

SITE DATA - PARCEL E-1

Total Area of Site - 6.178 AC ± = 269,114 S.F.
EX - Zoning - M-1
Property Reference = Plat No. 6871
EX Use = Vacant
Property Use = Office
Building Coverage = 19,450 S.F. (0.45 AC ±)
Floor Area = 795,087 S.F. (2.10 AC ±)
Floor Area Ratio = 93,100/269,114 = 75%
Area to be disturbed = 2,401/1,509 = 40.2%
% Building Coverage w/paving = 59.8%
Area to be disturbed: 255,488 S.F. (5.86 AC ±)
Area to be vegetatively stabilized = 2.17 AC ±
% Building coverage: 7.2%
Total Area of Parking Lot: 2.14 AC ±
% of Parking Landscape Area: 0.02/2.14 = 0.9%
BUILDING HEIGHT = 50'

SITE DATA - PARCEL E-2

Total Area - 1.509 AC ±
EX - Zoning - M-1
Property Reference: Plat No. 6871
EX Use: Vacant
Prop. Use = Storm Water Management
Area to be disturbed = 1.32 AC ±
Area to be vegetatively stabilized = 1.32 AC ±
% OPEN SPACE = 1.509/1.509 = 100%

PARKING TABULATION

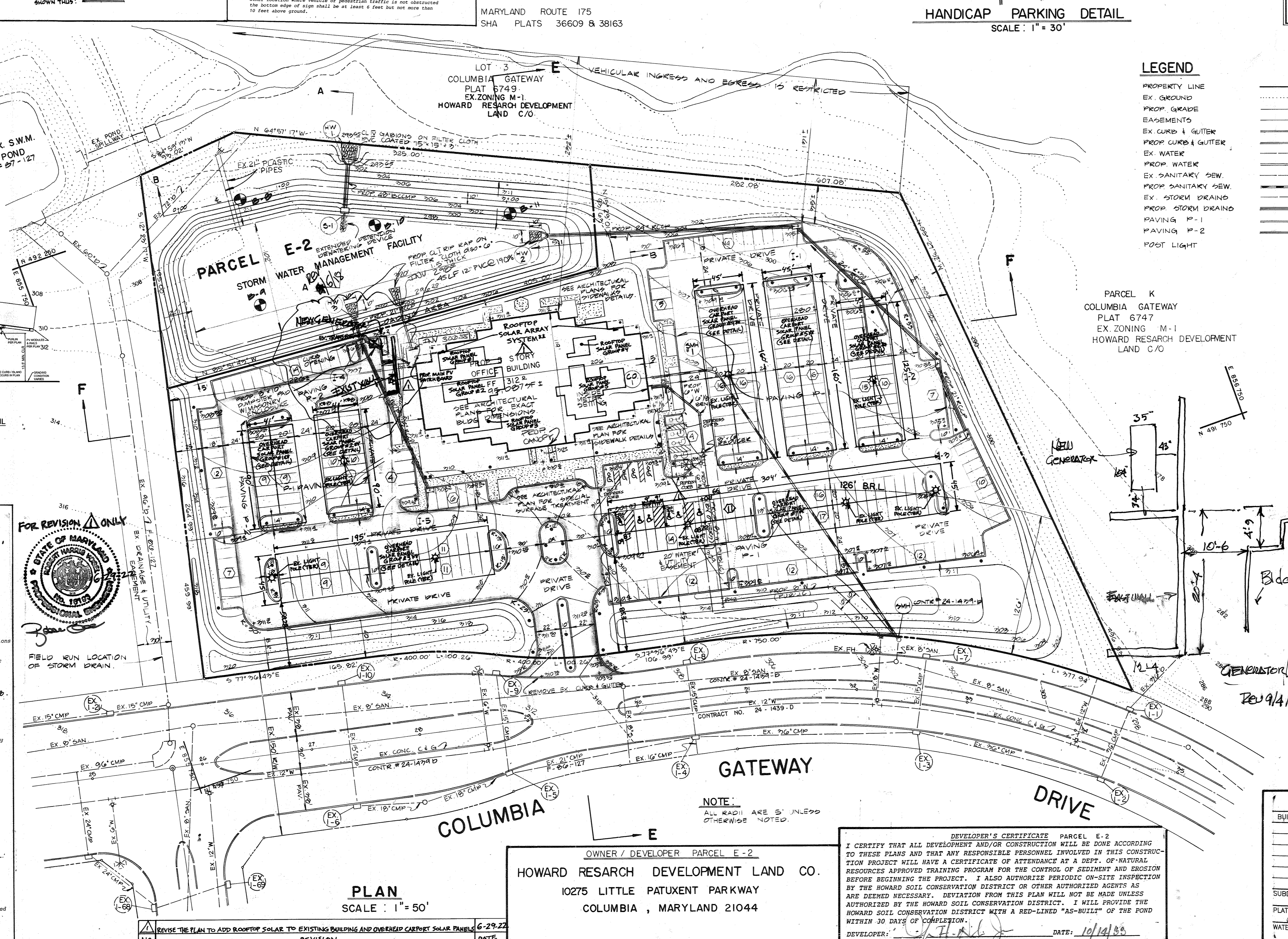
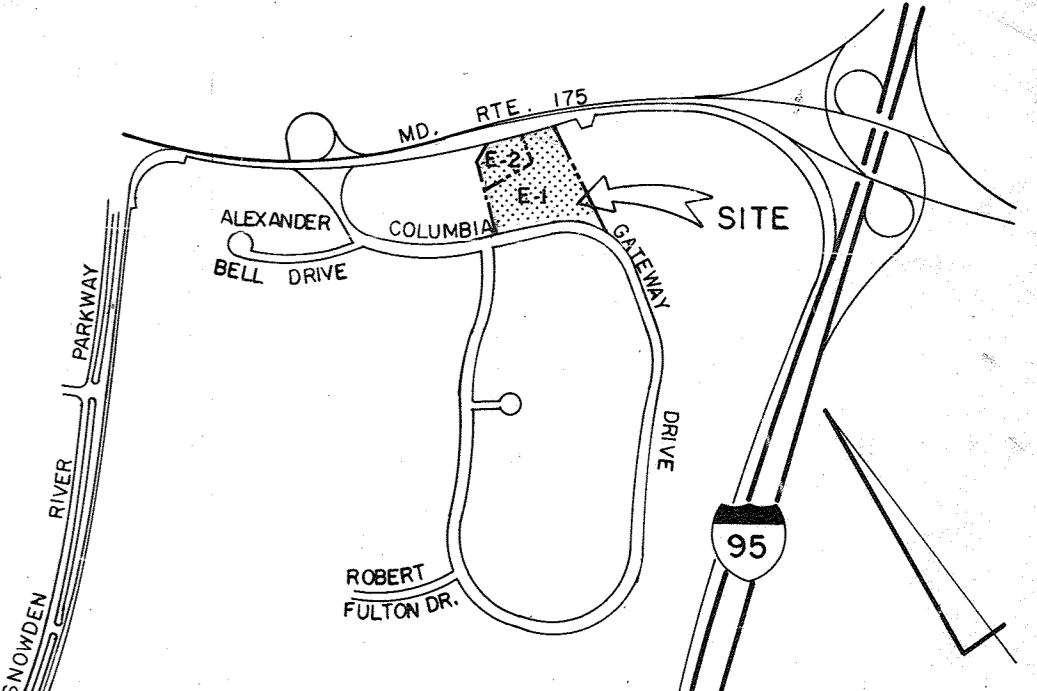
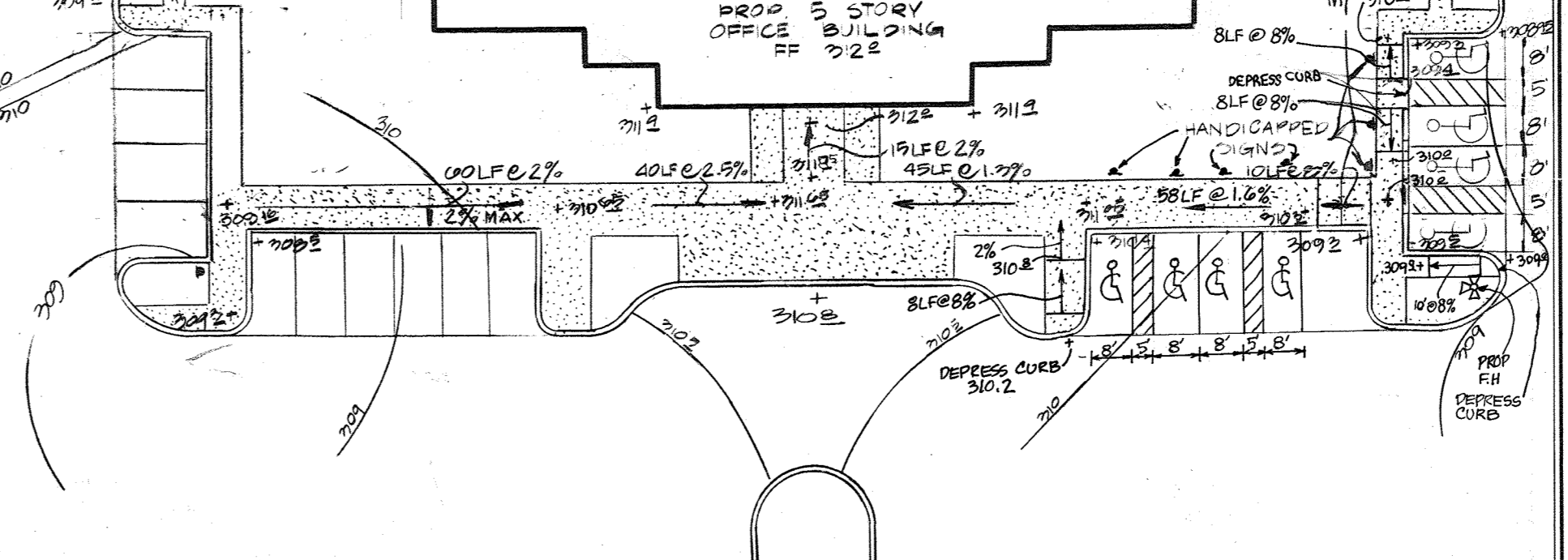
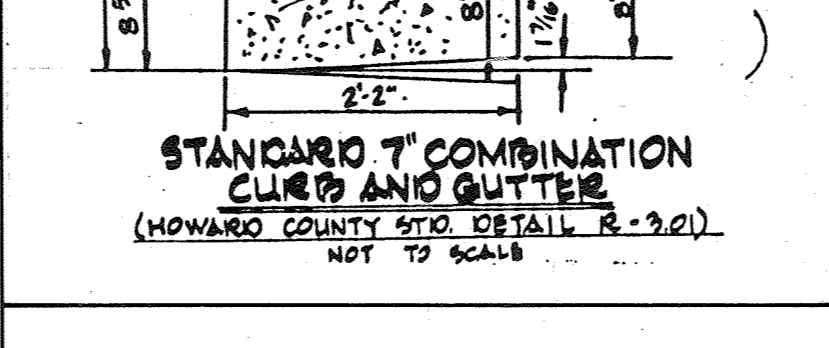
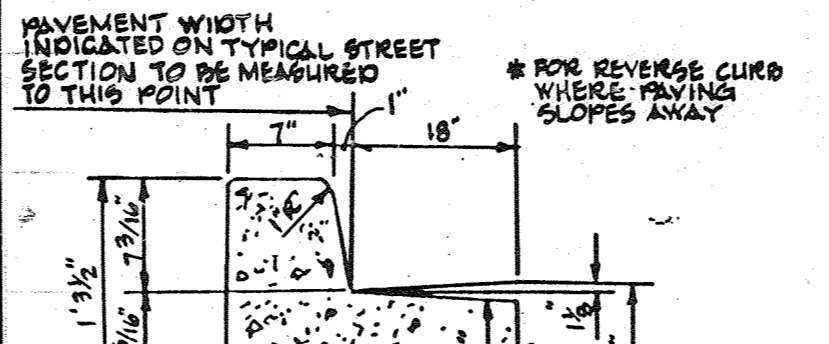
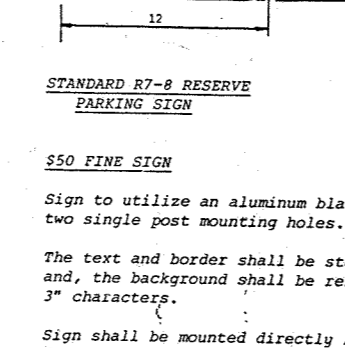
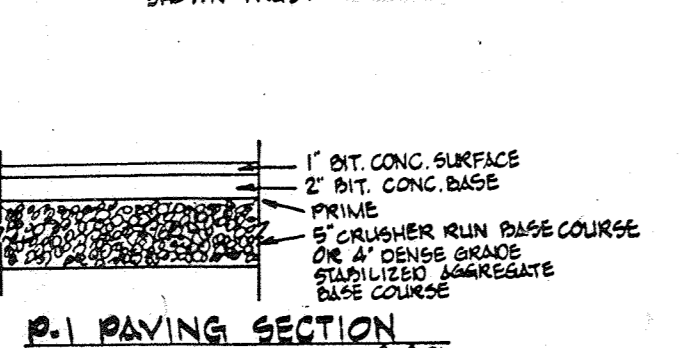
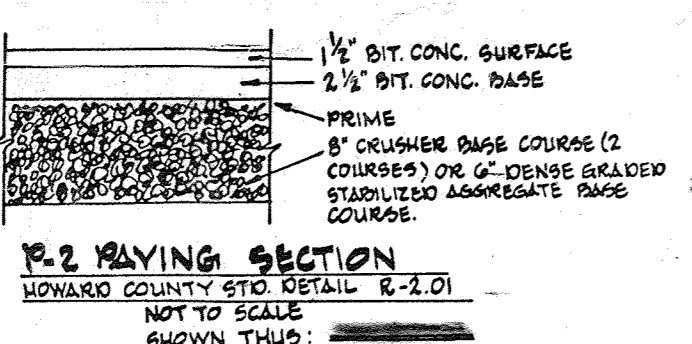
PARKING REQUIRED: OFFICE 95,007 S.F./200 = 476 EMP
7 P.S./10 EMP. = 333 P.S.
PARKING PROVIDED: 350
REQUIRED HANDICAPPED SPACES: 18
PROVIDED HANDICAPPED SPACES: 14

REFERENCE PLANS

P 06-01, P 06-22
P 06-27, P 06-06-19
P 06-06-23, P 06-06-12A
RECORD PLAT # 6871 &
6709 F 07-11.

