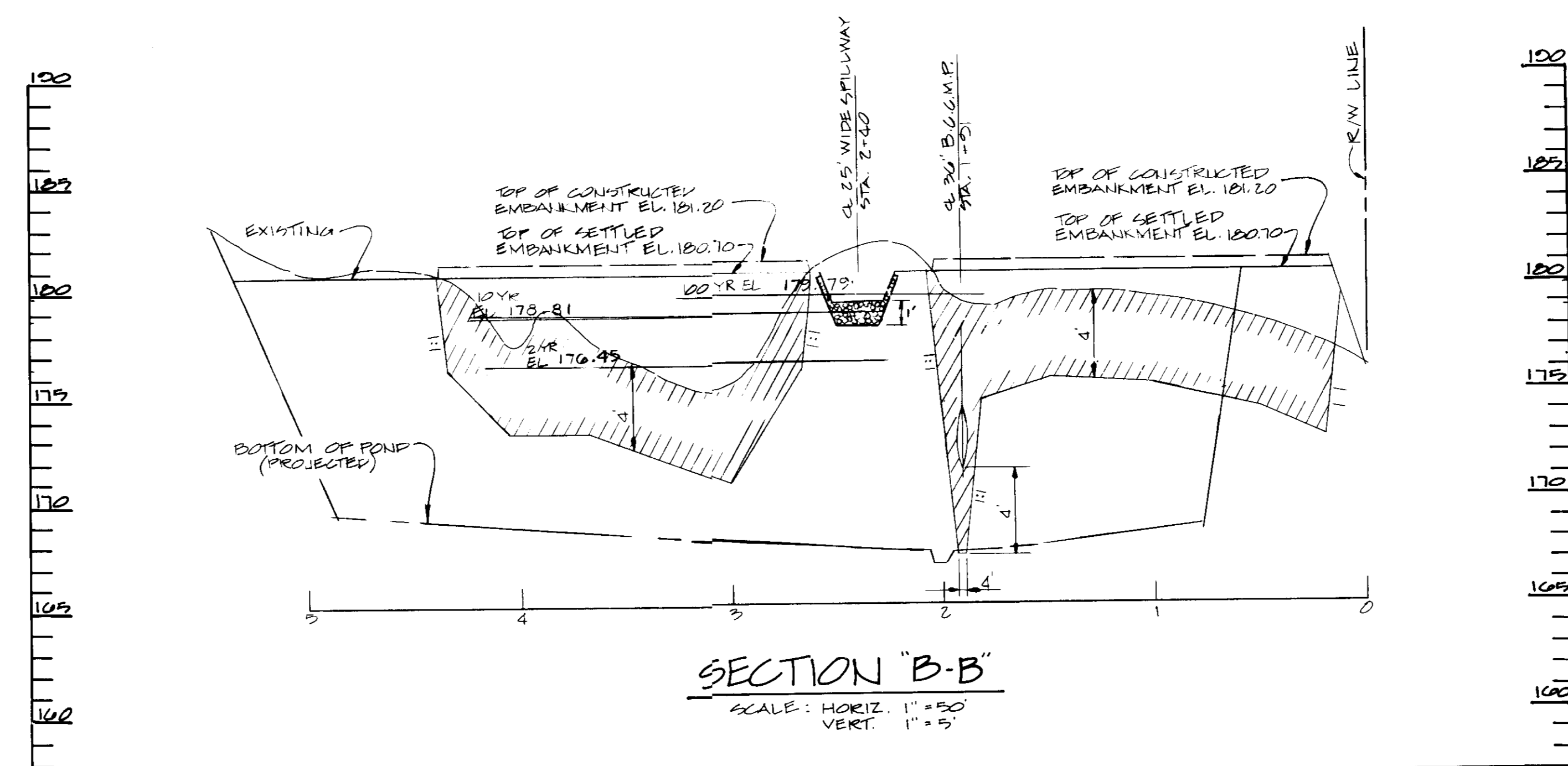
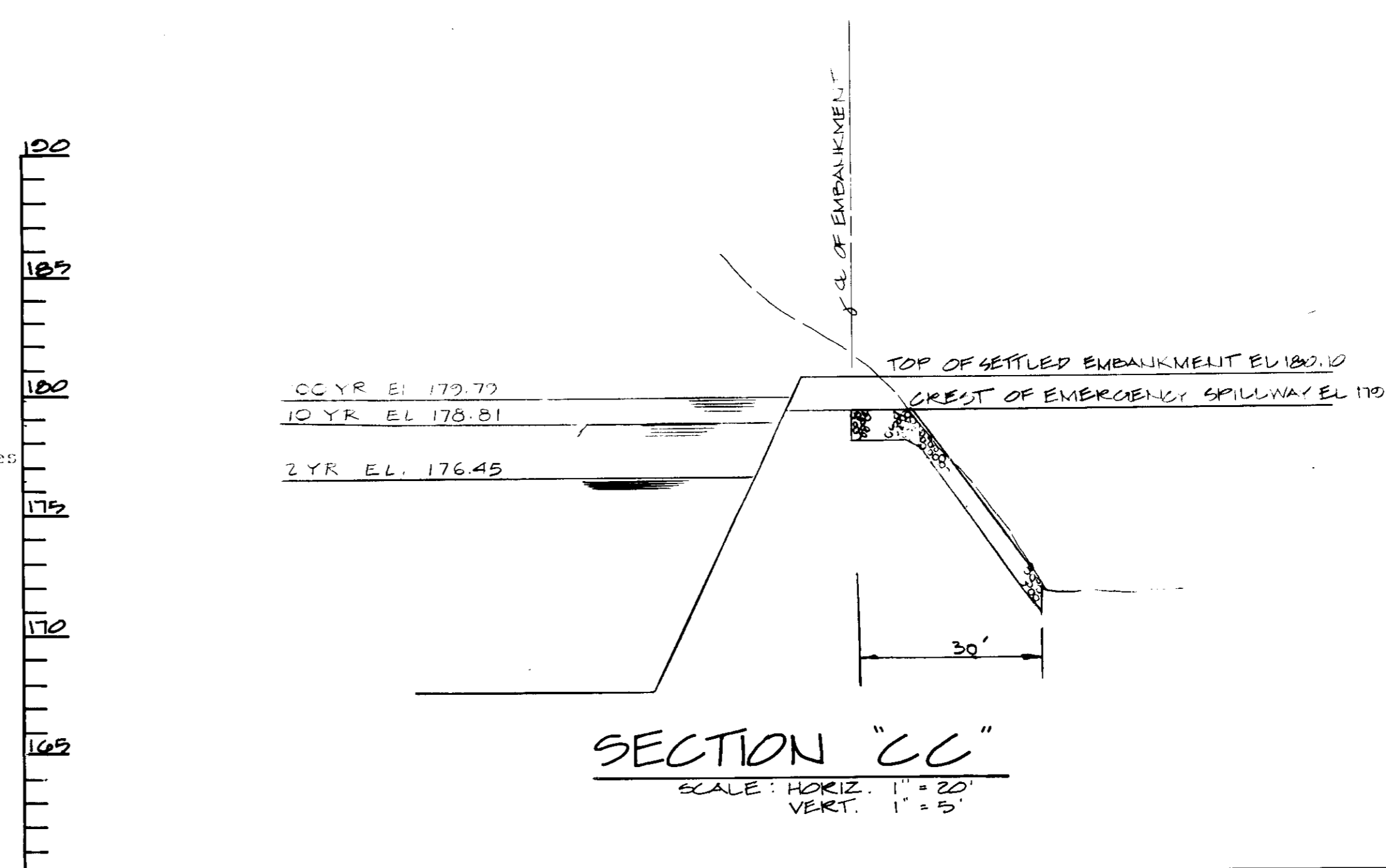
All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, berms shall be stabilized by seeding, liming, fertilizing and mulching (if required) in accordance with the vegetative treatment specifications or as shown on the accompanying drawings.

VII. EROSION AND SEDIMENT CONTROL

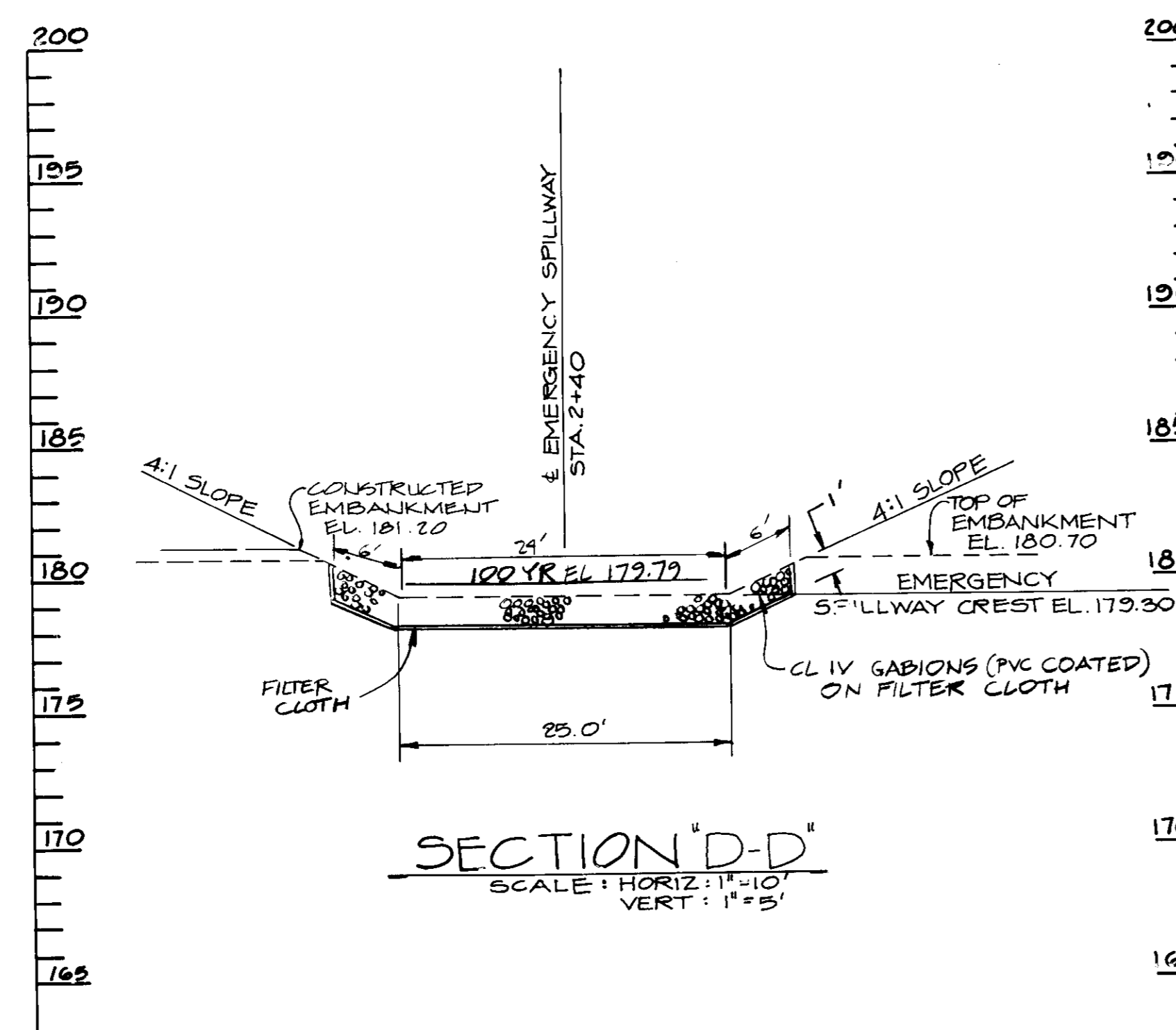
Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures to be employed during the construction process.

SEQUENCE OF OPERATIONS

- 1. Obtain grading permit.
2. Notify the Howard County Department of Licenses and Permits Inspector 48 hours prior to beginning any work.
3. Install stabilized construction entrances.
4. Install earth dikes, mountable berms and silt fences.
5. Clear and grub site as may be required.
6. Begin final grading of building B and adjacent parking area.
7. Begin construction of building B, install waterlines, storm drains from E-1 to M-3. Install I-2 thru I-8, RL-2, RL-4, RL-6, and RL-7.
8. Place crusher run for parking lot and entrance to building B now at subgrade area. Stabilize areas draining to I-2 thru I-8. Install sewer and crusher run for the remainder of the parking area around building B.
9. Install curb and gutter for entrance and parking lot to building B stabilize all disturbed areas and pave parking area.
10. Begin final grading of building A and adjacent parking areas except in area of ex. basin #2 (see GP-88-64-A).
11. Begin construction of building A, install waterlines, storm drains from RL-11 to 220' beyond I-15, and from I-14 to 30' beyond I-11. Both pipes will discharge to basin #2. Install M-5 to 50' beyond M-6.
12. Place crusher run for parking lot and entrance to building A now at subgrade area. Stabilize areas draining to I-9 thru I-15. With the permission of the sediment control inspector backfill ex. basin #2, capping 24" SD. outfall. Complete connection of storm drains from M-5 to M-7. Install sewer and crusher run for the remainder of the parking area around building A.
13. Install curb and gutter for entrance and parking lot to building A, stabilize all disturbed areas and pave parking lot.
14. Place crusher run for paving of parking lot for building C. With permission of sediment control inspector, backfill ex. trap (see GP-88-64-A) and a portion of ex. basin #1 (see GP-88-64-A). Stabilize all slopes. Begin building C.
15. Install curb, gutter and parking area for building C. Stabilize all disturbed areas.
16. After receiving permission from the sediment control inspector, clean out basin #1, remove 6" BCMP, weld cover in place and install 12" BCMP as shown on sheet E of 14. Place bottom of pond to proper grade for storm water management and water quality. Remove all remaining sediment control devices and stabilize those areas.



RISER DETAIL FACILITY #1 NO SCALE



SECTION 'D-D' SCALE: HORIZ. 1" = 10' VERT. 1" = 5'

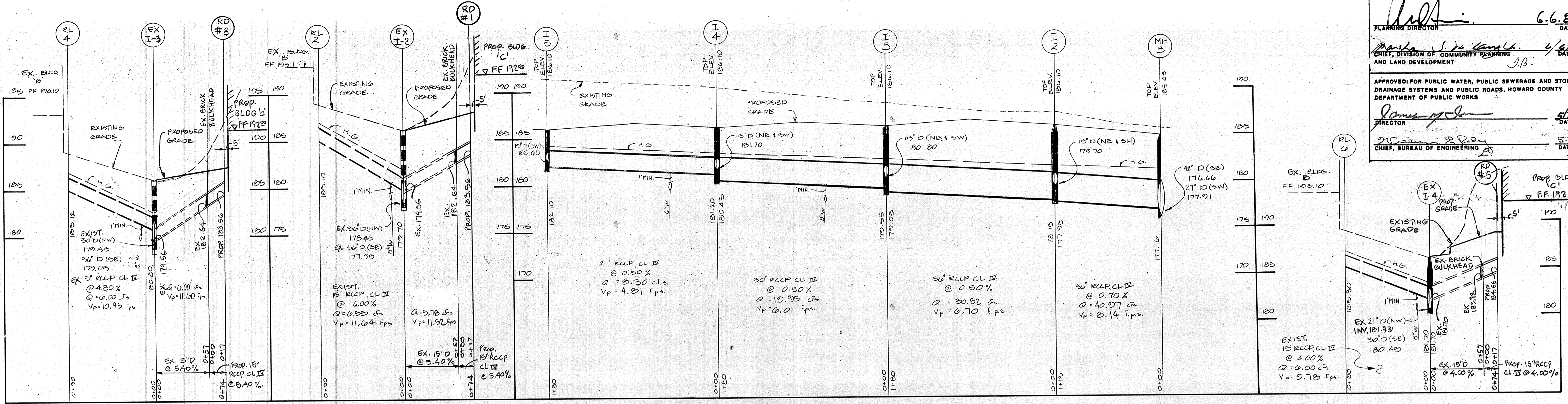
DEVELOPER'S CERTIFICATION I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 90 DAYS OF COMPLETION. DATE: 1/26/08 DEVELOPER: DATE:

ENGINEER'S CERTIFICATE I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND HONORABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 90 DAYS OF COMPLETION. DATE: 2/28/08 ENGINEER: DATE:

