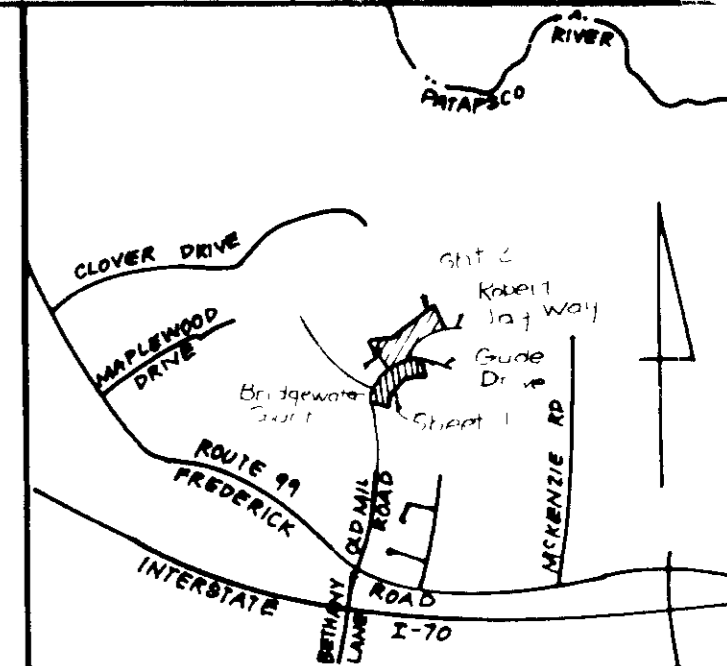


N2	REVISIONS	Date
1	Rev hse # 9rd lot 58 From A to E	6 3 91

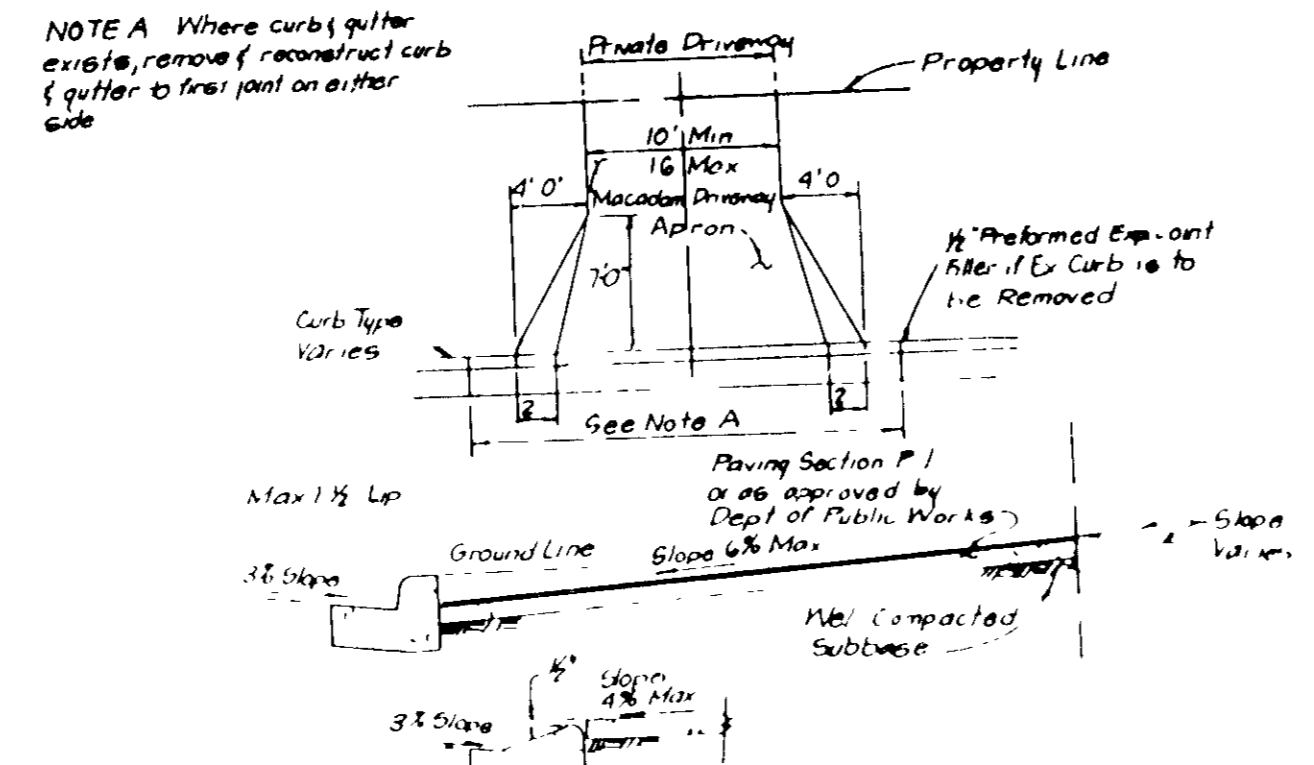
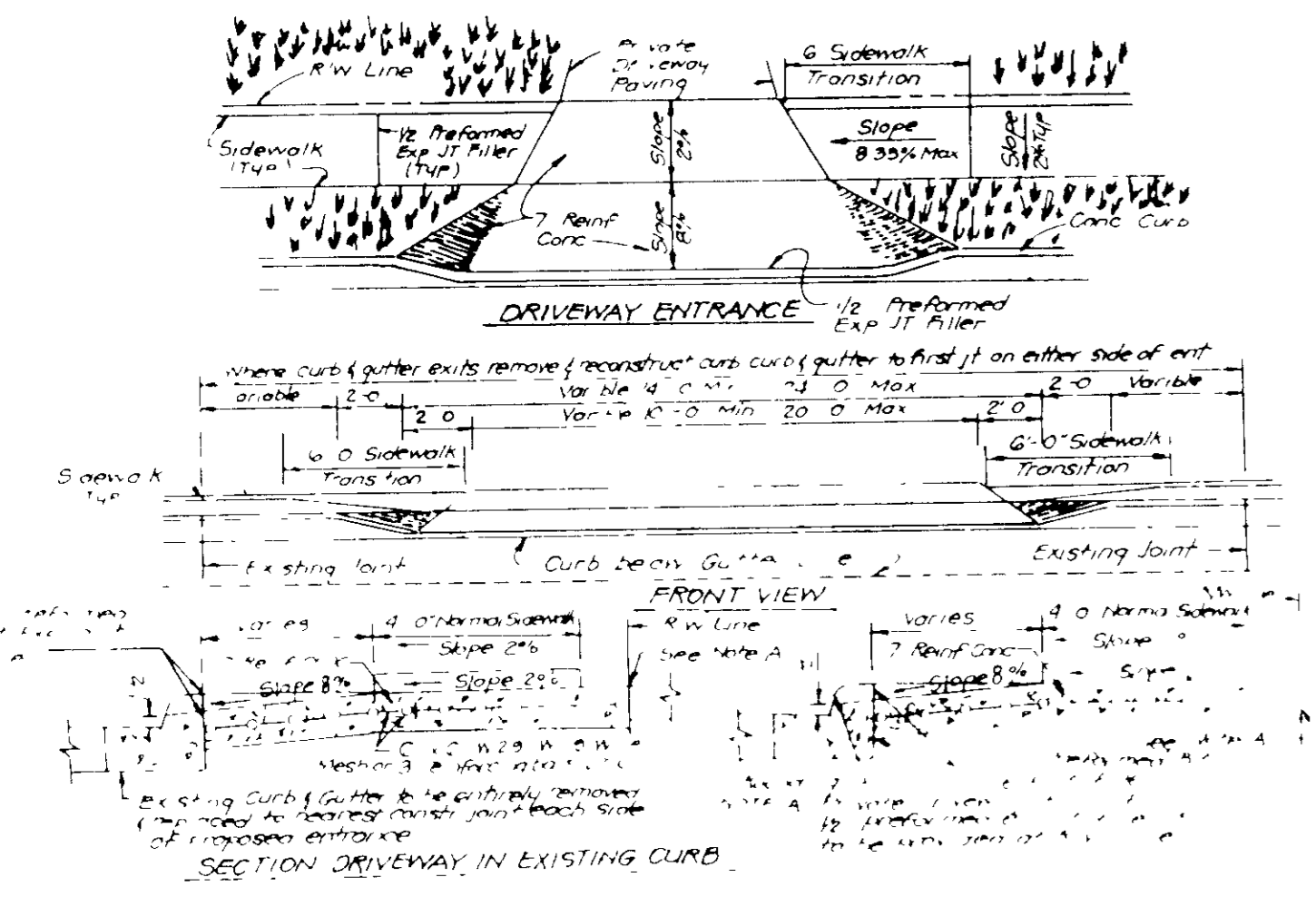
LEGEND:

- 1 Contour Interval 2 FT
- 2 Existing Contour ---
- 3 Proposed Contour ---
- 4 Spot Elevation +0E
- 5 Direction of Drainage →
- 6 Walk-Out Basement →



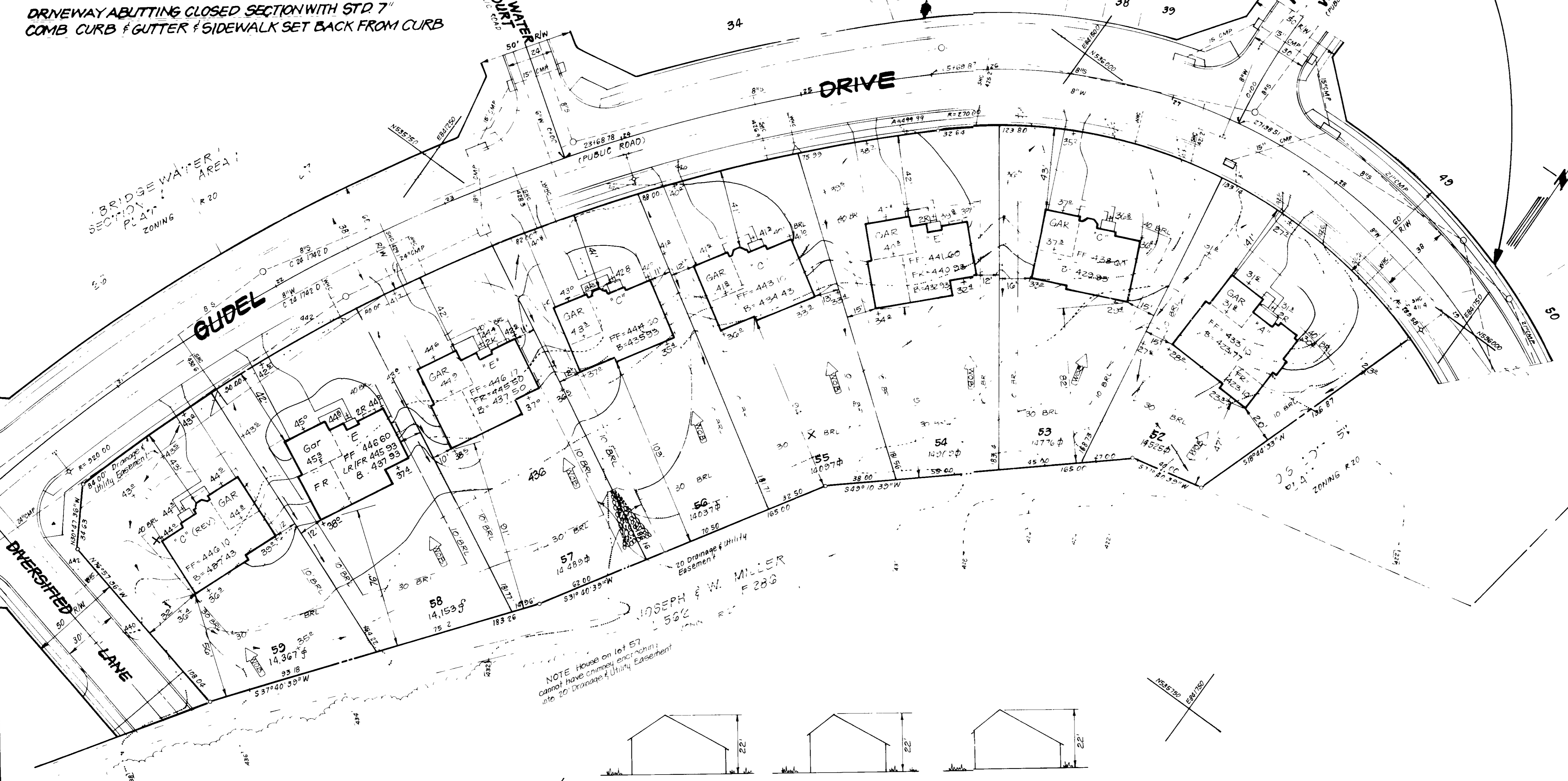
VICINITY MAP
SCALE 1"=500'