NOTES

- 1. Maximum building height - 50'.
2. All areas not being paved or receiving building coverage shall be stabilized in accordance with the plans approved by Howard Soil Conservation District.
3. Any damage to public rights-of-way and/or adjacent properties shall be repaired immediately at the contractor's expense.
4. The contractor shall maintain at least a 2" level behind all curb and gutter in fill areas.
5. The contractor shall verify all existing utilities to his own satisfaction before starting construction.
6. All slopes shall be 2:1 or flatter.
7. All work shall be done in accordance with Howard County Standard Specifications and details for construction, or as shown on these plans.
8. The contractor shall notify the C & P Telephone Co. and the Gas and Electric Company five days prior to starting work shown on these plans by calling "Miss Utilities", call collect 1-531-0100.
9. For details of ramps and signs for the handicapped, see the Maryland Building Code for the Handicapped and Aged as shown hereon. See Sheet 1 of 6.
10. The contractor shall maintain a minimum of 4' cover over all proposed water lines.
11. All rip-rap shall be placed on filter cloth.
12. The contractor or developer shall contact the Construction Inspection/Survey Division 24 hours in advance of commencement of work at 992-2417 or 792-7272.
13. The contractor shall remove all existing paving, curb and gutter, etc. that may interfere with proposed construction.
14. All utilities installed shall receive full trench protection.
15. All water main tees, bends, caps, etc. shall be buttressed in accordance with Howard County Design requirements.
16. All sidewalks will be 6' wide (see architectural plans for details).
17. The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if this waste is regulated under Section 17-22A of the Howard County Code. Each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above requirements shall apply to all initial and future occupants or tenants.
18. TYPICAL PARKING SPACE WIDTH 19' 9" FEET WIDE



LEGEND

- PROPERTY LINE
EX GROUND
PROP GRADE
EASEMENTS
EX CURB & GUTTER
PROP CURB & GUTTER
EX WATER
PROP WATER
EX SANITARY SEW.
PROP SANITARY SEW.
EX STORM DRAINAGE
PROP STORM DRAINAGE
PAVING P-1
PAVING P-2
POST LIGHT

BENCHMARK

- W & A D M #2 ELEV 795.20
R.R. SPOKE IN BASE OF 14\"/>

APPROVED
DIVISION OF
COMMUNITY PLANNING
& LAND DEVELOPMENT
HOWARD COUNTY,
MARYLAND
DATE 3-2-89

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

J. Helm 5-17-89
U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: Robert J. Zichem 5-19-89
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED: 5-20-89
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.

APPROVED: 6.1.89
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE
SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF
PUBLIC WORKS.

APPROVED: 5/26/89
DIRECTOR DATE

APPROVED: 5-25-89
CHIEF BUREAU OF ENGINEERING DATE

Table with columns: BUILDING #, STREET ADDRESS, SUBDIVISION NAME, PLAT # OR L/F, WATER CODE, ADDRESS CHART, SECT./AREA, LOT/PARCEL #, ELECTION DISTRICT #.

OWNER / DEVELOPER PARCEL E-2
HOWARD RESEARCH DEVELOPMENT LAND CO.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DEVELOPER'S CERTIFICATE PARCEL E-2
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

OWNER / DEVELOPER PARCEL E-1
VI - 6 LIMITED PARTNERSHIP
C/O THE ISSEL COMPANY
9881 BROKENLAND PKWY SUITE 402
COLUMBIA, MARYLAND 21046

DEVELOPER'S CERTIFICATE PARCEL E-1
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

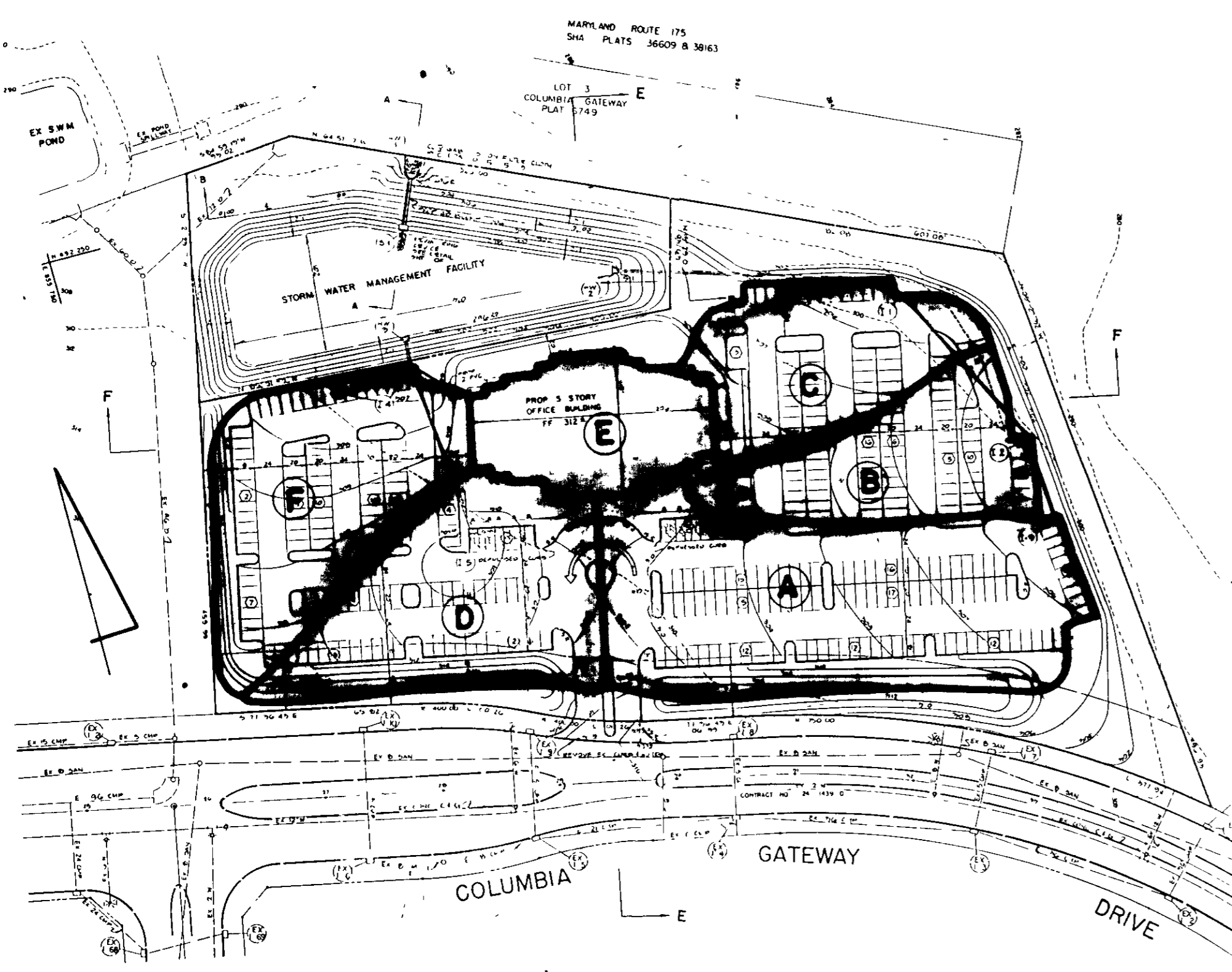
DESIGNED: N.B.
DRAWN: J.W.
CHECKED: N.B.

SITE PLAN
FOR
GATEWAY OFFICE BUILDING
COLUMBIA GATEWAY PARCELS E-1 & E-2
TAX MAP 43
HOWARD CO. MD.
SCALE: AS SHOWN
PN. 6086
ELECTION DISTRICT # 6
OCTOBER 19, 1988
SHEET 1 OF 8
89-80

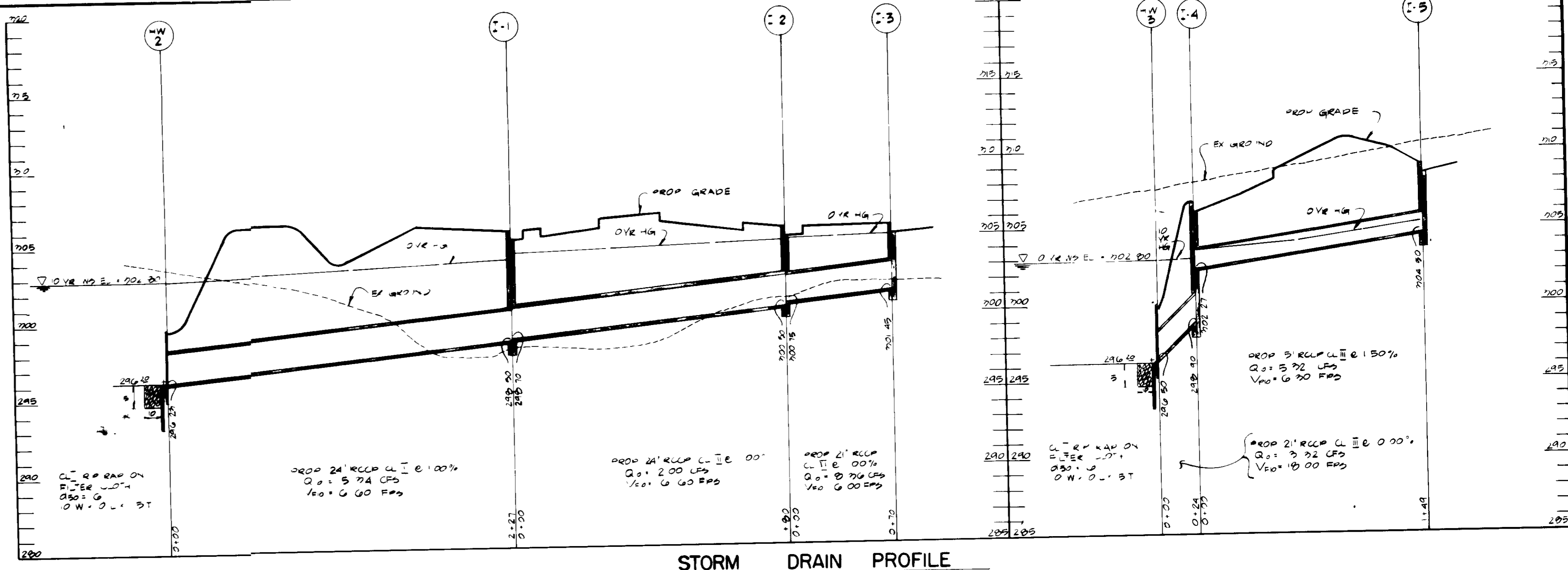
GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21204
(301) 825-8120

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

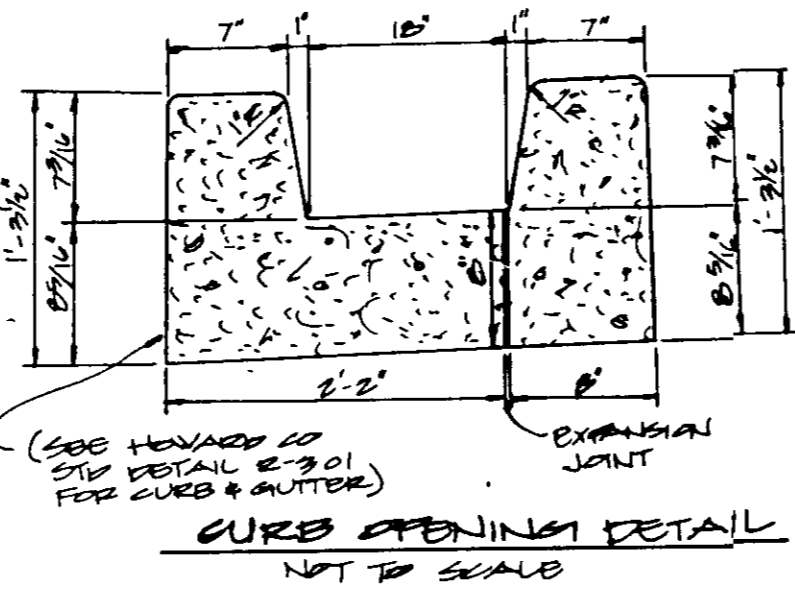
REVISION
NO. 1
REVISION: REVISE THE PLAN TO ADD ROOFTOP SOLAR TO EXISTING BUILDING AND OVERHEAD CARPORT SOLAR PANELS.
DATE: 6-29-89



DRAINAGE AREA MAP
SCALE 1" = 100'



STORM DRAIN PROFILE
SCALE HORZ 1" = 50' VERT 1" = 5'



CURB OPENING DETAIL
NET TO SCALE

INLET SCHEDULE				
NO	TYPE	TOP ELEV.	INV. IN	HO. CO. STD. DET. #
I-1	DBL 2' COMB	205 00	298 50	SD - 4 24
I-2	DBL 2' COMB	205 00	200 75	SD - 4 24
I-3	DBL 2' COMB	205 00	201 45	SD - 4 24
I-4	DBL 2' COMB	200 00	202 27	SD - 4 24
I-5	DBL 2' COMB	200 10	204 50	SD - 4 24

* - TOP OF CURB ELEVATION

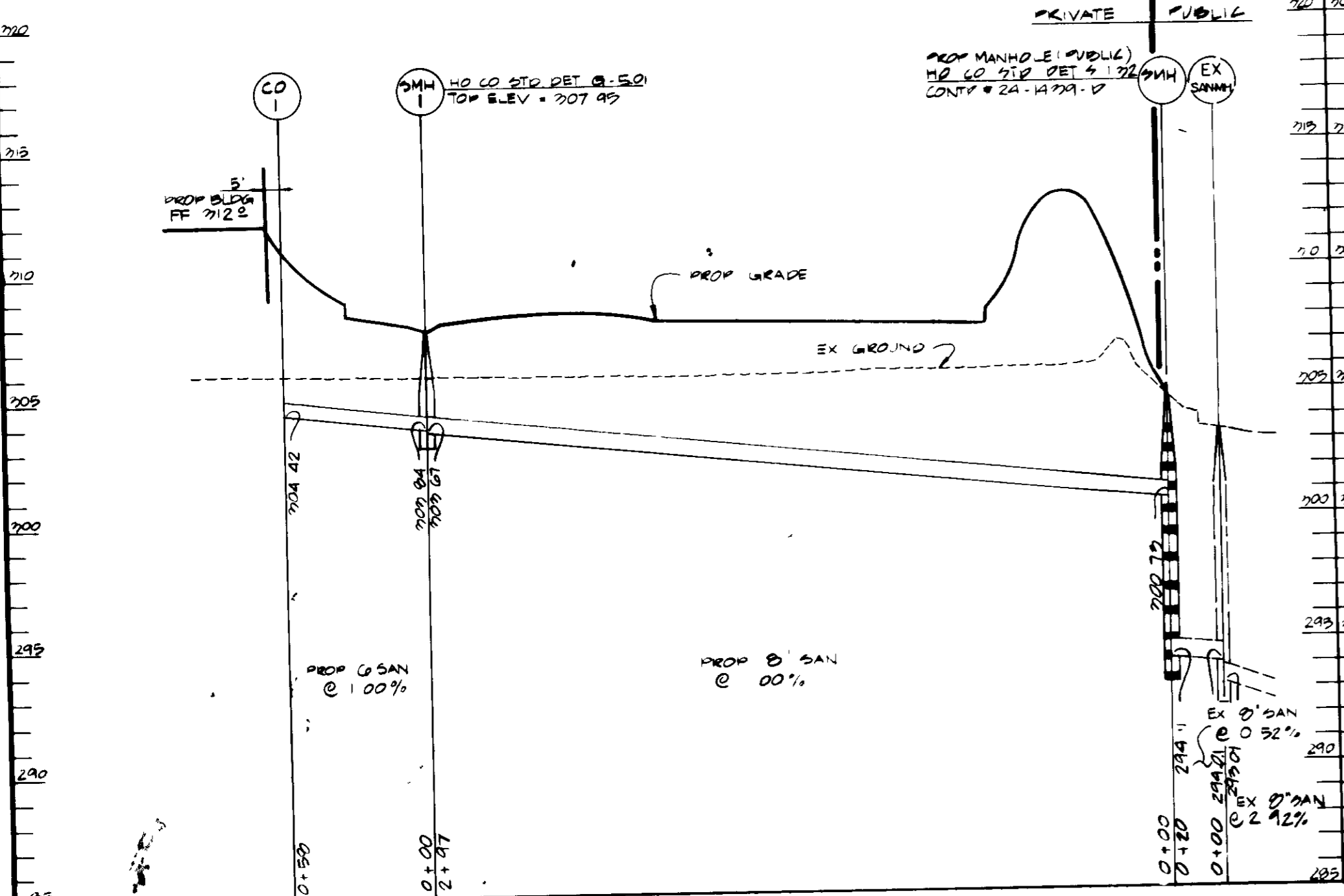
DA	AREA AC	CFRCTOR
A	1.20	0.81
B	0.34	0.92
C	0.65	0.81
D	0.91	0.77
E	0.44	0.95
F	0.87	0.78