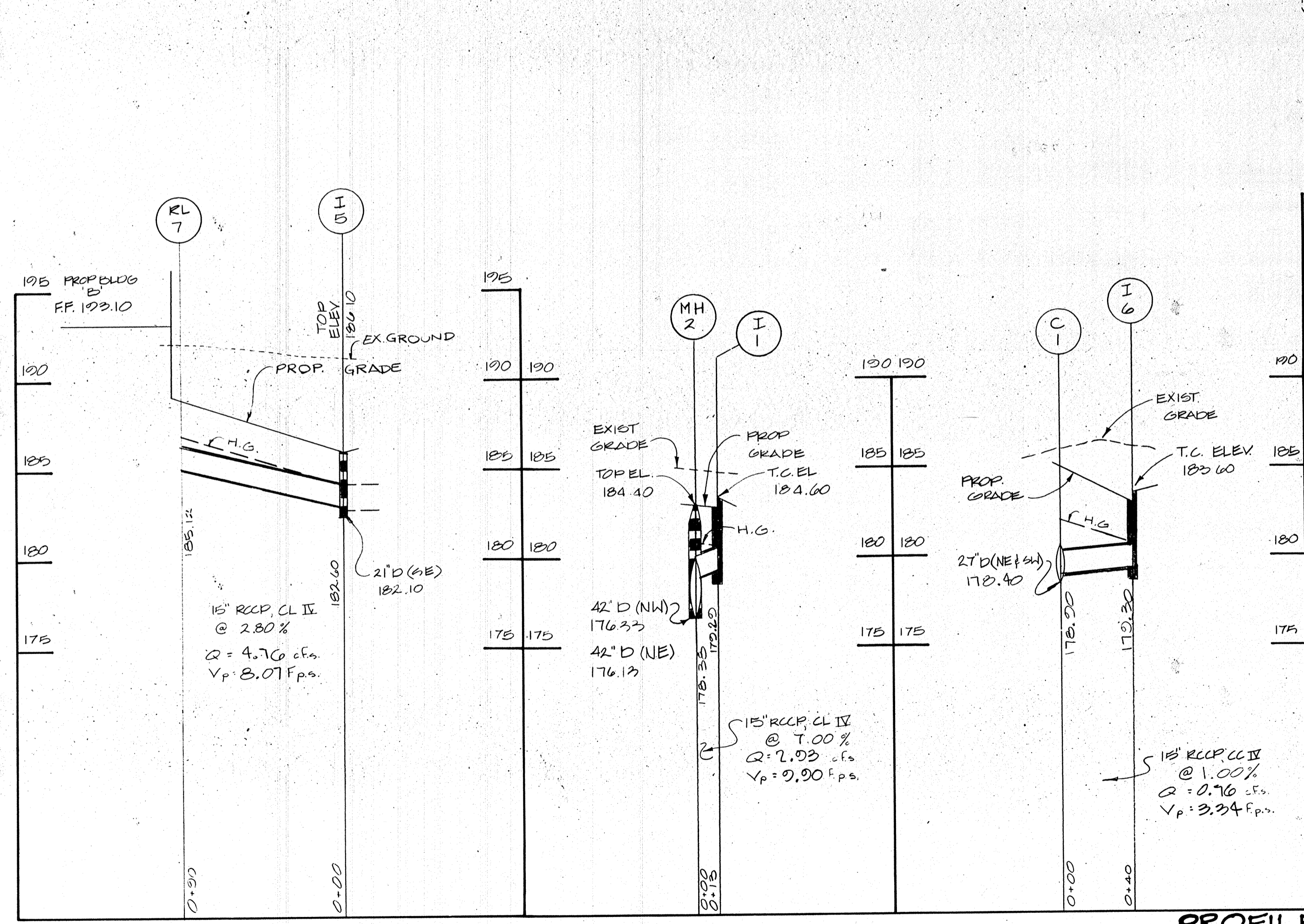
REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL. APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT. APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY OF PUBLIC WORKS.

OWNER / DEVELOPER DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP ARUNDEL BUILDING, SUITE 203 110 WEST ROAD BALTIMORE, MARYLAND 21204 TITLE: DETAILS PROJECT: DORSEY RUN INDUSTRIAL PARK O.P.&Z. FILE NOS.: S-88-41, F-84-99, S-DP 34-130 TAX MAP: 48, BLOCK: , PARCEL: 109 6TH ELECTION DISTRICT: HOWARD COUNTY, MD. DES. BY: RLR CAB THM DATE: 2-13-09 DRAWN BY: CAB THM DATE: 2-13-09 11 WARREN ROAD BALTIMORE, MD. 21208 (301) 484-4100 SCALE: N/A SHEET 14 OF 14 SDP-87-136

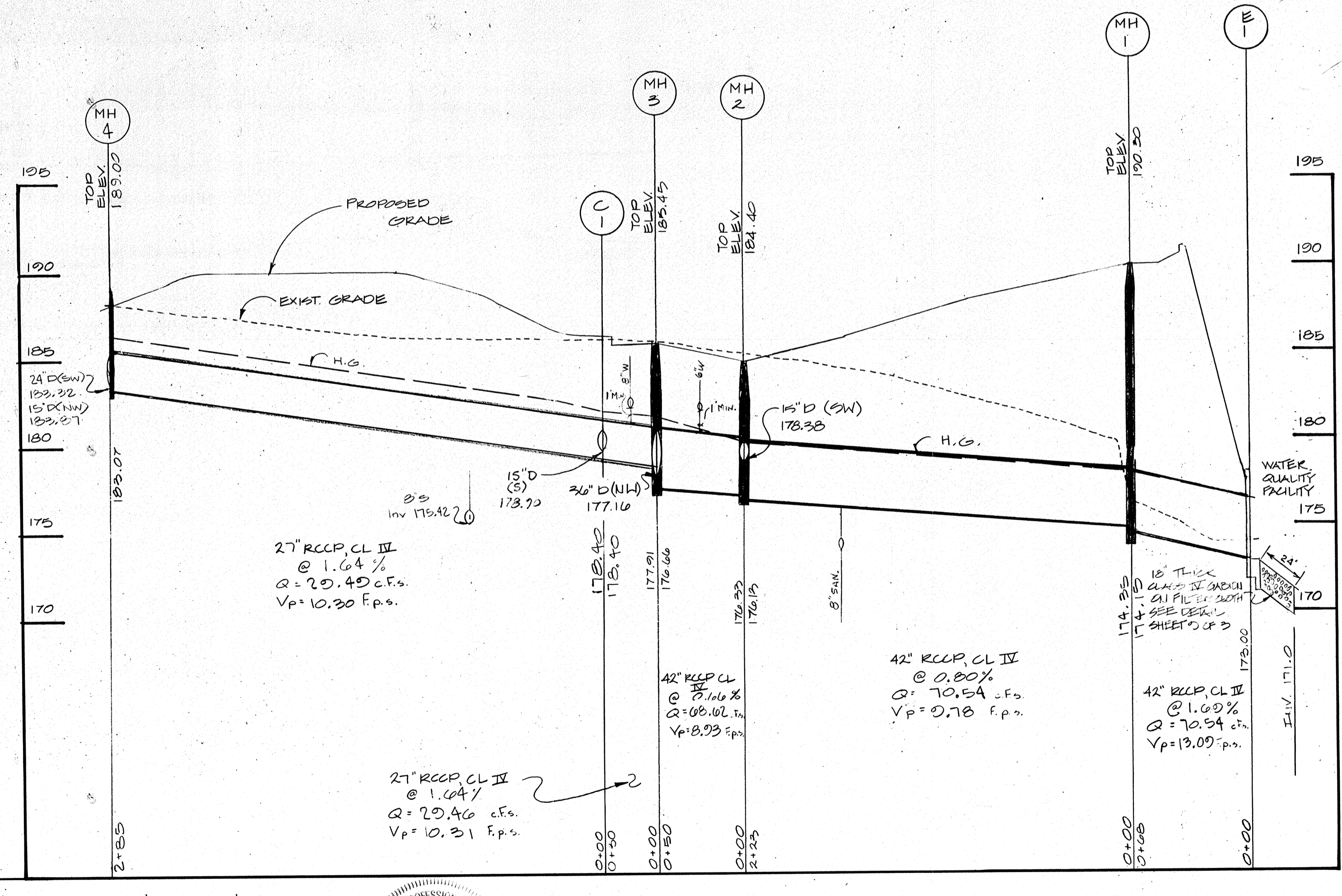
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT.
 County Health Officer *[Signature]* 6-2-89 DATE
 APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 Planning Director *[Signature]* 6-6-89 DATE
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM
 DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 Director *[Signature]* 5-29-89 DATE
 Chief, Bureau of Engineering *[Signature]* DATE



PROFILES
 HORZ. 1" = 50'
 VERT. 1" = 5'

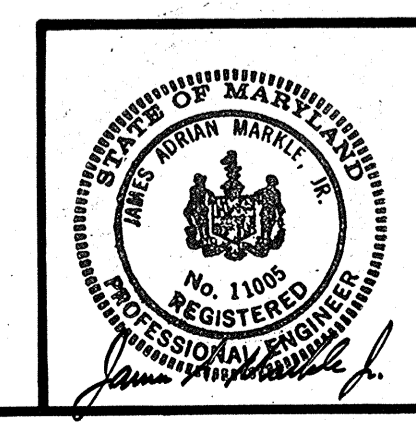


PROFILES
 HORZ. 1" = 50'
 VERT. 1" = 5'



REVISION #1 6/02/05
 REVISED ROOF DRAIN CONNECTIONS
 TO BUILDING 'C'.

[Professional Engineer Seal]
 Revision #1 only

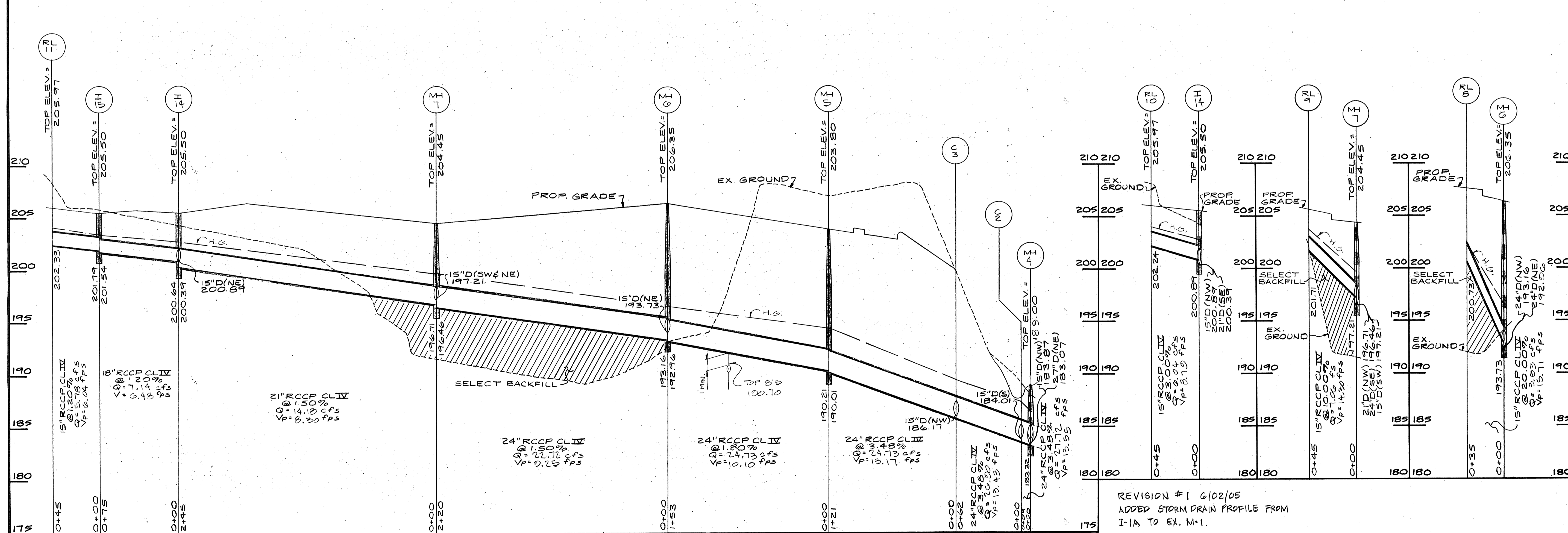
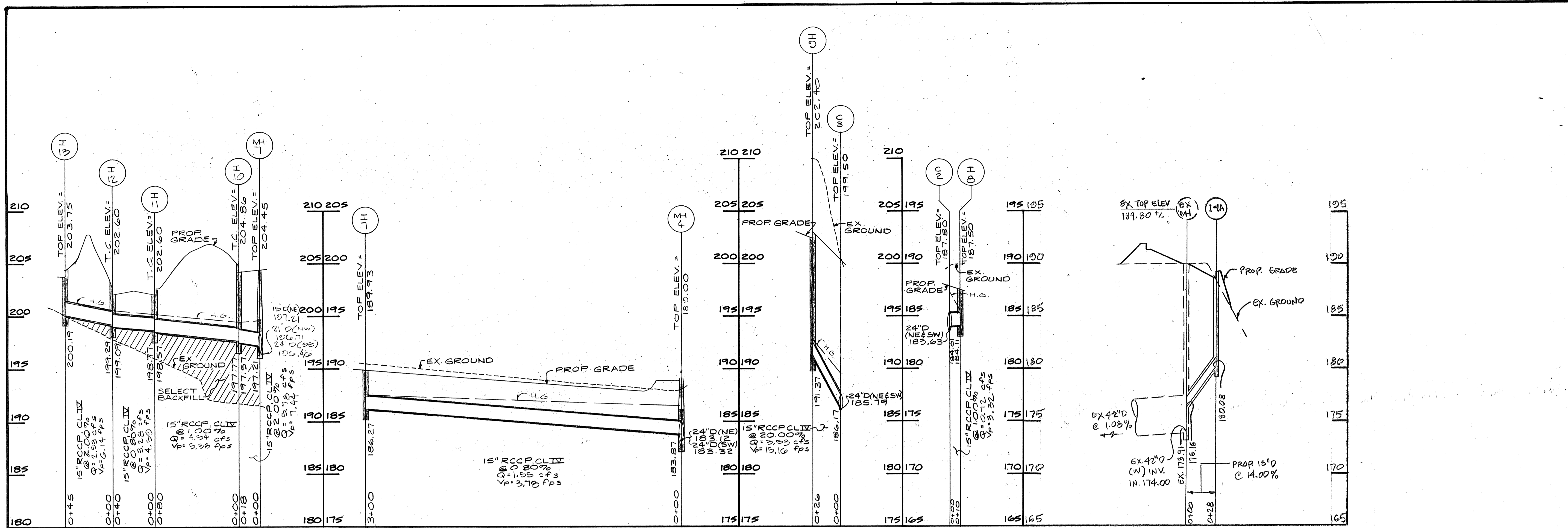


TITLE:	STORM DRAIN PROFILES
PROJECT:	DORSEY RUN INDUSTRIAL PARK
O.P. & Z. FILE NOS.:	2-88-49, F89-99, SDP-89-130
TAX MAP:	45, BLOCK: , PARCEL: 100
ELECTION DISTRICT:	HOWARD COUNTY, MD.
DES. BY:	M.L.T.
DRAWN BY:	M.D.F.
CHKD. BY:	T.H.M.
DATE:	11-25-88

CIVIL ENGINEERS - SITE PLANNERS
 SURVEYORS
DST&A Inc.
 11 WARREN ROAD
 BALTIMORE, MD. 212
 (301) 484-4100
 SCALE: AS SHOWN SHEET 10 OF 14
 SDP-89-130

OWNER / DEVELOPER
 DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 ARONDEL BUILDING, SUITE 203
 110 WEST ROAD
 BALTIMORE, MARYLAND 21204

DATE	DESCRIPTION REVISIONS	BY



REVIEWED FOR HOWARD S. C. D. AND MEETS TECHNICAL REQUIREMENTS
James M. Hala 5/9/89 DATE
 SOIL CONSERVATION SERVICE

THE DEVELOPMENT IS APPROVED SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
Stephen L. Hala 5/89 DATE
 SOIL CONSERVATION DISTRICT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
James B. ... 6-2-89 DATE
 COUNTY HEALTH OFFICER

APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
Walter ... 6-6-89 DATE
 PLANNING DIRECTOR

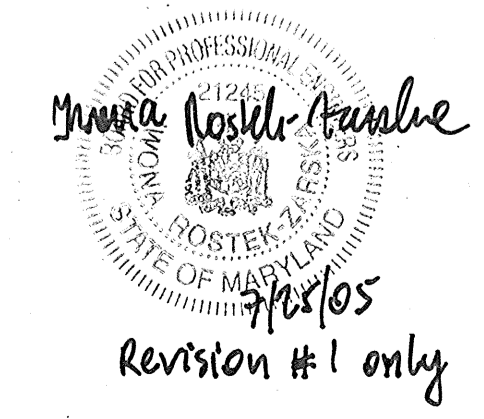
David S. ... 4/6/89 DATE
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James ... DATE
 DIRECTOR

... 3/22/89 DATE
 CHIEF, BUREAU OF ENGINEERING

REVISION #1 6/02/05
 ADDED STORM DRAIN PROFILE FROM I-1A TO EX. M-1.