FOR CONTINUATION SEE SHEET 2 OF 4



DRIVEWAY ABUTTING CLOSED SECTION WITH STD. 7" COMB CURB & GUTTER & SIDEWALK SET BACK FROM CURB

DRIVEWAY ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK



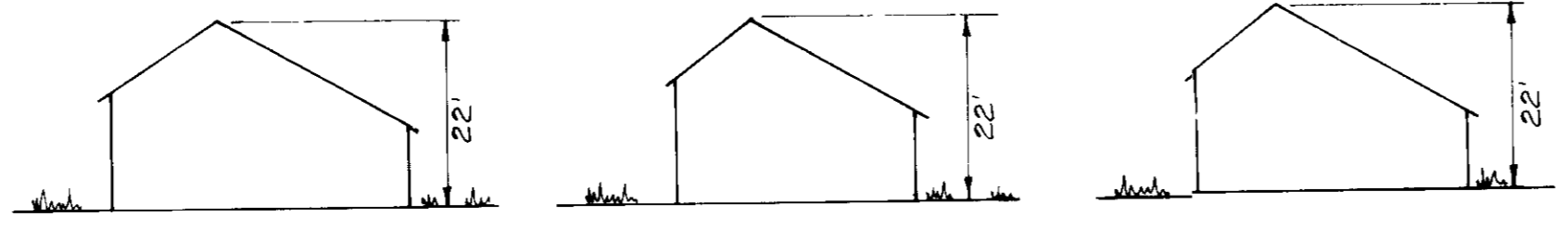
SPECIAL NOTES:

- 1 Approved Road Construction Plans shall be used for all public utilities.
- 2 Public water & sewer shown for reference only. For more detailed information see water and sewer plans Contract No. C-24 1742 D.
- 3 The water & sewer house connections not included in a "Developer's Agreement" shall conform to Howard County Plumbing Code. The on-site W.H.C. shall be 1" copper and the S.H.C. shall be 4" iron.
- 4 Storm Water Management provided for by F 88-181.

GENERAL NOTES:

- 1 The Land included in this plan is zoned R 20.
- 2 Coordinates shown are based on the Maryland State Plane Coordinate System as projected by Howard County Control Station Nos. 344 8002 & 344 1004 R.
- 3 All roadways are public and existing.
- 4 Total area included in this plan: 8.68 Acres.
- 5 Any damage to county owned rights of way shall be corrected at the developer's expense.
- 6 Total number of lots: 24.
- 7 For flag or pipestem lots, refuse collection, snow removal, and maintenance to be provided to the junction of flag or pipestem and the road R/W and not onto the flag or pipestem driveway.
- 8 Storm Water Management provided by F 88 175.
- 9 Lot Coverage: 30%.
- 10 Reference Nos. S87-83, P88-15, F 88-175.

ADDRESS CHART	
LOT NO.	STREET ADDRESS
52	9737 GUDEL DRIVE
53	9741 GUDEL DRIVE
54	9745 GUDEL DRIVE
55	9749 GUDEL DRIVE
56	9753 GUDEL DRIVE
57	9757 GUDEL DRIVE
58	9761 GUDEL DRIVE
59	9765 GUDEL DRIVE



TYPICAL HOUSES
SCALE 1"=30'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 10-31-88
 APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: *[Signature]* DATE: 11.13.88
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: *[Signature]* DATE: 11-17-88
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 10-14-88
 CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 10-14-88

Sept. 1, 1988

OWNER/DEVELOPER
 PORTEN & SULLIVAN
 3 Bethesda Metro Center #900
 Bethesda, MD 20814

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO. • (301) 621-8100 - WASH.

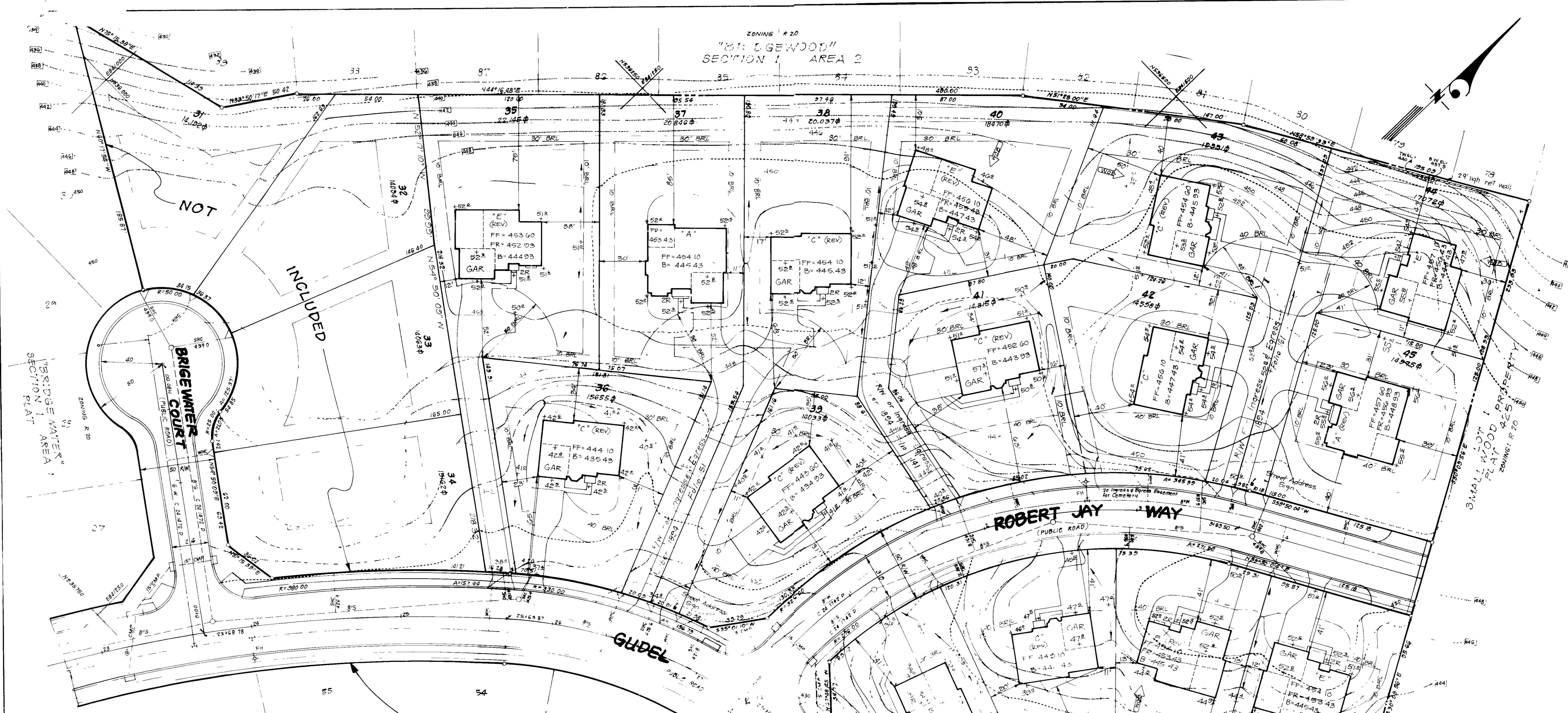
DESIGNED: VHL
 DRAWN: KIW
 CHECKED: JME
 DATE: 8-11-88