STRUCTURE SCHEDULE				
NO	TYPE	TOPELEV	INV. IN	HO. CO. STD. DET. #
HW-1	TYPE A HEADWALL	296 00	296 00	SD 5 11
HW-2	TYPE A HEADWALL	296 23	296 20	SD 5 11
HW-3	TYPE A HEADWALL	296 50	296 20	SD 5 11

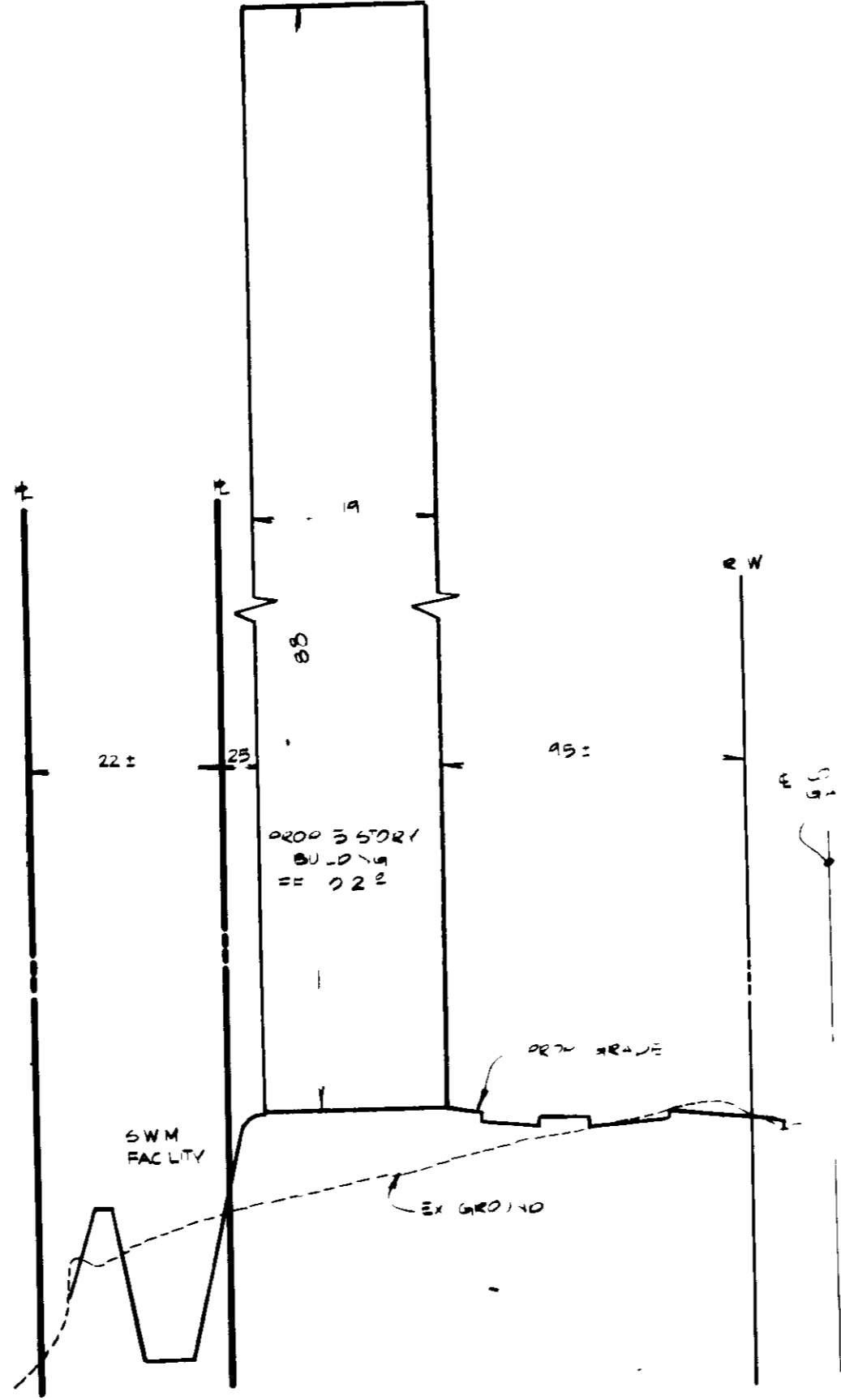
OWNER / DEVELOPER PARCEL E-2
HOWARD RESEARCH DEVELOPMENT LAND CO
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

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DEVELOPER: *[Signature]* DATE: 10/14/89

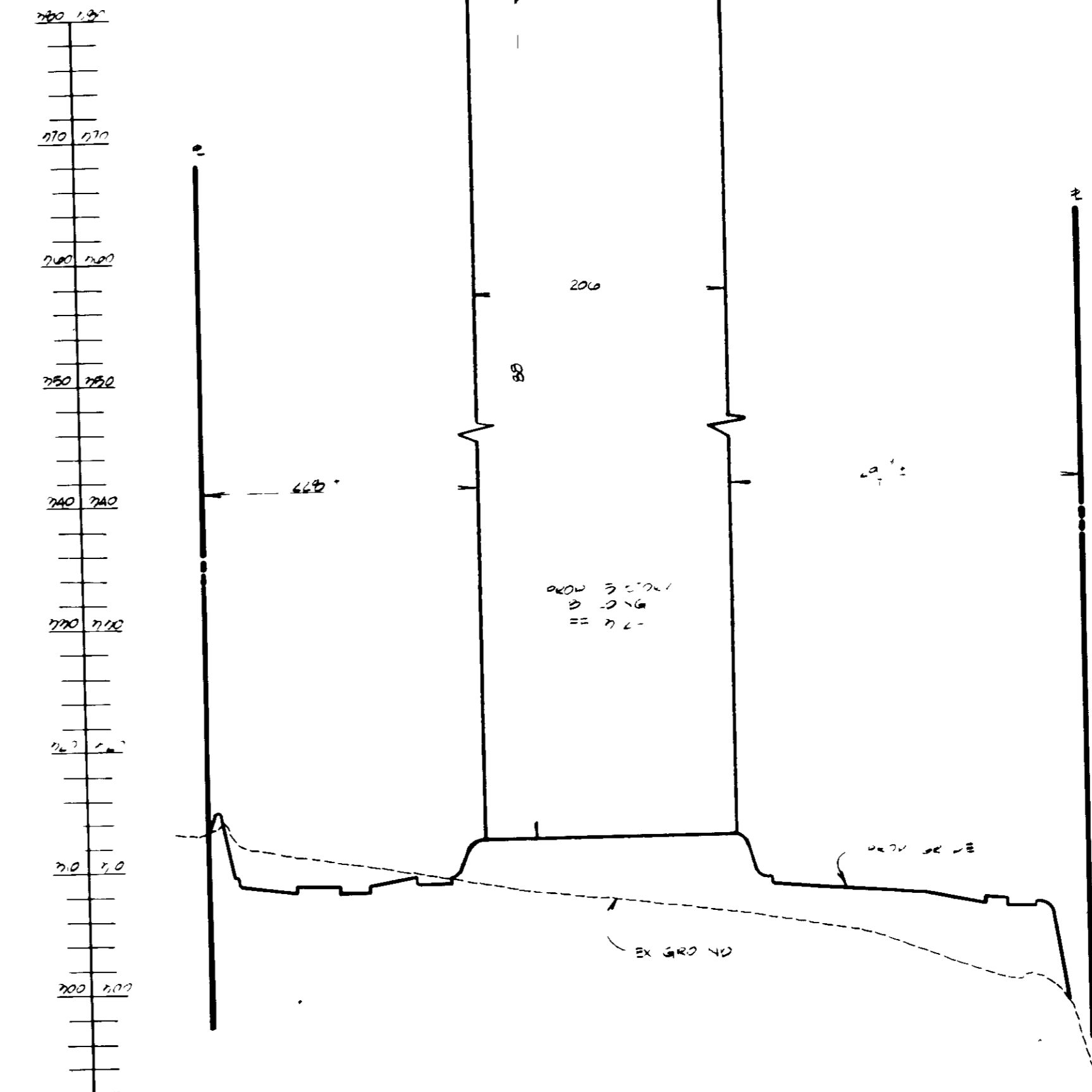
APPROVED
DIVISION OF
COMMUNITY PLANNING
& LAND DEVELOPMENT
HOWARD COUNTY,
MARYLAND
DATE: 3-2-89



SANITARY SEWER PROFILE
SCALE VERT. 1" = 50' HORZ 1" = 5'



SECTION E-E SCALE HORZ 1" = 100' VERT 1" = 10'



SECTION F-F SCALE HORZ 1" = 100' VERT 1" = 10'

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

[Signature] 5-19-89
U.S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *[Signature]* 5-19-89
HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

[Signature] 5-30-89
COUNTY HEALTH OFFICER

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING

[Signature] 6-1-89
DIRECTOR

[Signature]
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature] 3-25-89
DIRECTOR

[Signature]
CHIEF BUREAU OF ENGINEERING

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21204
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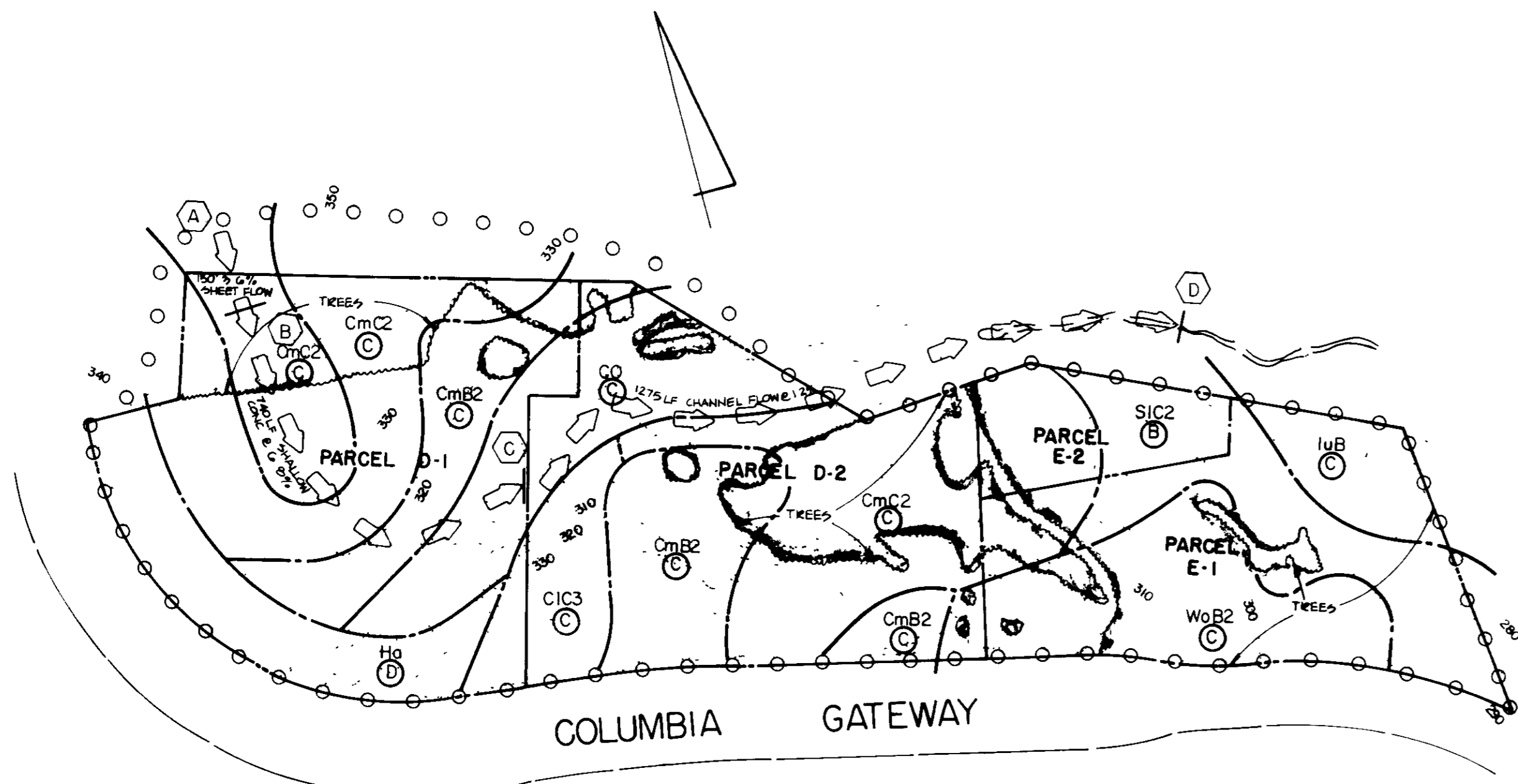
ENGINEER'S CERTIFICATE
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[Signature] 8930 10/19/89
ENGINEER: *[Signature]* DATE: 10/19/89

OWNER / DEVELOPER PARCEL E-1
VI - 6 LIMITED PARTNERSHIP
C/O THE ISSEL COMPANY
9881 BROKENLAND PKWY SUITE 402
COLUMBIA, MARYLAND 21046
(301) 995-6520

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DEVELOPER: *[Signature]* DATE: 10-12-89

DESIGNED: N.B.
DRAWN: J.W.
CHECKED: N.B.