PROFILES
 HORZ. 1" = 50'
 VERT. 1" = 5'



OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 AKUNDEL BUILDING, SUITE 203
 110 WEST ROAD
 BALTIMORE, MARYLAND 21204

DATE	DESCRIPTION	BY

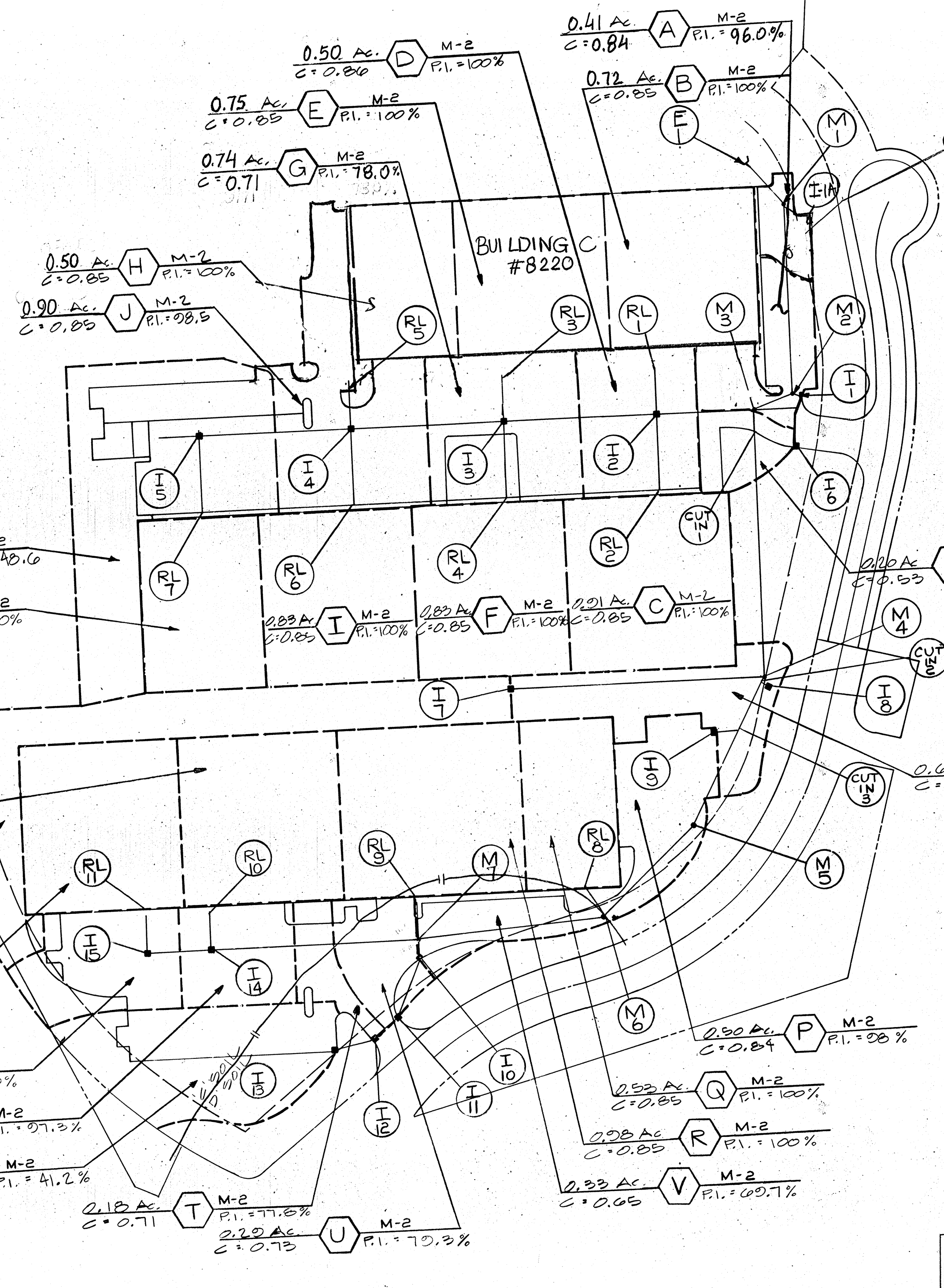
TITLE: **PROFILES STORMDRAIN**

PROJECT: **DORSEY RUN INDUSTRIAL PARK**

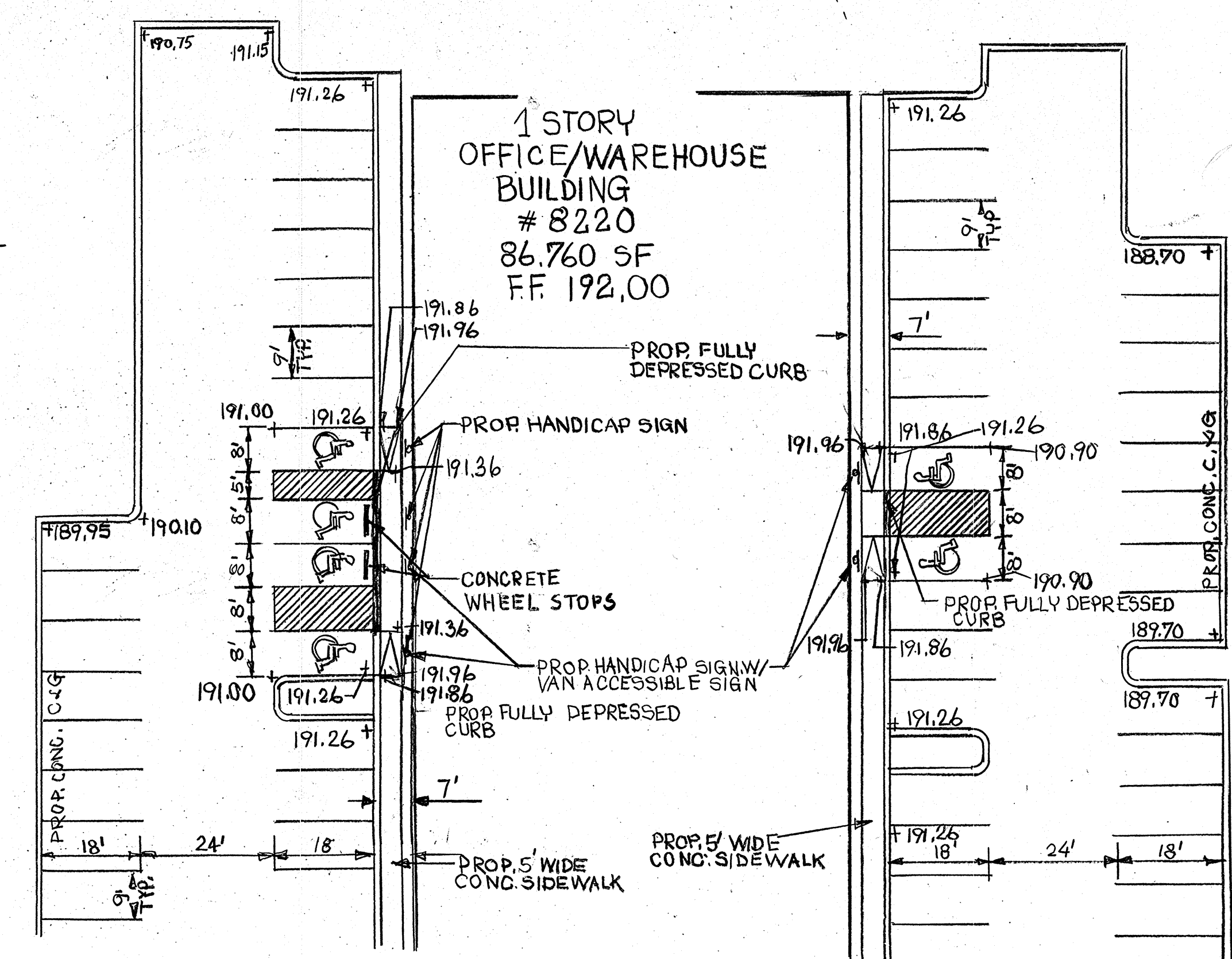
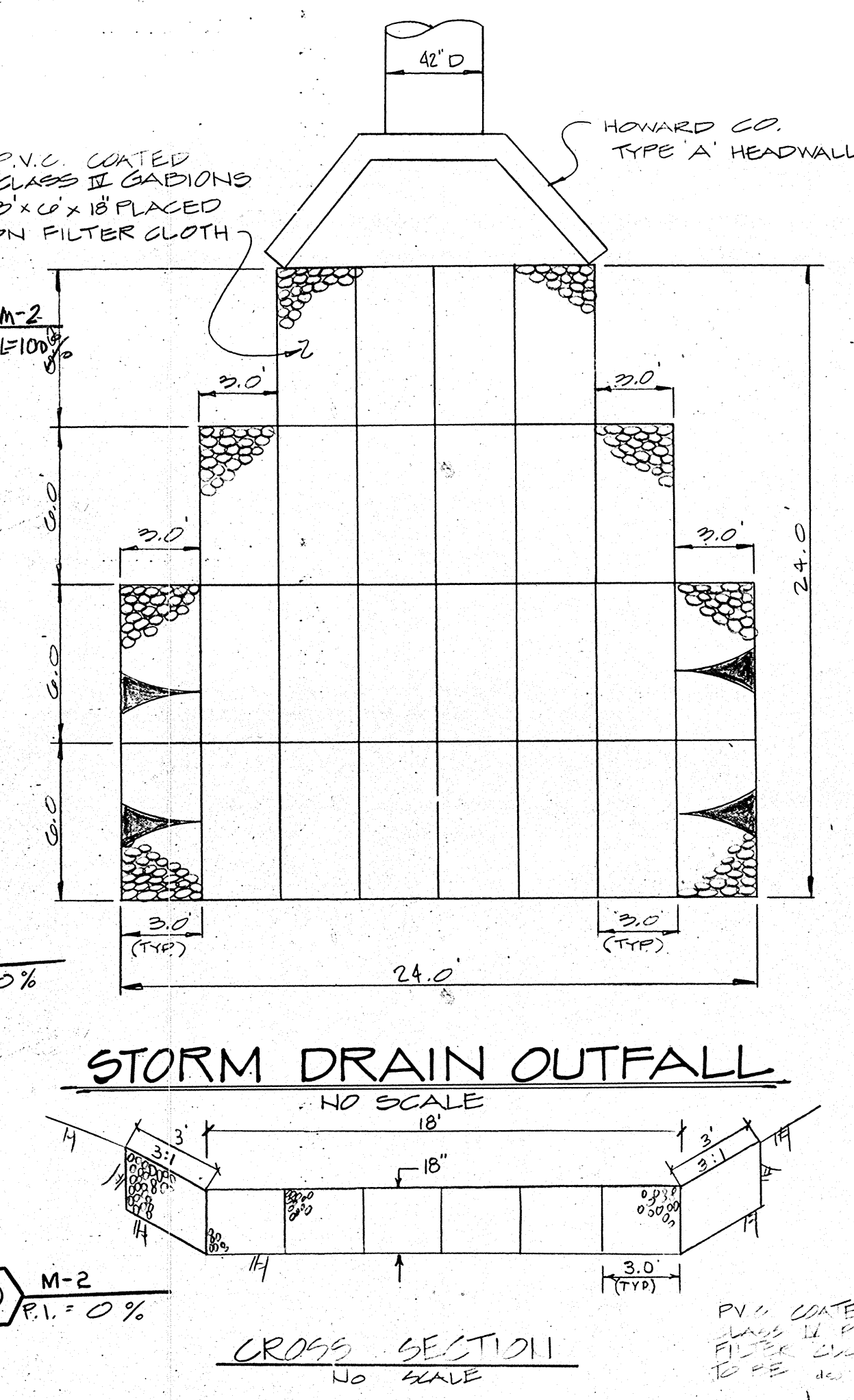
O.P.&Z. FILE NOS.: S-83-49, F-87-79, SDP-89-130
 TAX MAP: 102, BLOCK: , PARCEL: 102

DES. BY: M.L.T. DRAWN BY: M.A.N. CHKD. BY: T.H.M. DATE: 11-25-08

11 WARREN ROAD
 BALTIMORE, MD. 21
 (410) 484-4100
 SCALE: AS SHOWN SHEET 14 OF 14



DRAINAGE AREA MAP
SCALE: 1" = 100'



HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING - WEST SIDE AND EAST SIDE
SCALE 1" = 20'

STRUCTURE SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP EL.	REMARKS
I-1	DOUBLE S' COMB.		179.25	184.00*	
I-2	TYPE S' INLET	178.15	177.95	186.10	
I-3	TYPE S' INLET	179.55	179.05	186.10	
I-4	TYPE S' INLET	181.20	180.45	186.10	
I-5	TYPE S' INLET	182.60	182.10	186.10	
I-6	TYPE S' COMB.		179.30	183.00*	
I-7	TYPE S' INLET		180.27	189.75	
I-8	TYPE S' INLET		184.11	187.50	
I-9	TYPE S' INLET		191.37	202.40	
I-10	DOUBLE S' COMB.	197.77	197.57	204.80*	
I-11	DOUBLE S' COMB.	198.77	198.57	202.60*	
I-12	DOUBLE S' COMB.	199.29	199.09	202.60*	
I-13	DOUBLE S' INLET		200.19	203.75	
I-14	TYPE S' INLET	200.64	200.39	205.50	
I-15	TYPE S' INLET	201.79	201.54	205.50	
I-1A	DOUBLE S' COMB.		180.98	189.30*	
M-1	STANDARD PRECAST M.H.	174.33	174.15	150.30	
M-2	"	176.33	176.15	184.40	
M-3	"	177.91	176.66	185.45	
M-4	"	182.32	183.07	190.00	
M-5	"	190.21	190.01	203.80	
M-6	"	193.16	192.96	206.35	
M-7	STANDARD PRECAST M.H.	196.71	196.46	204.45	
E-1	TYPE A HEADWALL	173.00	173.00	173.00	

* TOP OF CURB ELEVATIONS

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
 COUNTY HEALTH OFFICER: *[Signature]* 6/2/05
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
 PLANNING DIRECTOR: *[Signature]* 6/6/05
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: *[Signature]* 6/6/05
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC WORKS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 DIRECTOR: *[Signature]*
 CHIEF, BUREAU OF ENGINEERING: *[Signature]* 5/26/05

DEVELOPER'S CERTIFICATION
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
 DEVELOPER: *[Signature]* 10/26/05

REVISION #1 6/2/05
 REVISED DRAINAGE AREA MAP.
 ADDED I-1A TO STRUCTURE SCHEDULE.
 ADDED HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING C.

[Professional Seal]
 Revision #1 only

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
 ENGINEER: *[Signature]* 2/28/09

DATE	DESCRIPTION	BY

OWNER/DEVELOPER
 DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 ARUNDEL BUILDING, SUITE 203
 110 WEST ROAD
 BALTIMORE, MARYLAND 21204

TITLE: STORM DRAIN DRAINAGE AREA MAP
 PROJECT: DORSEY RUN INDUSTRIAL PARK
 O.P. & Z. FILE NOS.: S-28-05, F-89-77, SDP-89-130
 TAX MAP: 42 BLOCK: , PARCEL: 100
 6TH ELECTION DISTRICT: HOWARD COUNTY, MD.
 DES. BY: M.L.T. DRAWN BY: M.L.T. CHKD. BY: T.H.M. DATE: 11-25-08

CIVIL ENGINEERS - SITE PLANNERS SURVEYORS
DST&A Inc.
 11 WARREN ROAD
 BALTIMORE, MD. 21.
 (301) 484-4100
 SCALE: AS NOTED SHEET 2 OF 14