SITE DEVELOPMENT PLAN
 LOTS 35 THRU 50 & 52 THRU 59
BRIDGEWATER
 SECTION 1 AREA 1
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 FOR: DOUGLAS HOMES, INC.
 11206 McGeec Way
 Ellicott City, Md 21043

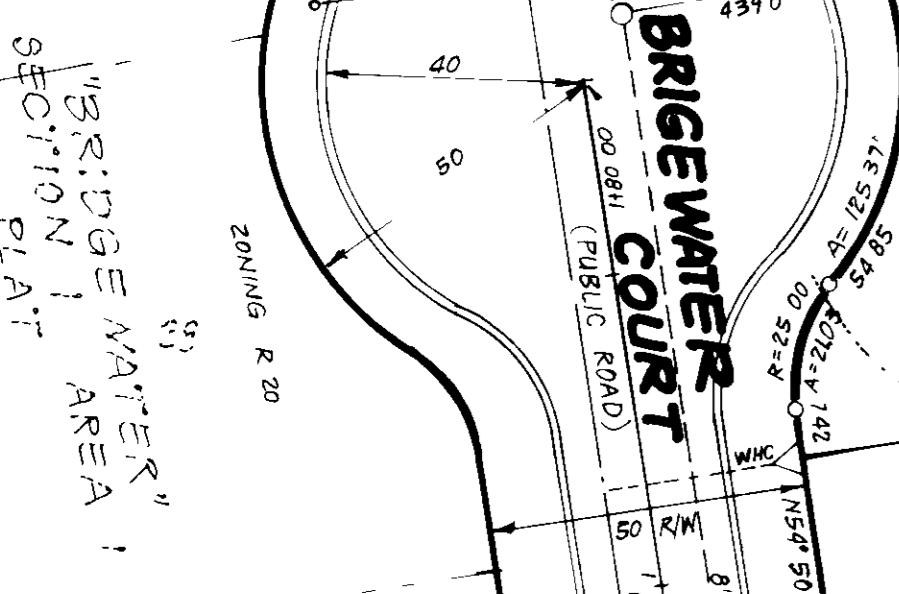
SCALE: 1"=30'
 DRAWING: 10F 4
 JOB NO: 88-060
 FILE NO: 88-060X

SDP 89-34

ZONING R 20
 "BRIDGEWATER"
 SECTION 1 AREA 2



NOT INCLUDED



SMALL LOT PROPERTY
 PLAT 425
 ZONING R 20

ROBERT JAY WAY
 (PUBLIC ROAD)

GUDEL DRIVE

DRIVE

FOR CONTINUATION SEE SHEET 1 OF 4

ADDRESS CHART

LOT NO	STREET ADDRESS
35	9756 GUDEL DRIVE
36	9752
37	9748
38	9744
39	9700 ROBERT JAY WAY
40	9704
41	9708
42	9712
43	9716
44	9720
45	9724
46	9728
47	9732
48	9736
49	9740
50	9732 GUDEL DRIVE
52	9737
53	9741
54	9745

LOT#	TOTAL AREA	Area of Street Slips & Easement Area of lots	TOTAL BUILDABLE AREA
43	19,333	4,234.6	15,098.40
44	17,072	2,955.8	14,116.20
40	18,470	3,000.0	15,470.00
38	20,037	3,140.0	16,897.00
37	20,846	3,073.8	17,772.20
35	22,452	2,337.1	19,807.90
49	15,061	1,000.0	14,061.00

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 10-27-88

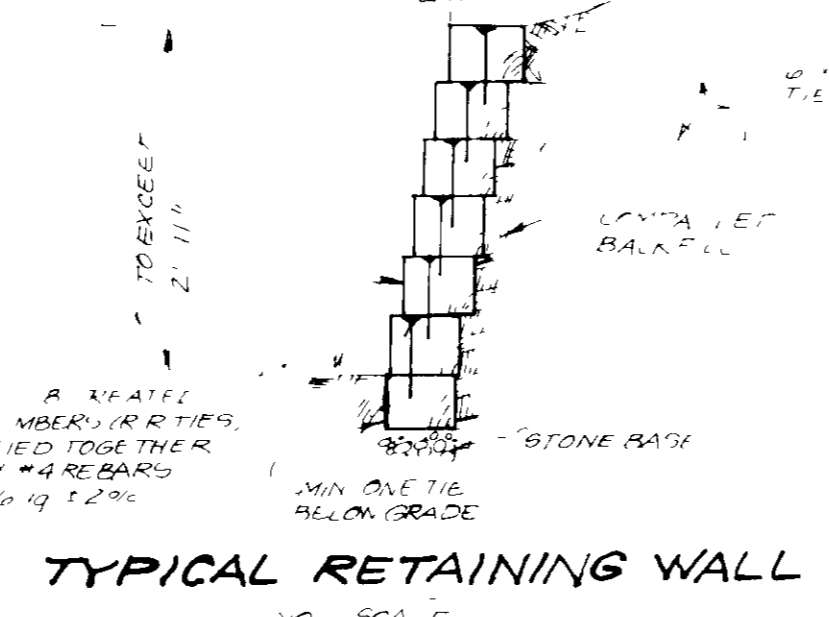
APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: *[Signature]* DATE: 11-16-88

CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: *[Signature]* DATE: 11-17-88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 10-24-88

CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE:

Sept. 1, 1988



SUBDIVISION NAME BRIDGEWATER	SECT./AREA 1/1	LOT/PARCEL # 31-50 & 52-57
PLAT # 8092-8096	BLOCK # 8	ZONE R 20
TAX/DISTRICT MAP P. 30	ELEC. DIST. 2ND	CENSUS TR. 6021
WATER CODE -03	SEWER CODE 5758200	