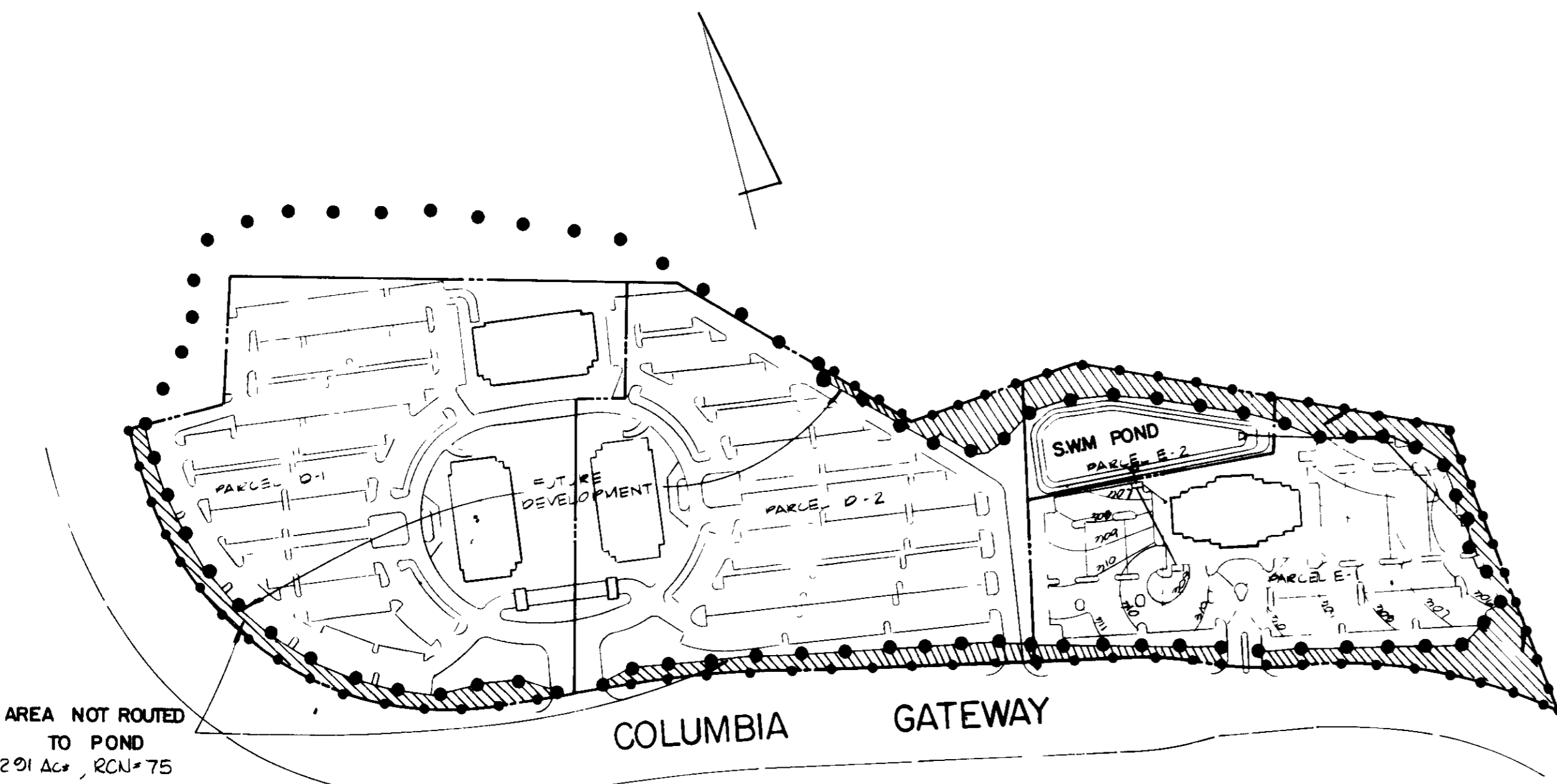
PROFILES FOR GATEWAY OFFICE BUILDING
COLUMBIA GATEWAY PARCELS E-1E-2
TAX MAP 43
HOWARD CO. MD.
SCALE: AS SHOWN
PN 6086
ELECTION DISTRICT # 6
OCTOBER 19, 1988
SHEET 2 OF 8
187-89-08



EX. S.W.M. DRAINAGE AREA MAP
SCALE 1"=200'

○ ○ ○ ○ EX D.A.
— — — — TC PATH

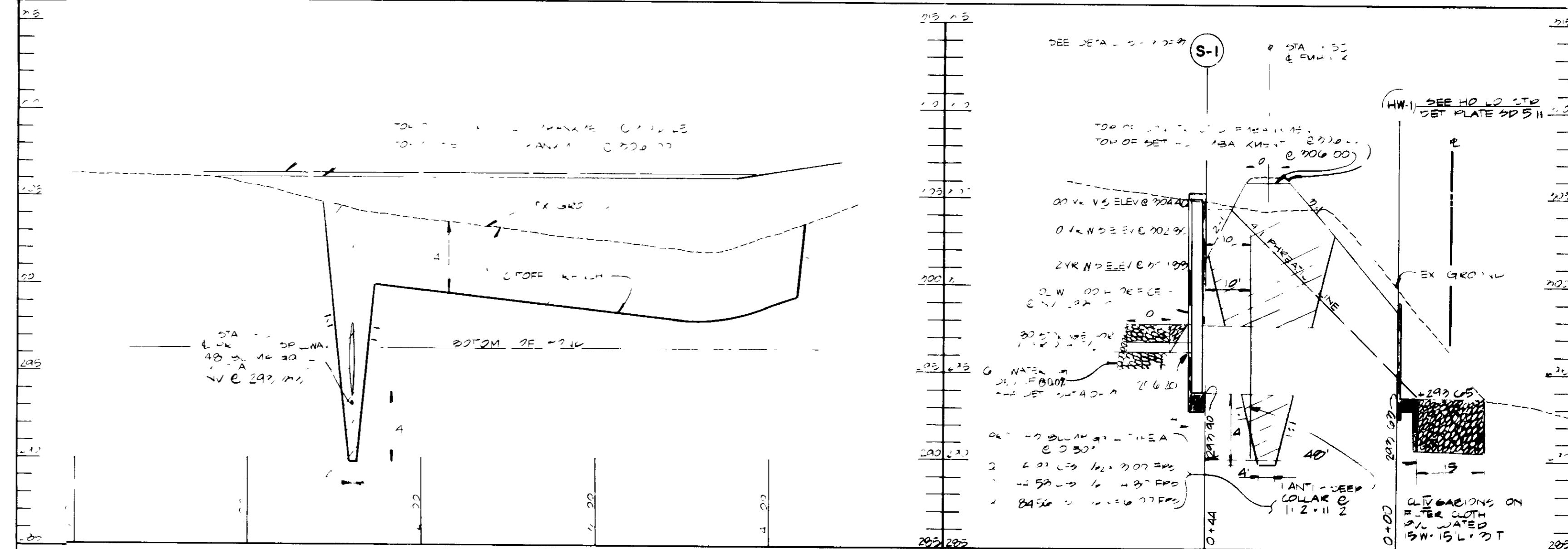
EX DRAINAGE AREA = 29.05 AC ± RCN=71
DOCKSEY RUN WATERSHED



PROP. S.W.M. DRAINAGE AREA MAP
SCALE 1"=200'

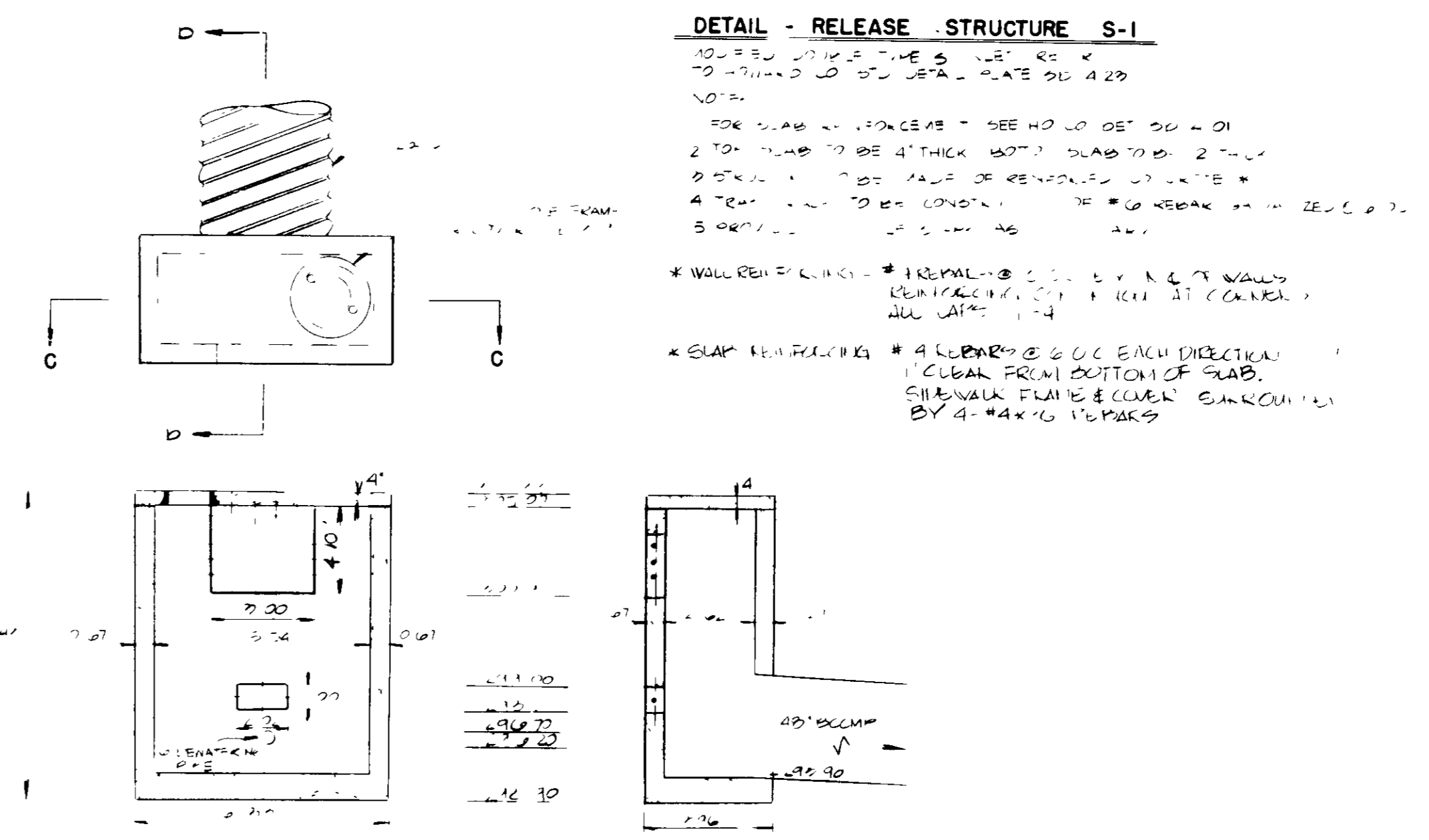
AREA NOT ROUTED TO POND
= 2.91 AC ± RCN=75

PROP DRAINAGE AREA TO POND
= 26.14 AC ± RCN=70



SECTION B-B - CENTERLINE OF EMBANKMENT
SCALE HORZ 1"=20' VERT 1"=5'

SECTION A-A - PRINCIPAL SPILLWAY
SCALE HORZ 1"=20' VERT 1"=5'



SECTION C-C SECTION D-D

RELEASE STRUCTURE DETAILS
NO SCALE

APPROVED
DIVISION OF
COMMUNITY PLANNING
& LAND DEVELOPMENT
HOWARD COUNTY,
MARYLAND
DATE 3-2-89

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

J. Helms 5-19-89
U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED *Robert J. Ziehm* 5-19-89
HOWARD SOIL CONSERVATION DISTRICT DATE

PLAN NUMBER

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

John Boyd 5-30-89
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING

W. H. ... 6.1.89
DIRECTOR DATE

Tracie S. ... 5/5/89
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James ... 5/26/89
DIRECTOR DATE

W. ... 5-28-89
CHIEF BUREAU OF ENGINEERING DATE

OWNER / DEVELOPER PARCEL E-2
HOWARD RESEARCH DEVELOPMENT LAND CO.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

OWNER / DEVELOPER PARCEL E-1
VI - 6 LIMITED PARTNERSHIP
C/O THE ISSEL COMPANY
9881 BROKENLAND PKWY SUITE 402
COLUMBIA, MARYLAND 21046

(301) 995 - 6520

DEVELOPER'S CERTIFICATE PARCEL E-2
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DEVELOPER: *W. H. ...* DATE: 10/14/88

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DEVELOPER: *W. H. ...* DATE: 10-14-88

DESIGNED: N.B.
DRAWN: J.W.
CHECKED: N.B.