DORSEY RUN INDUSTRIAL PARK

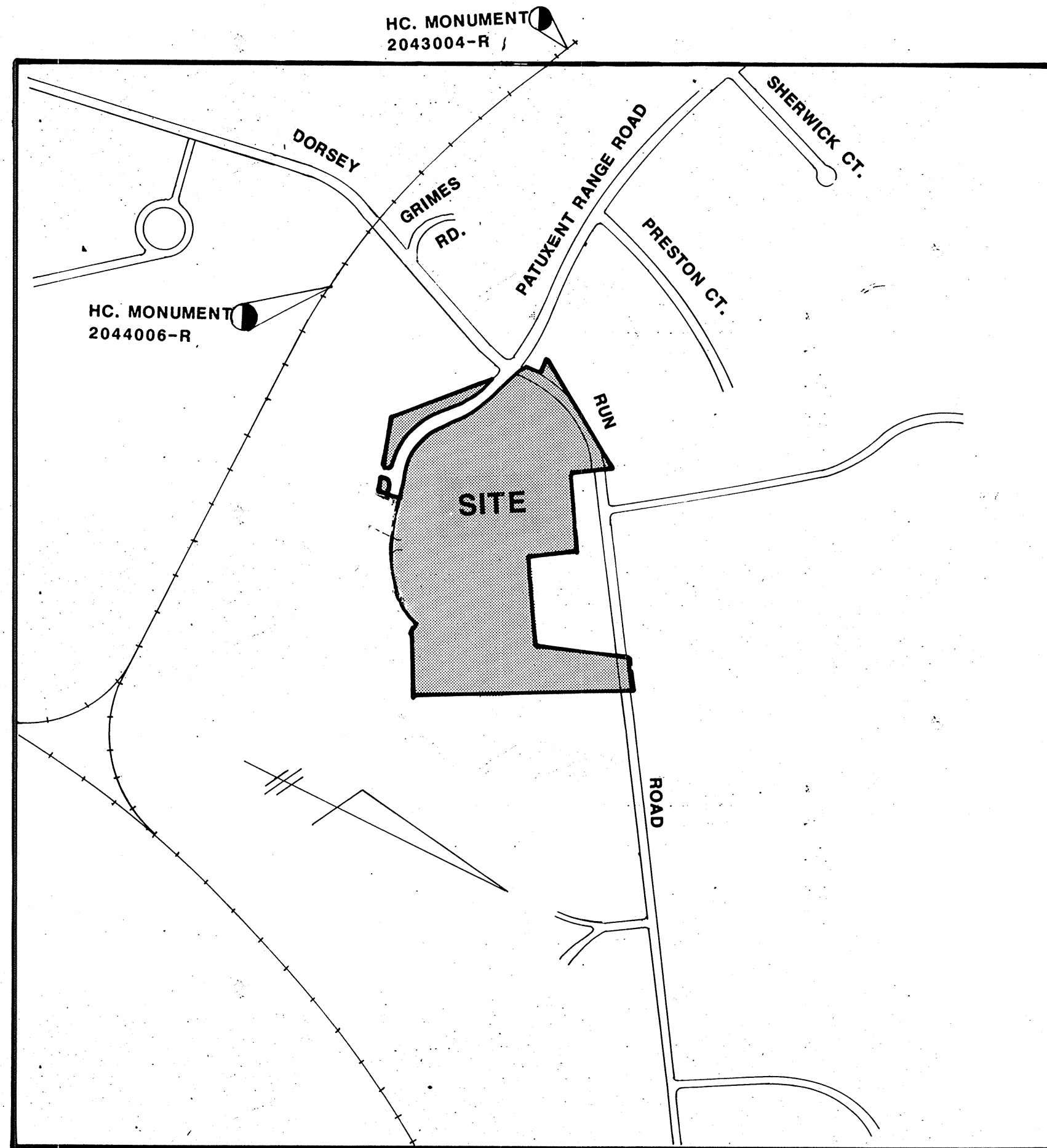
General Notes

1. Tax Map: 48 Parcel: 109
2. Deed Reference: 666/543
3. Existing Zoning: M-2
4. Proposed Site Use: Offices and Warehouses
5. Area of Site: 32.86 Ac. or 1,431,381.6 Sq. Ft.
6. All construction and materials shall be in accordance with the Howard County Road Construction Code and Specifications.
7. Utilities to be utilized:
Water - Public
Sewer - Public
8. All on site driveways and parking areas are private.
9. Patuxent Range Drive, Public Road
10. Any damage to a county owned Right of Way shall be corrected at developer's expense.
11. Contractor to verify location of all underground utilities prior to beginning work.
12. Contractor to notify Miss Utility at 1-800-297-7777 at least five (5) days prior to beginning construction.
13. The contractor or developer shall contact the construction inspections Division of Howard County at 792-7272 at least 24 hours prior to starting construction.
14. Boundary shown hereon was supplied by owner and is based on a topographic survey prepared by STV/Lyon Associates, in February 1987.
15. ANY CHANGE IN TENANT OR USE ON THIS SITE MUST BE EVALUATED BY THE O&Z FOR ADEQUACY OF PARKING AND VEHICLE CIRCULATION PRIOR TO MAKING APPLICATION FOR ANY INTERIOR OR EXTERIOR ALTERATIONS OR CHANGE IN USE PERMITS.

REVISION #1
 PREPARED BY: BALTIMORE LAND DESIGN GROUP, INC.
 CONSULTING ENGINEERS
 222 SCHILLING CIRCLE, SUITE 105
 HUNT VALLEY, MARYLAND 21030

REVISION #1 6/02/05
 REVISE "SITE ANALYSIS" DATA
 ADDED WAIVER PETITION WP-05-56 NOTE

John A. Hinkle
 JAMES A. HINKLE
 ENGINEER
 STATE OF MARYLAND
 No. 11008
 Revision #1 only



VICINITY MAP

SCALE: 1" = 600'

Bearings and coordinates as shown hereon are based on the Maryland State Plane Coordinate system as adapted by Howard County, as referenced from Traverse Stations:

No. 2043004 N477,538.979 E857,445.252 EL. 238.274
 No. 2044006 N476,9229.101 E859,068.366 EL. 210.767

Site Analysis

1. Area of Parcel: 32.86 Ac. or 1,431,381.6 Sq. Ft.
 2. Existing Zoning: M-2
 3. Floor space per use: Office-17,054 sq. ft.
Warehouse-360,996 sq. ft.
 4. Maximum number of employees per use: Office- 30 employees
Warehouse- 15 employees
 5. Open space to remain on site: Not Required
 6. Building coverage of site: 378,050 sf. or 26%
 7. Landscaped Islands:
Parking area-124,767 sq. ft.
Landscaped Islands-15,183 sq. ft. or 12%
 8. ▲ Denotes exterior lighting.
 9. All exterior lighting shall be directed / reflected away from adjacent public right of way and any residentially zoned properties.
 10. Parking:
- | Use | Area | Spaces Required | Spaces Provided |
|-----------|-----------------|-----------------|-----------------|
| Office | 17,054 sq. ft. | 85 | 119 |
| Warehouse | 360,996 sq. ft. | 181 | 201 |
| Totals | 378,050 sq. ft. | 266 | 320* |

*Including 12 Handicapped Spaces

NOTE:
 WP-05-56
 PETITION REQUEST TO WAIVE SECTION 16.156(m)(1) TO REACTIVATE
 THE APPROVAL OF SDP-89-130 HAS BEEN GRANTED ON APRIL 8, 2005.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT.
James P. ... 6-2-89
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
... 6.6.89
 PLANNING DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM
 DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
... 4/1/89
 CHIEF, DIVISION OF COMMUNITY PLANNING
 AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM
 DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
... 5/26/89
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM
 DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
... 5/26/89
 CHIEF, BUREAU OF ENGINEERING DATE

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
James A. Hinkle 2/28/89
 ENGINEER DATE

DEVELOPER'S CERTIFICATION
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
... 10/26/88
 DEVELOPER DATE

NOTE
 "THE APPLICANT / DEVELOPER SHALL APPLY FOR A BUILDING PERMIT TO INITIATE CONSTRUCTION OF BUILDING "C" ON OR BEFORE 4/08/02"

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
Bldg. A	8240 Patuxent Range Road
Bldg. B	8230 Patuxent Range Road
Bldg. C	8220 Patuxent Range Road

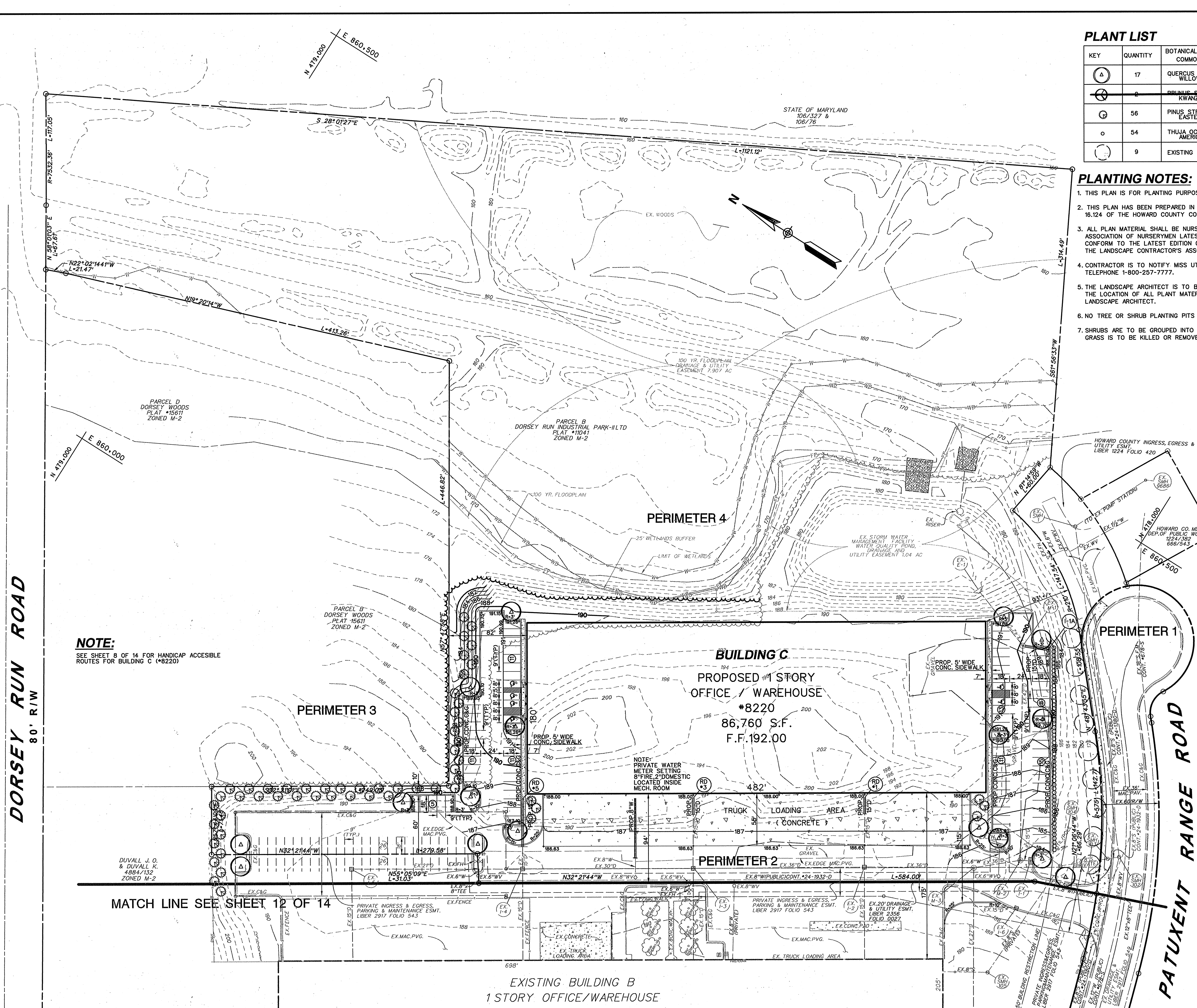
DATE	DESCRIPTION	BY
	REVISIONS	

SUBDIVISION NAME					
DORSEY RUN INDUSTRIAL PARK					
PLAT # OR L/E	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
666/543	2 & 3	M-2	48	6TH	6064
WATER CODE			SEWER CODE		

OWNER / DEVELOPER
 DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 ARUNDEL BUILDING 110 WEST ROAD
 BALTIMORE, MD 21204

TITLE SHEET
 PROJECT: DORSEY RUN INDUSTRIAL PARK
 O.P. & Z. FILE NOS.: S-88-45, F-39-99, SDP-89-130
 TAX MAP: 48, BLOCK: , PARCEL: 109
 6TH ELECTION DISTRICT: HOWARD COUNTY, MD.
 DES. BY: RLR DRAWN BY: CAB CHKD. BY: THM DATE: 11-25-88

CIVIL ENGINEERS - SITE PLANNERS
DST & A Inc.
 11 WARREN ROAD
 BALTIMORE, MD. 21208
 (301) 484-4100
 SCALE: 1" = 600' SHEET 1 OF 14



PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
(A)	17	QUERCUS PHELLOS WILLOW OAK	2.5" CAL.	B & B	SPACE AS SHOWN
(B)	0	PRUNUS SEROTINA KWANZAN CHERRY	8'-10" HT.	B & B	SPACE AS SHOWN
(C)	56	PINUS STROBUS EASTERN WHITE PINE	6'-8" HT.	B & B	SPACE AS SHOWN
(D)	54	THUJA OCCIDENTALIS AMERICAN ARBORVITAE	3'-4" HT.	B & B	SPACE 4' O.C.
(E)	9	EXISTING STREET TREE		B & B	

PLANTING NOTES:

1. THIS PLAN IS FOR PLANTING PURPOSES ONLY.
2. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
3. ALL PLAN MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN LATEST STANDARDS. PLANT INSTALLATION MUST CONFORM TO THE LATEST EDITION OF THE "LANDSCAPE SPECIFICATION GUIDELINES" BY THE LANDSCAPE CONTRACTOR'S ASSOCIATION.
4. CONTRACTOR IS TO NOTIFY MISS UTILITY A MINIMUM OF 72 HOURS PRIOR TO DIGGING. TELEPHONE 1-800-257-7777.
5. THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN FIELD BY THE LANDSCAPE ARCHITECT.
6. NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
7. SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING.

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES	
	1	2	3	4
Perimeter Number	1	2	3	4
Landscape Type	E	NOT REQ'D	A	A
Linear Feet of Roadway Frontage/ Perimeter	335 LF (215'-TYPE 'E') (120'-SHADE)	N/A	446 LF	1121 LF
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	N/A	N/A	N/A	YES-1121 LF
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	N/A	N/A	N/A	NO
Number of Plants Required				
Shade Trees	8	0	7	0
Evergreen Trees	0	0	0	0
Shrubs	54	0	0	0
Number of Plants Provided				
Shade Trees	8	0	3	0
Evergreen Trees	0	0	48	0
Other Trees (2:1 substitution)	0	0	0	0
Shrubs (10:1 substitution)	54	0	0	0
(Describe plant substitution credits below if needed)				

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	85
Number of Trees Required	4
Number of Trees Provided	4
Shade Trees	4
Other Trees (2:1 substitution)	0
Internal Islands Required	4
Internal Islands Provided (Min. 200 S.F.)	4

NOTE:

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

DEVELOPER'S / BUILDER'S CERTIFICATE:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.124 OF THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATE OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: *James L. Kull Jr.* DATE: 7/25/05

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT UNDER SDP-89-130.

AGREEMENT - IN THE AMOUNT OF -

(19) SHADE TREES @ \$300 EACH = \$5,700.00
 (15) SHRUBS @ \$300 EACH = \$4,500.00
 TOTAL = \$10,200.00

NOTE:
SEE SHEET 8 OF 14 FOR HANDICAP ACCESSIBLE ROUTES FOR BUILDING C (#8220)

PARCEL C
DORSEY RUN INDUSTRIAL PARK-ILTD
PLAT #14819
ZONED M-2

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division MWJ Date 8-12-05
 Chief, Land Development Division J. B. [Signature] Date 7/25/05
 Director J. [Signature] Date 7/25/05

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B (8166.2')	8220 PATUXENT RANGE ROAD

PERMIT INFORMATION CHART				
SUBDIVISION NAME DORSEY RUN INDUSTRIAL PARK	SECTION / AREA N / A	LOT / PARCEL NO. P. 109		
PLAT NO. 11041	GRID NO. 2	ZONING M - 2	TAX MAP NO. 48	ELEC. DIST. 6TH
WATER CODE B02		SEWER CODE 3020000		

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

Professional Engineer
James L. Kull Jr.
No. 21245
BOSTON, MASSACHUSETTS
STATE OF MARYLAND
7/25/05

EXISTING BUILDING B
1 STORY OFFICE/WAREHOUSE
#8240
F.F. ELEV. 193.10 +/-
PERMIT #27643
PARCEL A
DORSEY RUN INDUSTRIAL PARK-ILTD
PLAT #1041
ZONED M-2

OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL
PARK LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
6/2/05	**REVISION #1	BLDG, INC.

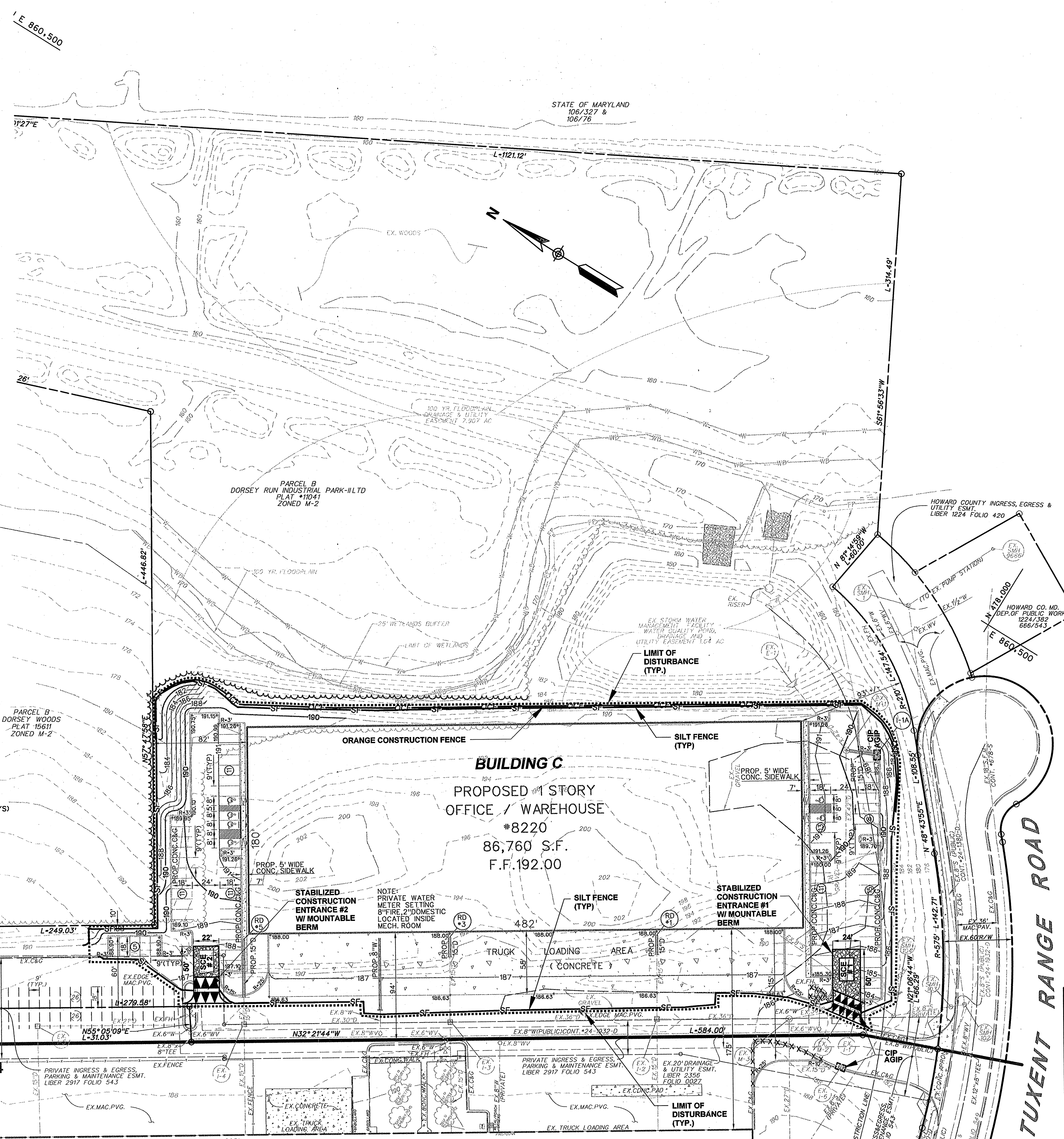
REVISED SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
DORSEY RUN INDUSTRIAL PARK
PARCEL B
SDP-89-130
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
SHEET 11 OF 14
DATE: JULY, 2005

**REVISE LANDSCAPING FOR BUILDING C

SEDIMENT CONTROL STANDARD GENERAL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PERMITS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3%.
 - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY MANUAL," STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDINGS, SODS, TEMPORARY SEEDING AND MULCHING (SECTION G). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OR SITE	14.099 ACRES +/-
AREA DISTURBED	3.97 ACRES +/-
AREA TO BE ROOFED OR PAVED	3.50 ACRES +/-
AREA TO BE VEGETATIVELY STABILIZED	0.47 ACRES +/-
TOTAL CUT	17,000.00 +/- CUBIC YARDS+
TOTAL FILL	1,000.00 +/- CUBIC YARDS+
OFF-SITE WASTE/BORROW AREA LOCATION WASTE	16,000.00 +/- CUBIC YARDS+
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE DAY, WHICHEVER IS SHORTER.
- EARTH QUANTITY VOLUMES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR IS ADVISED TO PERFORM HIS OWN ANALYSIS PRIOR TO PLACING A BID ON THIS ITEM.