CLARK • FINEFROCK & SACKETT, INC
 ENGINEERS • PLANNERS • SURVEYORS

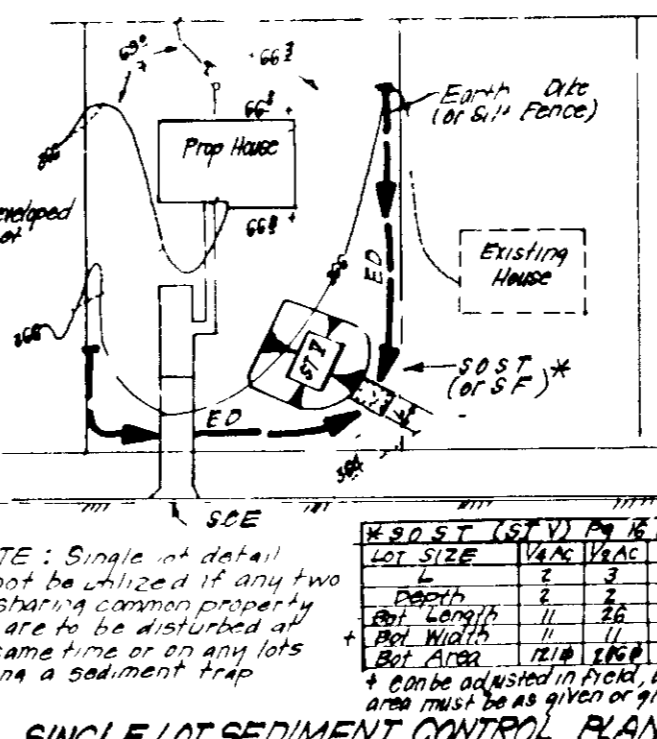
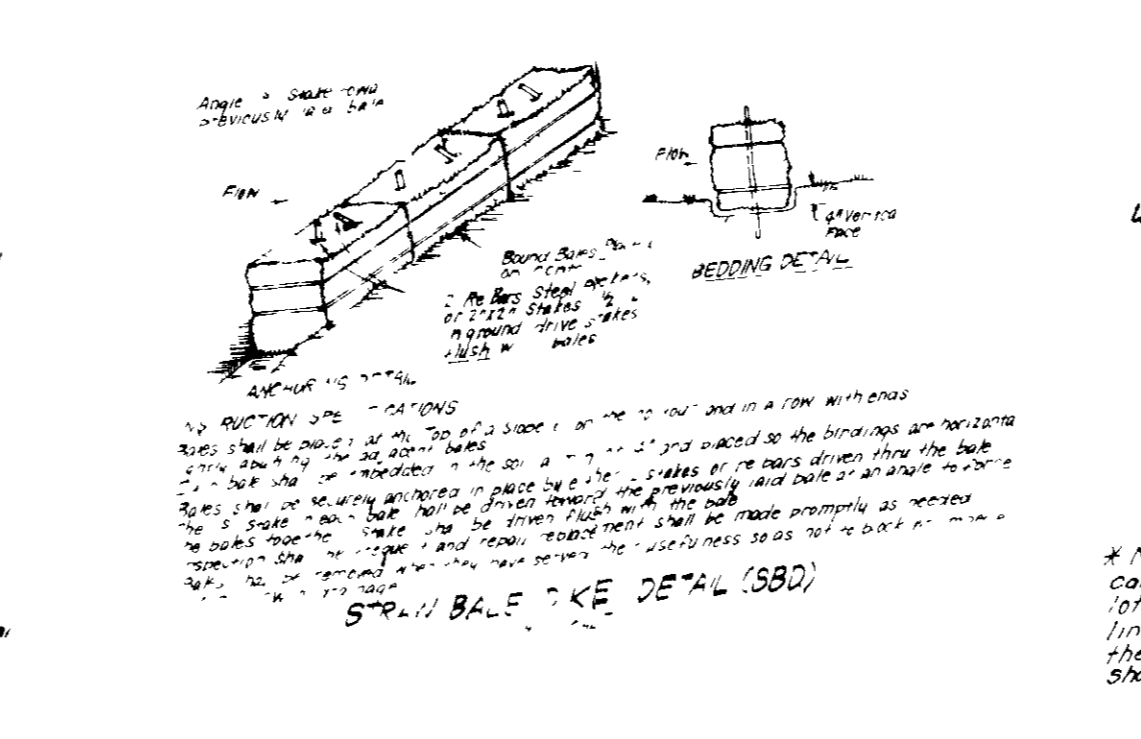
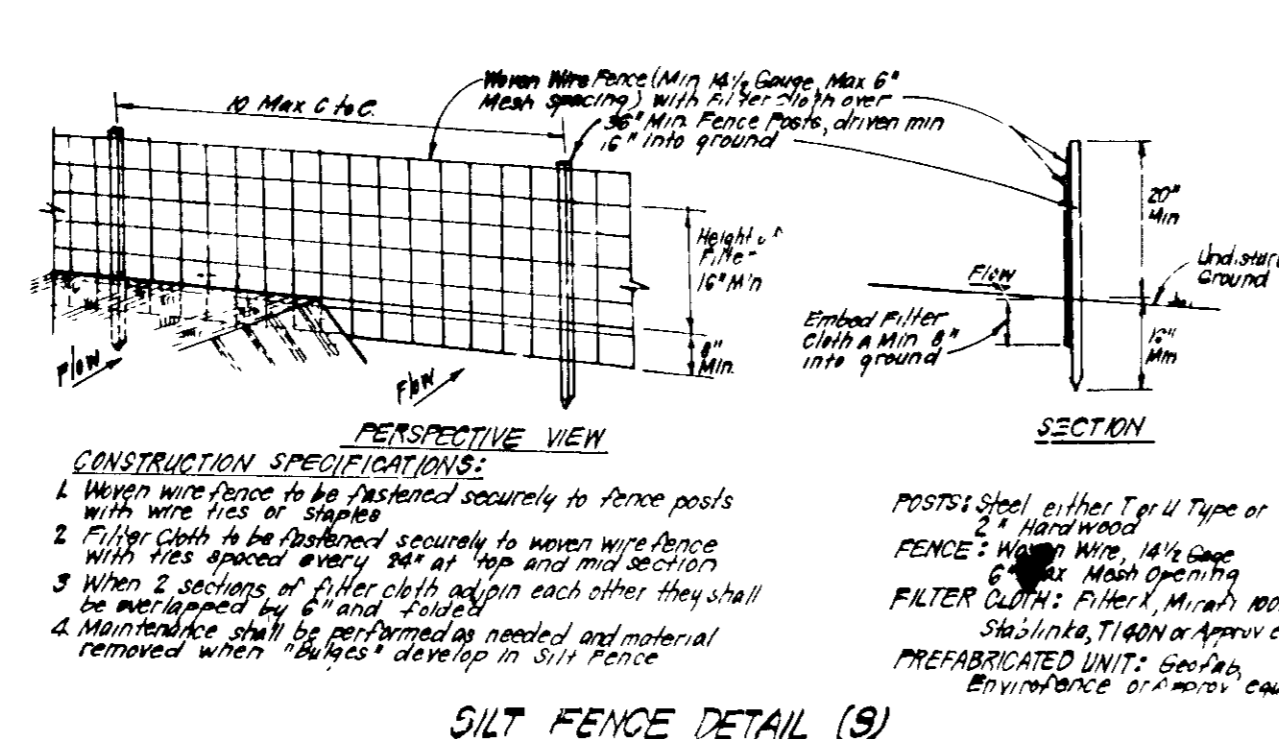
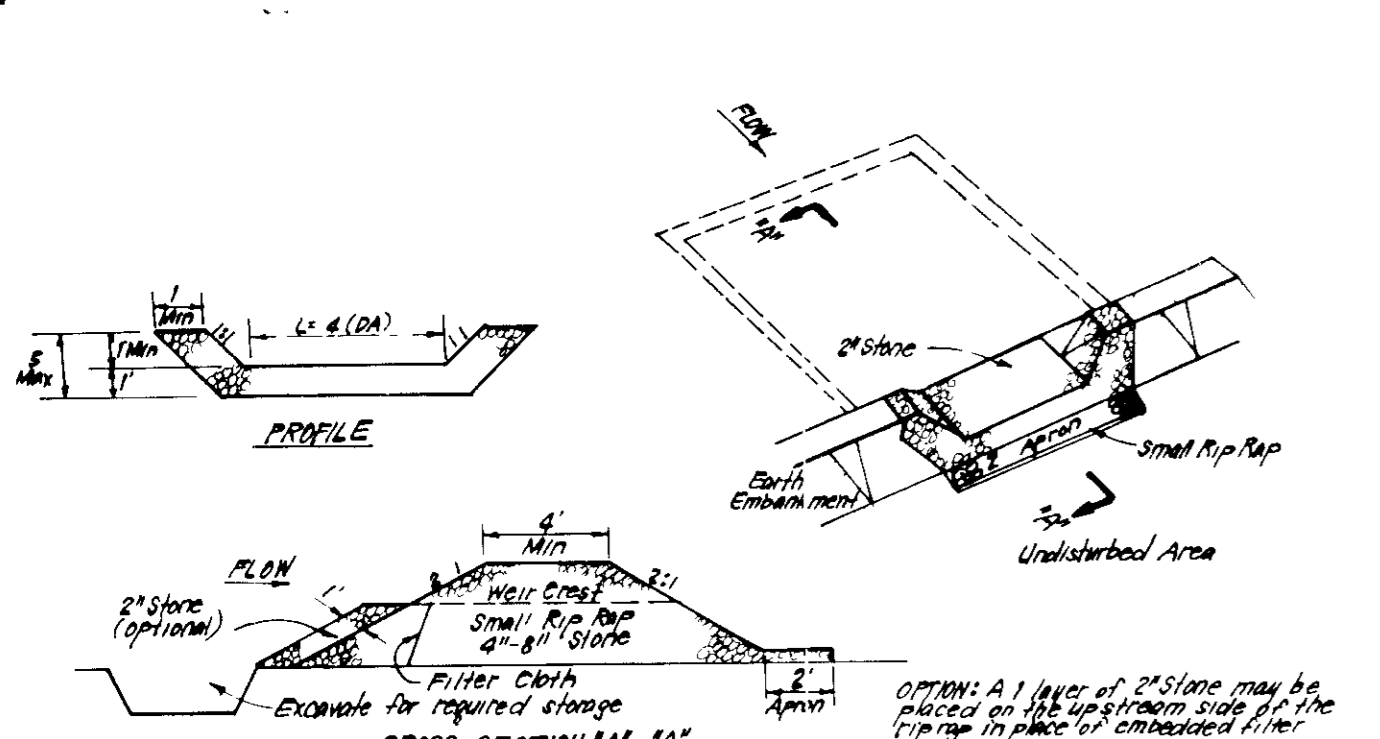
DESIGNED: VHL
 DRAWN: KIW
 CHECKED: JME
 DATE: 8-11-88