STORM WATER MANAGEMENT - PROFILES & DETAILS
FOR
GATEWAY OFFICE BUILDING
COLUMBIA GATEWAY PARCELS E-1 & E-2
TAX MAP 43

HOWARD CO. MD.
SCALE: AS SHOWN
PN. 6086
ELECTION DISTRICT # 6
OCTOBER 19, 1988
SHEET 3 OF 8
507-89-80

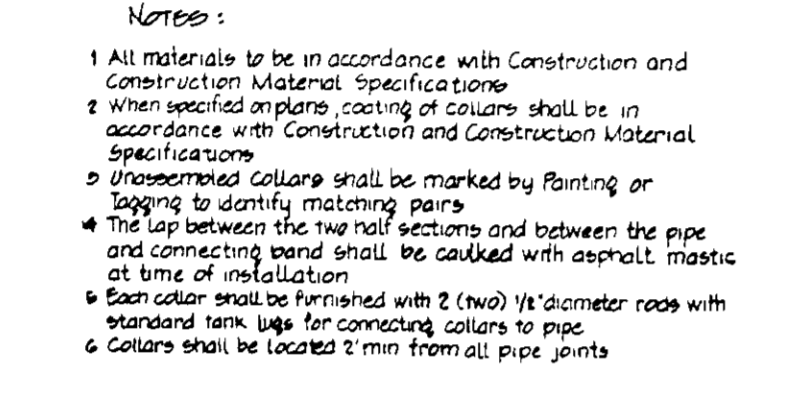
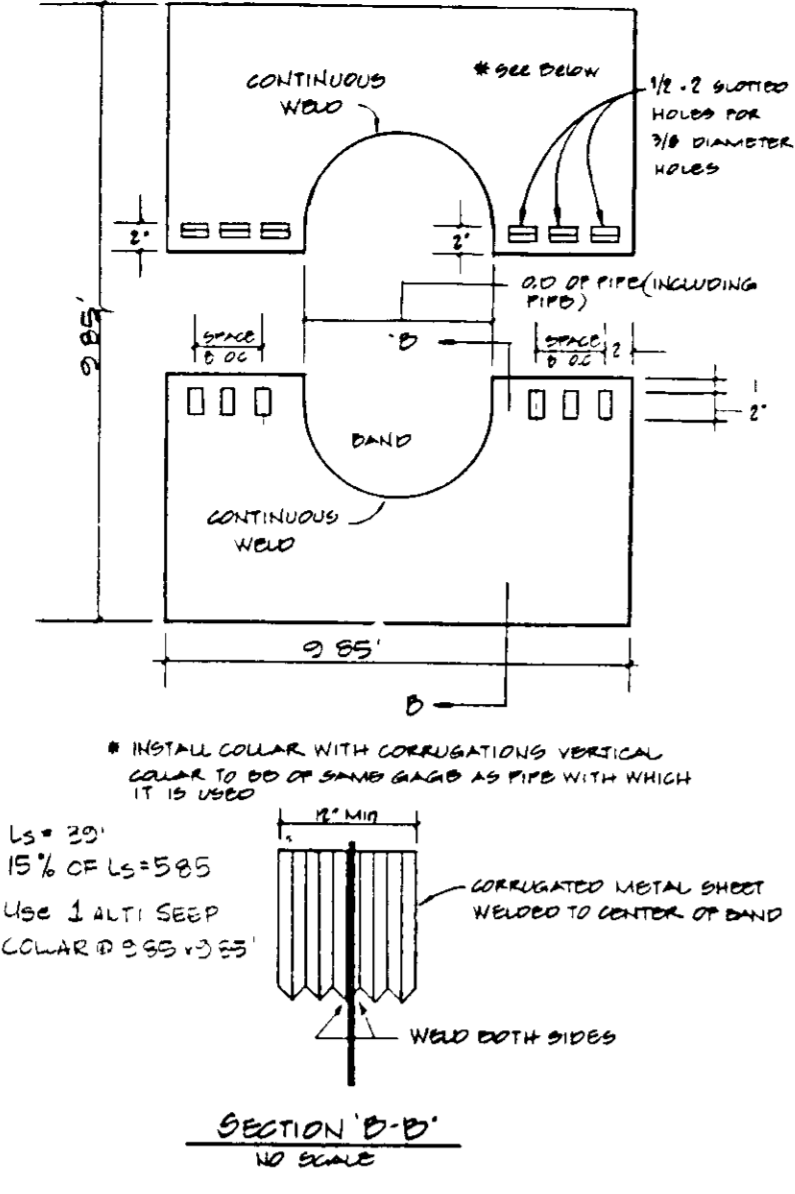
GWS
GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21284
(301) 825-8120



ENGINEER'S CERTIFICATE
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ENGINEER: *George W. Stephens, Jr.* REG. NO. 17000 DATE: 10/14/88

CONSTRUCTION SPECIFICATIONS

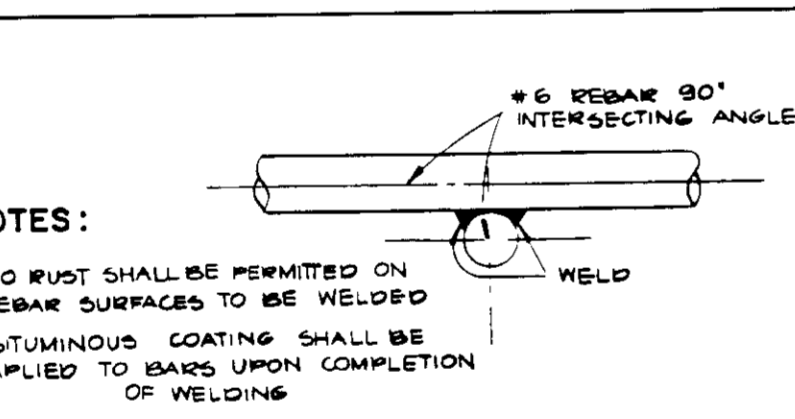
- I. SITE PREPARATION**
The fill area and borrow area shall be cleared and grubbed to remove all trees, vegetation, roots and other objectionable material. The topsoil from the embankment area and borrow area shall be removed and stockpiled. The topsoil shall be spread on the completed fill area.
- II. EARTH FILL**
- FILL MATERIAL** Shall be obtained from on-site under the supervision of a soils engineer. It shall be free from roots, stumps, wood rubbish, oversized stones frozen or other objectionable material. Fill areas shall be constructed to the elevation shown on the plan to allow for anticipated settlement.
 - PLACEMENT** Areas on which fill will be placed shall be scarified prior to placement of fill. Fill materials shall be placed in layers 6" thick maximum (before compaction) and shall be continuous over the entire length of fill. The most porous material shall be placed in areas not adjacent to ponded water.
 - COMPACTION** The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be compacted to specified density. Fill material shall contain sufficient moisture so that the required degree of compaction can be obtained with equipment used.
 - CORE TRENCH** Shall be made of SC or CL material compacted to 95% of AASHTO T-99 density.
 - SPECIFIED DENSITY** Suitable material shall be used for the embankment and rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by AASHTO T-99. Construction of SWM ponds shall be performed under strict supervision of a soils engineer.
- III. STRUCTURAL BACKFILL**
Backfill material shall be the type and quality specified for the adjoining fill material. The fill shall be placed in horizontal layers 4" thick maximum and compacted by hand tamping or manually directed power tampers or plate vibrators. At no time during backfilling operations shall driven equipment be allowed to operate any closer than four feet measured horizontally to any part of the structure. Under no circumstances shall the contractor drive any equipment over any part of a concrete structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe. Materials shall fill completely all spaces under and adjacent to newly installed pipe.
- IV. CONCRETE**
Concrete shall meet the minimum requirements set forth in the Maryland State Highway Administration "Specifications for Construction and Materials" January 1982 Section 918.06 - "Portland Cement Concrete Mixtures," Mix No. 3 reinforcing steel shall be ASTM A 615, Grade 60.
- V. STABILIZATION**
The storm water management facility will be stabilized with "Permanent Slope Seeding" as follows:
After spreading 4" topsoil seed with a mixture of 30% inoculated crown vetch and 70% Kentucky 31 Tall Fescue applied at a rate of 60 lbs./Ac., 10-20-20 fertilizer shall be applied at a rate of 25 lbs./1000 square feet, lime at a rate of 92 lbs./1000 square feet, mulch area with unweathered small gran straw at a rate of 1.5 t/Ac. anchor with rapid curing asphalt (RC-70, RC-250 or RC-800) at a rate of 0.1 Gal/SY.
- VI. PIPE CONDUITS** 48" BODIP 6012 TYPE A
- A. Corrugated Metal Pipe**
- Materials (Steel Pipe)** - This pipe and its appurtenances shall be galvanized and fully bituminous coated and shall conform to the requirements of AASHTO Specification M-190 with watertight coupling bands. Any bituminous coating damaged or otherwise removed shall be replaced cold applied bituminous coating compound.
 - Connections** - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Watertight coupling bands or flanges shall be used at all joints. Anti-seep collars shall be connected to the pipe in such manner as to be completely watertight. Dimple bands are not considered to be watertight.
 - Bedding** - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or any other unstable soil is encountered, all such materials shall be removed and replaced with suitable earth compacted to provide adequate support.
 - Laying Pipe** - The pipe shall be placed with inside circumferential laps pointing downstream and with the longitudinal laps at the sides.
 - Backfilling** shall conform to structural backfill as shown above.
 - Other details anti-seep collars, valves, etc.** shall be as shown on the drawings.
- VII. FILTER CLOTH**
MIRAFI 1405 or equivalent shall be used.
- VIII. SEDIMENT CONTROL**
Construction to be in accordance with 1983 Maryland Standards and Specifications For Soil Erosion and Sediment Control. In release structure install dewatering device by connecting LF of perforated underdrain to the low flow pipe. The underdrain shall be wrapped in filter cloth and covered with minimum 12" thick #2 stone.
- IX. GABIONS** shall be on filter cloth, class IV, pvc coated.



MAINTENANCE SCHEDULE

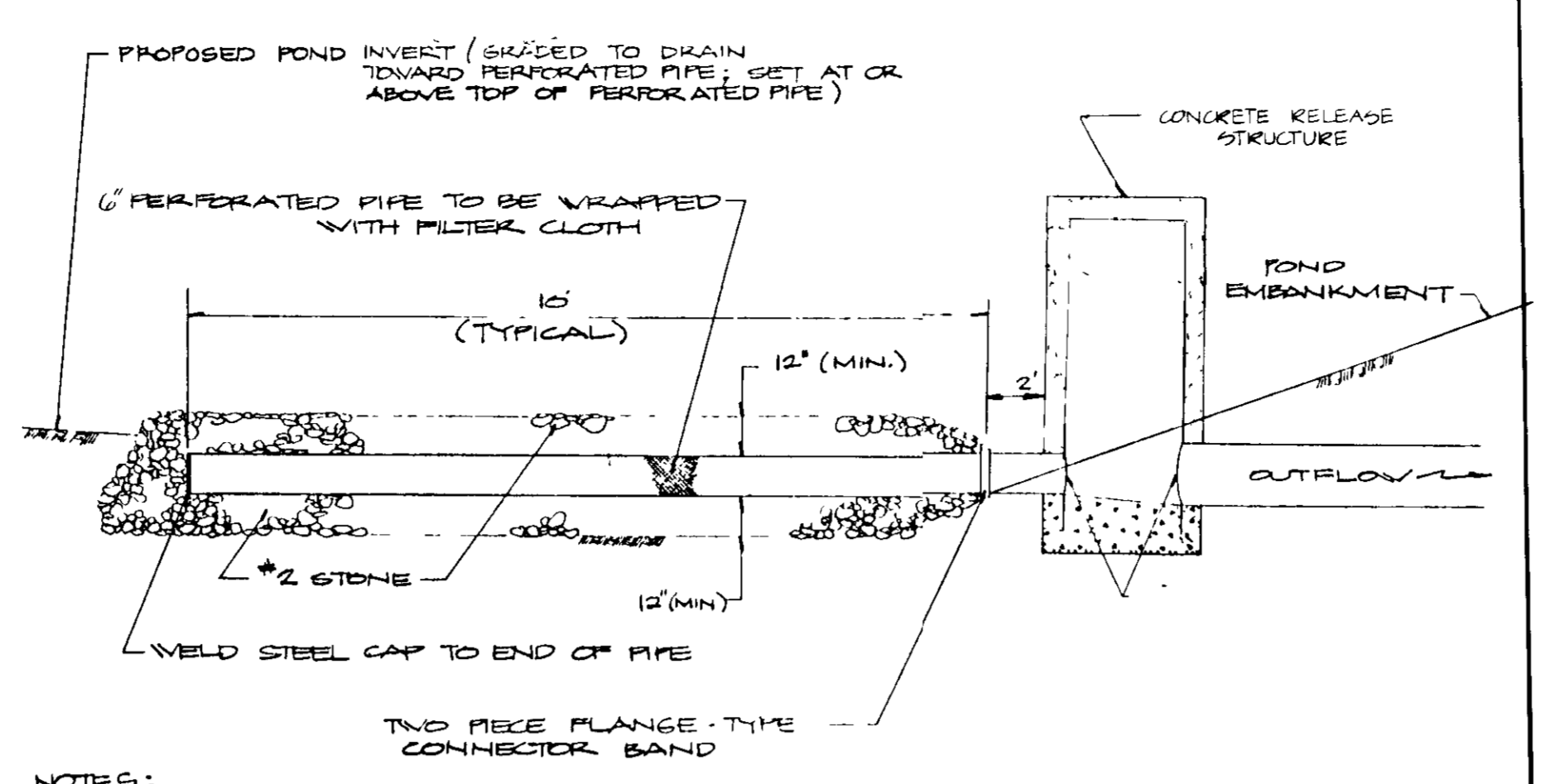
MAINTENANCE ITEM	1	2	3	4	5
MAINTENANCE FREQUENCY	1	1	1	1	1
REPAIR DURATION	9	10	9	9	9

- CLEAN OUT SILT
 - CLEAN OUT TRASH
 - CHECK WEIR CLOGGING
 - CHECK SLOPE STABILIZATION
 - CHECK STRUCTURAL INTEGRITY
 - EVERY TWO WEEKS
 - EVERY THREE MONTHS
 - ONE WEEK MAXIMUM
 - TWO DAY
- * ALL MAINTENANCE INSPECTIONS AND REPAIR SHALL BE THE RESPONSIBILITY OF THE OWNER
* INSPECT ALL ABOVE ITEMS AFTER EACH MAJOR RAINFALL AND REPAIR IF REQUIRED



- NOTES:**
- NO RUST SHALL BE PERMITTED ON REBAR SURFACES TO BE WELDED
 - BITUMINOUS COATING SHALL BE APPLIED TO BARS UPON COMPLETION OF WELDING

- SEQUENCE OF OPERATION**
- Install sediment control measures including barrel and release structure for storm water management facility. Then grade the site according to the approved sediment and erosion control plan.
 - Excavate storm water management pond according to the approved storm water management plan, (during a five day dry weather forecast).
 - Storm water management pond shall be used as a sediment basin during the grading operation.
 - After foundations and subbase materials are in place and the rest of the site is stabilized, remove the dewatering device, clean out silt and regrade the pond to the grades on the approved storm water management plan.
 - Stabilize the entire storm water management facility.
 - After the total site is stabilized unplug the lower opening and with the permission of the sediment control inspector convert the pond to a storm water management facility.



NOTES:

- PERFORATED PIPE SHALL BE BENDED TO LOW FLOW PIPE AND HAVE METAL CAP WELDED ON OTHER END OF PIPE.
- PERFORATED PIPE SHALL BE SECURELY WRAPPED WITH APPROVED FILTER CLOTH AND COVERED ON ALL SIDES WITH 12" MINIMUM OF #2 STONE.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
- SET PERFORATED PIPE AT INVERT SPECIFIED ON STORM WATER MANAGEMENT PLANS - PRINCIPAL SWILLWAY PROFILE.

TYPICAL DETAIL - EXTENDED DETENTION POND Dewatering DEVICE NOT TO SCALE

SOIL GROUP: B, C & D

EXISTING CONDITION

D.A. = 29.05 Ac ±
RCN = 71
2 Yr. Flow = 18.38 cfs
10 Yr. Flow = 50.04 cfs
100 Yr. Flow = 90.40 cfs

PROPOSED CONDITION

A) Not Routed
D.A. = 2.91 Ac ±
RCN = 75
2 Yr. Flow = 4.67 cfs
10 Yr. Flow = 10.68 cfs
100 Yr. Flow = 17.83 cfs

B) Routed
S.W.M. Facility - Pond
D.A. = 26.14 Ac ±
RCN = 90

ALLOWABLE RELEASES:

For 2 Yr. Storm = 18.38 cfs
For 10 Yr. Storm = 50.04 cfs
For 100 Yr. Storm = 202.44 cfs

HYDROLOGIC CRITERIA

Required = 2 and 10 yr. management
Provided = 2 and 10 yr. management

Structure Classification - A
Maximum Depth of Water = 0.20

STORAGE REQUIREMENT:

For 2 Yr. Storm = 88,000 c.f. (2.02 Ac - Ft.)
For 10 Yr. Storm = 152,000 c.f. (3.49 Ac - Ft.)
For 100 Yr. Storm = 215,000 c.f. (4.94 Ac - Ft.)