SEQUENCE OF OPERATION (BUILDING C)

- OBTAIN GRADING PERMIT. (1 DAY)
- NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (1 DAY)
- INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN. (1 DAY)
- INSTALL ORANGE CONSTRUCTION FENCE & SILT FENCE AS SHOWN ON THE PLAN. PROVIDE INLET PROTECTION FOR EX. INLETS 1-1 & 1-6. (3 DAYS)
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR BEGIN GRADING OPERATIONS. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES AT ALL TIMES. (10 DAYS)
- AS WORK PROGRESSES BEGIN INSTALLATION OF UTILITIES. INSTALL DRAIN SYSTEM FROM EX. M-1 TO PROP. INLET 1-1A AND PROVIDE INLET PROTECTION FOR NEWLY INSTALLED INLET 1-1A. (8 DAYS)
- BEGIN CONSTRUCTION OF PROPOSED BUILDING. (20 DAYS)
- PROCEED WITH GRADING OPERATIONS AND CONTINUE BUILDING CONSTRUCTION. (15 DAYS)
- FINE GRADE ALL AREAS, INSTALL CONCRETE CURB AND GUTTER AND STONE SUB-BASE. (12 DAYS)
- AFTER OBTAINING PERMISSION FROM SEDIMENT CONTROL INSPECTOR REMOVE THE REMAINING SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES AND PROCEED WITH PAVING AND LANDSCAPING INSTALLATION. (8 DAYS)

DORSEY RUN ROAD 80' R/W

MATCH LINE SEE SHEET 4 OF 14

EXISTING BUILDING B
1 STORY OFFICE/WAREHOUSE
#8240
F.F. ELEV. 193.10 +/-
PERMIT #27643

**REVISED SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES FOR BUILDING C. ADDED SEQUENCE OF OPERATION.

OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
6/2/05	**REVISION#1	BLDG, INC.

REVISED SITE DEVELOPMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN
DORSEY RUN INDUSTRIAL PARK
PARCEL B
SDP-89-130
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

LEGEND

RIGHT-OF-WAY LINE	---
PROPERTY LINE	---
EX. CONCRETE CURB & GUTTER	EX.C&G
EX. STORM DRAIN, MANHOLE & INLET	EX.15"D
EX. SANITARY SEWER, MANHOLE & CLEANOUT	EX.8"S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX.12"W
EX. ELECTRIC LINE & TRANSFORMER	E
EX. GAS LINE & VALVE	G
EX. LIGHT POLE	*
EX. TELEPHONE LINE	T
EX. TREE	(Tree Symbol)
EX. INDEX COUNTOURS	190
EX. INTERMEDIATE COUNTOURS	188
EX. CONCRETE CURB & GUTTER TO BE REMOVED	*****
PROP. CONCRETE CURB & GUTTER	PROP.C&G
PROP. STORM DRAIN, MANHOLE & INLET	PROP.15"D
PROP. SANITARY SEWER, MANHOLE & CLEANOUT	PROP.8"S
PROP. WATER MAIN, VALVE & FIRE HYDRANT	PROP.8"W
PROP. INDEX COUNTOURS	190
PROP. INTERMEDIATE COUNTOURS	188
LIMIT OF WETLAND	W
25' WETLAND BUFFER	WB
100 YR. FLOODPLAIN	FP

SEDIMENT CONTROL LEGEND

LIMIT OF DISTURBANCE
ORANGE CONSTRUCTION FENCE	OCF
SILT FENCE	SF
STABILIZED CONSTRUCTION ENTRANCE	(Stabilized Entrance Symbol)
MOUNTABLE BERM TYPE A	(Mountable Berm Symbol)
STANDARD INLET PROTECTION	SIP
AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP

Reviewed for Howard SCD and meets Technical Requirements
Jim Meyer 8/15/05
 Date
 USA Natural Resources Conservation Service
 The development plan is a plan for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John R. Robertson 8/15/05
 Date
 Howard Co. SCD

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Maura Voshell-Aurule 7/15/05
 Date
 Iwona Rostek-Zarska, P.E. 21245

DEVELOPER'S CERTIFICATE
 I / We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District.
John D. Wells 7/15/05
 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division (M) *Scott S. ...* 8/10/05
 Date
 Chief, Land Development Division *...* 8/12/05
 Date
 Director *...* 8/11/05
 Date

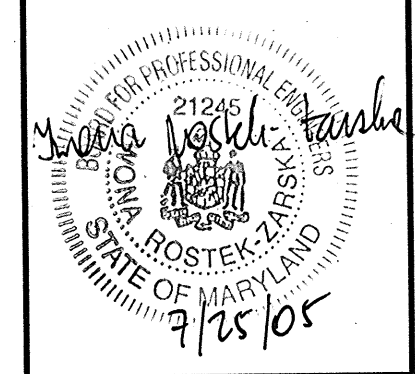
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B (Bldg. C)	8220 PATUXENT RANGE ROAD

PERMIT INFORMATION CHART

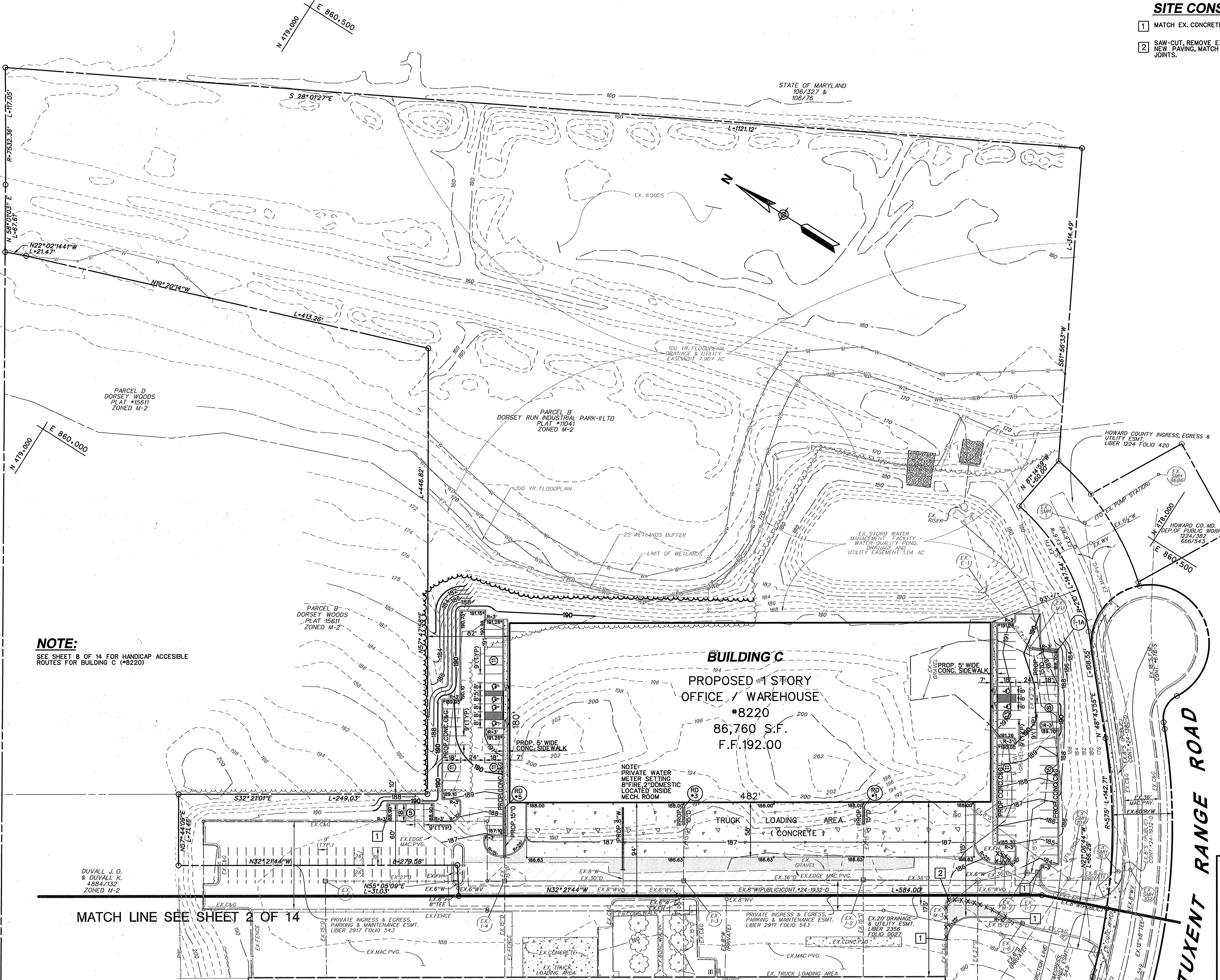
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
DORSEY RUN INDUSTRIAL PARK <td>N / A <td>P. 109</td> </td>	N / A <td>P. 109</td>	P. 109
PLAT NO. 11041	GRID NO. 2	ZONING M-2
TAX MAP NO. 48	ELEC. DIST. 6TH	CENSUS TRACT 6069.01
WATER CODE B02	SEWER CODE 3020000	

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PARCEL A
DORSEY RUN INDUSTRIAL PARK-ILTD
PLAT #11041
ZONED M-2

DORSEY RUN ROAD
80' R/W



SITE CONSTRUCTION NOTES:

- 1 MATCH EX. CONCRETE CURB AND GUTTER FOR GRADE AND LINE
- 2 SAW-CUT, REMOVE EXISTING CURB & GUTTER, GRADE, INSTALL NEW PAVING, MATCH EXISTING PAVING FOR GRADE AND SEAL JOINTS.

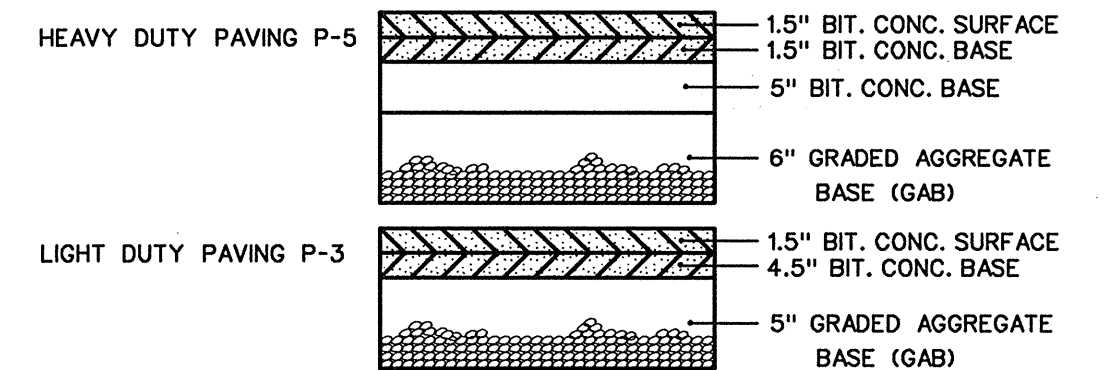
LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. CONCRETE CURB & GUTTER
- EX. STORM DRAIN, MANHOLE & INLET
- EX. SANITARY SEWER, MANHOLE & CLEANOUT
- EX. WATER MAIN, VALVE & FIRE HYDRANT
- EX. ELECTRIC LINE & TRANSFORMER
- EX. GAS LINE & VALVE
- EX. LIGHT POLE
- EX. TELEPHONE LINE
- EX. TREE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- EX. CONCRETE CURB & GUTTER TO BE REMOVED
- PROP. CONCRETE CURB & GUTTER
- PROP. STORM DRAIN, MANHOLE & INLET
- PROP. SANITARY SEWER, MANHOLE & CLEANOUT
- PROP. WATER MAIN, VALVE & FIRE HYDRANT
- PROP. INDEX CONTOURS
- PROP. INTERMEDIATE CONTOURS
- PROP. PARKING COUNT
- LIMIT OF WETLAND
- 25' WETLAND BUFFER
- 100 YR FLOODPLAIN

PAVEMENT SECTION LEGEND

- HEAVY DUTY PAVING
- LIGHT DUTY PAVING
- OVERLAY PAVING
- CONCRETE PAVING

PAVEMENT SECTION DETAILS



NOTE:
SEE SHEET 8 OF 14 FOR HANDICAP ACCESSIBLE ROUTES FOR BUILDING C (#8220)

BUILDING C
PROPOSED 1 STORY
OFFICE / WAREHOUSE
#8220
86,760 S.F.
F.F. 192.00

EXISTING BUILDING B
1 STORY OFFICE / WAREHOUSE
#8240
F.F. ELEV. 193.10 +/-
PERMIT # 27643

PARCEL A
DORSEY RUN INDUSTRIAL PARK-ILTD
PLAT #11041
ZONED M-2

NOTE: THE DEVELOPER MUST APPLY FOR A BUILDING PERMIT TO INITIATE CONSTRUCTION OF BUILDING C ON OR BEFORE 4-8-06 (EX. PER. WP-05-56 APPROVAL CONDITION).

**INCREASED WIDTH OF TRUCK LOADING AREA FROM 155' TO 175'. REDUCED FOOTPRINT OF PROPOSED BUILDING C FROM 106,730 SF TO 86,760 SF. ADDED ADDITIONAL PARKING SPACES ON NORTH-WEST SIDE OF PROP BUILDING C. ADDED STORM DRAIN SYSTEM FROM 1-1A TO M-1. REVISED GRADING / SEWER LINE.

OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
6/2/05	**REVISION#1	BLDG, INC.