SITE DEVELOPMENT PLAN
 LOTS 35 THRU 50 & 52 THRU 59
BRIDGEWATER
 SECTION 1 AREA 1
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

SCALE: 1"=30'
 DRAWING: 2 OF 4
 JOB NO: 88 060
 FILE NO: 88 060 X

OWNER/DEVELOPER:
 PORTEN & SULLIVAN
 3 Bethesda Metro Center #900
 Bethesda, MD 20814

FOR DOUGLAS HOMES
 11206 McBea Way
 Ellicott City, Md 21043



CONSTRUCTION SPECIFICATIONS:

1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The top soil shall be stored.
2. The topsoil removed from the embankment shall be stored on-site and other nearby vegetation as well as over-ripened stones, rocks, organic material or other phytochemicals material. The embankment shall be compacted by traversing with equipment while it is being constructed.
3. 24" x 48" x 1/2" SLOTTED FILTER CLOTH shall be used.
4. The stone used in the outlet shall be small rip rap of 1/2" thickness of 2" aggregate placed on the up-drain side of the small rip rap of 1/2" thickness of 2" aggregate placed on the down-drain side.
5. Sediment shall be removed and traps restored to its original dimensions when the sediment has accumulated to 1/2" the design depth.
6. The structure shall be inspected after each rain and repairs made as needed.
7. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
8. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

CONSTRUCTION SPECIFICATIONS:

1. When wire fabric is to be installed securely to fence posts with wire ties or staples.
2. Filter cloth to be fastened to wooden wire fence with ties spaced evenly but at 1/2" intervals.
3. When 2 sections of filter cloth overlap each other they shall be overlapped by 6" and secured with staples.
4. Maintenance shall be performed as needed and material removed when "bulges" develop in Silt Fence.

CONSTRUCTION SPECIFICATIONS:

1. Stone to be 2" size, or recycled concrete equivalent, in a layer at least 3" thick.
2. Stone to be placed into soil with construction equipment and be pressed into soil with construction equipment.
3. Rip rap to be 4" in diameter, or 1/2" of 1/2" crushed, crushed into soil.
4. Approved equivalents can be substituted for any of the above materials.
5. Periodic inspection and needed maintenance must be provided after each rain.

CONSTRUCTION SPECIFICATIONS:

1. Obtain necessary permits.
2. Utilize existing ROST #6 and ROST #7 and existing earth dike along Lots 46 & 50. Install asphalt inlet diversion berms at all inlets and SF/SBD at the back of Lots 35, 37, 38, 40, 43, 44 and 45.
3. Rough grade where necessary and excavate for basements temporarily stabilize.
4. Construct houses, sidewalks & driveway.
5. Fine grade and permanently stabilize.
6. With approval of the sediment control inspector remove all sediment & erosion controls and stabilize those areas.