Dorsey Run Watershed

*Water Quality Provided by Extended Detention of First 0.5 inches of Runoff

OWNER / DEVELOPER PARCEL E-2

HOWARD RESEARCH DEVELOPMENT LAND CO.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

OWNER / DEVELOPER PARCEL E-1

VI - 6 LIMITED PARTNERSHIP
C/O THE ISSEL COMPANY
9881 BROKENLAND PKWY SUITE 402
COLUMBIA, MARYLAND 21046
(301) 995 - 6520

DEVELOPER'S CERTIFICATE PARCEL E-2

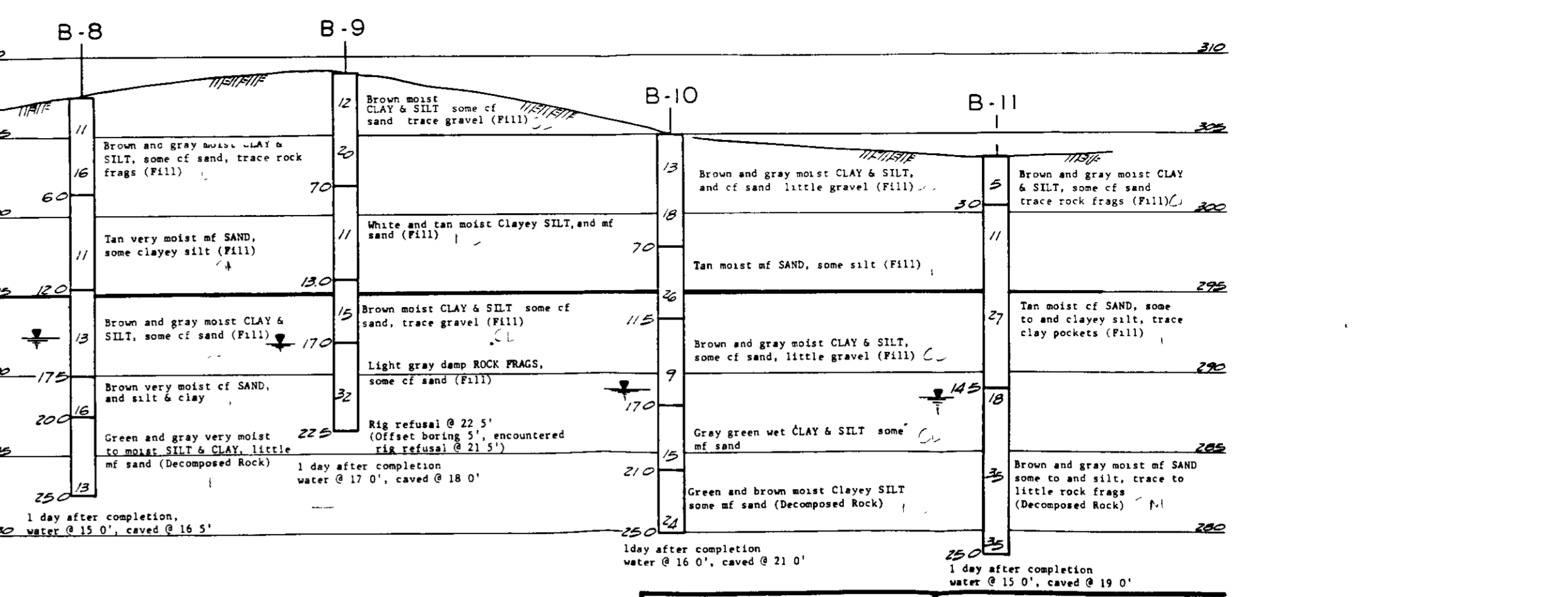
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DEVELOPER: *[Signature]* DATE: 10/14/88

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *[Signature]* DATE: 10/14/88



SECTION C-C

BORING PROFILES

DATE: 10/14/88

PLATE NO. 4

APPROVED

DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

HOWARD COUNTY, MARYLAND

DATE: 3-2-89

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

[Signature] 5-19-89
US SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *[Signature]* 5-19-89
HOWARD SOIL CONSERVATION DISTRICT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

[Signature] 5-30-89
COUNTY HEALTH OFFICER

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING

[Signature] 6-1-89
DIRECTOR

[Signature] 5/2/89
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

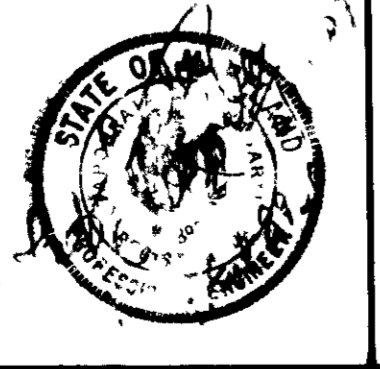
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature] 5-23-89
DIRECTOR

[Signature] 5-23-89
CHIEF BUREAU OF ENGINEERING

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS

303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21204
(301) 825-8120



ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *[Signature]* DATE: 10/14/88

OWNER / DEVELOPER PARCEL E-1

VI - 6 LIMITED PARTNERSHIP
C/O THE ISSEL COMPANY
9881 BROKENLAND PKWY SUITE 402
COLUMBIA, MARYLAND 21046
(301) 995 - 6520

DEVELOPER'S CERTIFICATE PARCEL E-1

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR OTHER AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: *[Signature]* DATE: 10-13-88

DESIGNED: N.B.
DRAWN: J.W.
CHECKED: N.B.

STORM WATER MANAGEMENT - DETAILS & NOTES

FOR
GATEWAY OFFICE BUILDING
COLUMBIA GATEWAY FARCELS E-1+E-2
TAX MAP 43

HOWARD CO. MD.
SCALE AS SHOWN
PN 6086

ELECTION DISTRICT # 6
OCTOBER 19, 1988
SHEET 4 OF 8

SITE DATA - PARCEL E-1

Total Area of Site = 6.178 AC± = 269,114 S.F.
 EX - Zoning - M-1
 Property Reference = Plat No. 6871
 EX Use = Vacant
 Property Use = Office
 Building Coverage = 19,450 SF (0.45 AC±)
 Floor Area = 95,067 SF (2.18 AC±)
 Floor Area Ratio = 93,100/269,114 = 35%
 % Open Space to Remain = 2.40/178 = 40.2%
 % Building Coverage w/ Paving = 59.8%
 Area to be disturbed: 255,488 S.F. (5.86 AC±)
 Area to be vegetatively stabilized = 2.17 AC±
 % Building coverage: 7.2%
 Total Area of Parking Lot: 314 AC±
 % of Parking Landscape Area: 0.12 AC± (5.0%)

SITE DATA - PARCEL E-2

Total Area = 1.509 AC±
 EX - Zoning - M-1
 Property Reference = Plat No. 6871
 EX Use = Vacant
 Prop. Use = Storm Water Management
 Area to be disturbed = 1.32 AC±
 Area to be vegetatively stabilized = 1.32 AC±
 % OPEN SPACE = 1.509/1.509 = 100%

PARKING TABULATION

PARKING REQUIRED: OFFICE 95,067 S.F./200 = 476 EMP
 7 P.S./10 EMP. = 329 P.S.

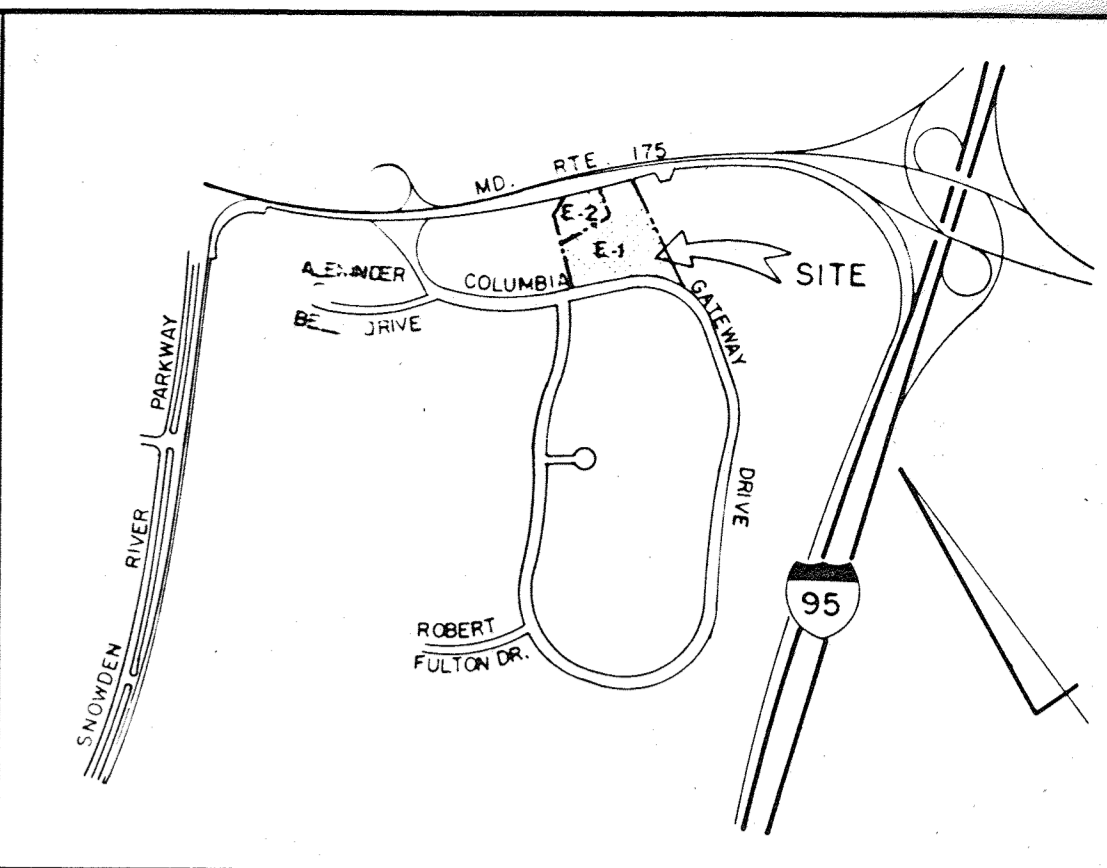
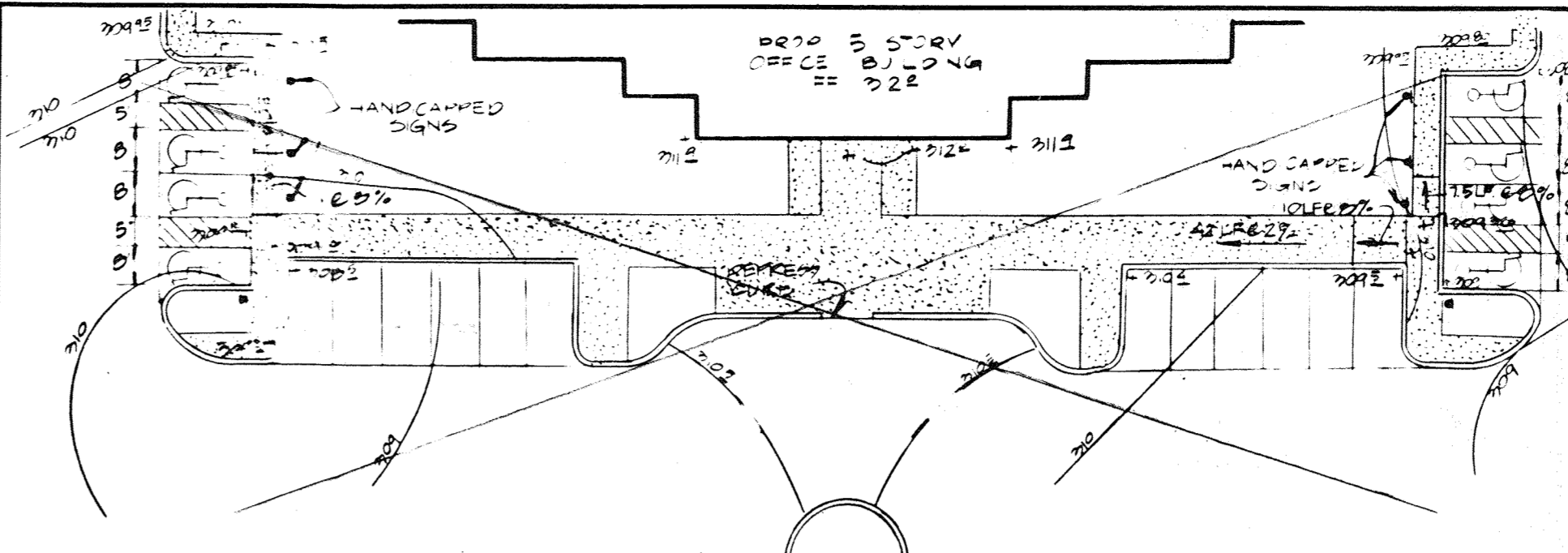
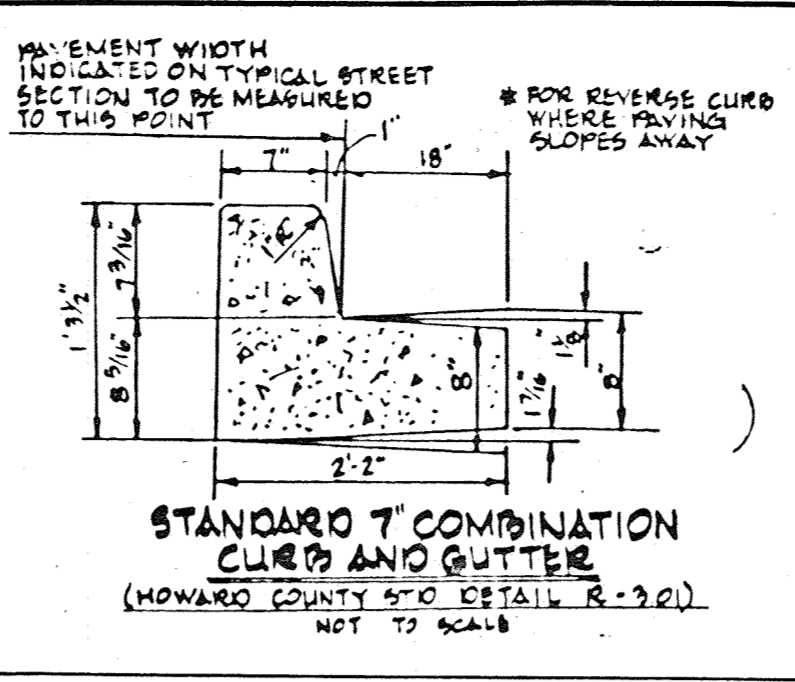
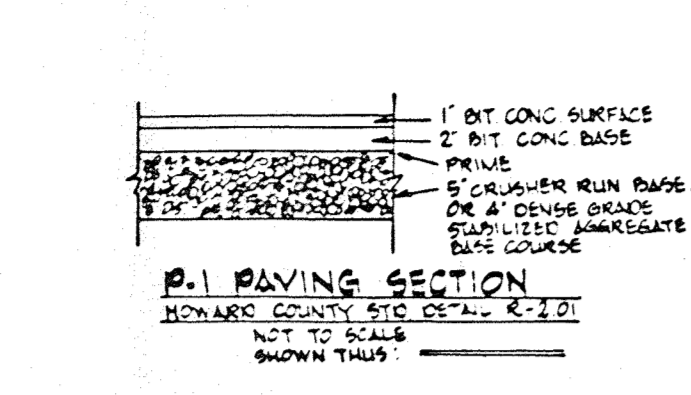
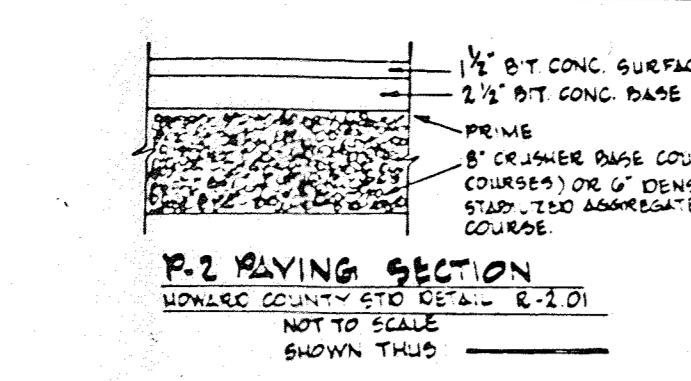
PARKING PROVIDED: 350
 REQUIRED HANDICAPPED SPACES: 14
 PROVIDED HANDICAPPED SPACES: 14