REVISED SITE DEVELOPMENT PLAN
SITE, GRADING & UTILITY PLAN
DORSEY RUN INDUSTRIAL PARK
PARCEL B
SDP-89-130

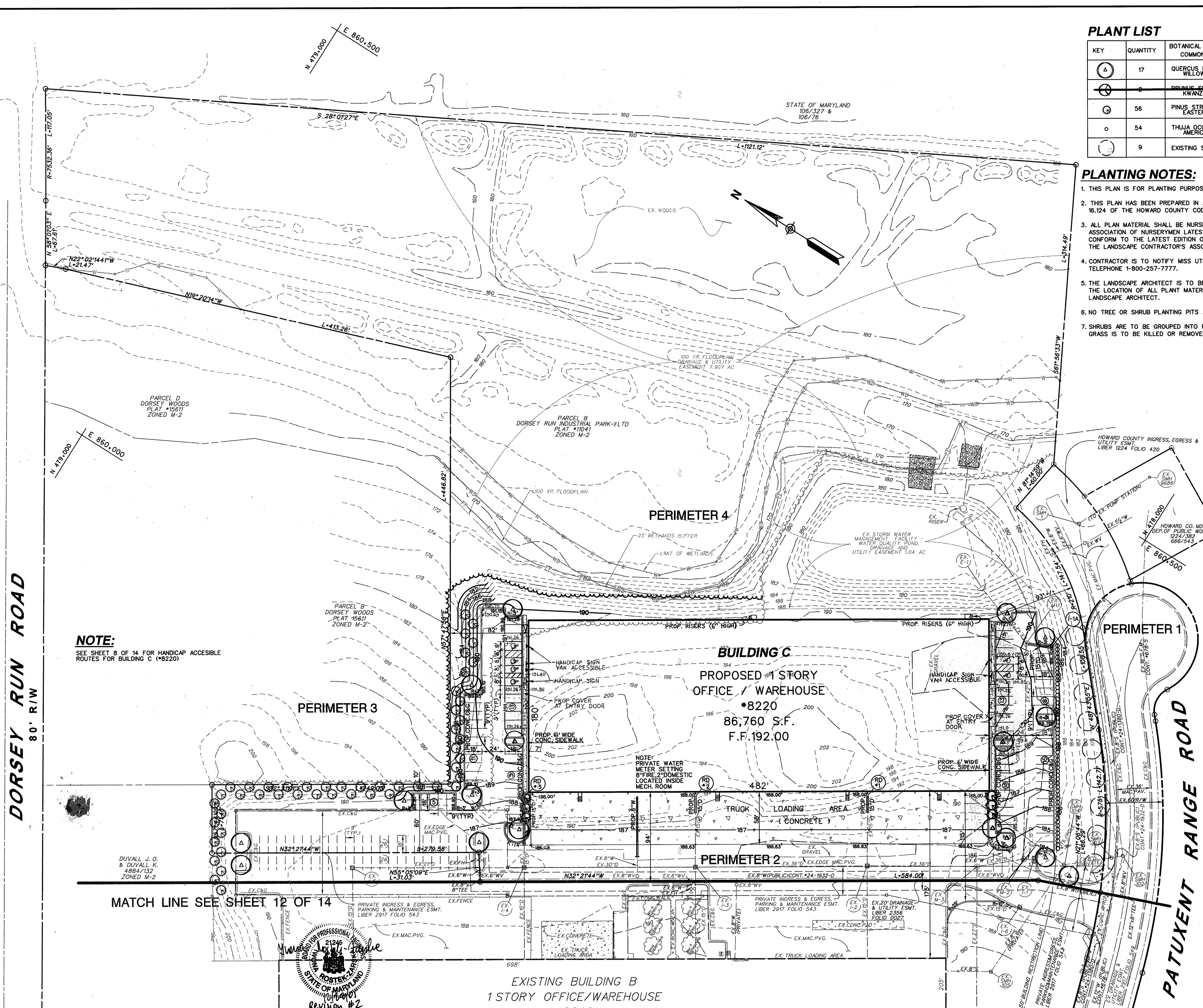
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

SHEET 3 OF 14
DATE: JULY, 2005

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
Chief, Development Engineering Division				Date: 8/12/05	
Chief, Land Development Division				Date: 8/12/05	
Director				Date: 8/12/05	
ADDRESS CHART					
LOT / PARCEL NO.		STREET ADDRESS			
PARCEL B (0.46 ac)		8220 PATUXENT RANGE ROAD			
PERMIT INFORMATION CHART					
SUBDIVISION NAME		SECTION / AREA		LOT / PARCEL NO.	
DORSEY RUN INDUSTRIAL PARK		N / A		P. 109	
PLAT NO.	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
11041	2	M - 2	48	6TH	6069.01
WATER CODE		SEWER CODE			
B02		3020000			

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM





PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
(A)	17	QUERCUS PHELLOS WILLOW OAK	2.5" CAL.	B & B	SPACE AS SHOWN
(B)	0	PRUNUS SEROTINA (KAWANAN) KAWANAN CHERRY	8'-10" HT.	B & B	SPACE AS SHOWN
(C)	56	PINUS STROBUS EASTERN WHITE PINE	6'-8" HT.	B & B	SPACE AS SHOWN
(D)	54	THUJA OCCIDENTALIS AMERICAN ARBORVITAE	3'-4" HT.	B & B	SPACE 4' O.C.
(E)	9	EXISTING STREET TREE		B & B	

PLANTING NOTES:

- THIS PLAN IS FOR PLANTING PURPOSES ONLY.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN LATEST STANDARDS. PLANT INSTALLATION MUST CONFORM TO THE LATEST EDITION OF THE "LANDSCAPE SPECIFICATION GUIDELINES" BY THE LANDSCAPE CONTRACTOR'S ASSOCIATION.
- CONTRACTOR IS TO NOTIFY MISS UTILITY A MINIMUM OF 72 HOURS PRIOR TO DIGGING. TELEPHONE 1-800-257-7777.
- THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN FIELD BY THE LANDSCAPE ARCHITECT.
- NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
- SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING.

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES	
	1	2	3	4
Perimeter Number				
Landscape Type	E	NOT REQ'D	A	A
Linear Feet of Roadway Frontage / Perimeter	385 LF (215' TYPE 'E') (50' TYPE 'E')	N/A	446 LF	1121 LF
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	N/A	N/A	N/A	YES-1121 LF
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	N/A	N/A	N/A	NO
Number of Plants Required				
Shade Trees	8	0	7	0
Evergreen Trees	0	0	0	0
Shrubs	54	0	0	0
Number of Plants Provided				
Shade Trees	8	0	3	0
Evergreen Trees	0	0	48	0
Other Trees (2:1 substitution)	0	0	0	0
Shrubs (10:1 substitution)	54	0	0	0

(Describe plant substitution credits below if needed)

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	85
Number of Trees Required	4
Number of Trees Provided	4
Shade Trees	0
Other Trees (2:1 substitution)	4
Internal Islands Required	4
Internal Islands Provided (Min. 200 S.F.)	

NOTE:

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

DEVELOPER'S / BUILDER'S CERTIFICATE:
I / WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.124 OF THE HOWARD COUNTY LANDSCAPE MANUAL. I / WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATE OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NOTE: CONTRACTOR TO CHECK WITH MARYLAND AVIATION ADMINISTRATION MR. JOE CORRETT @ 410-859-7370 IF ANY SUBSTITUTIONS ARE REQUIRED.

- THIS PLAN IS FOR PLANTING PURPOSES ONLY.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN LATEST STANDARDS. PLANT INSTALLATION MUST CONFORM TO THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF THE "LANDSCAPE SPECIFICATION GUIDELINES" BY THE LANDSCAPE CONTRACTOR'S ASSOCIATION.

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT UNDER SDP-89-130.
 (10) SHADE TREES @ \$300 EACH = \$3,000.00
 (54) SHRUBS @ \$30 EACH = \$1,620.00
\$4,620.00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

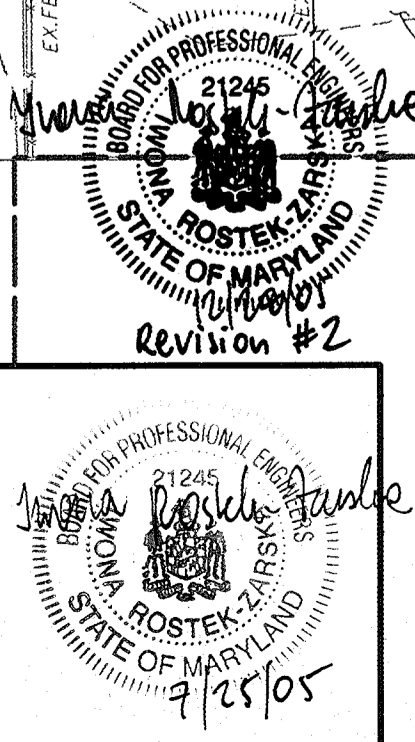
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
Chief, Development Engineering Division	Date: 7/25/05				
Chief, Land Development Division	Date: 7/25/05				
Director	Date: 7/25/05				
ADDRESS CHART					
LOT / PARCEL NO.	STREET ADDRESS				
PARCEL B (81,800 S.F.)	8220 PATUXENT RANGE ROAD				
PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.			
DORSEY RUN INDUSTRIAL PARK	N / A	P. 109			
PLAT NO.	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
11041	2	M-2	48	6TH	606901
WATER CODE	SEWER CODE				
B02	3020000				

NOTE:
SEE SHEET B OF 14 FOR HANDICAP ACCESSIBLE ROUTES FOR BUILDING C (#8220)

DORSEY RUN ROAD 80' R/W

PATUXENT RANGE ROAD

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



REVISION #2
RELOCATED TWO LANDSCAPE ISLANDS, INCREASED LENGTH OF TRUCK LOADING AREA, RELOCATED PROP. TREES WITHIN REVISED ISLANDS.

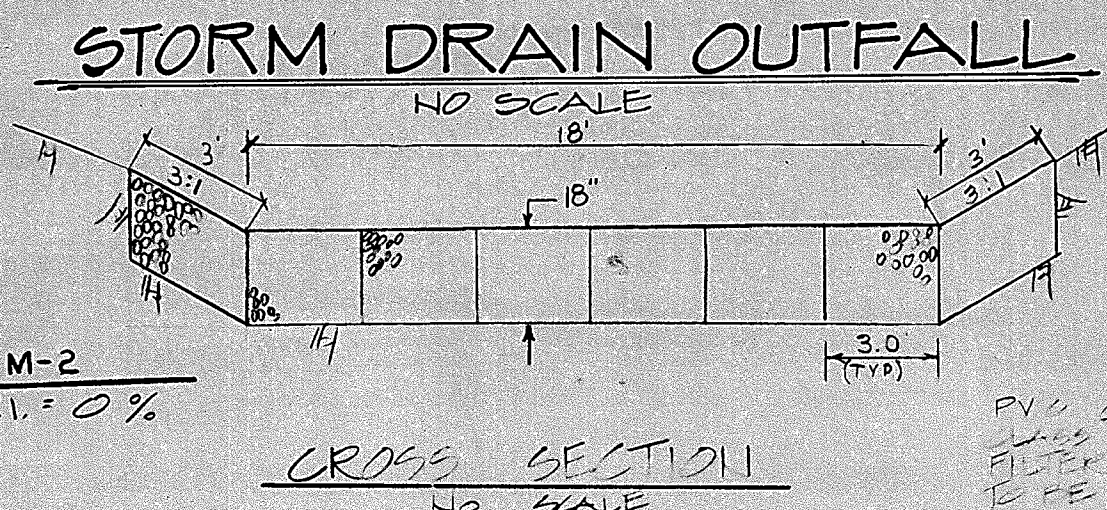
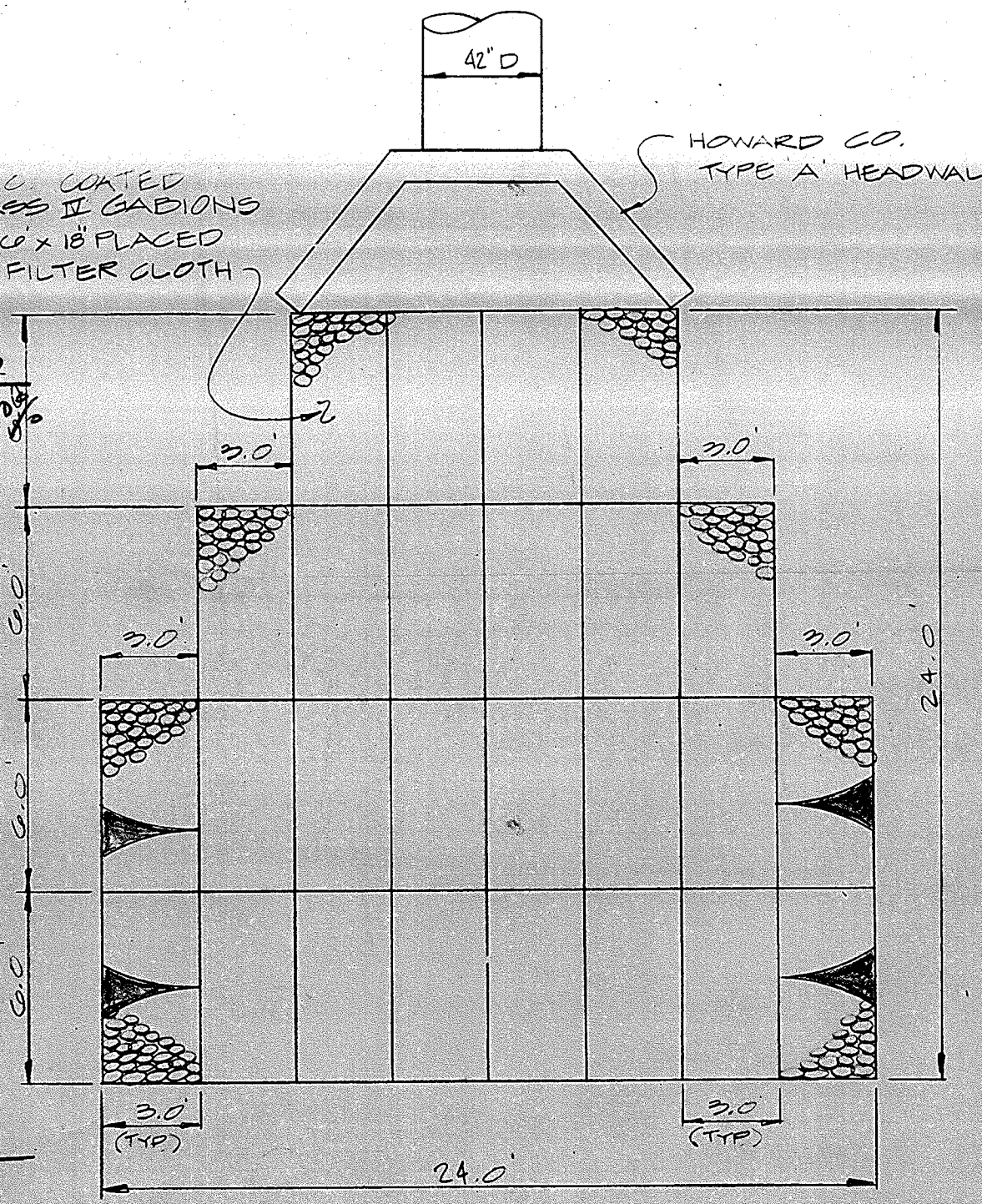
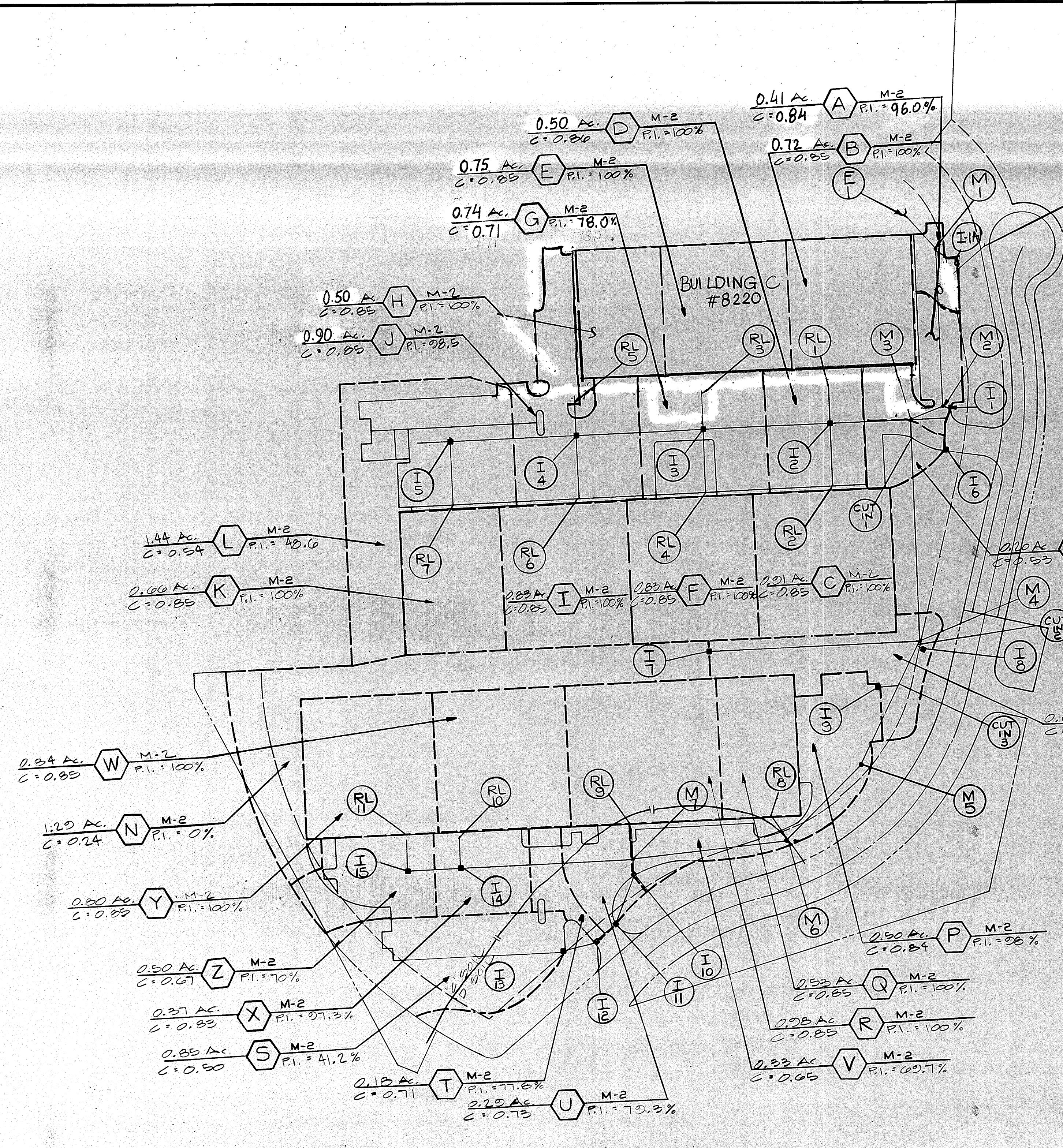
EXISTING BUILDING B
1 STORY OFFICE/WAREHOUSE
#8240
F.F. ELEV. 193.10 +/-
PERMIT #27643
PARCEL A
DORSEY RUN INDUSTRIAL PARK-ILTD
PLAT #11041
ZONED M-2

OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
6/2/05	**REVISION #1	BLDG, INC.
10/7/05	REVISION #2	BLDG, INC.