CONSTRUCTION SEQUENCE

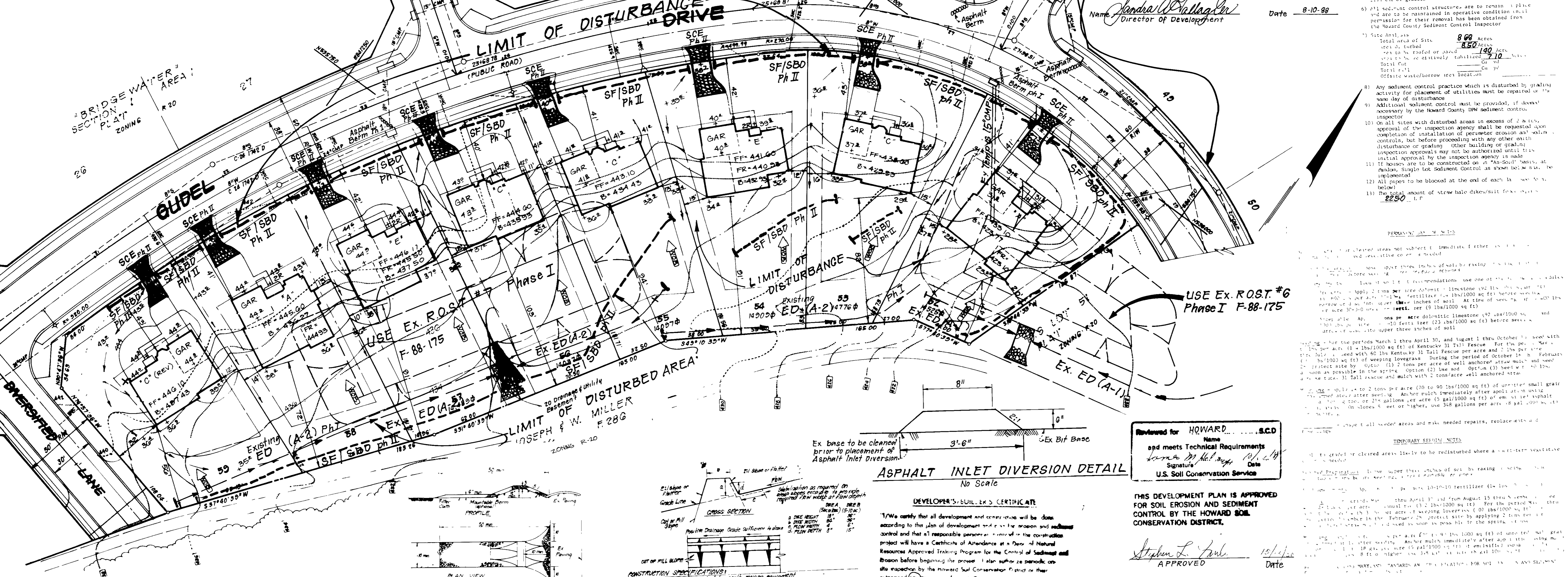
Note: Phase I of this sediment and erosion control plan will utilize existing ROST #6 and ROST #7 as shown on F-88-175 until permission is granted by the sediment control inspector for their removal. Work may not begin on Lots 52, 55, 56, 57 & 58 until those traps have been removed. Upon the removal of Ex ROST #6 and Ex ROST #7 phase II controls must be installed immediately, but only to the extent determined by the sediment control inspector, depending on the amount of work completed and areas permanently stabilized. Single lot sediment controls may be used where applicable. Delay work on lots 39 & 50 until traps 1 & 2 of phase II controls have been removed, unless it is determined that all disturbed contributory areas to those traps will be permanently stabilized under phase I.

PHASE I

- 1 Obtain necessary permits 5 Days
- 2 Utilize existing ROST #6 and ROST #7 and existing earth dike along Lots 46 & 50. Install asphalt inlet diversion berms at all inlets and SF/SBD at the back of Lots 35, 37, 38, 40, 43, 44 and 45 7 Days
- 3 Rough grade where necessary and excavate for basements temporarily stabilize. 45 Days
- 4 Construct houses, sidewalks & driveway. 100 Days
- 5 Fine grade and permanently stabilize. 300 Days
- 6 With approval of the sediment control inspector remove all sediment & erosion controls and stabilize those areas 7 Days

PHASE II

- 1 See note above



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

DATE: 10-31-88

APPROVED: FOR PLANNING AND ZONING

DATE: 11-16-88

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DATE: 10-24-88

CONSTRUCTION SPECIFICATIONS:

1. Stone to be 2" size, or recycled concrete equivalent, in a layer at least 3" thick.
2. Stone to be placed into soil with construction equipment and be pressed into soil with construction equipment.
3. Rip rap to be 4" in diameter, or 1/2" of 1/2" crushed, crushed into soil.
4. Approved equivalents can be substituted for any of the above materials.
5. Periodic inspection and needed maintenance must be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE (SCE)

CONSTRUCTION SPECIFICATIONS:

1. Stone to be 2" size, or recycled concrete equivalent, in a layer at least 3" thick.
2. Stone to be placed into soil with construction equipment and be pressed into soil with construction equipment.
3. Rip rap to be 4" in diameter, or 1/2" of 1/2" crushed, crushed into soil.
4. Approved equivalents can be substituted for any of the above materials.
5. Periodic inspection and needed maintenance must be provided after each rain.

EARTH DIKE DETAIL (ED)

FOR CONTINUATION SEE SHT 4 OF 4

ASPHALT INLET DIVERSION DETAIL

No Scale

DEVELOPER'S/SUILLER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan of development and in accordance with the erosion and sediment control and that a responsible person or persons at the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents as a condition of this certificate.

Signature: Douglas J. Sullivan, 8/9/88

REVIEWED FOR HOWARD COUNTY S.C.D.

Name: Sandra M. Hall

Signature: Sandra M. Hall, 8/10/88

Date: 8-10-88

U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: Stephen L. Lark, 8/10/88

Date: 8-10-88

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: Jeffrey Schwab, 8/11/88

Date: 8-11-88

AUTHORIZATION NOTE

Porten Sullivan hereby authorizes Douglas Homes to use existing ROST #6 and ROST #7 from F-88-175 for sediment control for the project.

Name: Sandra M. Hall, Director of Development

Date: 8-10-88

TEMPORARY SEDIMENT NOTES

1. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 NUTRIENT STANDARDS AND SPECIFICATIONS FOR SOIL CONSERVATION DISTRICT CONTROL FOR PERMANENT SEEDINGS (Sec. 51) and (Sec. 52). Temporary stabilization with seeding (Sec. 52) is temporary stabilization with seeding (Sec. 51) and (Sec. 52). Temporary stabilization with seeding (Sec. 52) is temporary stabilization with seeding (Sec. 51) and (Sec. 52).
2. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
3. Additional sediment control must be provided, if deemed necessary by the Howard County SCD sediment control inspector.
4. On all sites with disturbed areas in excess of 2.0 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
5. If houses are to be constructed on a "50-South" basis, the standard Single lot Sediment Control as shown below shall be implemented.
6. All pipes to be blocked at the end of each lot (see below).
7. The total amount of straw bale dikes/mulch for each lot shall be 2250 lbs.

CLARK • FINEFROCK & SACKETT, INC.

ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7900 - BALTO • (301) 821-8100 - WASH

DESIGNED: D.G.T.

DRAWN: K.W.

CHECKED: D.G.T.

DATE: 8-11-88

SEDIMENT & EROSION CONTROL PLAN

LOTS 35 THRU 50 & 52 THRU 59

BRIDGEWATER

SECTION 1 AREA 1

2ND ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

FOR: DOUGLAS HOMES, INC.

11207 McGehee Way

Ellicott City Md. 21043

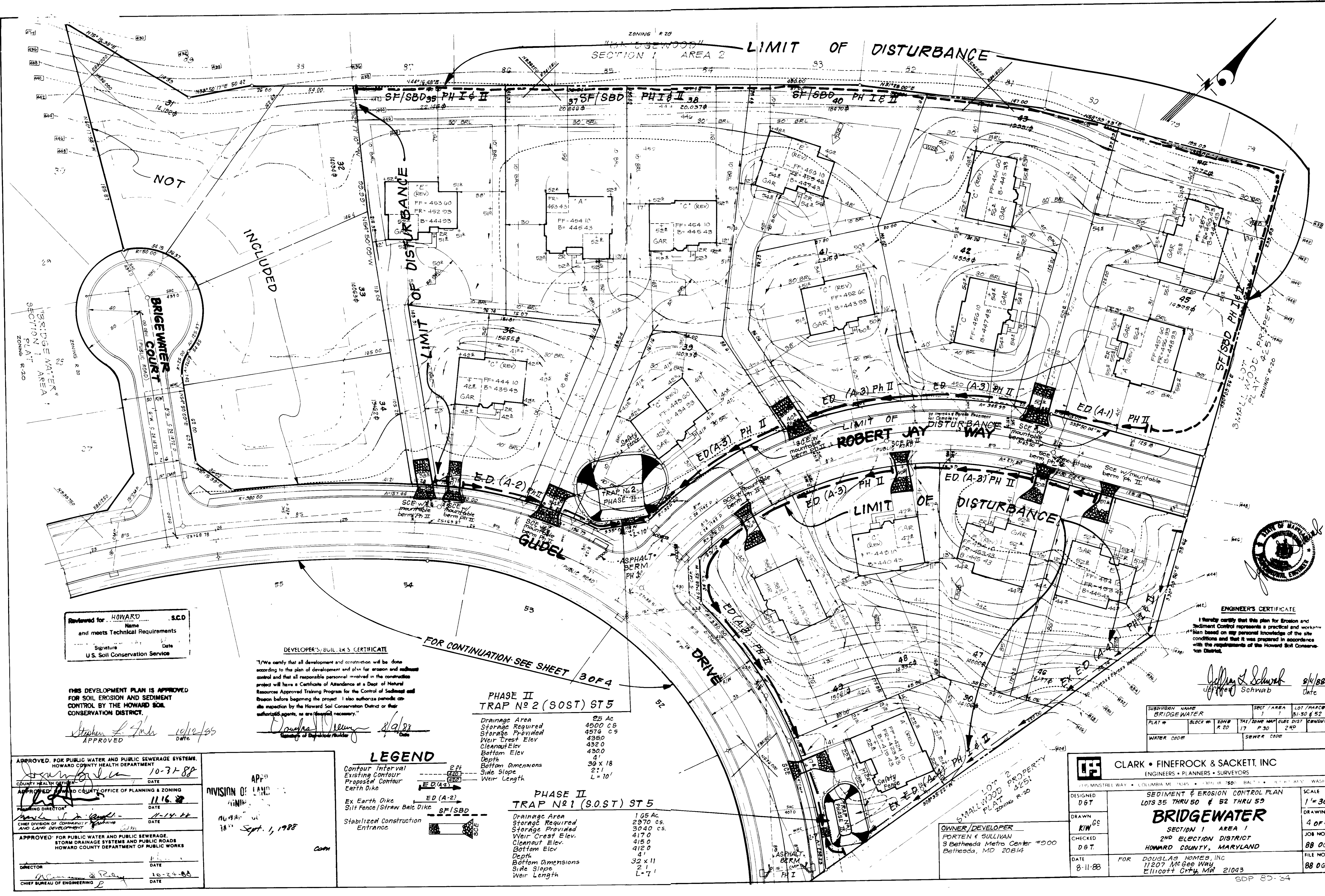
SCALE: 1"=30'

DRAWING: 3 OF 4

JOB NO: 88-060

FILE NO: 88-060X

SDP 80-34



Reviewed for **HOWARD** S.C.D.
Name
and meets Technical Requirements
Signature Date
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Stephen L. Fink 10/12/88
APPROVED DATE

DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and construction will be done according to the plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

David M. New 8/9/88
Signature of Developer/Builder

FOR CONTINUATION - SEE SHEET 30F4

PHASE II TRAP NO 2 (SOST) ST 5

Drainage Area	25 Ac
Storage Required	4500 CS
Storage Provided	4570 CS
Weir Crest Elev	4350
Cleanout Elev	4320
Bottom Elev	4300
Depth	4'
Bottom Dimensions	30 x 18
Side Slope	2:1
Weir Length	L = 10'

PHASE II TRAP NO 1 (SOST) ST 5

Drainage Area	105 Ac
Storage Required	2970 CS
Storage Provided	3040 CS
Weir Crest Elev	4170
Cleanout Elev	4150
Bottom Elev	4120
Depth	4'
Bottom Dimensions	32 x 11
Side Slope	2:1
Weir Length	L = 7'

LEGEND

- Contour Interval
- Existing Contour
- Proposed Contour
- Earth Dike
- Ex Earth Dike
- Silt Fence/Straw Bale Dike
- Stabilized Construction Entrance

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
DATE: 10-31-88
APPROVED FOR HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE: 11-6-88
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 10-24-88

DIVISION OF LAND
DATE: Sept. 1, 1988

CLARK • FINEFROCK & SACKETT, INC
ENGINEERS • PLANNERS • SURVEYORS

DESIGNED: DGT
DRAWN: KIW
CHECKED: DGT
DATE: 8-11-88

BRIDGEWATER
SECTION 1 AREA 1
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

OWNER/DEVELOPER: PORTEN & SULLIVAN, 3 Bethesda Metro Center #200, Bethesda, MD 20814

SCALE: 1" = 30'
DRAWING: 4 OF 4
JOB NO: 88 060
FILE NO: 88 060 X

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Jeffrey Schwab 8/14/88
Date

SUBDIVISION NAME	BRIDGEWATER	SECT / AREA	1 / 1	LOT / PARCEL NO	31-50 & 52-53
PLAT #		BLOCK #	R 20	TAX / ZONE MAP	ELEC DIST
			17	P 30	2ND
WATER CODE		SEWER CODE			