REFERENCE PLANS

P 06-01, P 06-22
 P 06-27, P 06-19
 P 06-29, P 06-12A
 RECORD PLAT # 6871 & 6769

GENERAL NOTES

- Maximum building height - 50'.
- All areas not being paved or receiving building coverage shall be stabilized in accordance with the plans approved by Howard Soil Conservation District.
- Any damage to public rights-of-way and/or adjacent properties shall be repaired immediately at the contractor's expense.
- The contractor shall maintain at least a 2" level bench behind all curb and gutter in fill areas.
- The contractor shall verify all existing utilities to his own satisfaction before starting construction.
- All slopes shall be 2:1 or flatter.
- All work shall be done in accordance with Howard County Standard Specifications and Details for Construction, or as shown on these plans.
- The contractor shall notify the C & P Telephone Co. and the Gas and Electric Company five days prior to starting work shown on these plans by calling "Miss Utility". Call collect 1-555-0100.
- For details of ramps and signs for the handicapped, see the Maryland Building Code for the handicapped and Aged and as shown herein. See Sheet 1 of 2.
- The contractor shall maintain a maximum of 4" cover over all proposed water lines.
- All sign-post shall be placed on filter cloth.
- The contractor or developer shall contact the Construction Inspection/Survey Division 24 hours in advance of commencement of work at 992-2417 or 792-7272.
- The contractor shall remove all existing paving, curb and gutter, etc. that may interfere with proposed construction.
- All utilities installed shall receive full trench compaction.
- All water main tees, bends, caps, etc. shall be buttressed in accordance with Howard County Design requirements.
- All sidewalks will be 6' wide (see structural plans for details).
- The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system. If this waste is regulated under Section 18.122a of the Howard County Code, each separate and independent sewer connection shall include a standard macerator and other waste treatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above requirements shall apply to all initial and future occupants or tenants.
- TYPICAL PARKING SPACE WIDTH 19' 9" FEET.



MARYLAND ROUTE 175
 SHA PLATS 36609 & 38163

LOT 3
 COLUMBIA GATEWAY
 PLAT 6749
 EX ZONING M-1
 HOWARD RESEARCH DEVELOPMENT
 LAND C/O

LEGEND

EARTH DIKE
 STRAW BALE DIKE
 EXISTING DRAINAGE AREA
 PROP. DRAINAGE AREA

MOUNTABLE BERM
 LIMIT OF DISTURBANCE
 STABILIZED CONSTR. ENTRANCE

STONE OUTLET SEDIMENT TRAP I

EX DRAINAGE AREA = 1.99 AC±
 PROP. DRAINAGE AREA = 0.00 AC±
 STORAGE REQUIRED = 1.99 x 1800 = 3582 CF
 STORAGE PROVIDED = 6000 CF
 TOP OF EMBANKMENT = 298.00
 FILLWAY CREST = 297.00
 BOTTOM ELEV. = 294.00
 CLEANOUT ELEV. = 295.50
 SIDE SLOPED 2:1

LEGEND

PROPERTY LINE
 EX GROUND
 PROP GRADE
 EASEMENTS
 EX CURB & GUTTER
 PROP CURB & GUTTER
 EX WATER
 PROP WATER
 EX SANITARY SEW
 PROP SANITARY SEW
 EX STORM DRAIN
 PROP STORM DRAIN
 PAVING P-1
 PAVING P-2

VICINITY MAP
 SCALE: 1" = 200'

BENCH-MARK:

1. ELEV. 265.20
 2. ELEV. 272.99
 3. ELEV. 272.99
 4. STA. 11+90

APPROVED
 DIVISION OF
 COMMUNITY PLANNING
 & LAND DEVELOPMENT
 HOWARD COUNTY,
 MARYLAND
 DATE 3-2-89

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT TO MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *J. Helm* 5-19-89
 U.S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Richard Zehner* 5-19-89
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED: *James Boyd* 5-31-89
 COUNTY HEALTH OFFICER

APPROVED: *Ulf* 6.1.89
 DIRECTOR

APPROVED: *Frank V. D. ...* 5/2/89
 CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

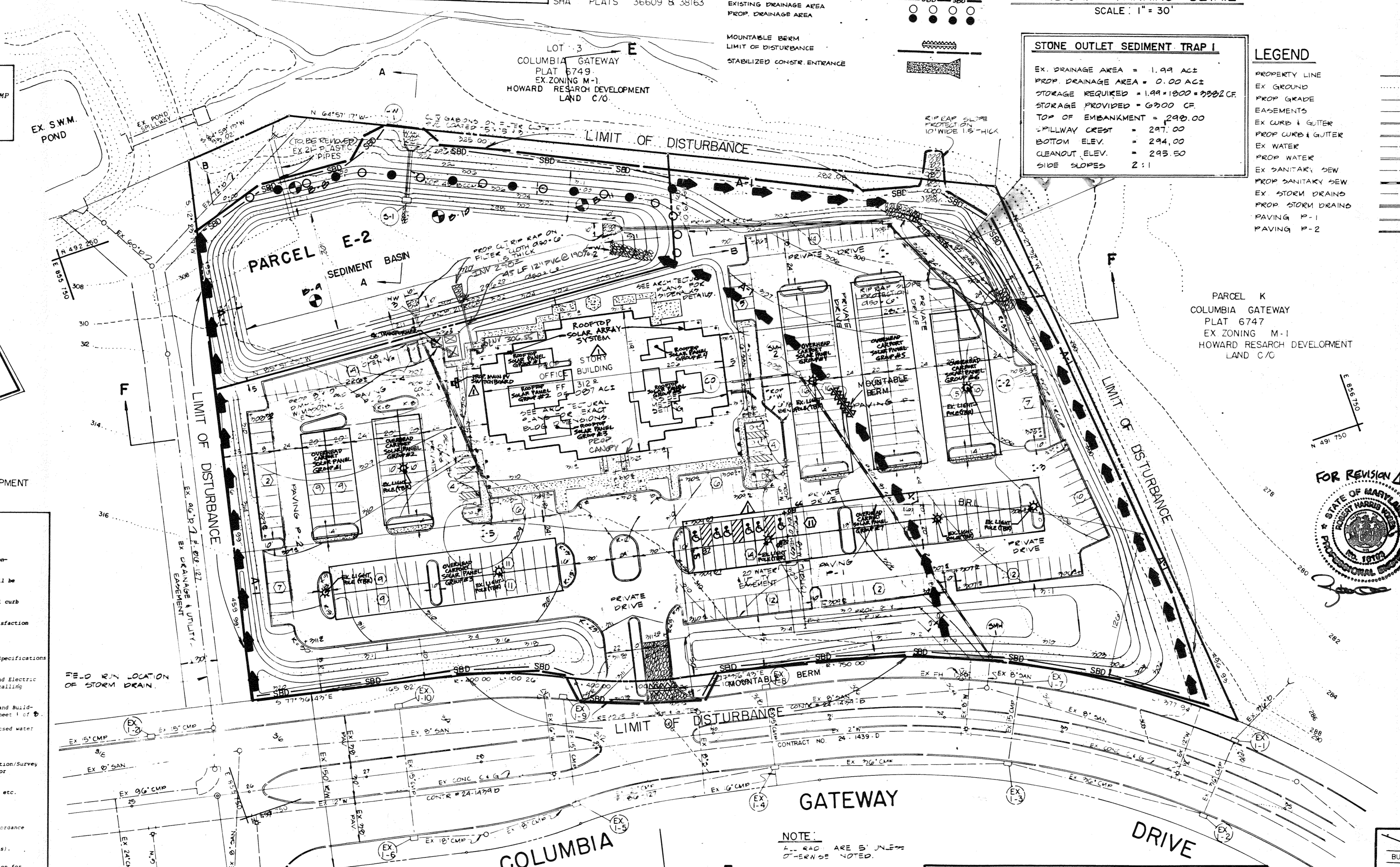
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED: *James ...* 5/2/89
 DIRECTOR

APPROVED: *William ...* 5-25-89
 CHIEF BUREAU OF ENGINEERING

ADDRESS CHART

BUILDING #	STREET ADDRESS
SUBDIVISION NAME	
PLAT / OR L/F	BLOCK # ZONE TAX / ZONE MAP ELECT. DIST. CENSUS TRACT
WATER CODE	SEWER CODE



OWNER / DEVELOPER PARCEL E-2

HOWARD RESEARCH DEVELOPMENT LAND CC
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

DEVELOPER'S CERTIFICATE PARCEL E-2

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR OTHER AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: _____ DATE: 10/1/88

OWNER / DEVELOPER PARCEL E-1

VI - 6 LIMITED PARTNERSHIP
 C/O THE ISSEL COMPANY
 9881 BROKENLAND PKWY SUITE 402
 COLUMBIA, MARYLAND 21046

(301) 995 - 6520

DEVELOPER'S CERTIFICATE PARCEL E-1

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR OTHER AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: _____ DATE: 10-12-88

DESIGNED: N.B.
 DRAWN: J.W.
 CHECKED: N.B.
 REVISIONS:
 9/22/88 Added roof drain transformer and canopy.

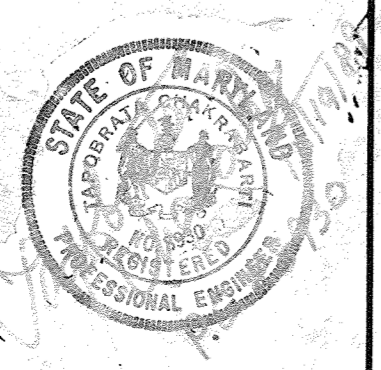
SEDIMENT AND EROSION CONTROL PLAN
 FOR
GATEWAY OFFICE BUILDING
 COLUMBIA GATEWAY PARCELS E-1/E-2
 TAX MAP 43