REVISOR: [Signature]
REVISED SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
DORSEY RUN INDUSTRIAL PARK
PARCEL B
SDP-89-130
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
SHEET 11 OF 14
DATE: JULY, 2005
SDP-89-130

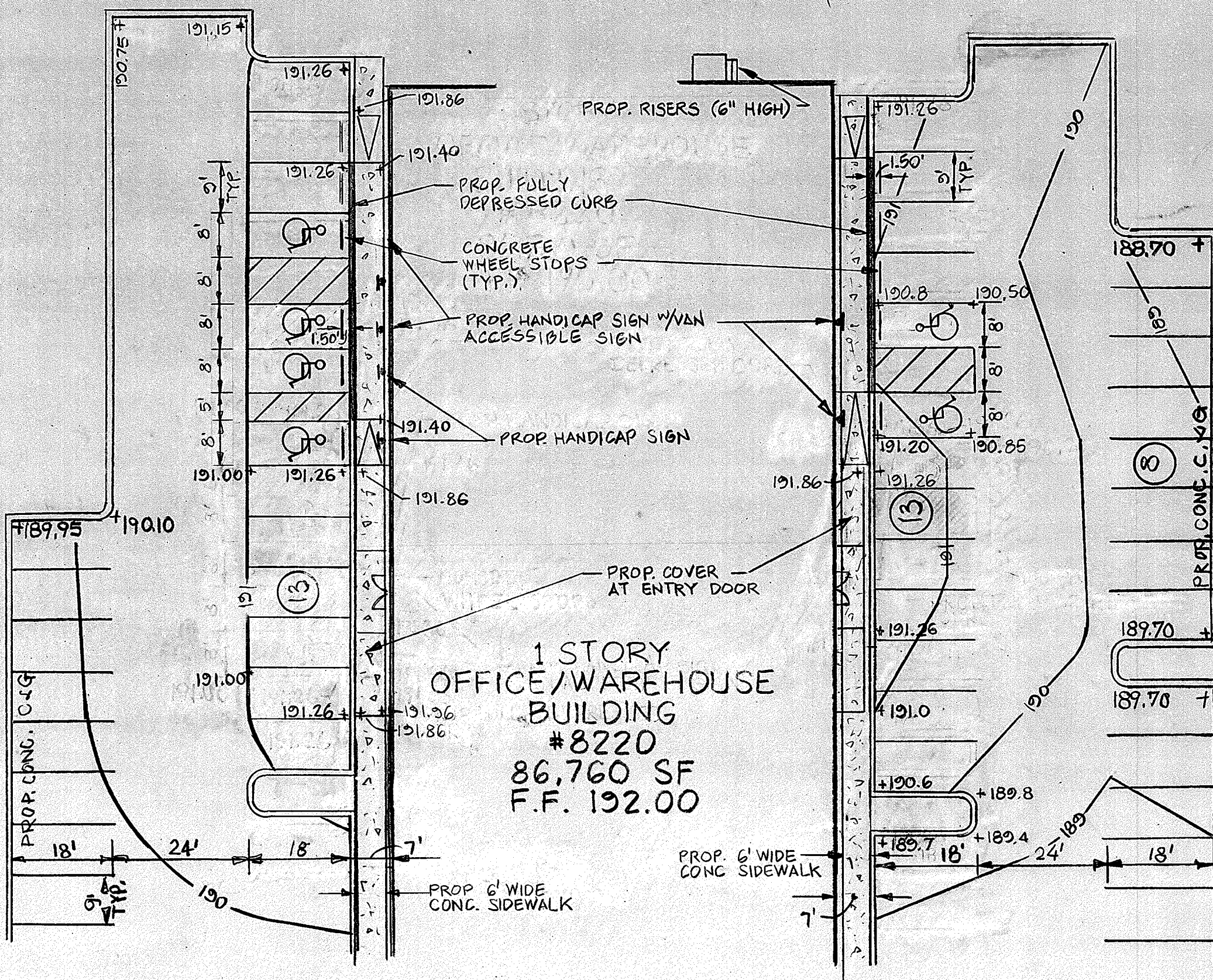
**REVISE LANDSCAPING FOR BUILDING C



STRUCTURE SCHEDULE				
Nº	TYPE	INV. IN	INV. OUT	TOP EL. REMARKS
I-1	DOUBLE S' COMB.		179.20	184.00*
I-2	S' INLET	178.15	177.95	184.10
I-3	S' INLET	179.55	179.05	184.10
I-4	S' INLET	181.20	180.45	184.10
I-5	S' INLET	182.60	181.10	184.10
I-6	S' INLET		179.30	183.00*
I-7	S' INLET		184.27	189.75
I-8	S' INLET		184.11	187.60
I-9	DOUBLE S' COMB.		191.37	202.40
I-10	DOUBLE S' COMB.	197.77	197.57	204.80*
I-11	DOUBLE S' COMB.	198.77	198.57	202.60*
I-12	DOUBLE S' COMB.	199.27	199.09	202.60*
I-13	DOUBLE S' INLET		200.19	203.75
I-14	S' INLET	200.64	200.39	205.50
I-15	S' INLET	201.79	201.54	205.50
I-1A	DOUBLE S' COMB.		180.08	189.30*
M-1	STANDARD PRECAST M.H.	174.35	174.15	180.30
M-2	"	176.43	176.13	182.43
M-3	"	177.91	176.64	185.45
M-4	"	182.32	183.07	180.00
M-5	"	190.21	190.01	203.80
M-6	"	193.16	192.96	206.35
M-7	STANDARD PRECAST M.H.	194.71	194.46	204.45
E-1	TYPE A HEADWALL	173.00	173.00	170.00

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT.
 COUNTY HEALTH OFFICER: *[Signature]* 6/2/05
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
 PLANNING DIRECTOR: *[Signature]* 6/6/05
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: *[Signature]* 6/16/05
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 DIRECTOR: *[Signature]* 5/24/05
 CHIEF, BUREAU OF ENGINEERING: *[Signature]*

DRAINAGE AREA MAP
 SCALE: 1" = 100'



HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING - WEST SIDE AND EAST SIDE
 SCALE 1" = 20'

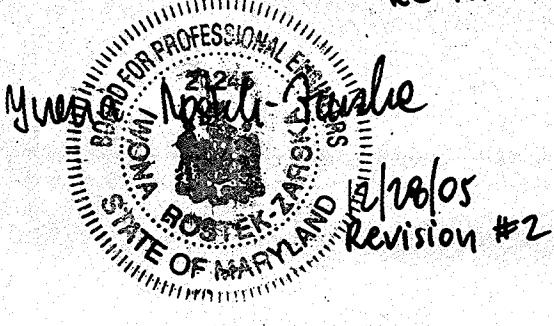
OWNER/DEVELOPER
 DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 ARCADE BUILDING, SUITE 203
 110 WEST ROAD
 BALTIMORE, MARYLAND 21204

DEVELOPER'S CERTIFICATION
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
[Signature] 10/26/05
 DEVELOPER DATE

ENGINEER'S CERTIFICATION
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
[Signature] 2/28/09
 ENGINEER DATE

REVISION #1 6/2/05
 REVISED DRAINAGE AREA MAP.
 ADDED I-1A TO STRUCTURE SCHEDULE.
 ADDED HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING C.

REVISION #2
 RELOCATED LANDSCAPE ISLANDS AND HANDICAP SPACES, REVISED GRADING WITHIN HG SPACES, ADDED PROP COVER AT ENTRY DOORS, INCREASED LENGTH OF DEPRESSED CURB.



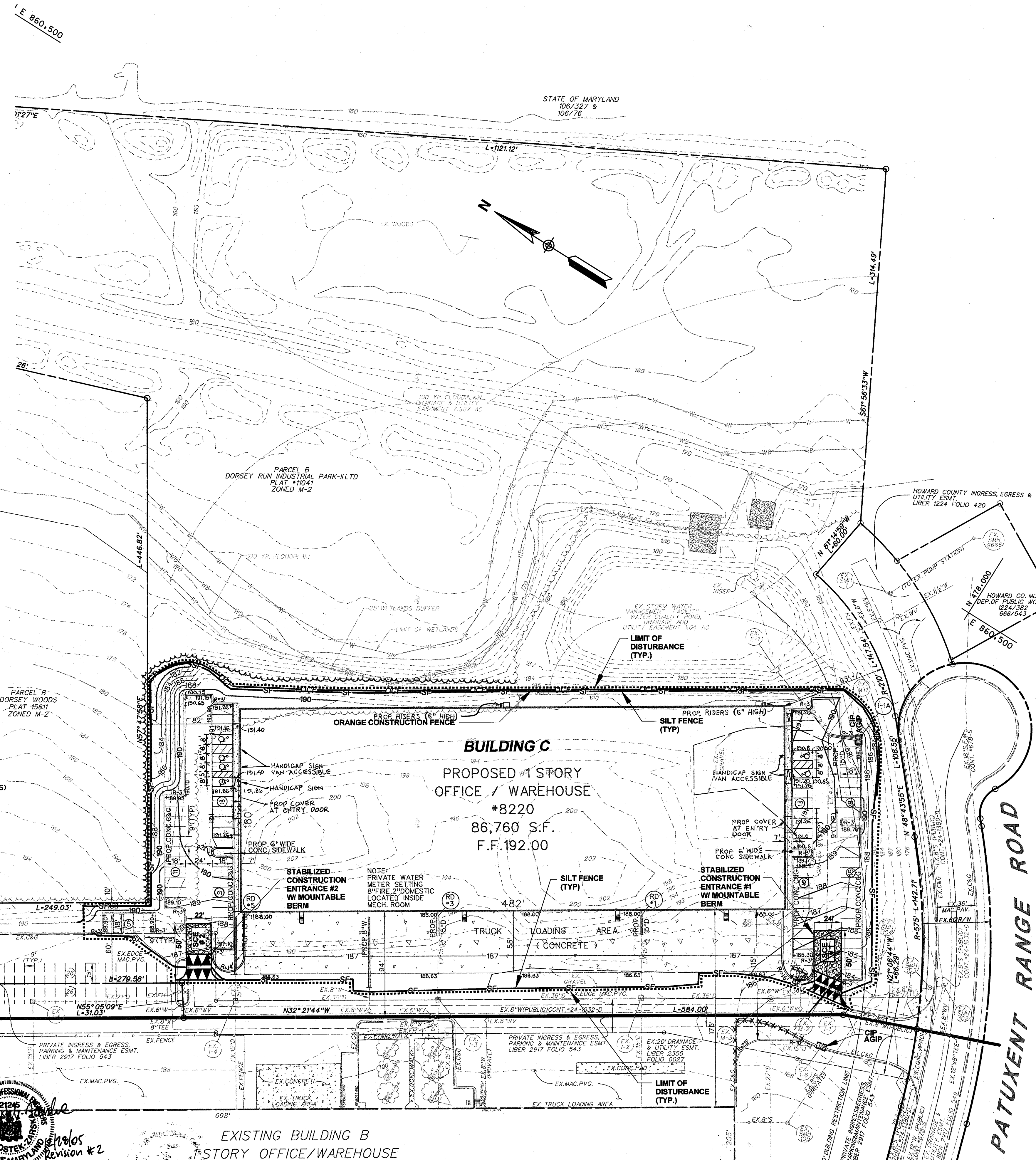
DATE	DESCRIPTION	BY
10/17/05	REVISION #2	BLD

TITLE: STORM DRAIN DRAINAGE AREA MAP
PROJECT: DORSEY RUN INDUSTRIAL PARK
 O.P. & Z. FILE NOS.: S-22-05, F-59-99, SDP-29-130
 TAX MAP: 42, BLOCK: , PARCEL: 100
 6TH ELECTION DISTRICT: HOWARD COUNTY, MD.
 DES. BY: M.L.T. DRAWN BY: M.L.T. CHKD. BY: T.H.M. DATE: 11-25-05
 CIVIL ENGINEERS - SITE PLANNERS SURVEYORS
DST&A Inc.
 11 WARREN ROAD
 BALTIMORE, MD. 21.
 (301) 484-4100
 SCALE: AS NOTED SHEETS OF 14
 SDP-89-130

SEDIMENT CONTROL STANDARD GENERAL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PERMITS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (333-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY MANUAL," STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDINGS, SODS, TEMPORARY SEEDING, AND MULCHING (SECTION G). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OR SITE	14.099	ACRES +/-
AREA DISTURBED	3.97	ACRES +/-
AREA TO BE ROOFED OR PAVED	3.50	ACRES +/-
AREA TO BE VEGETATIVELY STABILIZED	0.47	ACRES +/-
TOTAL CUT	17,000.00 +/-	CUBIC YARDS*
TOTAL FILL	1,000.00 +/-	CUBIC YARDS*
OFF-SITE WASTE/BORROW AREA LOCATION WASTE	16,000.00 +/-	CUBIC YARDS*
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE DAY, WHICHEVER IS SHORTER.
- EARTH QUANTITY VOLUMES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR IS ADVISED TO PERFORM HIS OWN ANALYSIS PRIOR TO PLACING A BID ON THIS ITEM.



LEGEND

RIGHT-OF-WAY LINE	---
PROPERTY LINE	---
EX. CONCRETE CURB & GUTTER	EX.C&G
EX. STORM DRAIN, MANHOLE & INLET	EX.15"D
EX. SANITARY SEWER, MANHOLE & CLEANOUT	EX.8"S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX.12"W
EX. ELECTRIC LINE & TRANSFORMER	E
EX. GAS LINE & VALVE	G
EX. LIGHT POLE	*
EX. TELEPHONE LINE	T
EX. TREE	(Tree symbol)
EX. INDEX COUNTOURS	190
EX. INTERMEDIATE COUNTOURS	180
EX. CONCRETE CURB & GUTTER TO BE REMOVED	---(dashed)---
PROP. CONCRETE CURB & GUTTER	PROP.C&G
PROP. STORM DRAIN, MANHOLE & INLET	PROP.15"D
PROP. SANITARY SEWER, MANHOLE & CLEANOUT	PROP.8"S
PROP. WATER MAIN, VALVE & FIRE HYDRANT	PROP.8"W
PROP. INDEX COUNTOURS	190
PROP. INTERMEDIATE COUNTOURS	180
LIMIT OF WETLAND	W
25' WETLAND BUFFER	WB
100 YR. FLOODPLAIN	FP
SEDIMENT CONTROL LEGEND	
LIMIT OF DISTURBANCE	-----
ORANGE CONSTRUCTION FENCE	OCF
SILT FENCE	SF
STABILIZED CONSTRUCTION ENTRANCE	SCE
MOUNTABLE BERM TYPE A	(Berm symbol)
STANDARD INLET PROTECTION	SIP
AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP

SEQUENCE OF OPERATION (BUILDING C)

- OBTAIN GRADING PERMIT. (1 DAY)
- NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (1 DAY)
- INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN. (1 DAY)
- INSTALL ORANGE CONSTRUCTION FENCE & SILT FENCE AS SHOWN ON THE PLAN. PROVIDE INLET PROTECTION FOR EX. INLETS I-1 & I-6. (3 DAYS)
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR BEGIN GRADING OPERATIONS. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES AT ALL TIMES. (10 DAYS)
- AS WORK PROGRESSES BEGIN INSTALLATION OF UTILITIES. INSTALL DRAIN SYSTEM FROM EX. INLET TO PROP. INLET I-1A AND PROVIDE INLET PROTECTION FOR NEWLY INSTALLED INLET I-1A. (8 DAYS)
- BEGIN CONSTRUCTION OF PROPOSED BUILDING. (20 DAYS)
- PROCEED WITH GRADING OPERATIONS AND CONTINUE BUILDING CONSTRUCTION. (15 DAYS)
- FINE GRADE ALL AREAS, INSTALL CONCRETE CURB AND GUTTER AND STONE SUB-BASE. (12 DAYS)
- AFTER OBTAINING PERMISSION FROM SEDIMENT CONTROL INSPECTOR REMOVE THE REMAINING SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES AND PROCEED WITH PAVING AND LANDSCAPING INSTALLATION. (8 DAYS)

DORSEY RUN ROAD 80' R/W

PATUXENT RANGE ROAD

Reviewed for Howard SCD and meets Technical Requirements

Jim Meyer 4/3/05
 USF Natural Resources Conservation Service Date

John K. Robertson 8/15/05
 Howard Co. SCD Date

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Mwona Rostek-Zorska 7/25/05
 Mwona Rostek-Zorska, P.E. 21245 Date

DEVELOPER'S CERTIFICATE
 I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

John K. Robertson 7/25/05
 John K. Robertson Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kevin J. ... 8/10/05
 Chief, Development Engineering Division Date

... 8-12-05
 Chief, Land Development Division Date

... 8/15/05
 Director Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B (8406-2)	8220 PATUXENT RANGE ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.			
DORSEY RUN INDUSTRIAL PARK	N / A	P. 109			
PLAT NO.	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
11041	2	M - 2	48	6TH	606901
WATER CODE	SEWER CODE				
B02	3020000				

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

Mwona Rostek-Zorska
 7/25/05
 Professional Engineer Seal

REVISION #2
 RELOCATED LANDSC. ISLANDS AND HANDICAP SPACES REVISED GRADING WITHIN PARKING AREAS, ADDED PROP. COVER AT ENTRY DOORS, INCREASED LENGTH OF TRUCK LOADING AREA AND DEPRESSED CURB.