HOWARD CO. MD.
 SCALE: AS SHOWN
 PN. 6086

ELECTION DISTRICT # 6
 OCTOBER 19, 1988
 SHEET 5 OF 8

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

303 ALLEGHENY AVENUE
 TOWSON, MARYLAND 21284
 (301) 825-8120



ENGINEER'S CERTIFICATE

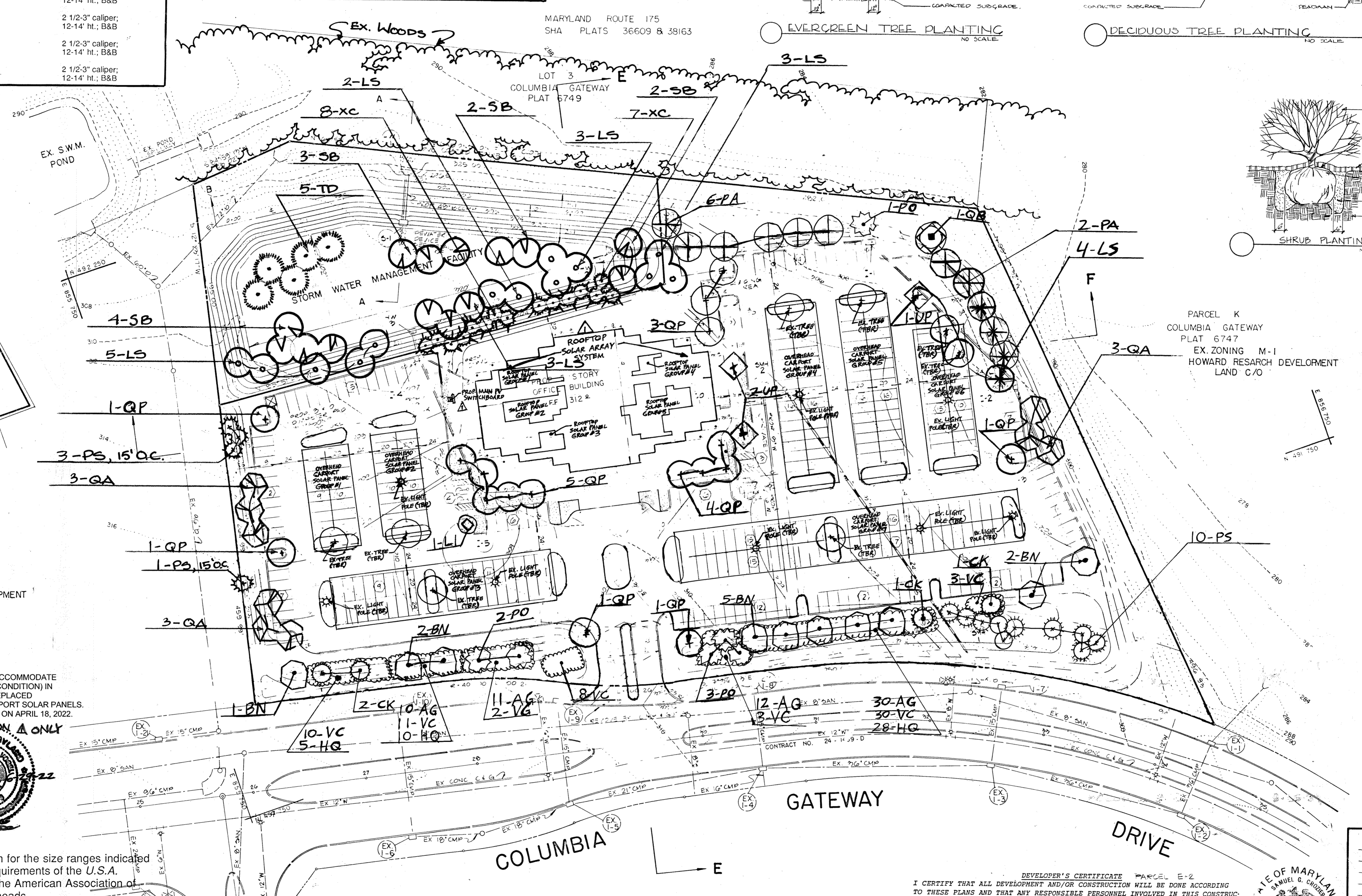
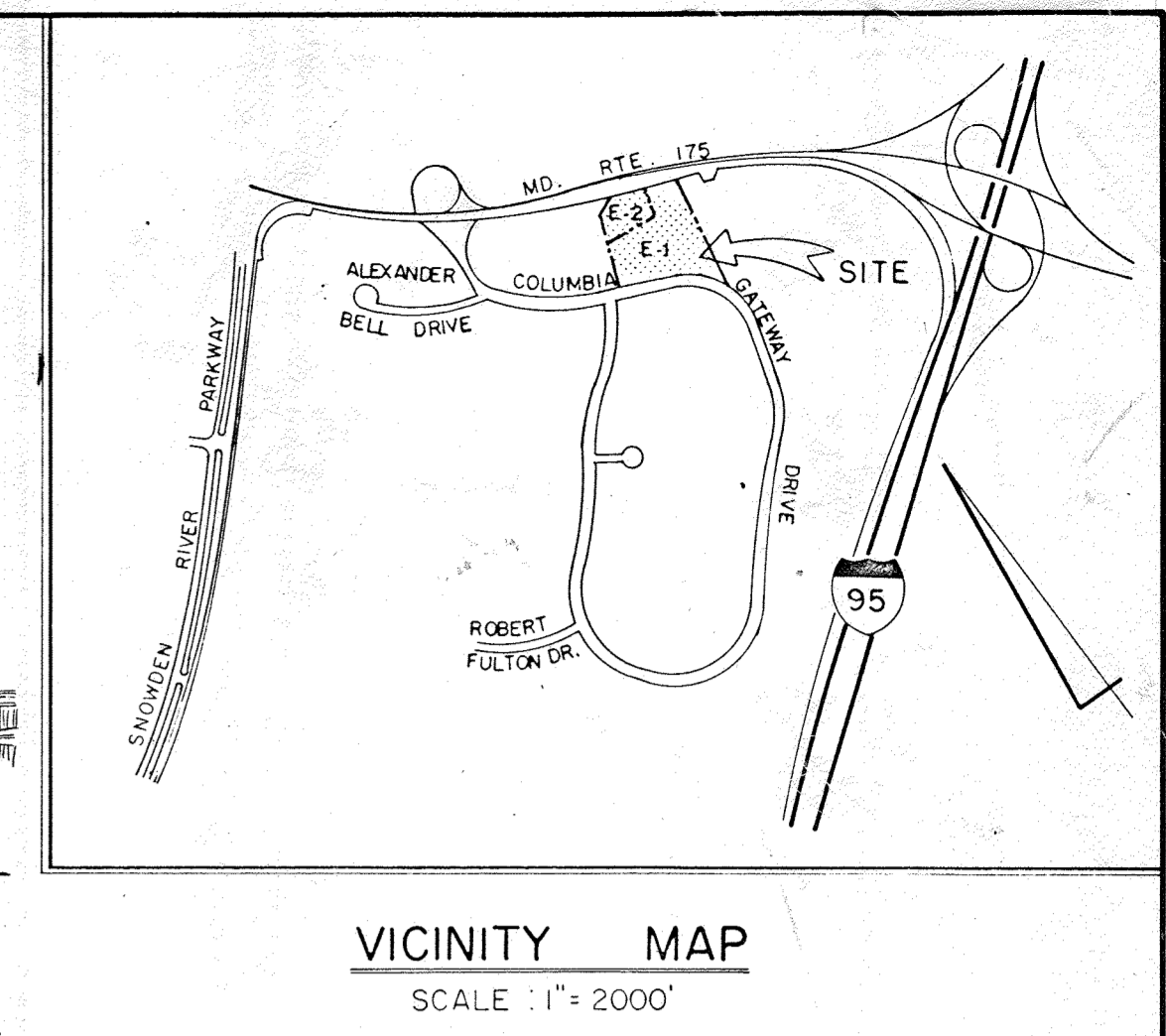
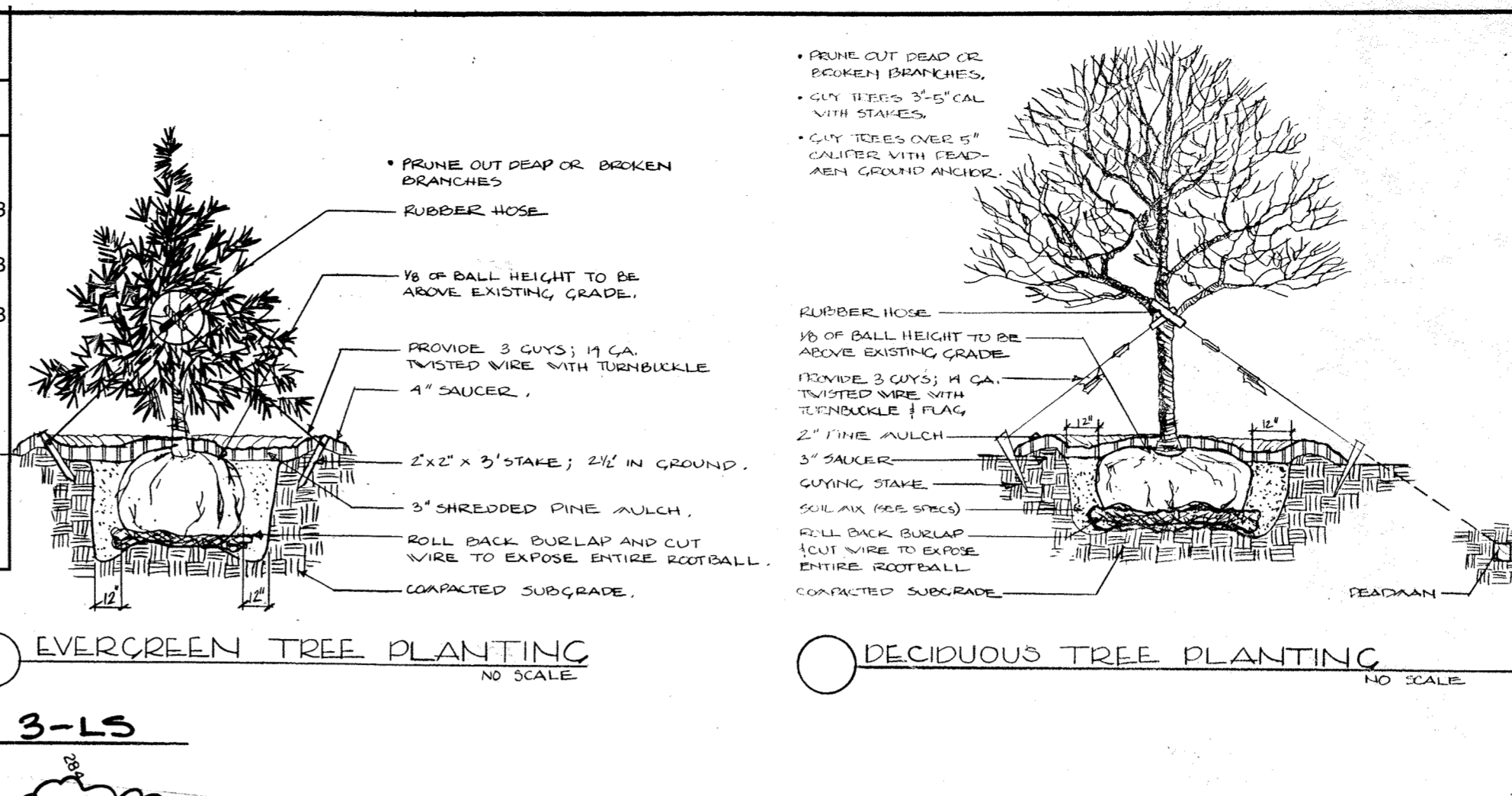
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ENGINEER: *George W. Stephens, Jr.* REG. NO. _____ DATE: 10/1/88

Key	Quan.	Plant Name	Size/Comments
Shade Trees:			
BN	10	BETUL NIGRA RIVER BIRCH	2 1/2-3" caliper; 12-14' ht.; B&B
UP	3	ULMUS PARVIFOLIA LACEBARK ELM	2 1/2-3" caliper; 12-14' ht.; B&B
LS	20	Liquidambar styraciflua Sweetgum	2 1/2-3" caliper; 12-14' ht.; B&B
PO	6	PLATANUS OCCIDENTALIS SYCAMORE	2 1/2-3" caliper; 12-14' ht.; B&B
PA	8	PLATANUS X ACERIFOLIA LONDON PLANE	2 1/2-3" caliper; 12-14' ht.; B&B
QA	9	Quercus acutifolia Sawtooth Oak	2 1/2-3" caliper; 12-14' ht.; B&B
QP	17	QUERCUS PHELLOS WILLOW OAK	2 1/2-3" caliper; 12-14' ht.; B&B
SB	11	Salix babylonica Babylon Weeping Willow	2 1/2-3" caliper; 12-14' ht.; B&B
TD	5	Taxodium distichum Bald Cypress	2 1/2-3" caliper; 12-14' ht.; B&B

Key	Quan.	Plant Name	Size/Comments
SHADE TREES:			
QB	1	QUERCUS BICOLOR SWAMP WHITE OAK	2 1/2-3" CAL 12-14' HT. B&B
Evergreen Trees:			
PS	14	Pinus strobus Eastern White Pine	2-2 1/2" caliper; 6-8' ht.; B&B
XC	19	X Cupressocyparis leylandii Leyland Cypress	2-2 1/2" caliper; 6-8' ht.; B&B

Key	Quan.	Plant Name	Size
ORNAMENTAL TREES:			
CK	4	CORNUS KOUSA KOUSA DOGWOOD	2-2 1/2" CAL 8-10' HT. B&B
LI	1	LAGERSTROEMIA INDICA CREPEMYRTLE	2-2 1/2" CAL 8-10' HT. B&B
PR	5	PRUNUS X YEDOENSIS OKAME CHERRY	2-2 1/2" CAL 8-10' HT. B&B
SHRUBS:			
AG	63	ABELIA X GRANDIFLORA GLOSSY ABELIA	3 GAL.
HQ	43	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	5 GAL.
VC	67	VIBURNUM X BURKWOODII CONY VIBURNUM	3 GAL.



REVISIONS

DATE	DESCRIPTION	BY
1-6-89	REV PARKING LAYOUT, TREE QUANTS	CKOZ.

APPROVED
DIVISION OF
COMMUNITY PLANNING
& LAND DEVELOPMENT
HOWARD COUNTY,
MARYLAND
DATE **3-2-89**

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT & MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

J. Helms 5-19-89
U.S. SOIL CONSERVATION SERVICE

THREE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL, MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Robert Zeln* 5-19-89
HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER _____

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT.

John Boy 5-30-89
COUNTY HEALTH OFFICE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING.

U. H. H. 6-1-89
DIRECTOR

Mark S. L. Taylor 5-18-89
CHIEF DIVISION OF COMMUNITY PLANNING & LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

James J. Kelly 5-25-89
DIRECTOR

William S. Kelly 5-25-89
CHIEF BUREAU OF ENGINEERING

PARCEL D
COLUMBIA GATEWAY
PLAT 6747
EX. ZONING M-1
HOWARD RESEARCH DEVELOPMENT
LAND C/O

LANDSCAPING NOTE:
THE PROPOSED LANDSCAPING IS DESIGNED TO ACCOMMODATE THE MISSING LANDSCAPE MATERIALS (EXISTING CONDITION) IN ADDITION TO THE TREES TO BE REMOVED AND REPLACED ON-SITE TO ACCOMMODATE THE OVERHEAD GARPORT SOLAR PANELS. THE LANDSCAPING PLAN WAS APPROVED BY ARC ON APRIL 18, 2022.

FOR REVISION A ONLY

STATE OF MARYLAND
DEPARTMENT OF GENERAL SERVICES
LANDSCAPE ARCHITECTURE DIVISION

PLANTING NOTES:

- All plant material shall average the median for the size ranges indicated and shall be equal to or better than the requirements of the U.S.A. Standard Nursery Stock as published by the American Association of Nurserymen. All shade trees to have full heads.
- No substitutions to be made without consent of Landscape Architect.
- All beds to be topped with 2" shredded pine mulch.
- Landscape contractor to verify location of utilities before planting.
- Contractor to follow Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas approved by the LCAMW and the ASLA.

PLAN
SCALE: 1" = 50'

NO. _____ REVISION _____ DATE _____

OWNER / DEVELOPER PARCEL E-2
HOWARD RESEARCH DEVELOPMENT LAND CO.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

OWNER / DEVELOPER PARCEL E-1
VI - 6 LIMITED PARTNERSHIP
C/O THE ISSEL COMPANY
9881 BROKENLAND PKWY SUITE 402
COLUMBIA, MARYLAND 21046
(301) 995 - 6520

DEVELOPER'S CERTIFICATE PARCEL E-2
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR OTHER AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: _____ DATE: 10-13-88

DEVELOPER'S CERTIFICATE PARCEL E-1
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPT. OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR OTHER AUTHORIZED AGENTS AS ARE DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A RED-LINED "AS-BUILT" OF THE POND WITHIN 30 DAYS OF COMPLETION.

DEVELOPER: _____ DATE: 10-13-88

DESIGNED: N.B.
DRAWN: J.W.
CHECKED: N.B.

LANDSCAPING PLAN
FOR
GATEWAY OFFICE BUILDING
COLUMBIA GATEWAY PARCELS E-1/E-2
TAX MAP 43

HOWARD CO. MD.
SCALE: AS SHOWN
PN. 6086

ELECTION DISTRICT # 6
OCTOBER 19, 1988
SHEET 8 OF 9

SDP-89-80

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
303 ALLEGHENY AVENUE
TOWSON, MARYLAND 21204
(301) 825-8120

CROZIER ASSOCIATES
LANDSCAPE ARCHITECTURE / LAND PLANNING
MILL CENTRE SUITE 400
3000 CHESTNUT AVE. BALTIMORE MD 21211 301-366-3330