EXISTING BUILDING B
 1 STORY OFFICE / WAREHOUSE
 #8240
 F.F. ELEV. 193.10 +/-
 PERMIT #27643
 PARCEL A
 DORSEY RUN INDUSTRIAL PARK-ILTD
 PLAT #1041
 ZONED M-2

**REVISED SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES FOR BUILDING C. ADDED SEQUENCE OF OPERATION.

OWNER / DEVELOPER
 DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093-8288
 (443) 689-8000

DATE	ITEM	BY
6/2/05	**REVISION #1	BLDG, INC.
10/7/05	REVISION #2	BLDG, INC.

REVISED SITE DEVELOPMENT PLAN
 EROSION AND SEDIMENT CONTROL PLAN
DORSEY RUN INDUSTRIAL PARK
 PARCEL B
 SDP-89-130

HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'

SHEET 5 OF 14
 DATE: JULY, 2005

SDP-89-130

DORSEY RUN ROAD
80' R/W

SITE CONSTRUCTION NOTES:

- 1 MATCH EX. CONCRETE CURB AND GUTTER FOR GRADE AND LINE
- 2 SAW-CUT, REMOVE EXISTING CURB & GUTTER, GRADE, INSTALL NEW PAVING, MATCH EXISTING PAVING FOR GRADE AND SEAL JOINTS.

LEGEND

RIGHT-OF-WAY LINE	---
PROPERTY LINE	---
EX. CONCRETE CURB & GUTTER	--- EX.C&G ---
EX. STORM DRAIN, MANHOLE & INLET	--- EX.15"D ---
EX. SANITARY SEWER, MANHOLE & CLEANOUT	--- EX.8"S ---
EX. WATER MAIN, VALVE & FIRE HYDRANT	--- EX.12"W ---
EX. ELECTRIC LINE & TRANSFORMER	--- E ---
EX. GAS LINE & VALVE	--- G ---
EX. LIGHT POLE	--- L ---
EX. TELEPHONE LINE	--- T ---
EX. TREE	--- T ---
EX. INDEX CONTOURS	--- 190 ---
EX. INTERMEDIATE CONTOURS	--- 188 ---
EX. CONCRETE CURB & GUTTER TO BE REMOVED	--- EX.C&G ---
PROP. CONCRETE CURB & GUTTER	--- PROP.C&G ---
PROP. STORM DRAIN, MANHOLE & INLET	--- PROP.15"D ---
PROP. SANITARY SEWER, MANHOLE & CLEANOUT	--- PROP.8"S ---
PROP. WATER MAIN, VALVE & FIRE HYDRANT	--- PROP.8"W ---
PROP. INDEX CONTOURS	--- 190 ---
PROP. INTERMEDIATE CONTOURS	--- 188 ---
PROP. PARKING COUNT	--- P ---
LIMIT OF WETLAND	--- W ---
25' WETLAND BUFFER	--- WB ---
100 YR FLOODPLAIN	--- FF ---

PAVEMENT SECTION LEGEND

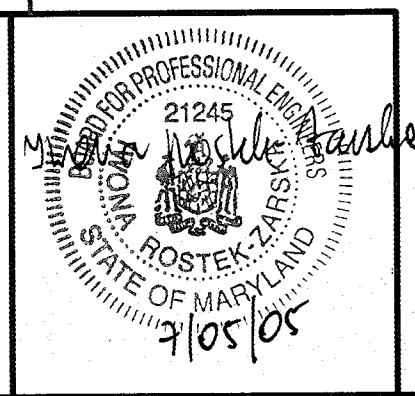
HEAVY DUTY PAVING	---
LIGHT DUTY PAVING	---
OVERLAY PAVING	---
CONCRETE PAVING	---

PAVEMENT SECTION DETAILS

HEAVY DUTY PAVING P-5	
LIGHT DUTY PAVING P-3	

NOTE:
SEE SHEET 8 OF 14 FOR HANDICAP ACCESSIBLE ROUTES FOR BUILDING C (#8220)

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



REVISION #2
RELOCATED LANDSC ISLANDS AND HANDICAP SPACES, REVISED GRADING WITHIN PARKING AREAS, PERMIT #27643
ADDED PROP. COVER AT ENTRY DOORS, INCREASED LENGTH OF TRUCK LOADING AREA AND DEPRESSED CURB.
F.F. ELEV. 193.10+/-
PARCEL A DORSEY RUN INDUSTRIAL PARK-ILTD PLAT #1041 ZONED M-2

EXISTING BUILDING B
1 STORY OFFICE / WAREHOUSE
#8240
"THE DEVELOPER MUST APPLY FOR A BUILDING PERMIT TO INITIATE CONSTRUCTION OF BUILDING C PRIOR BEFORE 4-8-06 (PER WP-05-56 APPROV. COMMAND)."
**INCREASED WIDTH OF TRUCK LOADING AREA FROM 155' TO 175'. REDUCED FOOTPRINT OF PROPOSED BUILDING C FROM 106,730 SF TO 86,760 SF. ADDED ADDITIONAL PARKING SPACES ON NORTH-WEST SIDE OF PROP BUILDING C. ADDED STORM DRAIN SYSTEM FROM I-1A TO M-1. REVISED GRADING / SEWER LINE.

OWNER / DEVELOPER
DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
6/27/05 <td>**REVISION #1 <td>BLDG, INC.</td> </td>	**REVISION #1 <td>BLDG, INC.</td>	BLDG, INC.
10/7/05 <td>REVISION #2 <td>BLDG, INC.</td> </td>	REVISION #2 <td>BLDG, INC.</td>	BLDG, INC.

**REVISED SITE DEVELOPMENT PLAN
SITE, GRADING & UTILITY PLAN
DORSEY RUN INDUSTRIAL PARK
PARCEL B
SDP-89-130**

HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

SHEET 3 OF 14
DATE: JULY, 2005

SDP-89-130

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING		
Chief, Development Engineering Division	<i>[Signature]</i>	Date 7/12/05
Chief, Land Development Division	<i>[Signature]</i>	Date 7/12/05
Director	<i>[Signature]</i>	Date 7/12/05
ADDRESS CHART		
LOT / PARCEL NO.	STREET ADDRESS	
PARCEL B (BLDG. C)	8220 PATUXENT RANGE ROAD	
PERMIT INFORMATION CHART		
SUBDIVISION NAME DORSEY RUN INDUSTRIAL PARK	SECTION / AREA N / A	LOT / PARCEL NO. P. 109
PLAT NO. 11041	GRID NO. 2	ZONING M - 2
TAX MAP NO. 48	ELEC. DIST. 6TH	CENSUS TRACT 6069.01
WATER CODE 802	SEWER CODE 302000	

DORSEY RUN INDUSTRIAL PARK

General Notes

1. Tax Map: 48 Parcel: 109
2. Deed Reference: 666/543
3. Existing Zoning: M-2
4. Proposed Site Use: Offices and Warehouses
5. Area of Site: 32.86 Ac. or 1,431,381.6 Sq. Ft.
6. All construction and materials shall be in accordance with the Howard County Road Construction Code and Specifications.
7. Utilities to be utilized:
Water- Public
Sewer- Public
8. All on site driveways and parking areas are private.
9. Patuxent Range Drive, Public Road
10. Any damage to a county owned Right of Way shall be corrected at developer's expense.
11. Contractor to verify location of all underground utilities prior to beginning work.
12. Contractor to notify Miss Utility at 1-800-257-7777 at least five (5) days prior to beginning construction.
13. The contractor or developer shall contact the construction Inspections Division of Howard County at 792-7272 at least 24 hours prior to starting construction.
14. Boundary shown hereon was supplied by owner and is based on a topographic survey prepared by STV/Lyon Associates, in February 1987.
15. ANY CHANGE IN TENANT OR USE ON THIS SITE MUST BE EVALUATED BY THE OWNER FOR ADEQUATE OF PARKING AND VEHICLE CIRCULATION PRIOR TO MAKING APPLICATION FOR ANY INTERIOR BUILDING ALTERATIONS OR CHANGE IN USE PERMITS.

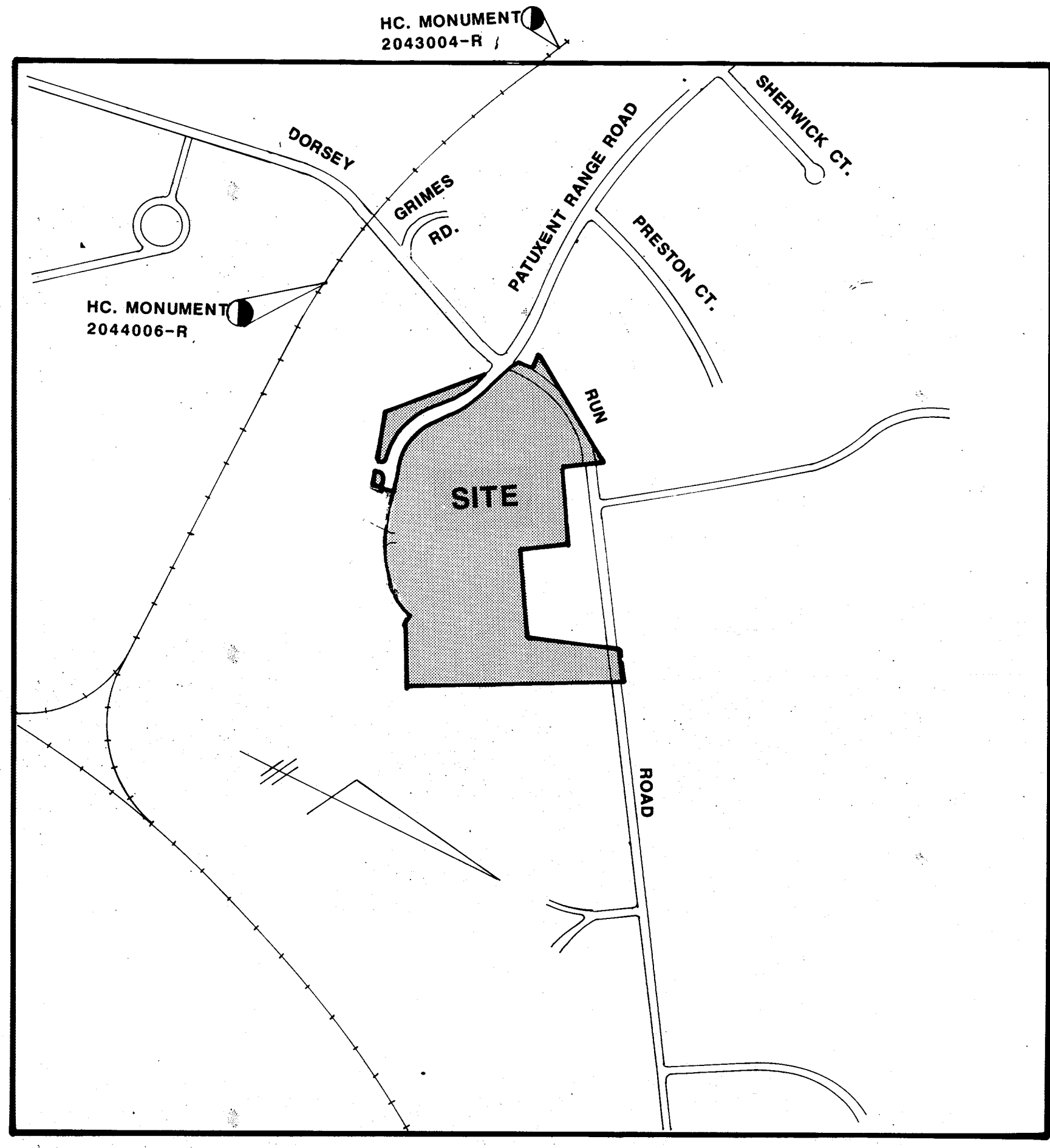
REVISION #1 AND #2
 PREPARED BY: BALTIMORE LAND DESIGN GROUP, INC.
 CONSULTING ENGINEERS
 222 SCHILLING CIRCLE, SUITE 105
 HUNT VALLEY, MARYLAND 21030

REVISION #1 6/02/05
 REVISE "SITE ANALYSIS" DATA
 ADDED WAIVER PETITION WP-05-56 NOTE

REVISION #2 10/7/05

Yvonne Kosicki Paulie
 2/28/89
 Revision #1 only

James H. Paulie
 10/25/85
 Revision #2



VICINITY MAP

SCALE: 1" = 600'

Bearings and coordinates as shown hereon are based on the Maryland State Plane Coordinate system as adapted by Howard County, as referenced from Traverse Stations:
 No. 2043004 N477,538.979 E857,445.252 EL. 238.274
 No. 2044006 N476,9229.101 E859,068.366 EL. 210.767

Site Analysis

1. Area of Parcel: 32.86 Ac. or 1,431,381.6 Sq. Ft.
 2. Existing Zoning: M-2
 3. Floor space per use: Office-17,054 sq. ft.
Warehouse-360,996 sq. ft.
 4. Maximum number of employees per use: Office- 30 employees
Warehouse- 15 employees
 5. Open space to remain on site: Not Required
 6. Building coverage of site: 378,050 sq. ft. or 26%
 7. Landscaped Islands:
Parking area-124,767 sq. ft.
Landscaped Islands-15,183 sq. ft. or 12%
 8. ▲ Denotes exterior lighting.
 9. All exterior lighting shall be directed / reflected away from adjacent public right of way and any residentially zoned properties.
 10. Parking:
- | Use | Area | Spaces Required | Spaces Provided |
|-----------|-----------------|-----------------|-----------------|
| Office | 17,054 sq. ft. | 85 | 119 |
| Warehouse | 360,996 sq. ft. | (8) | 201 |
| Totals | 378,050 sq. ft. | 266 | 320* |
- *Including 12 Handicapped Spaces

NOTE:
 WP-05-56
 PETITION REQUEST TO WAIVE SECTION 16.156m (1) TO REACTIVATE
 THE APPROVAL OF SDP-89-130 HAS BEEN GRANTED ON APRIL 8, 2005.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 HOWARD COUNTY HEALTH DEPARTMENT.
James H. Paulie 6-2-89
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
James H. Paulie 6-6-89
 PLANNING DIRECTOR DATE

James H. Paulie 6/6/85
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James H. Paulie 10/25/85
 DIRECTOR DATE

James H. Paulie 10/25/85
 CHIEF, BUREAU OF ENGINEERING DATE

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
James H. Paulie 2/28/89
 ENGINEER DATE

DEVELOPER'S CERTIFICATION
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
James H. Paulie 10/25/85
 DEVELOPER DATE

NOTE
 "THE APPLICANT / DEVELOPER SHALL APPLY FOR A BUILDING PERMIT TO INITIATE CONSTRUCTION OF BUILDING "C" ON OR BEFORE 4/08/06"

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
Bldg. A	8240 Patuxent Range Road
Bldg. B	8230 Patuxent Range Road
Bldg. C	8220 Patuxent Range Road

DATE	DESCRIPTION	BY

SUBDIVISION NAME		SECT./AREA	LOT/PARCEL #
DORSEY RUN INDUSTRIAL PARK			P. 109
PLAT # OR L/E	BLOCK #	ZONE	TAX/ZONE MAP
666/543	2 & 3	M-2	48
ELEC. DIST.		CENSUS TR.	
6TH		6064	
WATER CODE		SEWER CODE	

OWNER / DEVELOPER
 DORSEY RUN INDUSTRIAL PARK LIMITED PARTNERSHIP
 ARUNDEL BUILDING 110 WEST ROAD
 BALTIMORE, MD 21204

TITLE SHEET
 PROJECT: DORSEY RUN INDUSTRIAL PARK
 O.P. & Z. FILE NOS.: S-88-45, F-39 27, SDP-89-130
 TAX MAP: 48, BLOCK: , PARCEL: 109
 6TH ELECTION DISTRICT: HOWARD COUNTY, MD.
 DES. BY: RLR DRAWN BY: CAB CHKD. BY: THM DATE: 11-25-80
 SCALE: 1"=600' SHEET 1 OF 14

CIVIL ENGINEERS - SITE PLANNERS
DST & A Inc.
 11 WARREN ROAD
 BALTIMORE, MD. 21208
 (301) 484-4100
 SDP-89-130